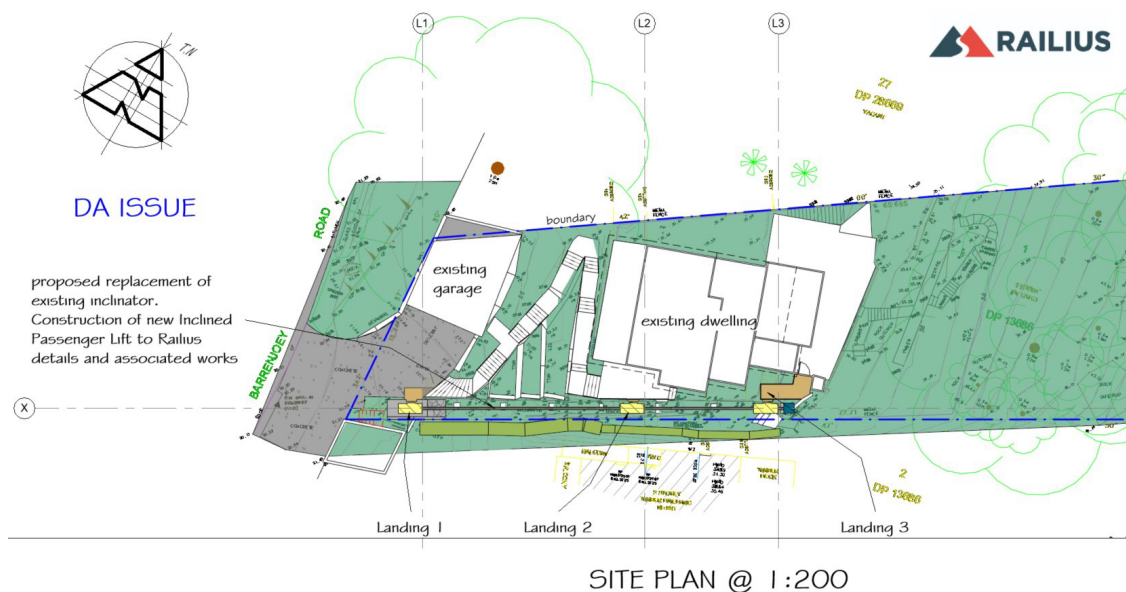


STATEMENT OF ENVIRONMENTAL EFFECTS

10.11.23

Proposed Inclined Passenger lift and associated works to replace the existing lift at 948 Barrenjoey Rd Palm Beach



PROPOSED DEVELOPMENT

This Development Application seeks approval for the replacement and extension of an existing Inclined Passenger Lift, and associated alterations and additions to the existing dwelling.

KEY DEVELOPMENT DETAILS

- A new Inclined Passenger Lift is proposed to **replace the existing lift** which sits beside the dwelling and runs along the southern boundary.
- The proposed new lift is designed to provide safe access between the parking area and the existing dwelling, to improve the **access and amenity characteristics of the property**.
- The configuration of the new lift enables zero-steps access between the parking area, the lower floor and upper main living level of the dwelling. This represents a dramatic improvement over the existing lift and ensures the long-term enjoyment of the property for the property owners, and means that **mobility-impaired persons** including elderly relatives may continue to visit the property.
- Unlike the existing lift, the new lift shall feature a **boundary facing privacy screen** to ensure that the visual privacy of the adjoining dwelling at number 946 Barrenjoey Rd is maintained.
- The operational noise of the new lift shall comply with Council and EPA requirements for **acoustic noise levels**, and shall not exceed 60db(A) when measured one meter from the nearest adjoining premises.

REFERENCE DRAWINGS AND DOCUMENTS

Architectural drawings 2265 00 – 03A by Peter Downes Designs

Topographical Survey by H Ramsay Surveyors

Geotech report by White Geotechnical Group

Bushfire report by Bushfire Consultancy Australia

PROPERTY DESCRIPTION

Title Description

LOT 1 in D.P. 13686

Street Address

948 Barrenjoey Rd Palm Beach 2108

Dimensions and Description

The subject property roughly rectangular in shape. The main portion has the following boundary dimensions:

North 65.965 m

East 19.28 m

South 72.71 m

West 15.24 m

Total Site Area = 1190 m²

Slope

The site extends into dense bushland area at the rear or eastern end of the property, the height of the land at this part of property is unknown, and so the slope has been taken in the vicinity of the inclined lift only.

The site falls from the rear of the dwelling at approx. RL 40, down to the western street facing boundary at approx. RL 21.5. This is a height difference of 18.5 m and provides a slope of approx. 20 degrees.

Easements

There are no noted easements in the vicinity of the proposed works.

Covenants

There are no noted covenants in the vicinity of the proposed works.

ZONING AND CONTROLS**Pittwater LEP 2014***Acid Sulfate Soils Class 5*

The excavations associated with the proposal are minor in nature and are not likely to disturb any nearby watertable.

Zone C4 Environmental Living

The proposed development is in line with the objectives of the zone.

Pittwater Geotechnical Hazard H1

Please see attached Geotech report.

Building Height Limit 8.5m

The proposed development is substantially below the height limit.

Pittwater DCP 2014

Pittwater 21 DCP

C1.19 Incline Lifts

- i)** The design of the lift involves minimal excavation and does not require the removal of any significant trees.
- ii)** The design of the lift is as close to the ground as is practicable, and is located in the valley between the existing dwelling and natural rock wall and hedges that run along the southern boundary.
- iii)** The winch motor is to be located within a sound-attenuating enclosure. The running noise of the lift will not exceed 60db(A) when measured one meter from the nearest adjoining premises.
- iv)** The lift will be painted in med to dark colours to help it blend in with the surrounding environment. The colours will be selected from those listed as permissible by Part D12.3 Building Colours and Materials of DCP Part 12 Palm Beach locality.
- v)** The siting of the existing dwelling makes numerical compliance with the control impractical, though the author suggests that as the lift has been positioned close to the ground, and as any potentially negative visual and acoustic privacy issues have been addressed that the proposal complies with the intent of the control. The author also highlights that the siting of the lift is typical for the area.
- vi)** The proposed works are wholly located within the boundaries of the subject property.
- vii)** Due to the natural rock wall and existing hedges that sit upon the southern boundary, there will be no direct line of sight between the lift carriage and the adjoining dwelling at number 946 Barrenjoey Rd for the

majority of the lift run. However, between the middle landing (Landing 2) and the upper landing (Landing 3), it is anticipated that there will be direct line of sight between the lift carriage and the adjoining dwelling, and so the lift carriage shall be affixed with a boundary facing privacy screen.



Photo 1 – Standing at the edge of Barrenjoey Rd, looking East at the subject property. The existing inclined lift to be replaced is visible on the right-hand side of the photo. The lower landing of the new lift is located further away from the front boundary than the existing lower landing.



Photo 2 – Standing nearby the lower landing area. The existing lift is due for replacement due to its age, the proposed new lift is larger and better suited to the needs of the property, it is also quieter, safer and features a boundary facing privacy screen.



Photo 3 – Standing nearby the lower landing, looking East and along the length of the location of the existing and proposed new lift. In order to accommodate a larger and more comfortable railcar, the proposed new rail is slightly higher off the ground than the existing lift. However, the new rail will still be located substantially below the natural rock wall and existing hedges that sit upon the southern boundary.



Photo 4 – Standing near the lower landing, looking West and out to Pittwater.



Photo 5 – Standing on the existing deck in the vicinity of the middle landing area, looking down into the valley where the existing lift and the replacement lift are located.

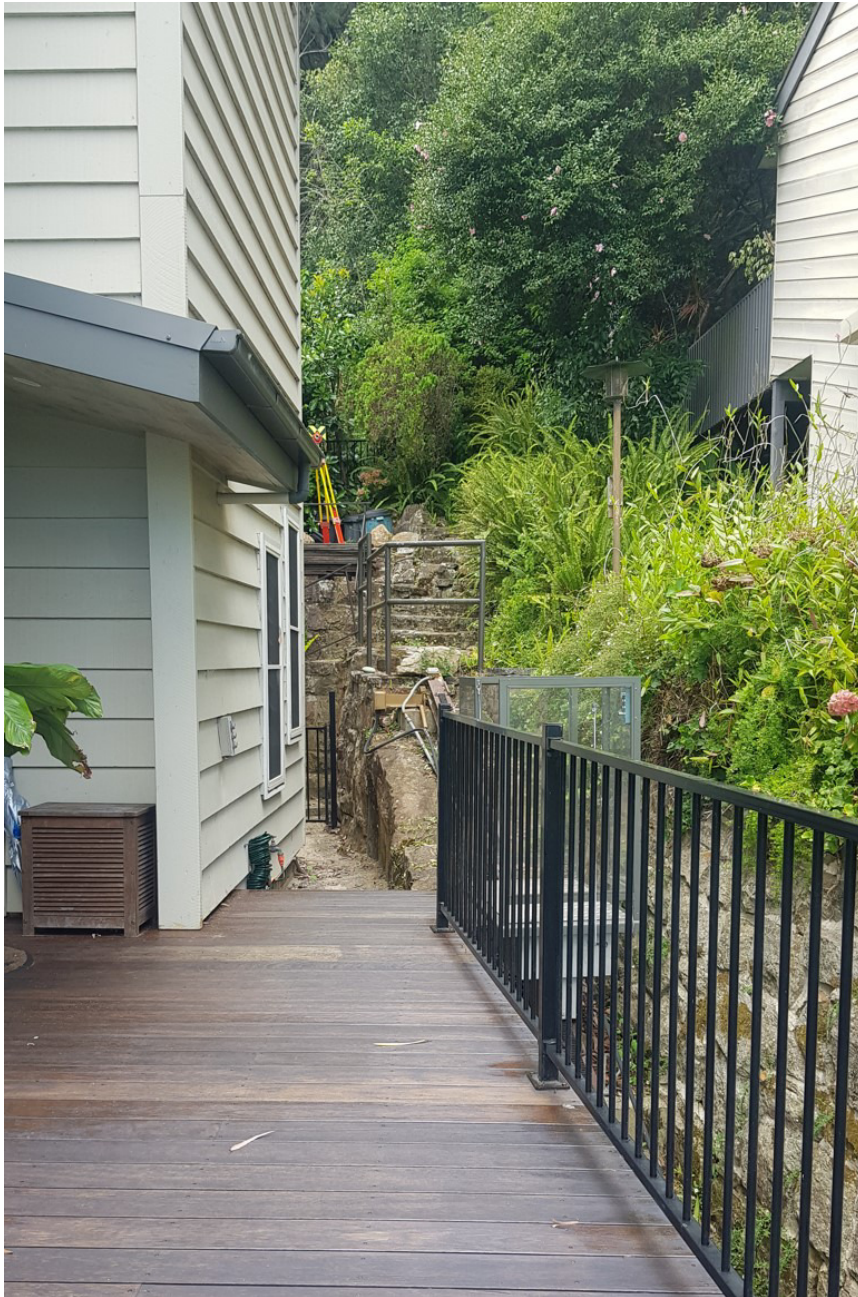


Photo 6 – Standing on the existing deck in the vicinity of the middle landing area, at the level of the lower floor of the existing dwelling. The existing upper lift landing is visible at the side of the deck, this also marks the approximate location for the proposed lift middle landing. The proposed upper landing area is approximately marked by the yellow Theodolite frame which is visible in the middle of the photo.



Photo 7 - Now Standing in the location of the proposed upper landing, looking West. The new lift is proposed to extend up to where the photographer is standing in order to access the upper floor level of the

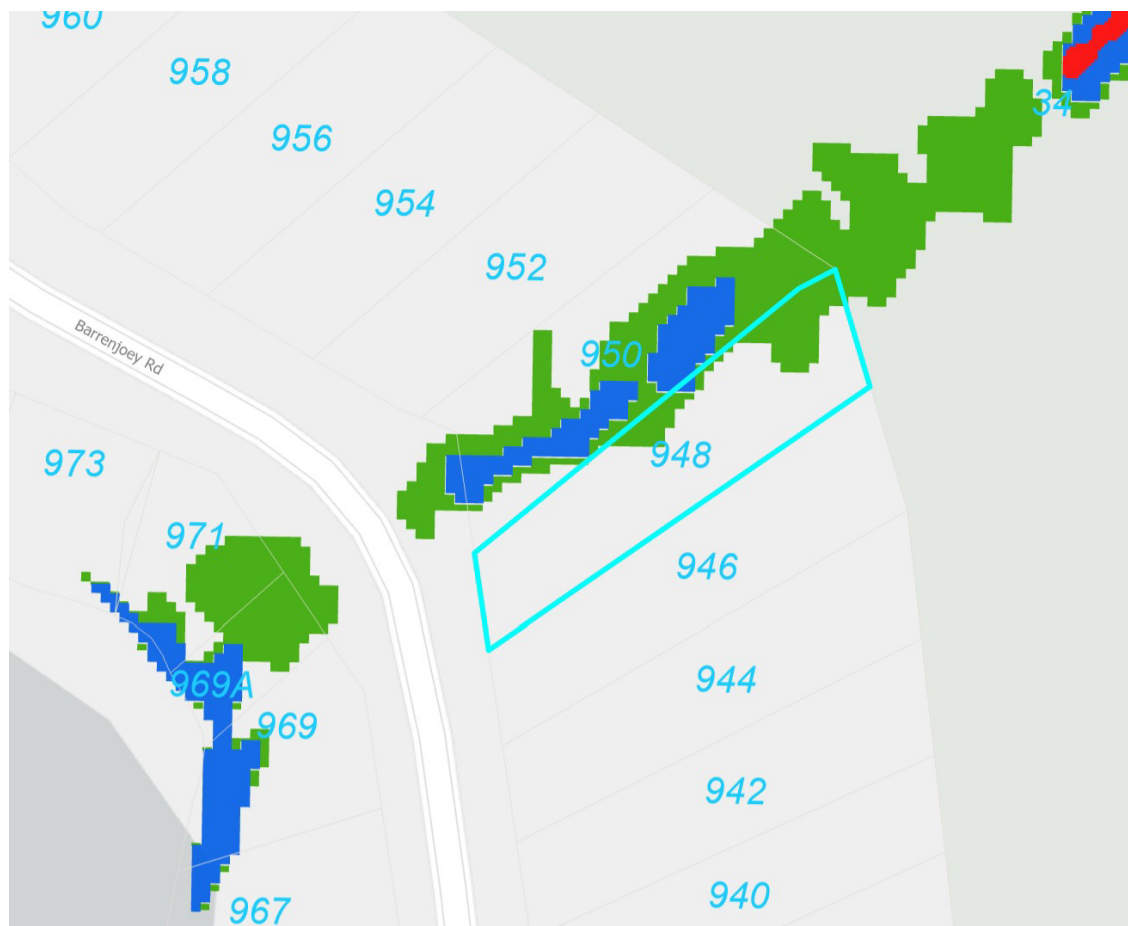
existing dwelling and main living area. The adjoining dwelling to the South of the subject property is visible on the left side of the photo.

BUSHFIRE

The site has been assessed as **BAL FZ**. The new lift is to be classified as a Class 10B Structure, the new deck and landing areas are to be classified as Class 10A Structures, all new structures are to be non-combustible. Please see attached bushfire report.

FLOOD HAZARD

The property is shown on the Northern Beaches Council Flood Hazard Map. However, the location of the proposed works is on the opposite side of the property to the Low Risk Precinct seen in the image below, and therefore will not be impacted by flooding.



SITE ANALYSIS

Refer to site plan.

SITE DATA

N/A

BUILDING ENVELOPE CONTROL

N/A

DRAINAGE

N/A

CAR PARKING AND ACCESS

N/A

LANDSCAPING

N/A

OVERSHADOWING

There are no overshadowing issues resulting from the proposed development.

ENERGY EFFICIENCY

N/A

SITE MANAGEMENT

See Drawing 01 for ESCP details.

VIEW LOSS

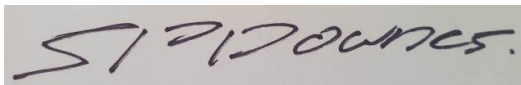
There are no views loss issues resulting from the proposed development.

WASTE MANAGEMENT AREA

See Drawing 01 Site Plan for the proposed Waste Management Area location.

CONCLUSION

The proposed development complies with the intent of all Council's policies, enhances the natural and built environments and should receive favorable consideration during the approval process.

A handwritten signature in black ink on a light gray background. The signature is written in a cursive, stylized font and reads "S/ P DOWNES".

Simon Downes
Building Designer
Peter Downes Designs