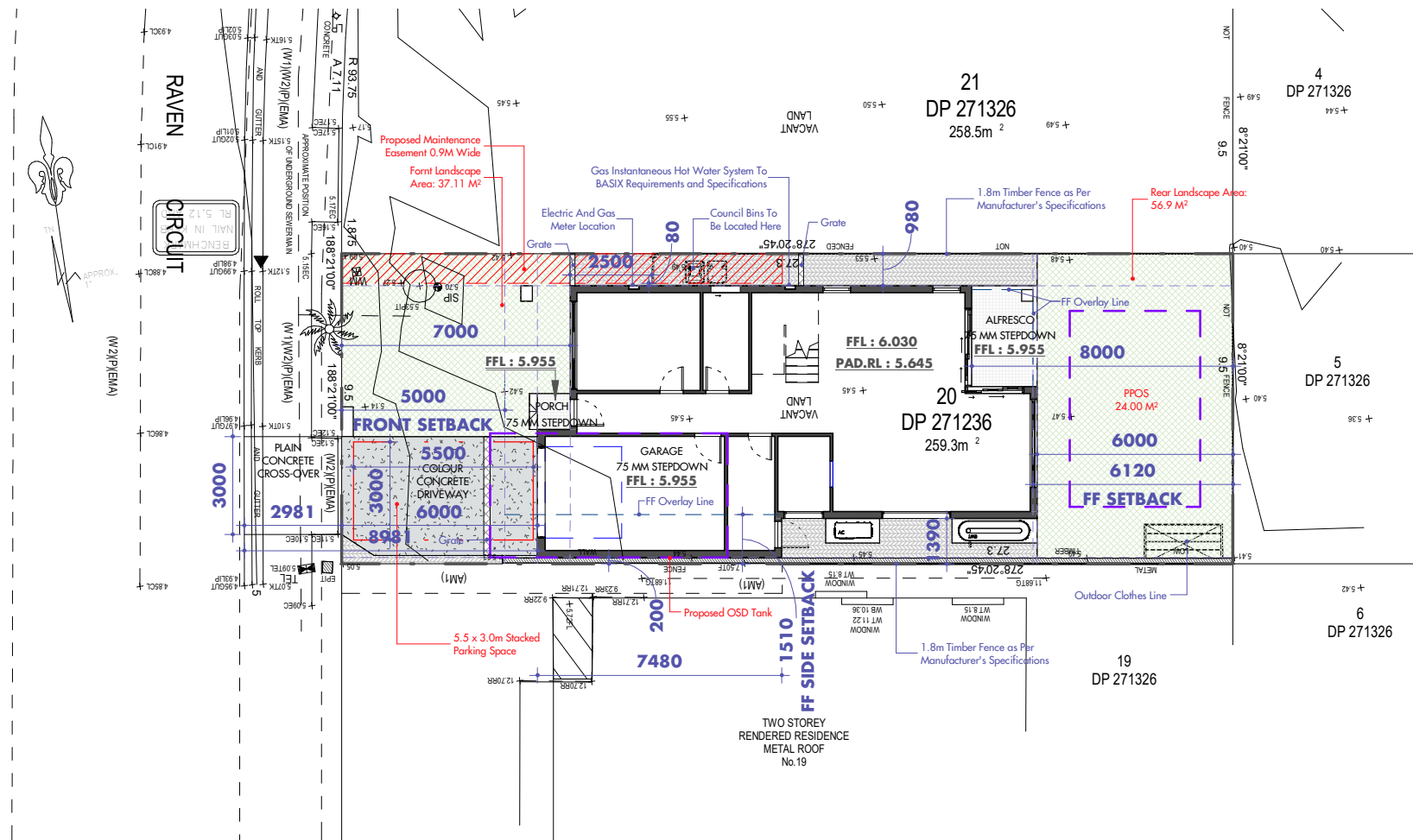




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1

SITE PLAN
1 : 200



Client Name : NEEV HOMES

Address : LOT 20 RAVEN CIRCUIT
WARRIEWOOD

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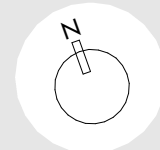
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R05	ISSUED TO CLIENT 23.01.2025	AK

Drawn by	Checked by
PM	YS



Project North



Scale

1 : 200 @ A3

SITE PLAN

A1.4.2

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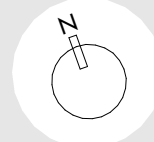
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Checked by

YS



Project North



Scale

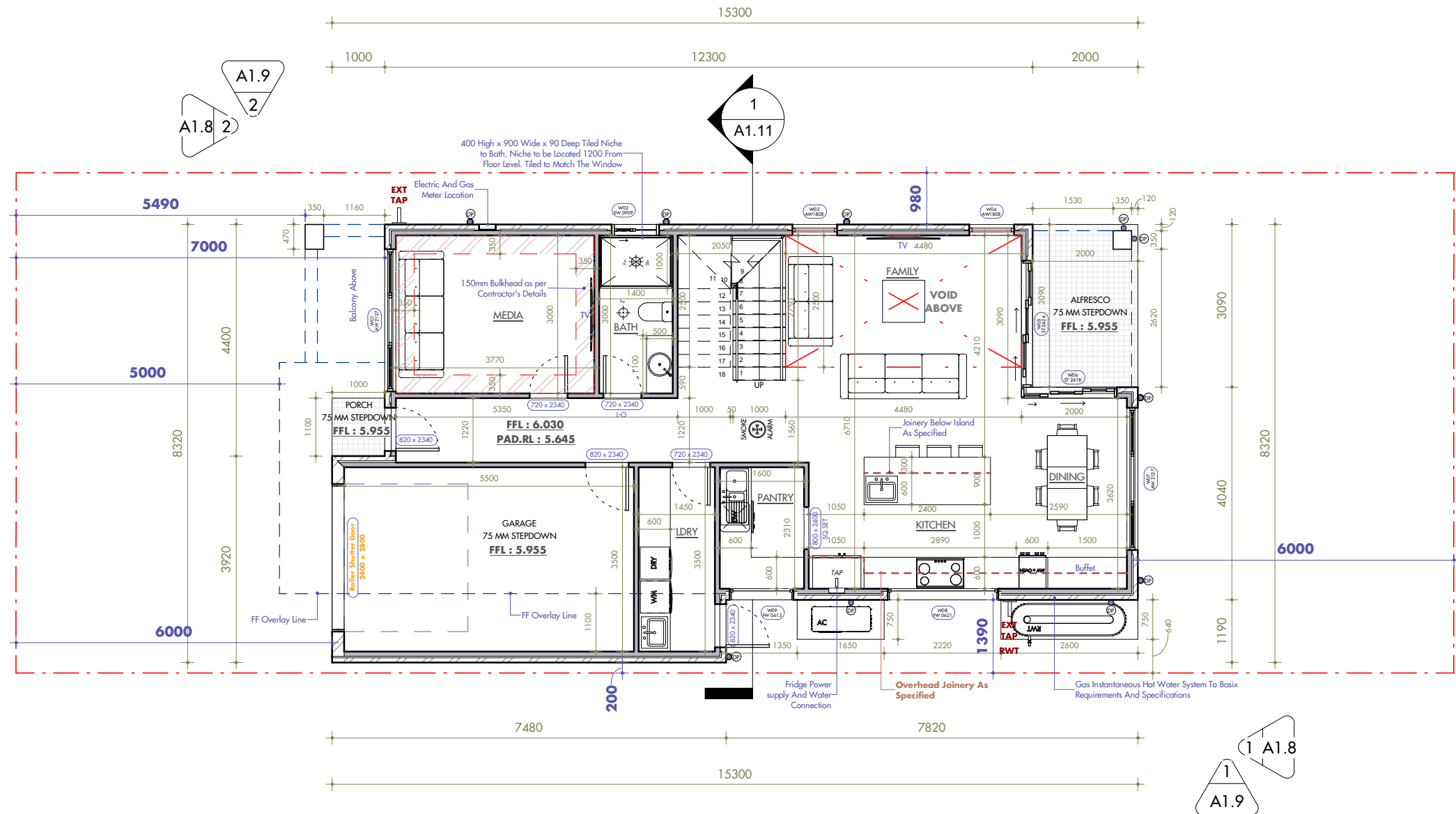
1 : 100 @ A3

GROUND FLOOR PLAN

A1.5

Sheet No.

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1

1.5 GROUND FLOOR LEVEL

1 : 100

WALL TYPES LEGEND

- 210MM THICK HEBEL WALL
- 230MM THICK BRICK WALL
- 90MM THICK TIMBER STUD WALL

NOTES

- Stair riser heights are to be calculated and verified by the builder upon selection of final floor finishes.
- Provide lift off hinges to the door of all water closets/bathrooms/ensuites if the door is within 1200mm of the closet pan in accordance with Clause 3.8.3.3 of Volume 2 of the BCA
- Architect plan to be in accordance with NCC Volume 2 Building Code of Australia 2022 & Housing Provisions Standard 2022.



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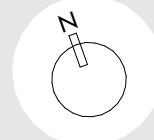
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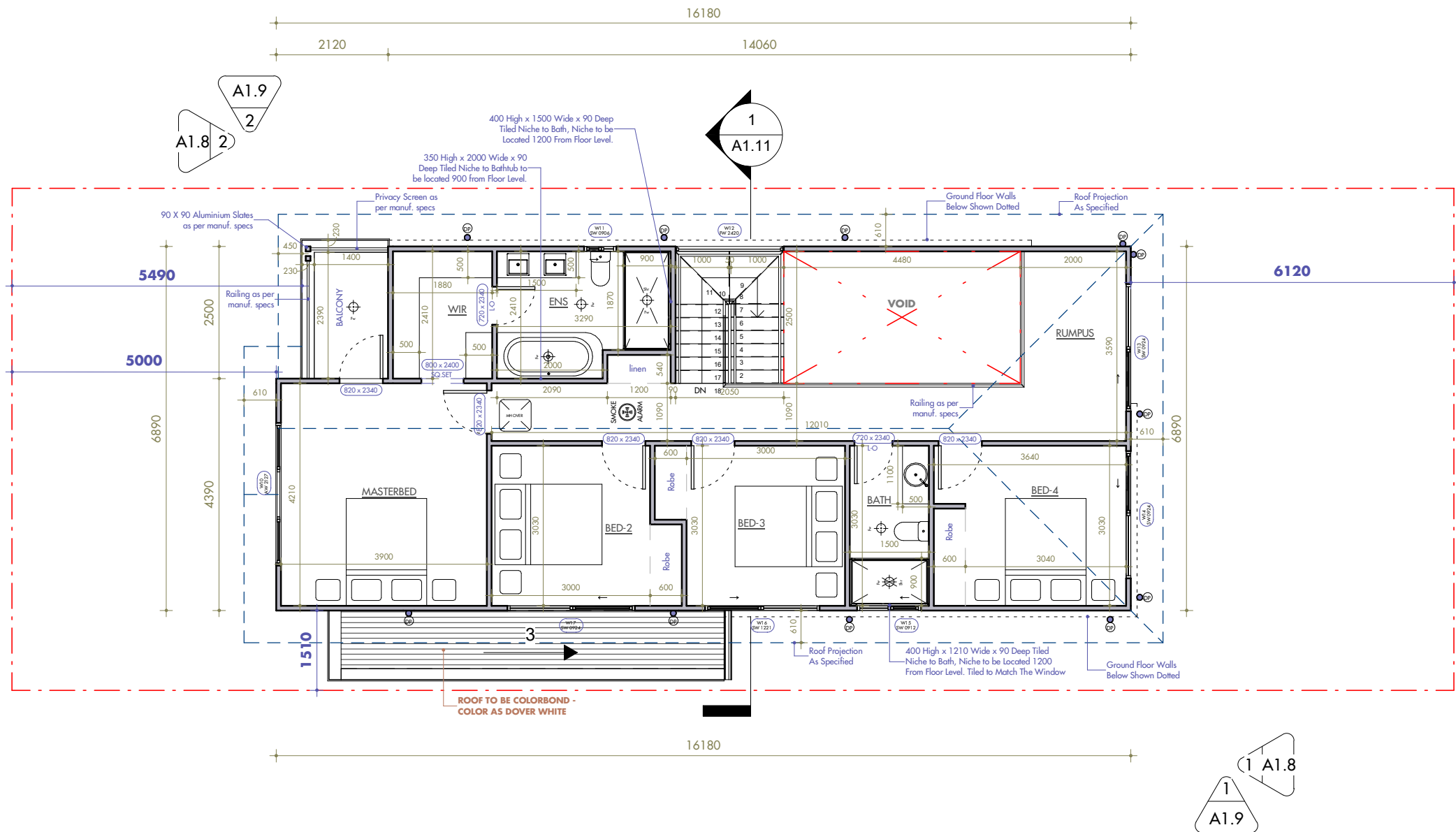
Project North



Scale 1 : 100 @ A3

FIRST FLOOR PLAN

A1.6



1.6 FIRST FLOOR LEVEL
1 : 100

WALL TYPES
LEGEND

- 210MM THICK HEBEL WALL
- 230MM THICK BRICK WALL
- 90MM THICK TIMBER STUD WALL

NOTES

- Stair riser heights are to be calculated and verified by the builder upon selection of final floor finishes.
- Provide lift off hinges to the door of all water closets/bathrooms/ensuites if the door is within 1200mm of the closet pan in accordance with Clause 3.8.3.3 of Volume 2 of the BCA
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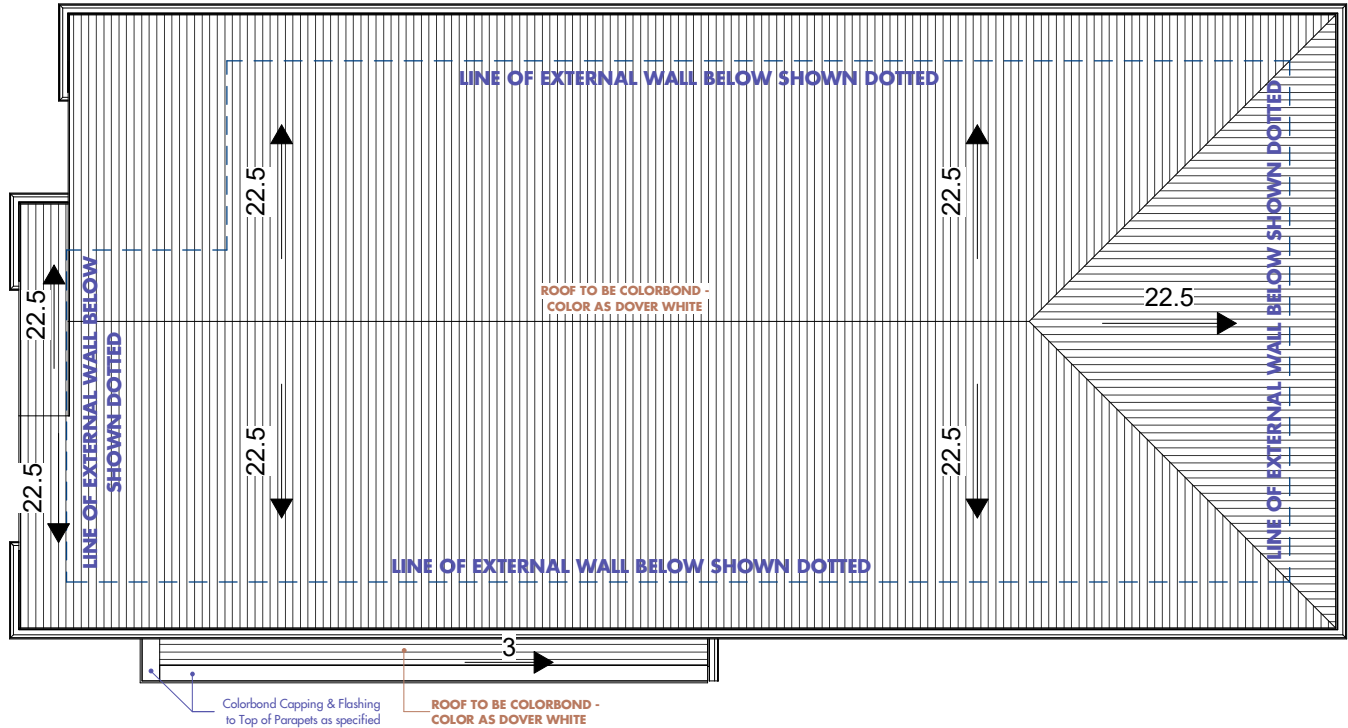
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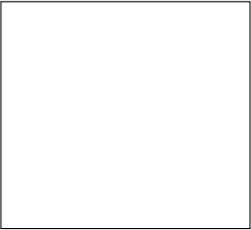
1.7 ROOF PLAN

1 : 100



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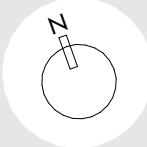
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Scale

1 : 100 @ A3

ROOF PLAN

A1.7

Sheet No.

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Window Schedule						
Mark	Type	Height	Width	Head Height	Sill Height	Level
W01	AW 2127	2100	2700	2400	300	GROUND FLOOR LEVEL
W02	SW 0909	900	900	2400	1500	GROUND FLOOR LEVEL
W03	AW1808	1810	850	2400	590	GROUND FLOOR LEVEL
W04	AW1808	1810	850	2400	590	GROUND FLOOR LEVEL
W05	ST 2424	2400	2400	2400	0	GROUND FLOOR LEVEL
W06	ST 2418	2400	1810	2400	0	GROUND FLOOR LEVEL
W07	AW 2127	2100	2700	2400	300	GROUND FLOOR LEVEL
W08	FW 0621	600	2100	1560	960	GROUND FLOOR LEVEL
W09	FW 0612	600	1210	1560	960	GROUND FLOOR LEVEL
W10	AW 2127	2100	2700	2400	300	FIRST FLOOR LEVEL
W11	SW 0906	900	610	-253	-1153	FIRST FLOOR CEILING LEVEL
W12	FW 2420	2400	2050	-253	-2653	FIRST FLOOR CEILING LEVEL
W13	SW 0924	900	2410	-253	-1153	FIRST FLOOR CEILING LEVEL
W14	SW 0924	900	2410	-253	-1153	FIRST FLOOR CEILING LEVEL
W15	SW 0912	900	1210	-253	-1153	FIRST FLOOR CEILING LEVEL
W16	SW 1221	1200	2170	-253	-1453	FIRST FLOOR CEILING LEVEL
W17	SW 0924	900	2410	-253	-1153	FIRST FLOOR CEILING LEVEL
Grand total: 17						

Door Schedule						
Type	Height	Width	Head Height	Level	Comments	
2400 x 2800	2400	2800	2325	GROUND FLOOR LEVEL		
720 x 2340	2340	720	2340	GROUND FLOOR LEVEL		
820 x 2340	2340	820	2340	GROUND FLOOR LEVEL		
800 x 2400	2400	800	2400	GROUND FLOOR LEVEL	SQ SET	
720 x 2340	2340	720	2340	GROUND FLOOR LEVEL	L-O	
820 x 2340	2340	820	2340	GROUND FLOOR LEVEL		
720 x 2340	2340	720	2340	GROUND FLOOR LEVEL		
820 x 2340	2340	820	2340	GROUND FLOOR LEVEL		
820 x 2340	2340	820	2340	FIRST FLOOR LEVEL		
820 x 2340	2340	820	2340	FIRST FLOOR LEVEL		
720 x 2340	2340	720	2340	FIRST FLOOR LEVEL	L-O	
820 x 2340	2340	820	2340	FIRST FLOOR LEVEL		
820 x 2340	2340	820	2340	FIRST FLOOR LEVEL		
820 x 2340	2340	820	2340	FIRST FLOOR LEVEL		
800 x 2400	2400	800	2400	FIRST FLOOR LEVEL	SQ SET	
720 x 2340	2340	720	2340	FIRST FLOOR LEVEL	L-O	
Grand total: 17						

NOTES

Mark protection of operable windows clause 11.3.7 of the Housing Provisions 2022

(1)A window opening in a bedroom must be provided with protection, where the floor below the window is 2 m or more above the surface beneath.

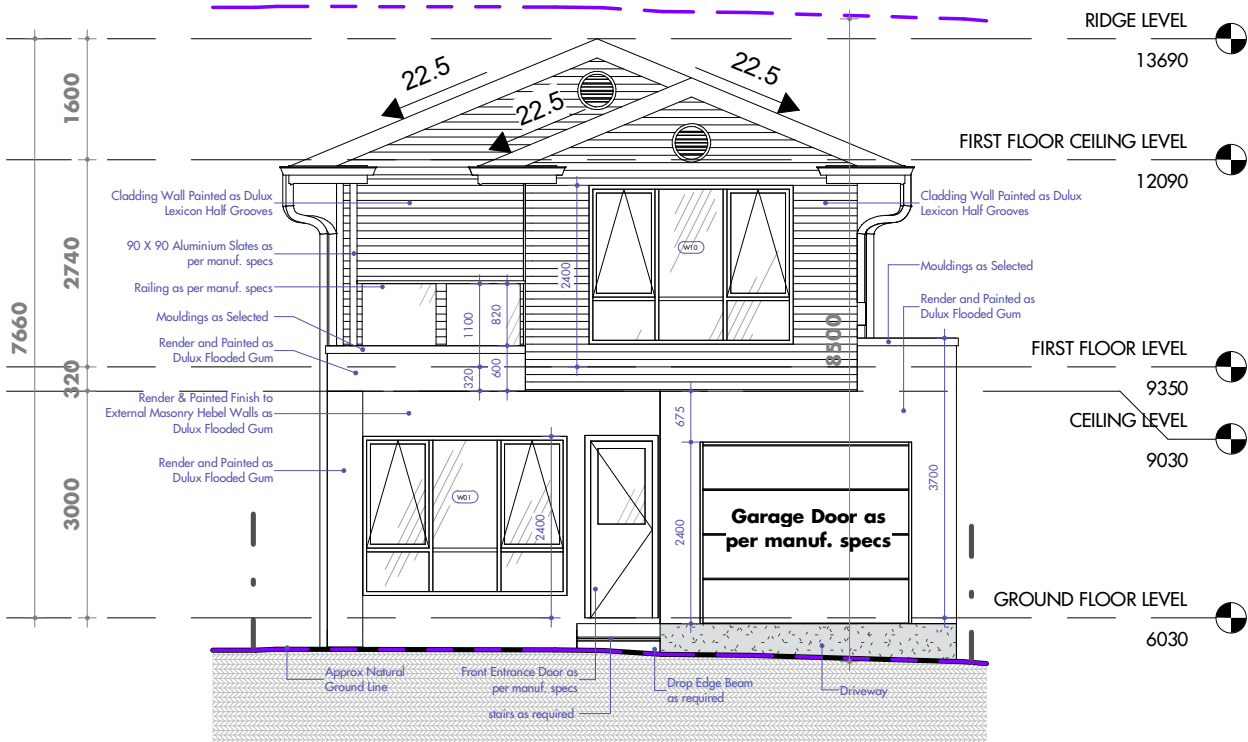
(2)Where the lowest level of the window opening covered by (1) is less than 1.7 m above the floor, the window opening must comply with the following:

The openable portion of the window must be protected with—
a device capable of restricting the window opening; or
a screen with secure fittings.
A device or screen required by (a) must—
not permit a 125 mm sphere to pass through the window opening or screen; and
resist an outward horizontal action of 250 N against the—
window restrained by a device; or
screen protecting the opening; and
have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.
(3)Where a device or screen provided in accordance with (2)(a) is able to be removed, unlocked or overridden, a barrier with a height not less than 865 mm above the floor is required to an openable window in addition to window protection.

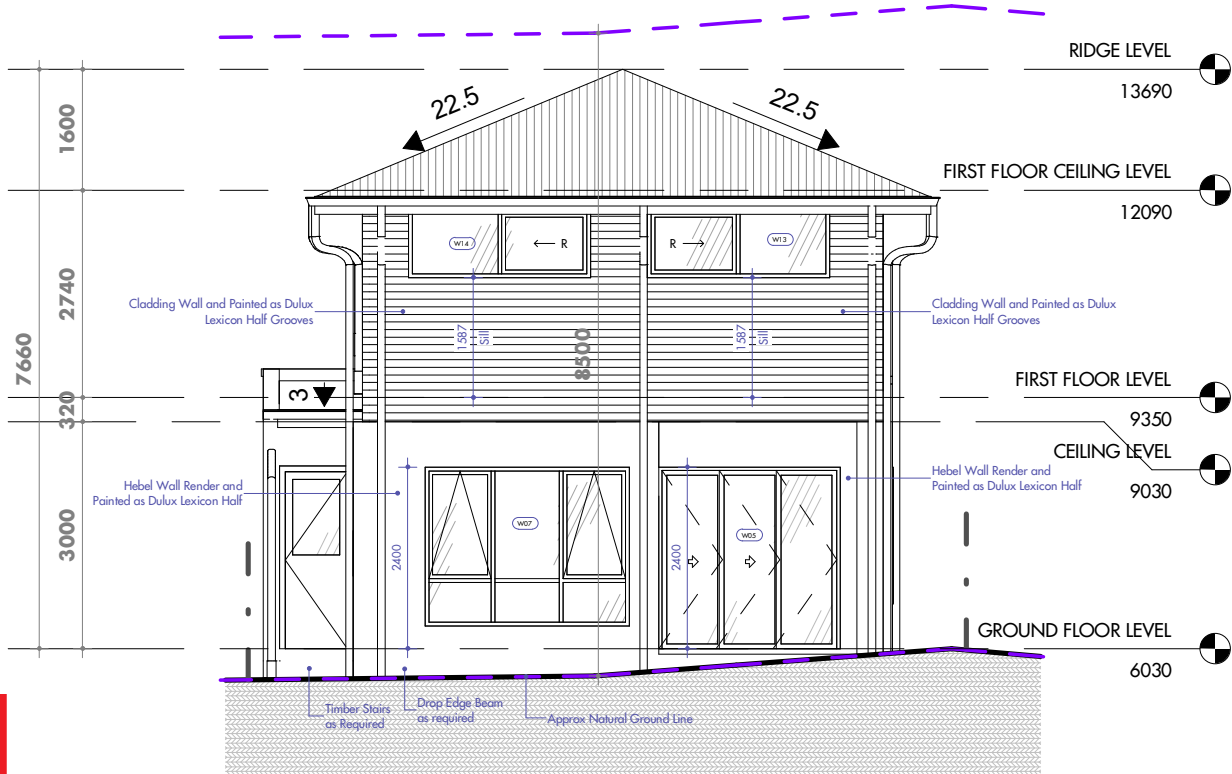


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2 North East
1 : 100



South West
1 : 100



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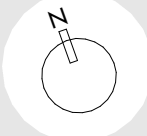
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PM	YS



Project North



Scale

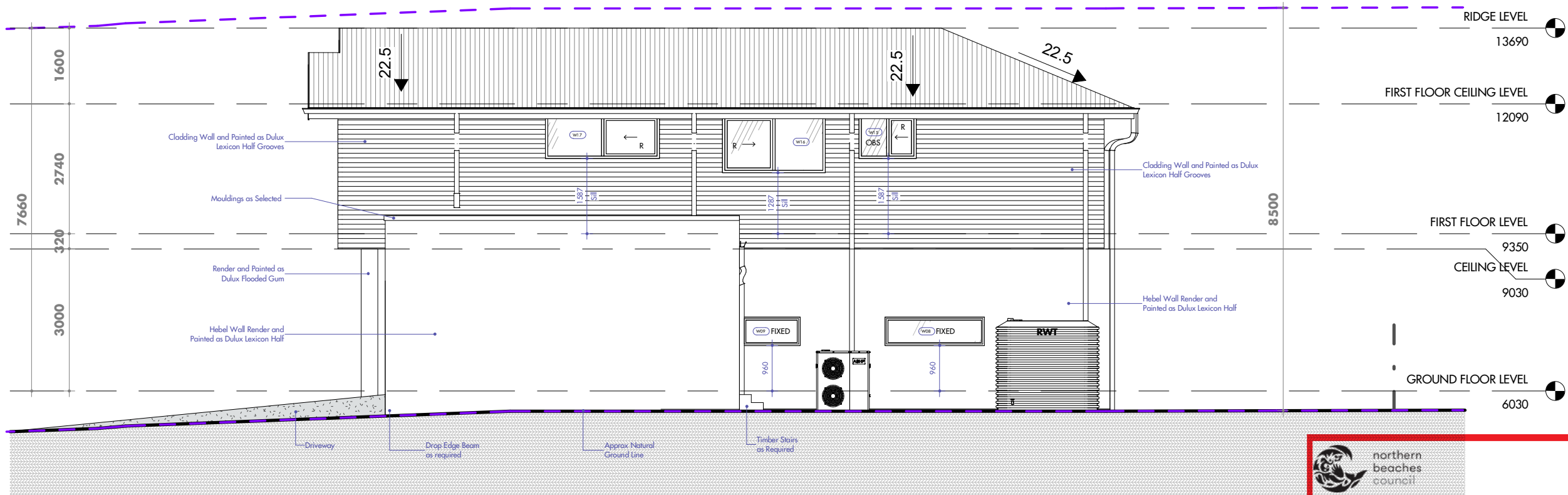
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ELEVATION SHEET 1

A1.8

Sheet No.

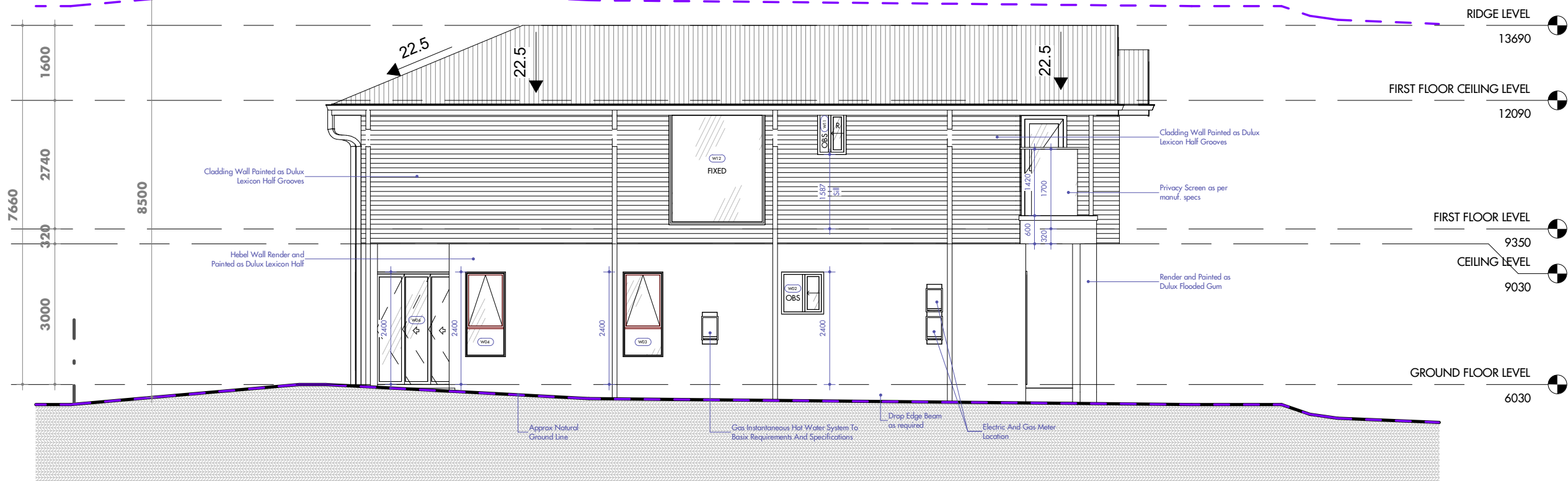
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1 South East
1 : 100

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2 North West
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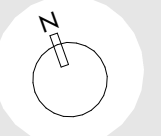
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ELEVATION SHEET 2

A1.9

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TAG	IMAGE	DESCRIPTION	ITEM
RN1		DULUX FLOODED GUM	RENDER
RN2		DULUX LEXICON HALF	RENDER
CL1		DULUX LEXICON HALF GROOVES	CLADDING
MD		DULUX LEXICON HALF	MOULDING
AS		AS SELECTED	ALUMINIUM POST
RC		COLORBOND DOVER WHITE	ROOF COVERING
GD		AS SELECTED	GARAGE DOOR SLIMLINE SECTIONAL PROFILE
GFC		COLORBOND DOVER WHITE	GUTTER, FASCIA & DOWNPIPES COLORBOND
WDC		COLORBOND MONUMENT	WINDOWS & SLIDING DOORS ALUMINIUM POWDERCOATED
FD		AS SELECTED	FRONT DOOR PMAD104 1200W
CCD		AS SELECTED	COLOURED CONCRETE DRIVEWAY
FC		AS SELECTED	1.8M HIGH LAPPED AND CAPPED TIMBER FENCE



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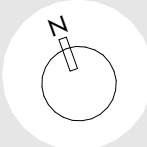
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PM	YS



Project North



Scale 1 : 200 @ A3

MATERIAL SCHEDULE

A1.10

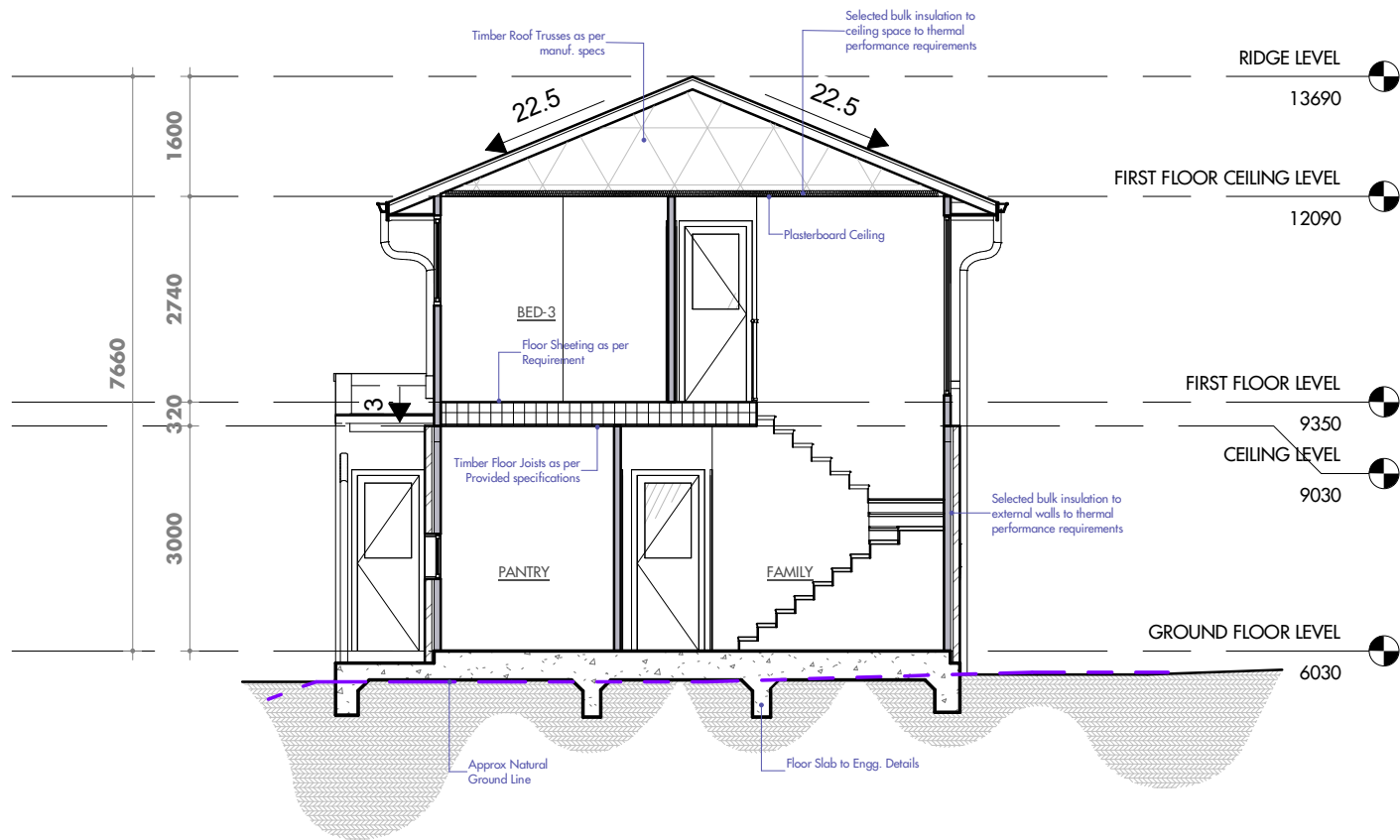
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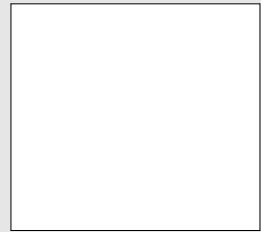


1 Section 1
1 : 100



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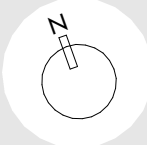
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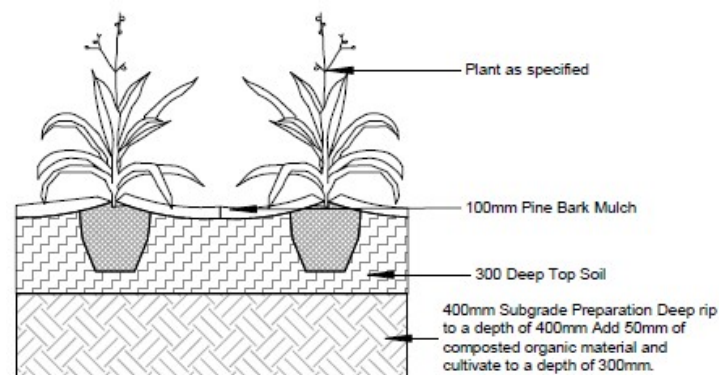
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SECTIONS

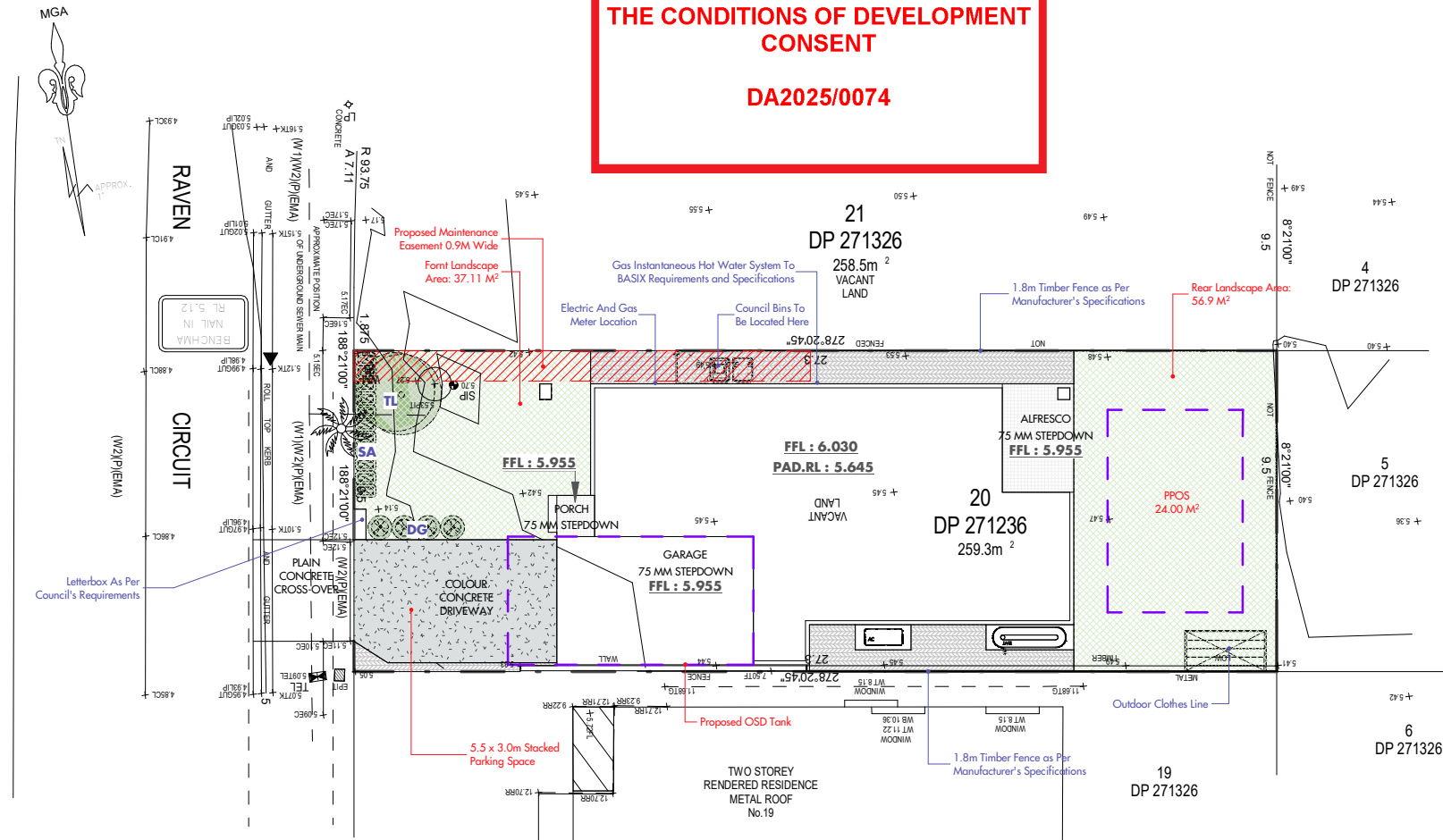
A1.11

1. THIS PLAN INDICATES THE GENERAL LANDSCAPE ARRANGEMENT ONLY AND IS NOT FOR CONSTRUCTION.
2. ALL WEEDS TO BE REMOVED FROM SITE BY PHYSICAL REMOVAL OR BY SPRAYING HERBICIDE.
3. ALL LANDSCAPED AREA TO HAVE A MINIMUM 1:100 FALL TO STORMWATER OUTLET POINT. REFER TO DRAINAGE DIAGRAM.
4. MULCH LEVEL IN GARDEN BEDS IS TO BE MAINTAINED MINIMUM AT 75mm.
5. EXCAVATE HOLE FOR PLANTING 200mm DEEPER AND 300mm WIDER THAN THE SIZE OF THE POT.
6. ALL GARDEN BEDS ARE TO BE PREPARED WITH A MIX OF GOOD QUALITY TOPSOIL AND ORGANIC FERTILIZER TO A DEPTH OF 300mm AS SHOWN IN THE TREE PLANTING DETAIL.
7. TURF AREAS ARE TO BE PREPARED WITH A MINIMUM OF 150mm GOOD QUALITY TOPSOIL.
8. ALL PLANTS ARE TO BE PERIODICALLY PRUNED TO AN APPROPRIATE SIZE AND SPREAD.
9. ALL FLOOR LEVELS SHOWN ARE APPROXIMATE ONLY.
10. EXACT LEVELS TO BE DETERMINED ON SITE.
11. NOMINATED PLATFORM LEVELS MAY VARY PLUS OR MINUS 100mm.

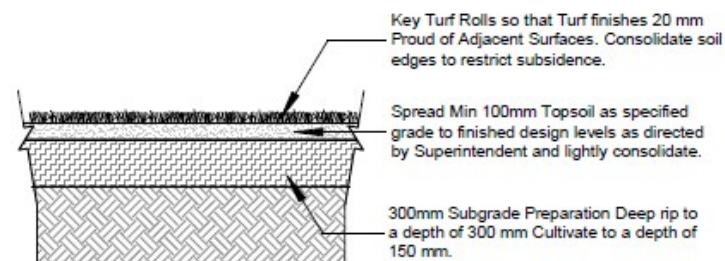
PLANTING SCHEDULE						
Mark	Type	NATIVE	POT SIZE	HEIGHT	Count	Image
HEDGE						
SA	Syzygium australe 'Aussie Southern'	YES	200MM	2m	11	
SHRUB						
DG	Duranta Mini Gold	YES	150MM	500mm	4	
TREE						
TL	Tristaniopsis laurina 'Luscious'	YES	45L	8M	1	



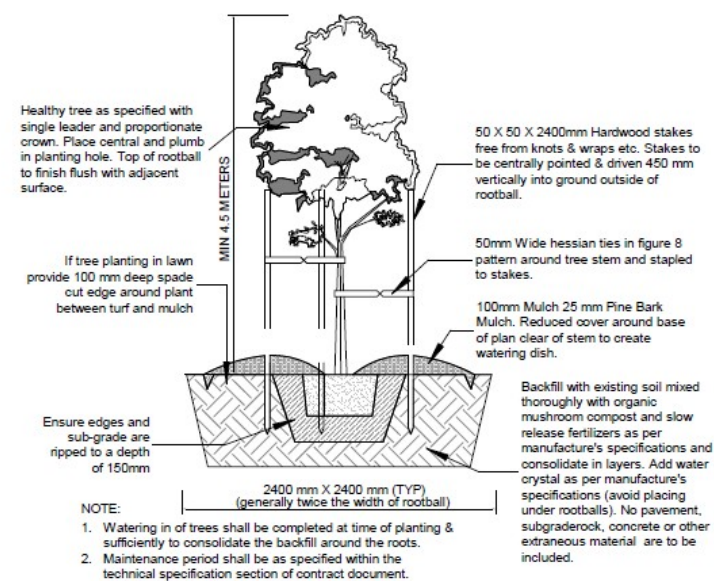
TYPICAL SHRUB/GROUND COVER
PLANTING DETAIL
Not To Scale



1 LANDSCAPE PLAN
1 : 200



TURFING DETAIL
Not To Scale



200 lt TREE PLANTING DETAIL IN GRASS
Not To Scale

Client Name : **NEEV HOMES**

Address : **LOT 20 RAVEN CIRCUIT
WARRIWOOD**

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General Notes

- The builder shall check and verify all dimensions and verify all errors and omissions to the White Project Co.
- Not to scale drawings. Drawings shall not be used for construction purposes until issued by The White Project Co. marked FOR CONSTRUCTION
- The White Project Co. accepts no responsibility for the accuracy, compatibility and completeness of the data transferred electronically. The recipient should, where necessary, request a hardcopy for verification.
- All construction to comply with Building Code of Australia and applicable Australian standards
- Do not scale from this drawing – use dimensioned dimensions
- The Client is to not delete or alter the information detailed within this document. The White Project Co. will assume the design and documentation satisfies the client's Principal's Project Requirements if the White Project Co. receives no written advice to the contrary within 32 calendar days of the date of completion of the drawings.
- Information detailed in drawing remains for information only and may not be indicative of all changes made
- Builder and/or Subcontractor to confirm setouts, levels, setbacks and dimensions on the ground against all services features and fittings prior to and during the works. Notifying Architect for any conflicts discovered prior to proceeding

Revisions	Revision Information	Drawn By
R01	ISSUED TO CLIENT 27.11.2024	FM
R02	ISSUED TO CLIENT 04.12.2024	FM
R03	ISSUED TO CLIENT 14.12.2024	AB
R04	ISSUED TO CLIENT 16.12.2024	FM
R05	ISSUED TO CLIENT 23.01.2025	AK

Drawn by	Checked by
PM	YS



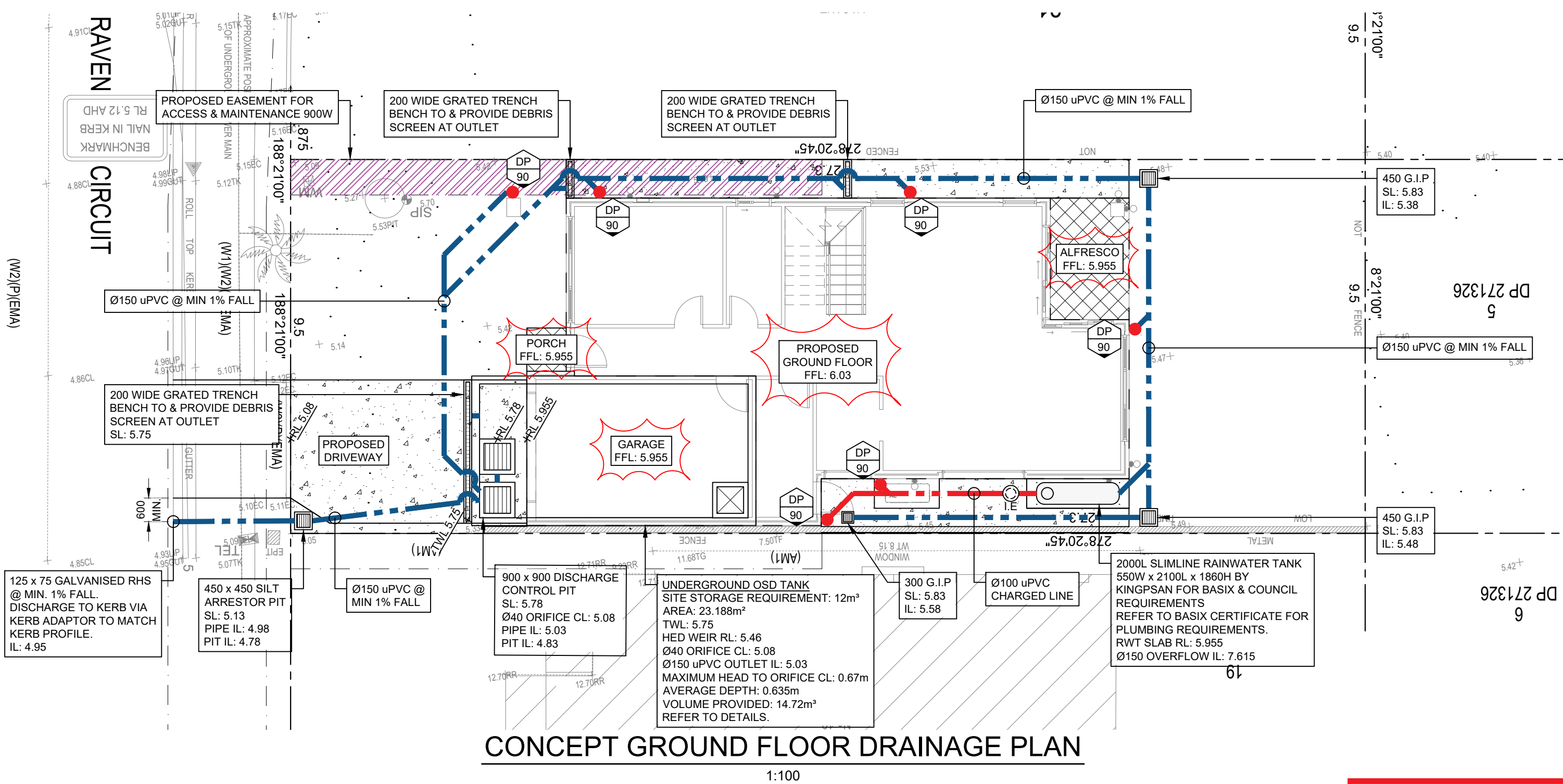
Project North



Scale 1 : 200 @ A3

LANDSCAPE PLAN

A1.15



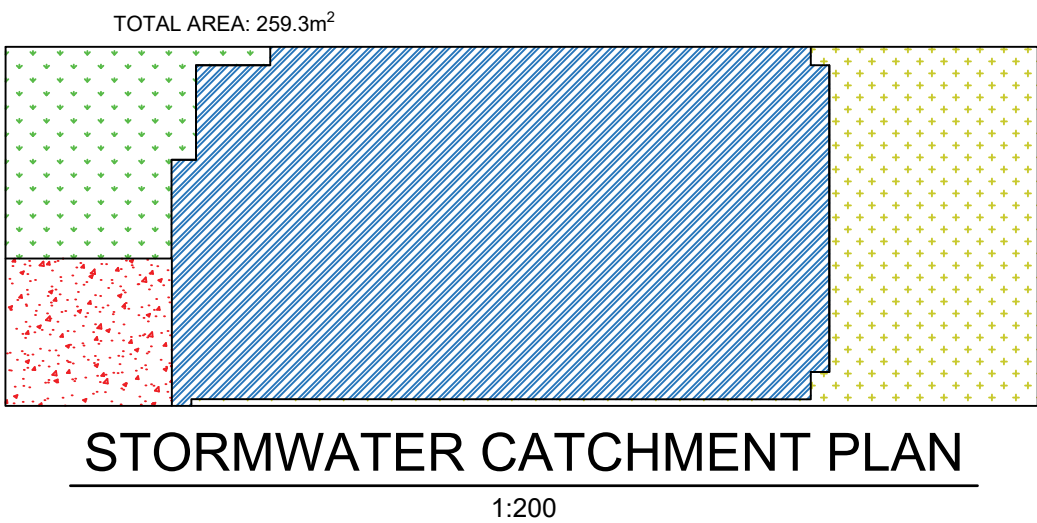
NORTHERN BEACHES COUNCIL - REGION 1
ON-SITE DETENTION (OSD) WARRANT

SITE AREA: 259.3m²
PROPOSED INCREASE IN IMPERVIOUS AREA: 176.0m²

OSD TANK REQUIREMENTS FROM TABLE 7
SSR: 12.000L
PSD: 6L/s

REFER TO ON-SITE DETENTION CALCULATION FOR DISCHARGE CONTROL AND STORAGE CALCULATIONS.

- IMPERVIOUS AREA BYPASSING OSD: 17.2m² (6.6%)
- IMPERVIOUS AREA TO OSD: 158.8m² (61.2%)
- PERVIOUS AREA BYPASSING OSD: 27.5m² (10.6%)
- PERVIOUS AREA TO OSD: 55.9m² (21.6%)



ON-SITE DETENTION CALCULATION:

PROPOSED SITE AREA = 259.3m²

PRE-DEVELOPMENT CONDITIONS:
ASSUMED PERVIOUS AREA = 259.3m² (100%)

POST-DEVELOPMENT CONDITIONS:
IMPERVIOUS AREA BYPASSING OSD = 17.2m² (6.6%)
IMPERVIOUS AREA TO OSD = 158.8m² (61.2%)
PERVIOUS AREA BYPASSING OSD = 27.5m² (10.6%)
PERVIOUS AREA TO OSD = 55.9m² (21.6%)

VOLUME CALCULATED USING DRAINS SOFTWARE:
LIMIT POST-DEVELOPMENT PEAK TO 6L/s FOR ALL STORM EVENTS UP TO THE 1% AEP AS PER COUNCIL REQUIREMENTS.

OUTPUTS
ORIFICE DIAMETER = 40mm
OSD VOLUME REQUIRED = 12m³
OSD VOLUME PROVIDED = 14.72m³

STORM EVENT	PRE DEVELOPMENT	POST DEVELOPMENT
	TOTAL FLOW L/S	TOTAL FLOW L/S
20% AEP	7	3
5% AEP	11	4
1% AEP	15	5

CONCEPT ONLY
NOT FOR CONSTRUCTION

NOTE
DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS FOR LEVELS, STEPS, DIMENSIONS AND SETOUT. VERIFY DIMENSIONS ON SITE. THE ENGINEER SHALL BE NOTIFIED OF ANY VARIATIONS TO THAT SHOWN ON STRUCTURAL PLANS BEFORE COMMENCEMENT OF WORKS

REV	DATE	DESCRIPTION	BY
A	22.01.2025	ISSUED FOR DA	J.L

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SDSEngineering

Unit 50 Level 1 / 11-21 Underwood Road,
Homebush NSW 2140
www.sdsengineering.com.au

PROPOSED SINGLE DWELLING AT: LOT 20 RAVEN CIRCUIT, WARRIWOOD NSW 2102 FOR: NEEV HOMES	JOB NUMBER: 250018	DWG NUMBER: C001	ORIGINAL SIZE: A1
	DESIGNED BY: J.L	DATE: 22/01/2025	
	DRAWN BY: J.L	SCALE: AS SHOWN	