

# STATEMENT OF ENVIRONMENTAL EFFECTS

DATE: 16/11/2023

**Applicant: James and Sarah Johnston**

**Address: 39 Powderworks Road North Narrabeen (40/6/DP6462)**

**Proposed Structure(s) and Size(s): Detached Steel Framed Shed (23.85m<sup>2</sup>)**



*Image 1: Current Site Image*

## Current Use

1. **Zoning:** C4 Environmental Living
2. **Land Size:** 597m<sup>2</sup>
3. **Land Use:** Residential
4. **Existing Structures:**
  - a. Dwelling (120m<sup>2</sup>)

## Building details

1. The development will involve the construction of Steel Portal Frame Shed **23.85** m<sup>2</sup> in size (Total Roof).
2. The floor system will be a **Concrete Slab**.
3. The design of the Structure will be a standard gable with roof pitch of **11** degrees.
4. Stormwater from the roof will connect to **the proposed 2,000 litre rainwater tank**.
5. The discharge point **will be consistent with the existing dwelling's approved stormwater system**.
6. The lowest eave height will be **2.5** m from the finished floor level.
7. The apex height of the garage building (from finished floor level) will be **2.937** m.
8. The roof will be cladded in **Corrugated** roof cladding.
9. The walls will be cladded in **Corrugated** wall cladding.
10. The building will not be dominant in visual appearance.

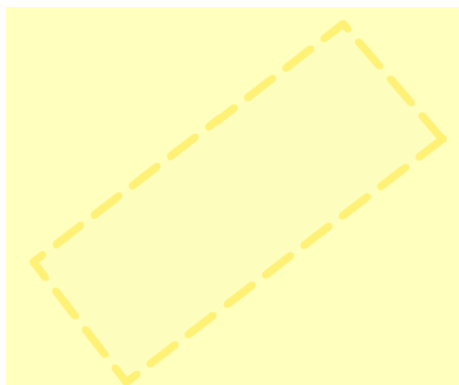
## Site disturbance and placement

1. **Minor** Earthworks will be required to cut and fill site.
  - a. **No more than 0.3m** cut is required.
  - b. **0.962m** fill is required.
  - c. An on site waste storage area will be used and will remain in place until the construction is completed.
  - d. A silt/sediment fence will be constructed on the low side of the disturbed earth and maintained for the duration of works.
  - e. All surfaces disturbed are to be returned to a state that will prevent ongoing erosion and sediment.
2. No native flora or fauna shall be disturbed.
3. **No** trees are required to be removed.
4. No Industrial or commercial activities have been conducted on the site in recent years.
5. Proposed ancillary building is not a shipping container.
6. Proposed is setback **in front of** behind primary building line.
7. Proposed is setback **0.9** m from nearest side boundary.
8. Proposed is setback **no less than 20** m from rear boundary.
9. Placement of the shed will not cast adverse shadows on neighbouring properties and is designed to maintain neighbouring privacy.
10. No sewer or stormwater will be affected. All sewer and stormwater will be connecting to existing services and all plumbing will be conducted in accordance with AS AS 3500.
11. The proposed structure is NOT a waterfront property or encroaching on crown land.
12. The development shall be carried out in accordance with the Building Code of Australia.
13. The proposed development will in no way have impact regarding special design features.
14. There will be no disturbance to traffic flow, noise pollution, and historical or archaeological aspects or on soil erosion.
15. There will be no excessive waste or wastewater created during construction.

## Planning layers

### a. Protection

- I. The proposed development **IS** within an **Acid Sulfate soils** affected area & the concrete will be treated on site (*see below Acid Sulfate soils map*):
  - a) Ensure that development does not disturb, expose, or drain acid sulfate soils and cause environmental damage.
  - b) **Class 5** - Works within 500 metres of adjacent Class 1, 2, 3 or 4 land that is below 5 metres Australian Height Datum and by which the water table is likely to be lowered below 1 metre Australian Height Datum on adjacent Class 1, 2, 3 or 4 land.



- II. The proposed development is **NOT** within **Drinking Water Catchment** area.
- III. The proposed development is **NOT** within **Groundwater Vulnerability** defined area.
- IV. The proposed development is **NOT** within a **Riparian Water course**.
- V. The proposed development is NOT affected by **Terrestrial Biodiversity** defined land and is not near a **Terrestrial Biodiversity** defined area.
- VI. The proposed development is **NOT** within a **Conservation area**.

**b. Mines Subsidence**

- I. The proposed development is NOT within a Mines Subsidence affected area.

**c. Hazard**

- I. **Bushfire** The property is **NOT** within a bush fire prone zone.
- II. **Flood**. The proposed development is **NOT** in a Flood prone land.

**Development Control Plan Compliance and Variations**

| DCP Item   | Compliant | Non-Compliant |
|--|-----------|---------------|
| <b>Total Building Size/Floor Space</b><br>DCP: Merit.<br><b>Proposed:</b> 23.85m <sup>2</sup>  | ✓         |               |
| <b>Maximum Wall Height</b><br>DCP: Merit.<br><b>Proposed:</b> 2.937m.  | ✓         |               |
| <b>Minimum Front Boundary/Primary Building Line Setback</b><br>DCP: Behind Building Line.<br><b>Proposed:</b> In Front of Building Line.   |           | ✗             |
| <b>Minimum Side Boundary Setback</b><br>DCP: Merit.<br><b>Proposed:</b> 0.9m.  | ✓         |               |
| <b>Minimum Rear Boundary Setback</b><br>DCP: Merit.<br><b>Proposed:</b> No less than 20m.  | ✓         |               |
| <b>Cut Required</b><br>DCP: Merit.<br><b>Proposed:</b> No more than 0.3m.  | ✓         |               |
| <b>Fill Requirement</b><br>DCP: Merit.<br><b>Proposed:</b> 0.962m.   | ✓         |               |
| <b>Variation:</b>  |           |               |
| <b>Item:</b><br><b>Minimum Front Boundary/Primary Building Line Setback</b><br>DCP: Behind Building Line.<br><b>Proposed:</b> In Front of Building Line.<br><b>Justification:</b> <ul style="list-style-type: none"> <li>• The proposed structure's placement is necessary for it to perform it's intended use on the site. The shed will be used for vehicle storage, and as such requires access to Powderworks Road,</li> </ul> |           |               |

and the existing driveway. Alternate locations behind the dwelling would not allow for vehicles to enter the shed which completely invalidates the proposal.

- The proposed structure is intended for storage of a vehicle, which is a necessity on the site. The existing dwelling does not have a garage, and no enclosed carpark space is available on the site presently. This necessity has required the design of this proposal to include this variation.
- The proposed development, if approved, will reduce the number of vehicles parked on the street which will improve the visual amenity of the wider locality.
- The proposed shed is modest in size and bulk, and will not appear visually dominant when viewed from the street despite its proximity to the front boundary. The land has a steep slope towards Powderworks Road which will ensure that the only portion of the shed visible to passers by along the primary road will be the roof of the shed.
- The current proposed location is not significantly different from the now removed carport that was approved on the site. The size and bulk of the structures are similar and the main difference in design is the enclosed walls which will not be visible from the street.
- The proposed structure will not cast any adverse shadows on neighbouring lots, or the road, on account of its size and design. Existing mature vegetation on the site will also further reduce the visibility of the structure from the road to soften its impact.

**Prepared by Fernleigh Drafting**

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