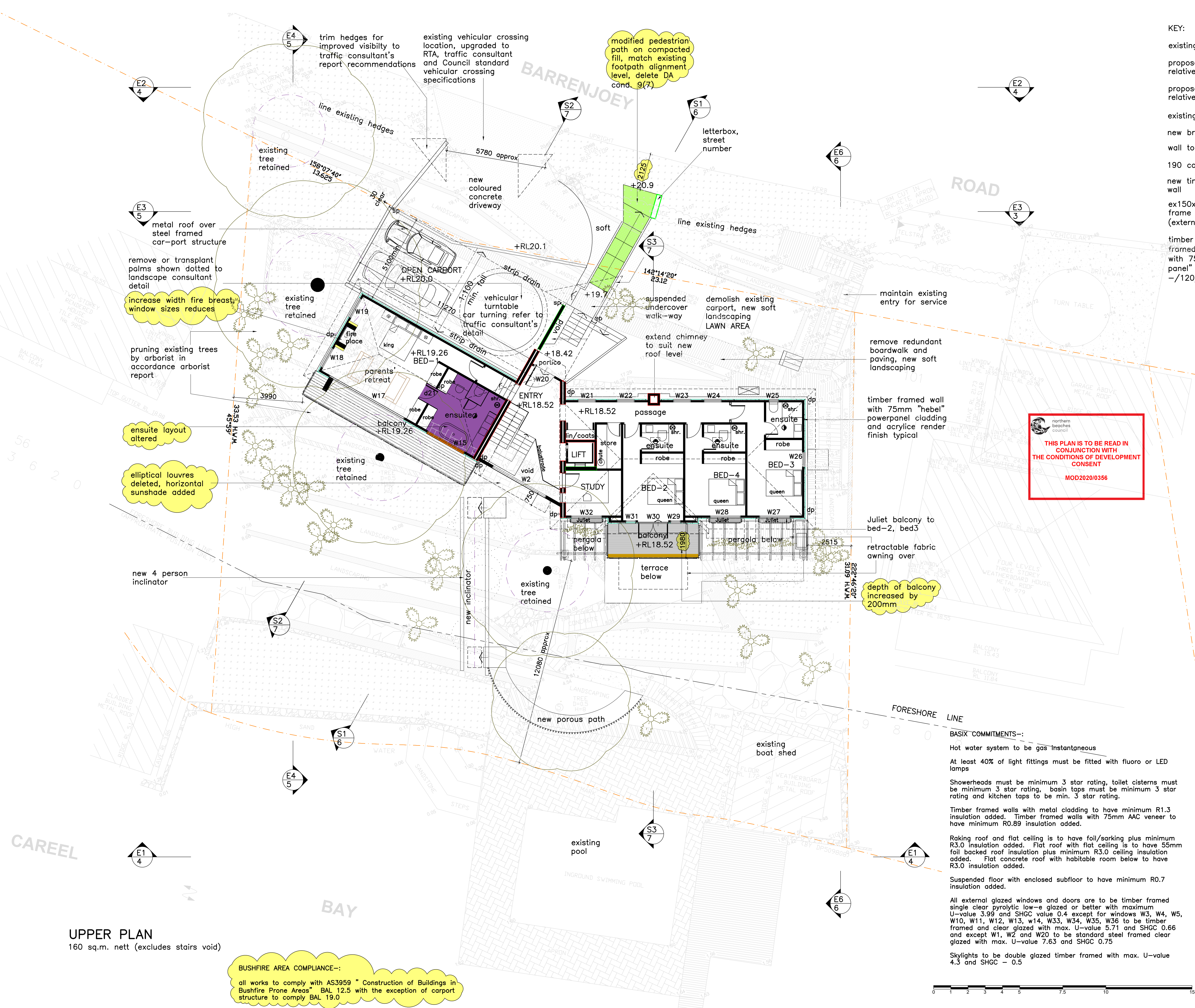
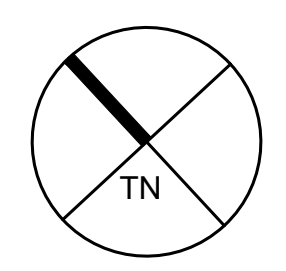




- KEY:
- existing relative level +RL21.55
 - proposed structural relative level +RL21.55
 - proposed finished relative level +RLfin21.55
 - existing wall
 - new brick wall
 - wall to demolish
 - 190 concrete block wall
 - new timber framed wall
 - ex150x50 H2 grade F8 light timber frame where wall height over 3.0m (external wall at 450cc)
 - timber framed or light steel framed wall (at 450cc) as above with 75mm external "hebel power panel" wall lining to achieve FRL -/120/120



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2020/0356

Letter	Revisions/Issue	Date	By
K	DA/4.55/4.55 amended as indicated	2/07/20	PD
J	incorporate council feedback	8/01/20	PD
I	split level design	16/02/19	PD
H	general update	27/11/19	PD
G	incorporate feedback	12/11/19	PD
F	clear tree root zones	28/01/19	PD
E	all relocated	1/10/19	PD
D	landscape amendments	2/10/19	PD
C	correspondence	24/08/19	PD
B	preliminary issues B	18/08/19	PD
A	preliminary issues	15/08/19	PD

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Project
ALTERATIONS and ADDITIONS for MORRIS SYMONDS and IRENE DEUTSCH

Address
981 BARRENJOEY ROAD,
PALM BEACH
"SANDY POINT LODGE"

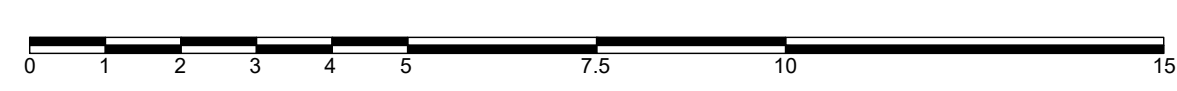
Drawing
SCHEME-F
SITE AND UPPER FLOOR PLAN

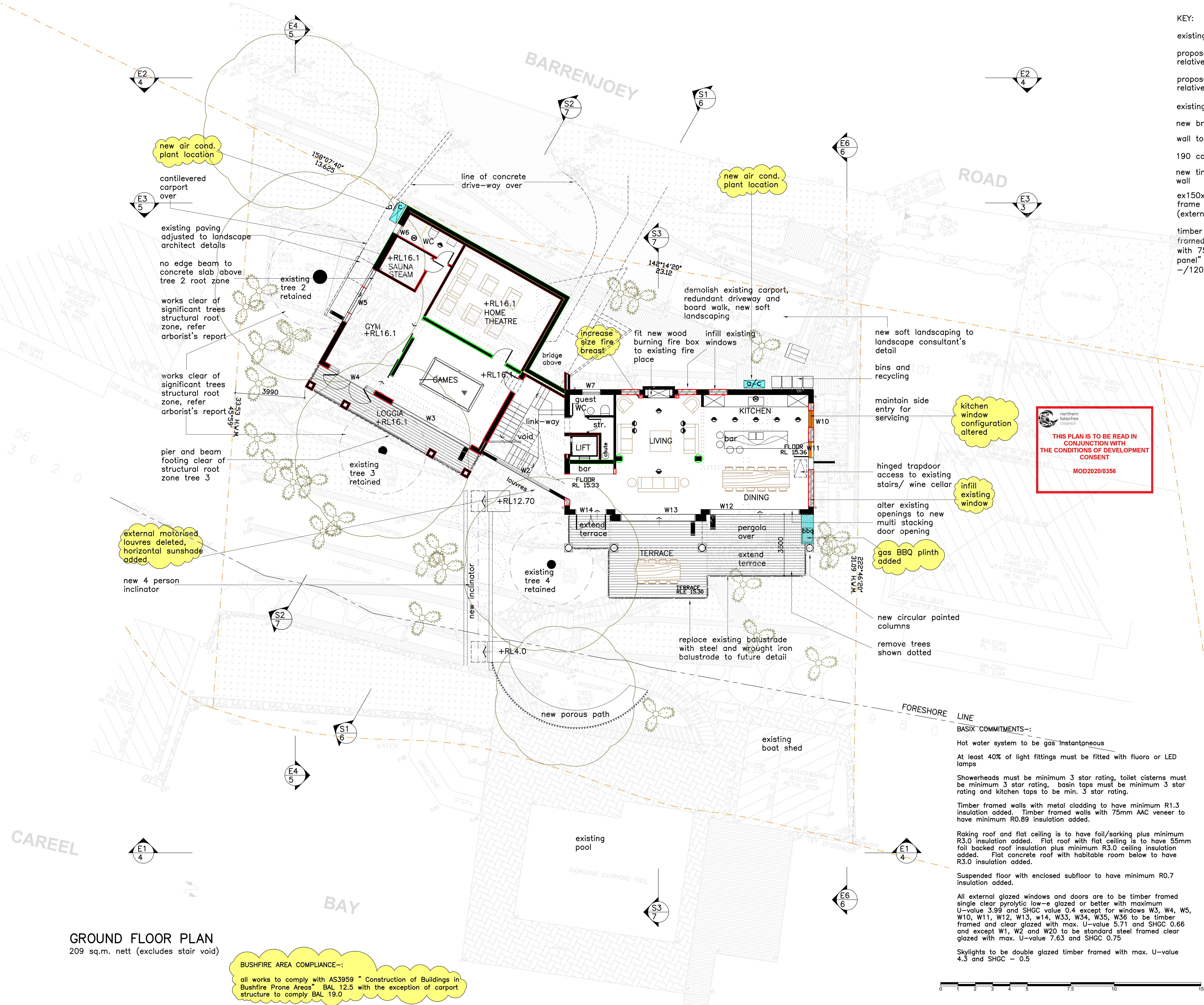
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Scales	1:100 (1:200 - A3)	A1
Date	August 2019	
Project Number		Issue

1922 - 1 of 8 K

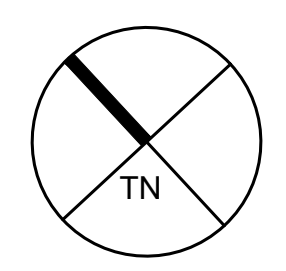
UPPER PLAN
160 sq.m. nett (excludes stairs void)

BUSHFIRE AREA COMPLIANCE:-
all works to comply with AS3959 "Construction of Buildings in Bushfire Prone Areas" BAL 12.5 with the exception of carport structure to comply BAL 19.0





- KEY:
- existing relative level $+RL21.55$
 - proposed structural relative level $+RL21.55$
 - proposed finished relative level $+RLfin21.55$
 - existing wall
 - new brick wall
 - wall to demolish
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 - ex150x50 H2 grade F8 light timber frame where wall height over 3.0m (external wall at 450cc)
 - timber framed or light steel framed wall (at 450cc) as above with 75mm external "hebel power panel" wall lining to achieve FRL -/120/120



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2020/0356

K	DA/outline/4.55 amended as indicated	2/07/20	PD
J	incorporate location altered	8/07/20	PD
L	split level design	16/07/20	PD
M	general update	27/11/19	PD
N	incorporate released	28/01/19	PD
F	clear tree root zones	28/01/19	PD
E	fit relocated	1/10/19	PD
C	basement amendments	25/09/19	PD
D	consultation	24/09/19	PD
B	preliminary issues R	18/09/19	PD
A	preliminary issue	15/09/19	PD

Letter	Revisions/Issue	Date	By
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Project
ALTERATIONS and ADDITIONS for MORRIS SYMONDS and IRENE DEUTSCH

Address
981 BARRENJOEY ROAD, PALM BEACH "SANDY POINT LODGE"

Drawing
SCHEME-F GROUND FLOOR PLAN

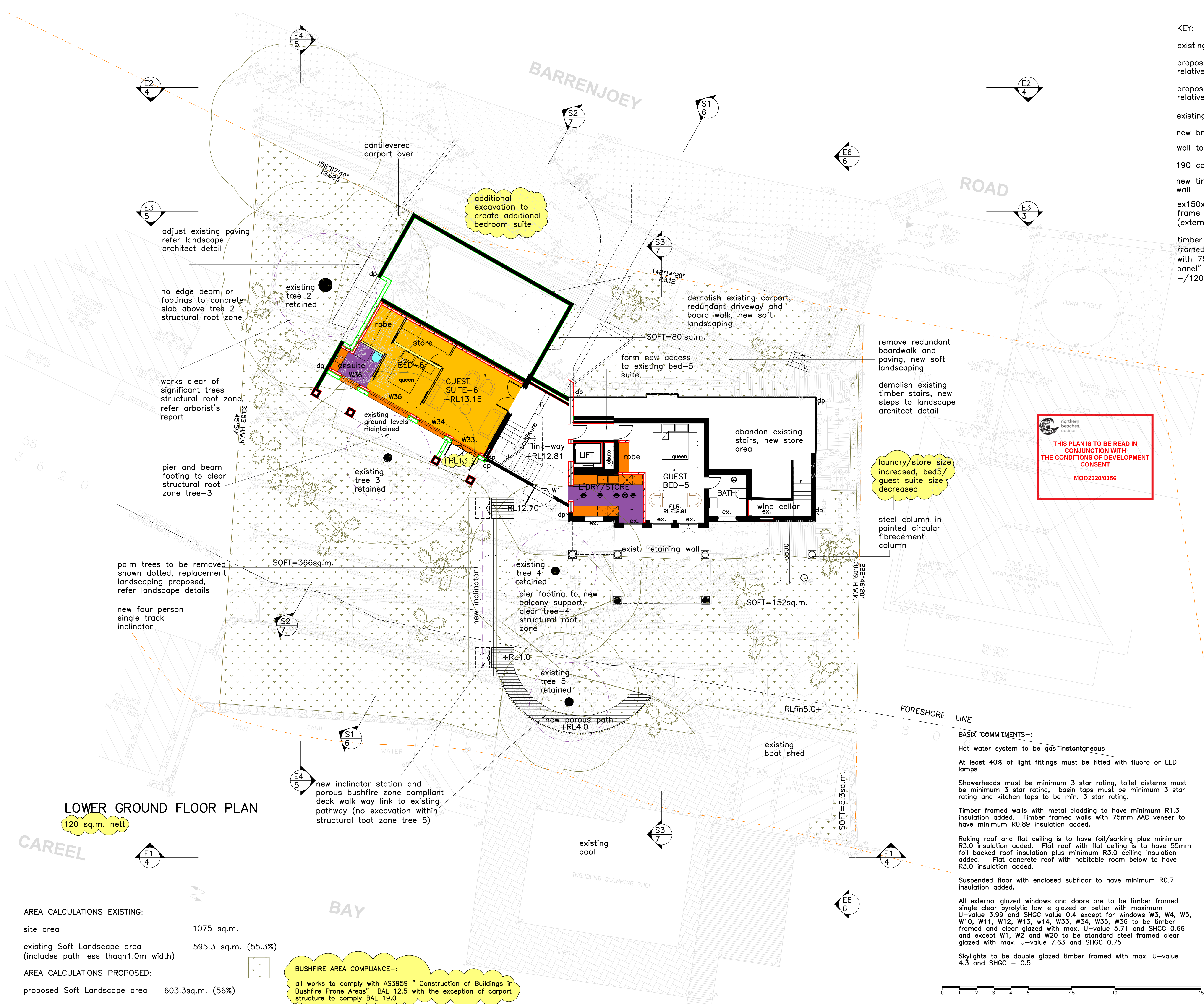
Drawn	PDP	Sheet size
Scales	1:100 (1:200 - A3)	A1
Date	August 2019	
Project Number		Issue

1922 - 2 of 8 K

GROUND FLOOR PLAN
209 sq.m. nett (excludes stair void)

BUSHFIRE AREA COMPLIANCE--:
all works to comply with AS3959 "Construction of Buildings in Bushfire Prone Areas" BAL 12.5 with the exception of carport structure to comply BAL 19.0

AMEND 4.55 2/07/20



KEY:

existing relative level	+RL21.55
proposed structural relative level	+RL21.55
proposed finished relative level	+RLfin21.55
existing wall	
new brick wall	
wall to demolish	
190 concrete block wall	
new timber framed wall	
ex150x50 H2 grade F8 light timber frame where wall height over 3.0m (external wall at 450cc)	
timber framed or light steel framed wall (at 450cc) as above with 75mm external "hebel power panel" wall lining to achieve FRL -/120/120	

K	DA approval 4.55 amended as indicated	2/07/20	PD
J	incorporate conditions	8/01/20	PD
I	incorporate conditions	16/02/19	PD
H	split level design	27/11/19	PD
G	general update	28/01/19	PD
F	incorporate feedback	28/01/19	PD
E	incorporate feedback	14/01/19	PD
D	incorporate feedback	25/09/18	PD
C	incorporate feedback	15/09/18	PD
B	incorporate feedback	15/09/18	PD

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ALTERATIONS and ADDITIONS for
MORRIS SYMONDS and
IRENE DEUTSCH

Address
981 BARRENJOEY ROAD,
PALM BEACH
"SANDY POINT LODGE"

Drawing
SCHEME-F
LOWER GROUND FLOOR PLAN

Drawn	PDP	Sheet size
Scales	1:100 (1:200 - A3)	A1
Date	August 2019	
Project Number		Issue

1922 - 3 of 8

K

AMEND 4.55 - 2/07/20

LOWER GROUND FLOOR PLAN
120 sq.m. nett

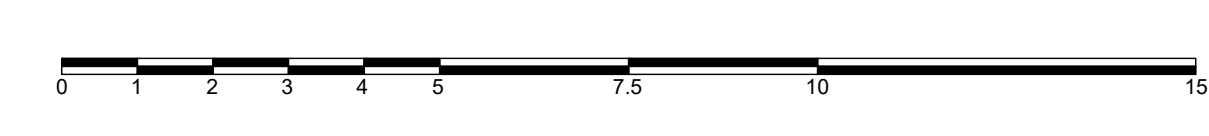
AREA CALCULATIONS EXISTING:

site area	1075 sq.m.
existing Soft Landscape area (includes path less than 1.0m width)	595.3 sq.m. (55.3%)

AREA CALCULATIONS PROPOSED:

proposed Soft Landscape area	603.3sq.m. (56%)
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BUSHFIRE AREA COMPLIANCE:-
all works to comply with AS3959 "Construction of Buildings in Bushfire Prone Areas" BAL 12.5 with the exception of carport structure to comply BAL 19.0



all works to comply with AS3959 "Construction of Buildings in Bushfire Prone Areas" BAL 12.5 with the exception of carport structure to comply BAL 19.0

acrylic coloured render on brick	R1
acrylic render on hebel	R2
painted steel or wrought iron	PS
clear finish hardwood	TM
anodised aluminium	AN
matt "colorbond" ultra	CB
obscure glazing	

Skylights to be double glazed timber framed with max. U-value 4.3 and SHGC – 0.5

Letter	Revisions/Issue	Date	By
K	DA clause 4.5.5 amend as indicated in revision clouds	2/07/20	PD
J	incinerator location altered	8/01/20	PD
I	split level design	16/12/19	PD
H	general update	27/11/19	PD
G	incinerator location altered	12/11/19	PD
F	clear tree root zones	28/10/19	PD
E	RT relocated	11/09/19	PD
D	fascade amendments	30/09/19	PD
C	consultant issue issue	24/09/19	PD
A	preliminary issue	19/10/16	PD

Letter	Revisions/Issue	Date	By
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IRENE DEUTSCH

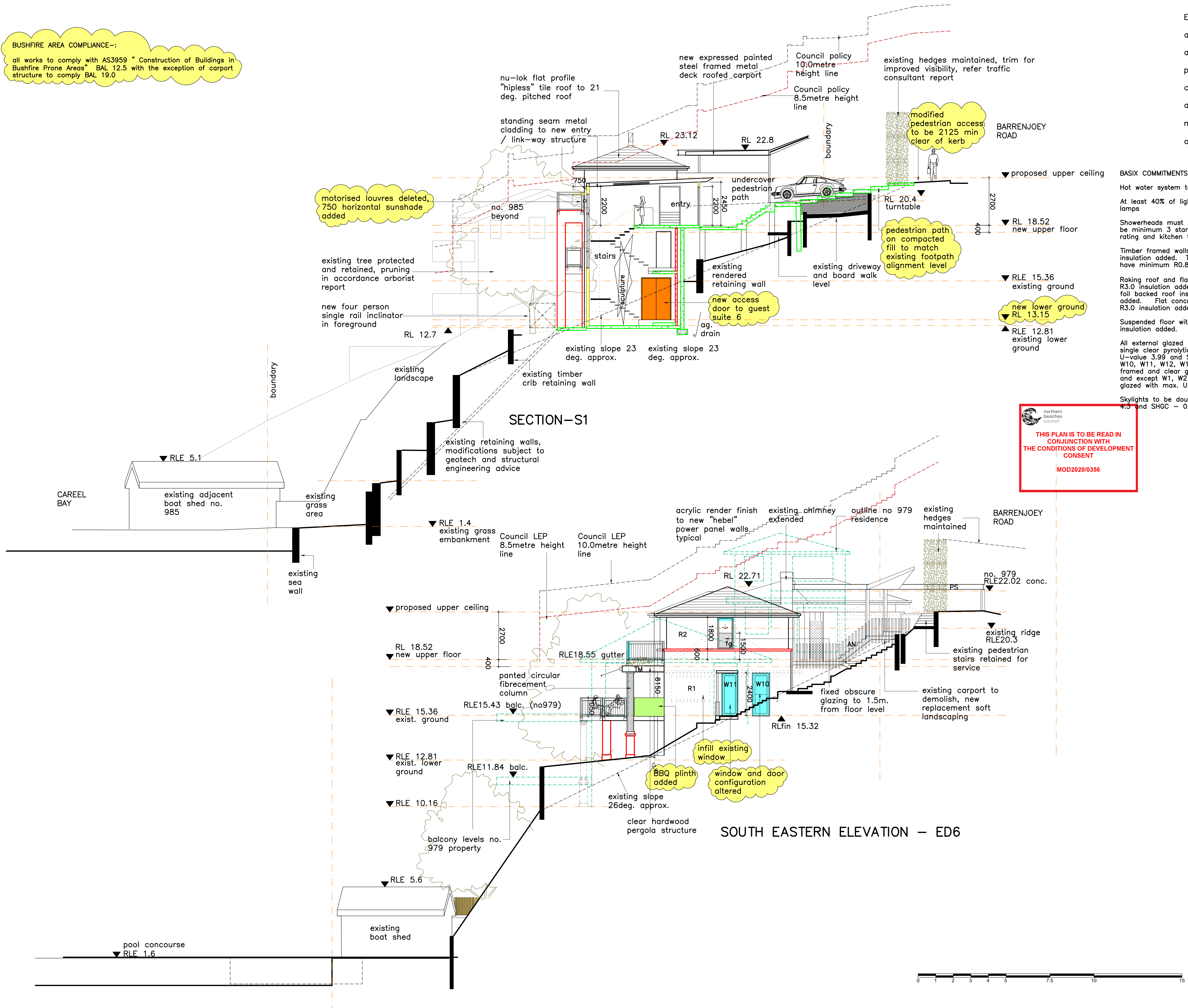
Address
981 BARRENJOEY ROAD,
PALM BEACH
"SANDY POINT LODGE"

Drawing
SCHEME-F
SOUTH-EAST and
SECTION-S1

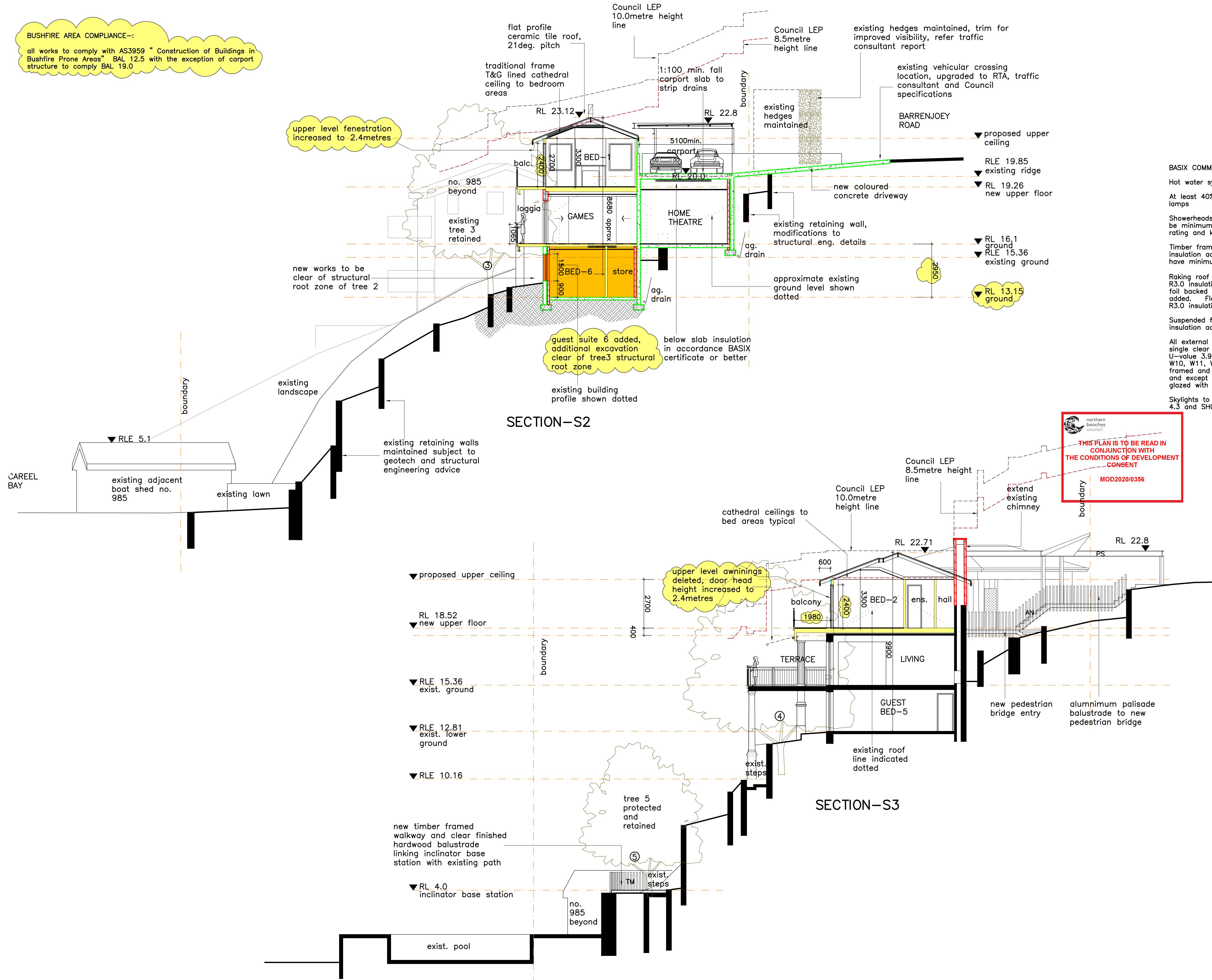
Drawn	PDP	Sheet size A1
Scales	1:100 (1:200 - A3)	
Date	August 2019	

1922 - 6 of 8 K

AMEND 4.55 2/07/20



BUSHFIRE AREA COMPLIANCE--:
all works to comply with AS3959 "Construction of Buildings in Bushfire Prone Areas" BAL 12.5 with the exception of carport structure to comply BAL 19.0



EXTERNAL WALL FINISHES:	
acrylic coloured render on brick	R1
acrylic render on hebel	R2
painted steel or wrought iron	PS
clear finish hardwood	TM
anodised aluminium	AN
matt "colorbond" ultra	CB
obscure glazing	

BASIX COMMITMENTS--:

Hot water system to be gas instantaneous

At least 40% of light fittings must be fitted with fluoro or LED lamps

Showerheads must be minimum 3 star rating, toilet cisterns must be minimum 3 star rating, basin taps must be minimum 3 star rating and kitchen taps to be min. 3 star rating.

Timber framed walls with metal cladding to have minimum R1.3 insulation added. Timber framed walls with 75mm AAC veneer to have minimum R0.89 insulation added.

Raking roof and flat ceiling is to have foil/sarking plus minimum R3.0 insulation added. Flat roof with flat ceiling is to have 55mm foil backed roof insulation plus minimum R3.0 ceiling insulation added. Flat concrete roof with habitable room below to have R3.0 insulation added.

Suspended floor with enclosed subfloor to have minimum R0.7 insulation added.

All external glazed windows and doors are to be timber framed single clear pyrolytic low-e glazed or better with maximum U-value 3.99 and SHGC value 0.4 except for windows W3, W4, W5, W10, W11, W12, W13, W14, W33, W34, W35, W36 to be timber framed and clear glazed with max. U-value 5.71 and SHGC 0.66 and except W1, W2 and W20 to be standard steel framed clear glazed with max. U-value 7.63 and SHGC 0.75

Skylights to be double glazed timber framed with max. U-value 4.3 and SHGC - 0.5

Letter	Revisions/Issue	Date	By
K	DA clause 4.55 amend as indicated in revision clouds	2/07/20	PD
i	inclinators location altered	8/01/20	PD
j	split level design	15/01/19	PD
h	general update	27/11/19	PD
g	inclinators location altered	12/11/19	PD
f	clear tree root zones	12/01/19	PD
e	W1 relocated	1/10/19	PD
d	landscape improvements	16/09/19	PD
c	consultant issues raised	14/09/19	PD
b	preliminary issue	19/10/19	PD

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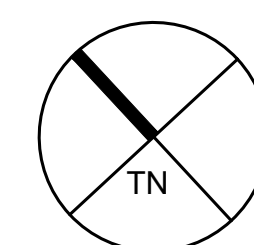
Address
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Drawing
SCHEME-F
SECTION-S2 and
SECTION-S3

Drawn	PDP	Sheet size
Scales	1:100 (1:200 - A3)	A1
Date	August 2019	

Project Number	Issue
1922 - 7 of 8	K

AMEND 4.55 2/07/20



Letter	Revisions/Issue	Date	B
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