

23 FISHER ROAD DEE WHY

Development Application

DRAWING SCHEDULE

DWG NO.	TITLE
A 0.00	COVER PAGE
A 1.01	SITE PLAN
A 1.02	SITE ANALYSIS PLAN
A 1.03	DEMOLITION PLAN
A 1.04	EXCAVATION & FILL PLAN
A 1.05	LANDSCAPE CALCULATION PLAN
A 2.01	BASEMENT LEVEL 1 PLAN
A 2.02	BASEMENT LEVEL 2 PLAN
A 2.03	LEVEL 1 PLAN
A 2.04	LEVEL 2 PLAN
A 2.05	LEVEL 3 PLAN
A 2.06	LEVEL 4 PLAN
A 2.07	LEVEL 5 PLAN
A 2.08	ROOF PLAN
A 3.01	WEST ELEVATION (FISHER ROAD) & SOUTH ELEVATION (ST DAVID AVENUE)
A 3.02	WEST ELEVATION (FISHER ROAD) & SOUTH ELEVATION (ST DAVID AVENUE) no trees
A 3.03	EAST ELEVATION (CIVIC PARADE) & NORTH ELEVATION
A 3.04	EAST ELEVATION (CIVIC PARADE) & NORTH ELEVATION no trees
A 3.05	SECTION A-A & SECTION B-B
A 3.06	SECTION C-C & SECTION D-D
A 3.07	13M HEIGHT PLANE DIAGRAM
A 4.01	SHADOW DIAGRAMS - JUNE
A 4.02	SHADOW DIAGRAMS - DECEMBER
A 4.03	SHADOW DIAGRAMS - MARCH / SEPTEMBER
A 5.01	EXTERNAL MATERIALS & FINISHES PALETTE
A 5.02	PHOTOMONTAGES 1
A 5.03	PHOTOMONTAGES 2



BASIX COMMITMENTS

- Refer to BASIX Certificate for all BASIX requirements
 - All fixtures & appliances to be as specified in B ASIX certificate

WATER COMMITMENTS

ALTERNATIVE WATER SUPPLY

Central water tank. Capacity 15,000L.
 To collect run off from minimum 400m² of roof area.
 Provide connection to 2000m² common landscaped area and 1 car wash bay.

FIXTURES EFFICIENCY (ALL)

- Shower Heads 3 star (<4.5 but <=6 L/m)
 - Toilet Flushing 4 star
 - Kitchen Taps 3 star
 - Bathroom Taps 3 star
 - Dishwasher 3 star (Water) & 4 star (Energy)
 - Clothes dryer 3 star

THERMAL COMFORT COMMITMENTS

(refer to schedules for performance ratings)

ENERGY COMMITMENTS

Alternate energy supply
 Photovoltaic system rated electrical output 15.0 peak kW

Hot water

Central hot water system - electric heat pump, gas boosted.

Ventilation

Laundry and bathroom - central ducted
 Kitchen - No mechanical ventilation

Appliances

Gas cooktop & electric oven

Air conditioning

Units (zoned) to all bedrooms and living areas, 1 - phase
 Cooling to living areas and bedrooms to achieve 4 star
 Heating to living areas and bedrooms to achieve 4 star

All Lobbies

No mechanical ventilation with compact fluorescent, daylight sensor and motion sensor.

Basements

Ventilation supply and exhaust, carbon monoxide monitor + VSD fan. Fluorescent lighting with time clock and motion sensor.
 Mechanical ventilation exhaust to garbage room. Mechanical ventilation exhaust interlocked to light in Cleaners/WC only. All fluorescent lighting with manual on/off.

Lifts

Gearless traction with VVVF motor, LED lighting connected to call button

THERMAL COMFORT SPECIFICATION

Thermal Comfort Item

External Walls (a)
 External Walls (b)
 Unit Walls next to car park/ plant
 Unit Walls next to corridors/ other units
 Walls next to lifts
 Walls next to stairwells
 Internal Walls
 Internal Floors
 External Floors
 External Floor Insulation

Floor Finishes

Penthouse Floors
 Roofs under balconies/ terraces
 Roof Colour

Windows (opt A-401 only)

Windows U-value
 Windows - SHGC
 Windows (other)
 Windows SHGC (frame + glass)
 Skylights
 Skylights - U-value
 Skylights - SHGC
 Window Shading
 Weather Stripping
 Downlights near insulation
 Terrain

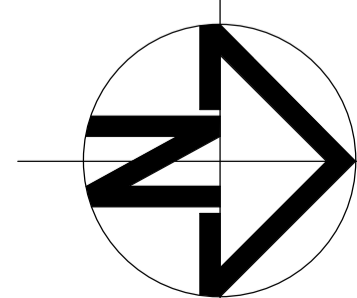
Specification

Brick veneer + R2.5 added
 Weatherboard (>20mm) + R2.5 added
 Concrete block 200mm with R1.5 added
 2 x plasterboard + R1.5 acoustic insulation
 Concrete and R1.2 acoustic insulation
 Concrete and insulation optional
 Plasterboard on studs
 Concrete floors with neighbour below
 Concrete slab with basement or ground below
 R1.5 under some ground-floor dwellings (no cantilevers)
 R1.5 all except beds A.G01, A.G11, A.G15, A.G16, B.101, B.105, C.104, C.107, C.108, C.109, C.110, C.111, C.112
 R1.5 all A.G02, A.G03, A.G04, A.G05, A.G06, A.G07, A.G08, A.G09, A.G10, A.G14, B.102, B.102, C.106

Tiles - wet areas, Carpet - elsewhere
 Metal Roofs + R3.5 foil and plasterboard
 Concrete roof + R2.5 under and plasterboard
 Medium colour
 Aluminium frames and single glazed, low-E clear
 <=5.50
 0.36 + 5% awning/ bifold, 0.41 + 5% fixed/ sliders
 Aluminium frame, single clear glass
 <= 6.7
 None
 n/a
 n/a
 As shown
 All external doors and windows
 No downlights affecting insulation (ie LEDs with covers)
 Suburban

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Issue	Description	Date	Issue	Description	Date
A	DEVELOPMENT APPLICATION	03.Sept.18			

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Project	Drawing Title	Status
PROPOSED MIXED USE DEVELOPMENT	COVER PAGE	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: NTS Date: Sept 2018	Project No: 1607 Drawing No: A 0.00
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: [] Checked: AO	Revision: A



ST DAVID AVENUE

FISHER ROAD

CIVIC PARADE

BUILDING C

BUILDING B

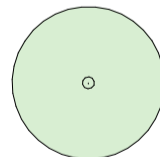
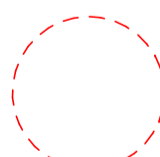

BUILDING A

PACIFIC LODGE EXISTING BUILDING

Proposed subdivision boundary to create Pacific Lodge Lot
Refer draft subdivision plan for details

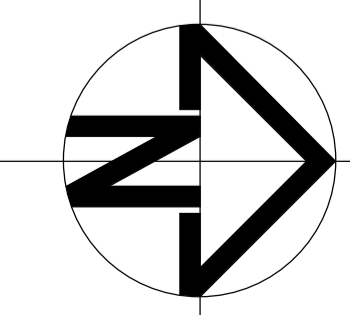
Materials storage during construction.
Storage area for waste during demolition

LANDSCAPING LEGEND

-  Existing trees - retained
-  Existing trees - removed
-  Proposed landscaping trees

1 Site Plan
1:250

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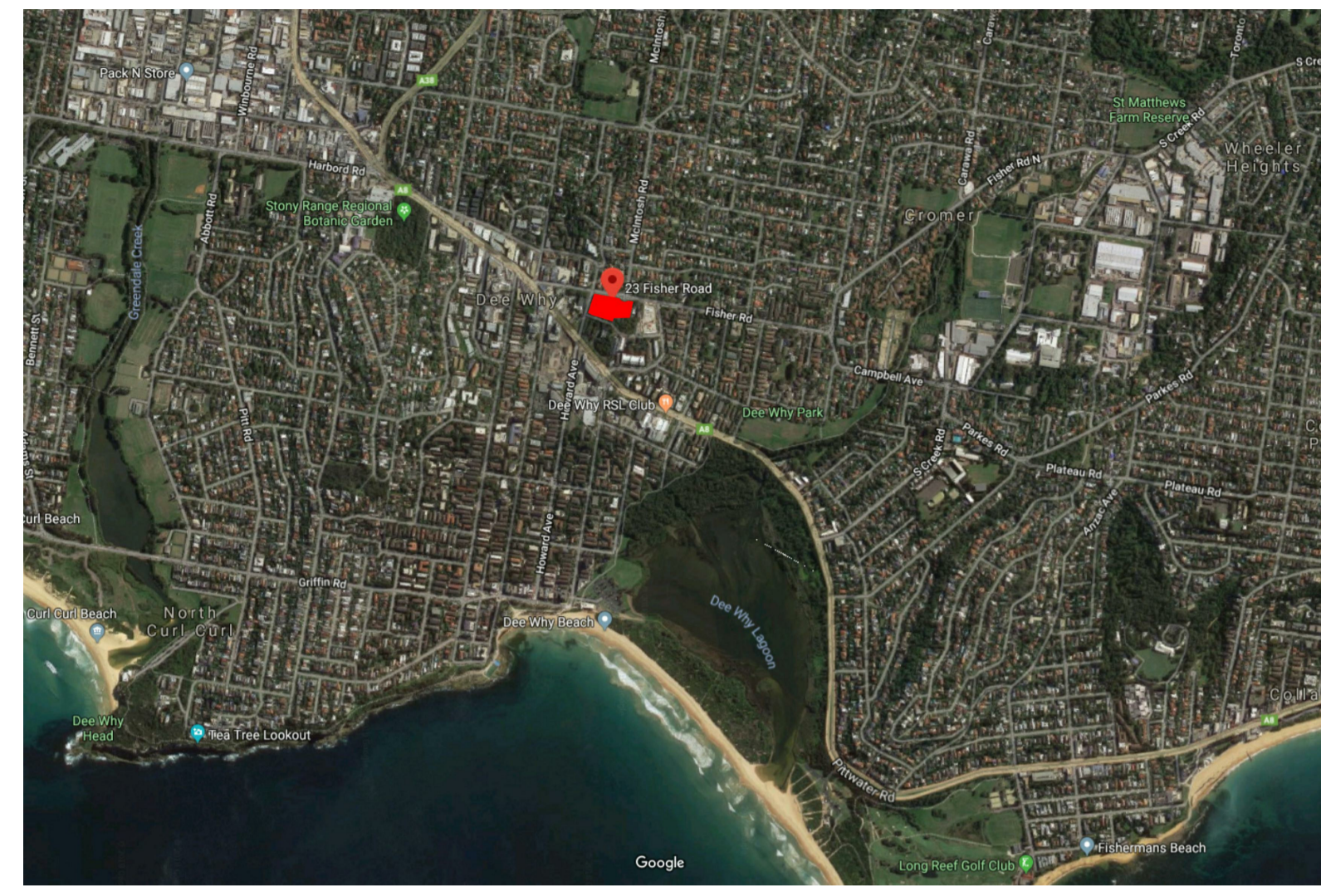
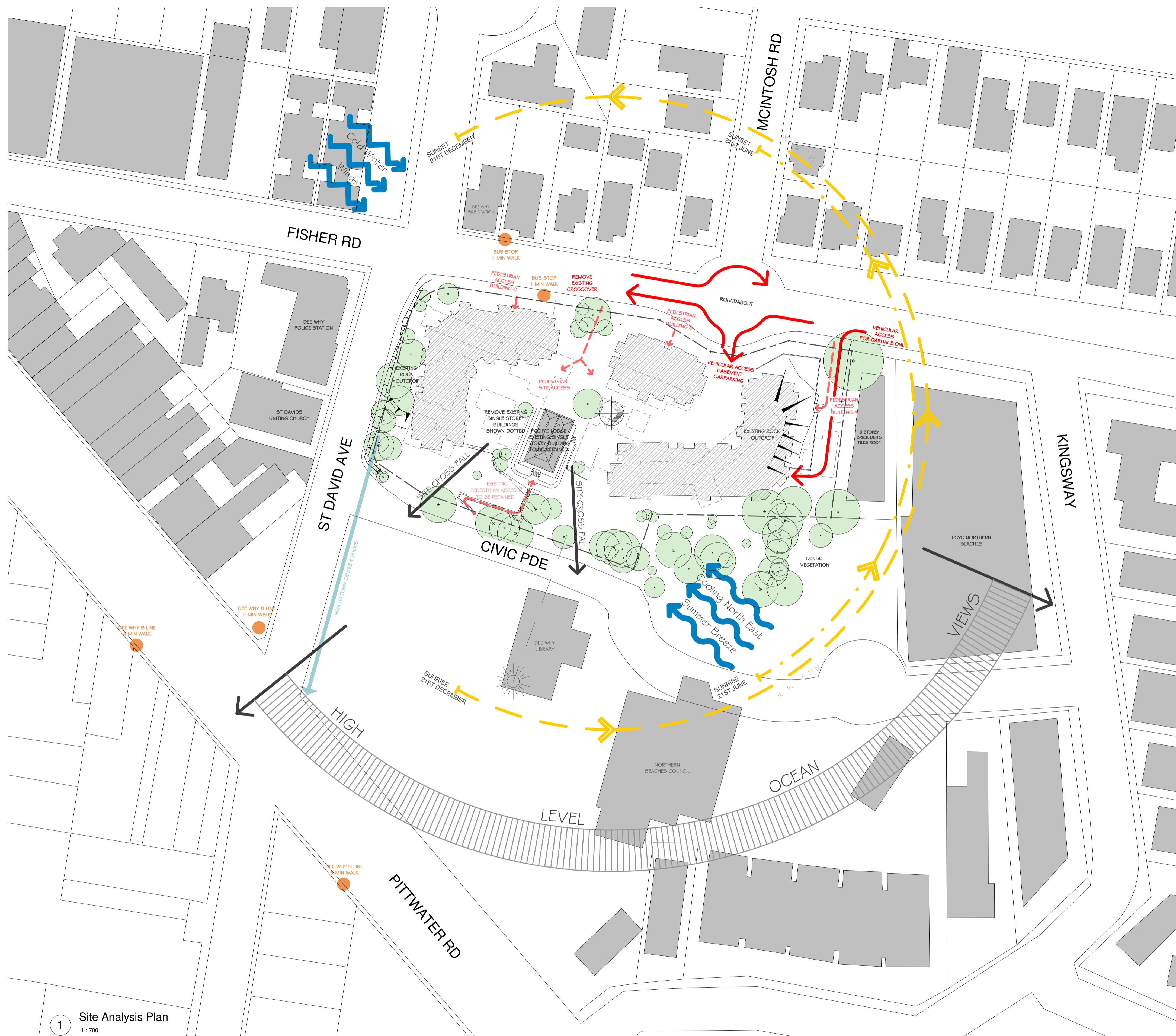
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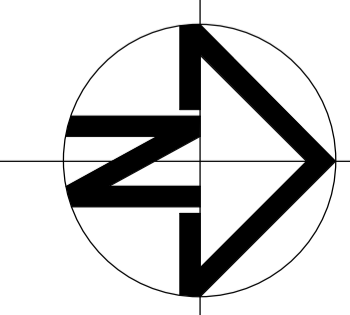
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PROPOSED MIXED USE DEVELOPMENT	SITE PLAN	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:250 Date: Sept 2018	Project No: 1607 Drawing No: A 1.01
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LOCATION PLAN

1 Site Analysis Plan
1:700

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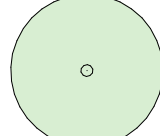

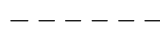
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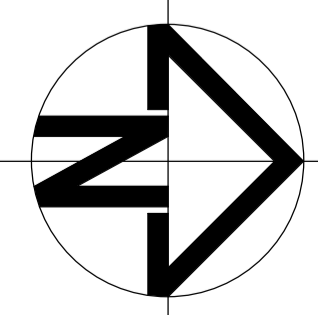


Project		Drawing Title		Status	
PROPOSED MIXED USE DEVELOPMENT		SITE ANALYSIS PLAN		DEVELOPMENT APPLICATION	
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062		Scale: 1:700	Date: Sept 2018	Project No: 1607	Drawing No: A 1.02
Client: Hamptons By Rose Pty Ltd		Drawn: RAD	Reviewed: []	Checked: AO	Revision: A



1 Demolition plan
1 : 250

- LEGEND**
-  Existing trees - retained
 -  Existing trees - removed
 -  Outline of buildings to be demolished



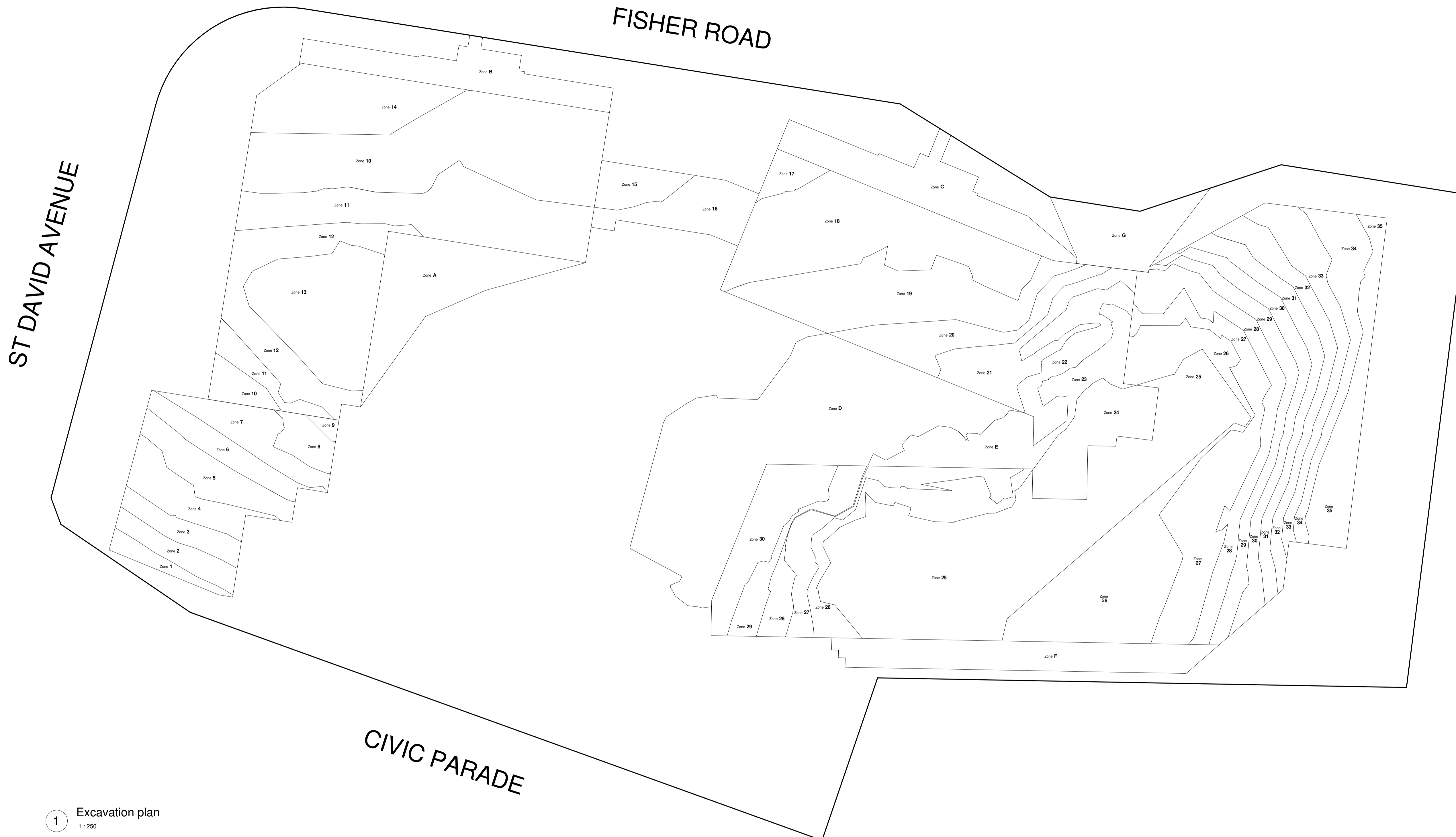
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Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:200 Date: Sept 2018	Project No: 1607 Drawing No: A 1.03
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A

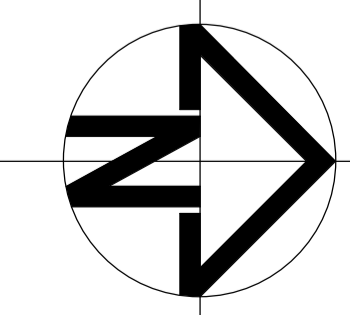
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EXCAVATION TABLE			
Zone #	Area (m2)	Average Depth (m)	Volume (m3)
1	22	0.5	11
2	40	1	40
3	39	2	78
4	63	3	189
5	70	4	280
6	52	5	260
7	64	6	384
8	30	7	210
9	5	8	40
10	372	6	2232
11	252	7	1764
12	140	8	1120
13	179	9	1611
14	137	5	685
15	42	6.5	273
16	76	6.5	494
17	24	5	120
18	269	6	1614
19	204	7	1428
20	86	8	688
21	88	9	792
22	83	10	830
23	55	11	605
24	100	12	1200
25	552	10.5	5796
26	365	10	3650
27	265	9	2385
28	143	8	1144
29	130	7	910
30	175	6	1050
31	76	5	380
32	79	4	316
33	86	3	258
34	85	2	170
35	108	1	108
A	156	1	156
B	121	3	363
C	146	3	438
D	521	1	521
E	76	0.25	19
F	140	3.5	490
G	93	4	372
Total Volume (m3)			35474

1 Excavation plan
1 : 250

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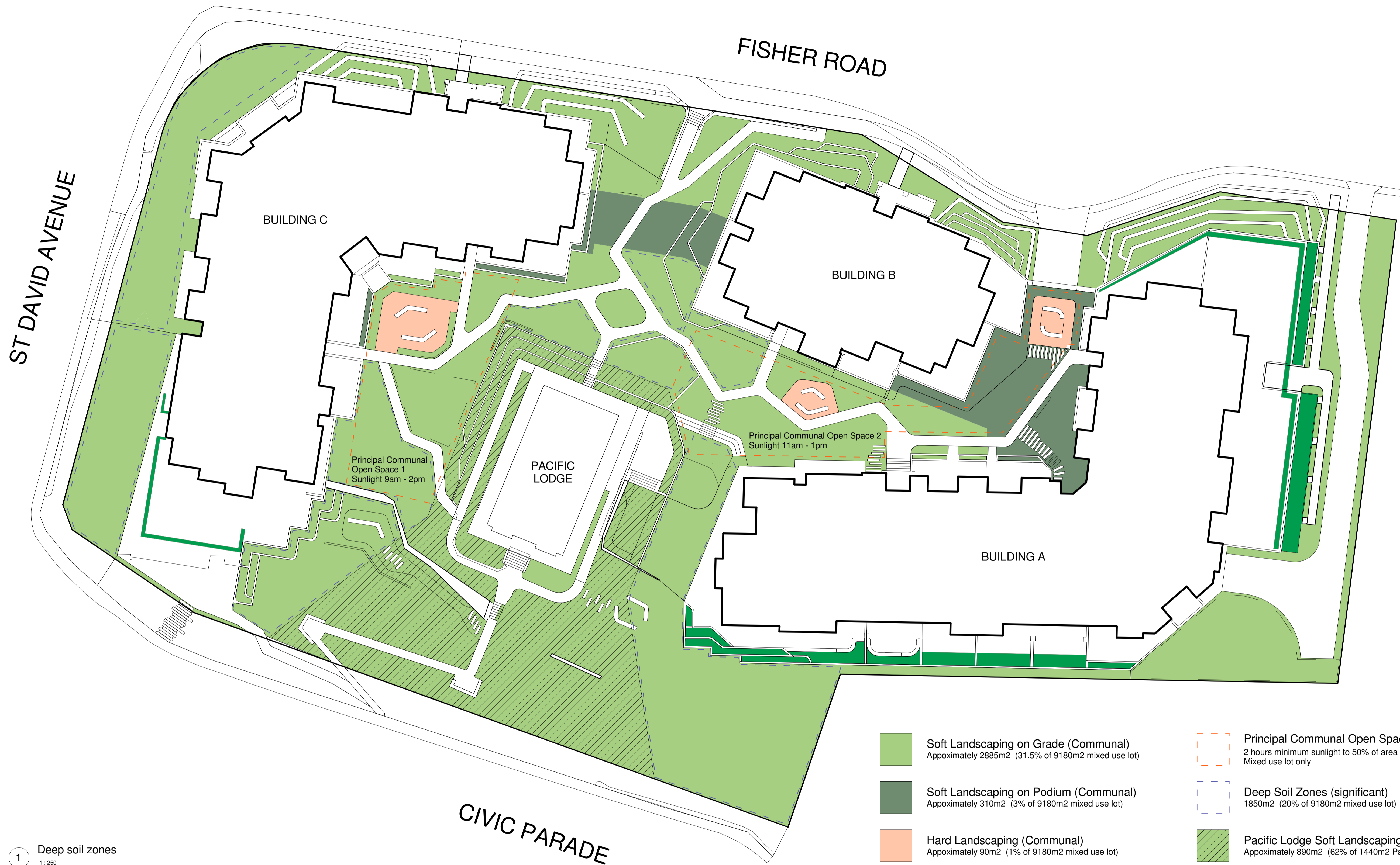


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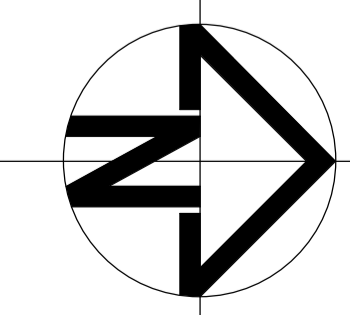
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PROPOSED MIXED USE DEVELOPMENT	EXCAVATION & FILL PLAN	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:250 Date: Sept 2018	Project No: 1607 Drawing No: A 1.04
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A



1 Deep soil zones
1:250

- Soft Landscaping on Grade (Communal)
Approximately 2885m² (31.5% of 9180m² mixed use lot)
- Soft Landscaping on Podium (Communal)
Approximately 310m² (3% of 9180m² mixed use lot)
- Hard Landscaping (Communal)
Approximately 90m² (1% of 9180m² mixed use lot)
- Soft Landscaping (Private)
Approximately 165m² (1.8% of 9180m² mixed use lot)
- Principal Communal Open Spaces
2 hours minimum sunlight to 50% of area mid winter
Mixed use lot only
- Deep Soil Zones (significant)
1850m² (20% of 9180m² mixed use lot)
- Pacific Lodge Soft Landscaping on Grade
Approximately 890m² (62% of 1440m² Pacific Lodge lot)

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PROPOSED MIXED USE DEVELOPMENT	LANDSCAPE CALCULATION PLAN	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:250 Date: Sept 2018	Project No: 1607 Drawing No: A 1.05
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: [] Checked: AO	Revision: A

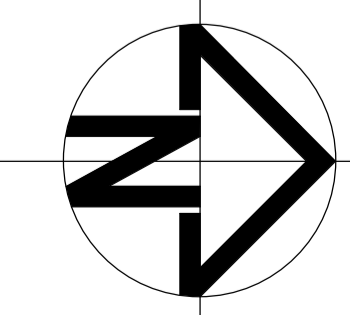


1 Roof Plan
1:200

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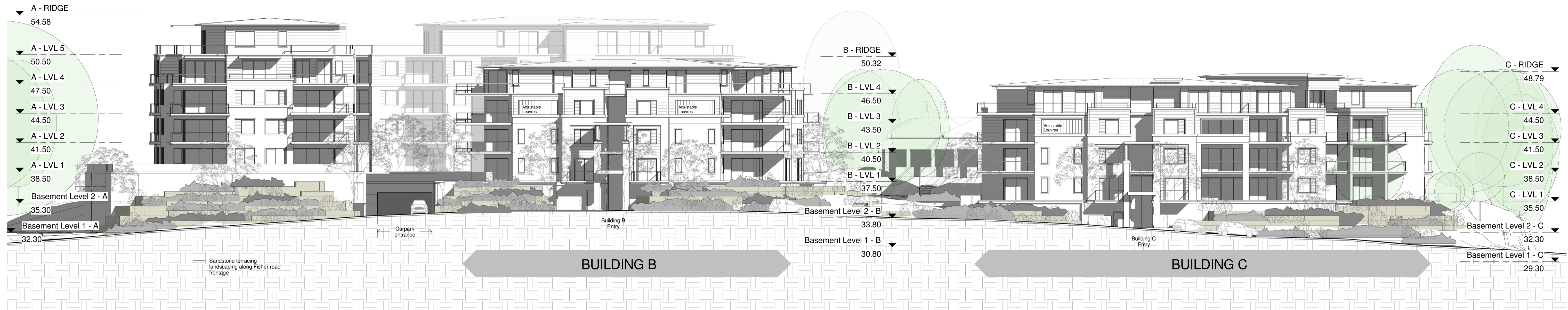
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PROPOSED MIXED USE DEVELOPMENT	ROOF PLAN	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:200 Date: Sept 2018	Project No: 1607 Drawing No: DA.2.08
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A

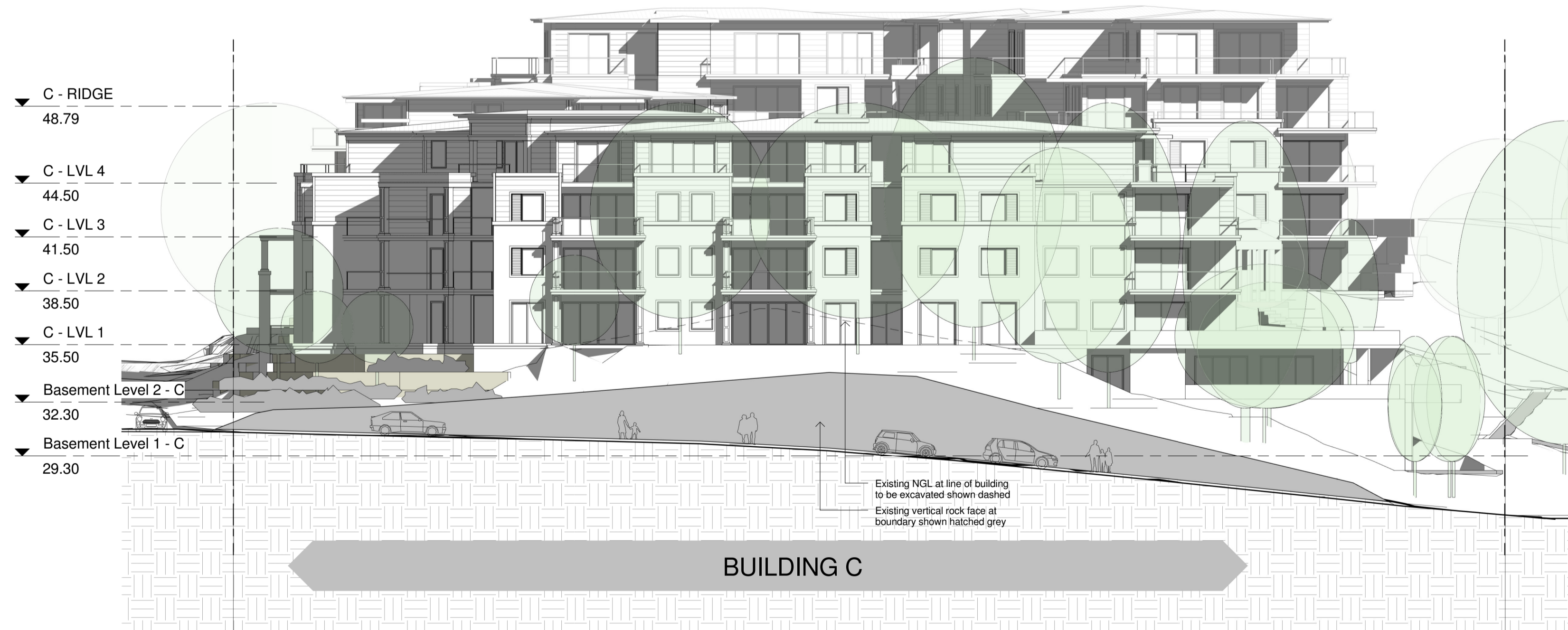
BUILDING A

PACIFIC LODGE



1 West Elevation
1:200

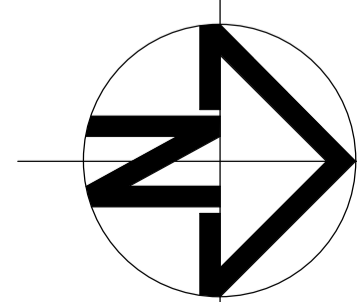
BUILDING A



2 South Elevation
1:200

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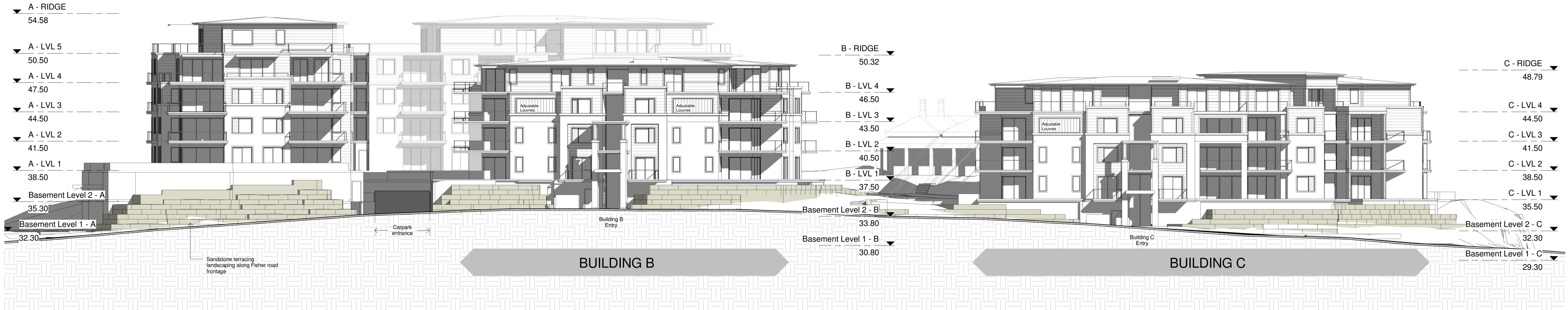
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Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A

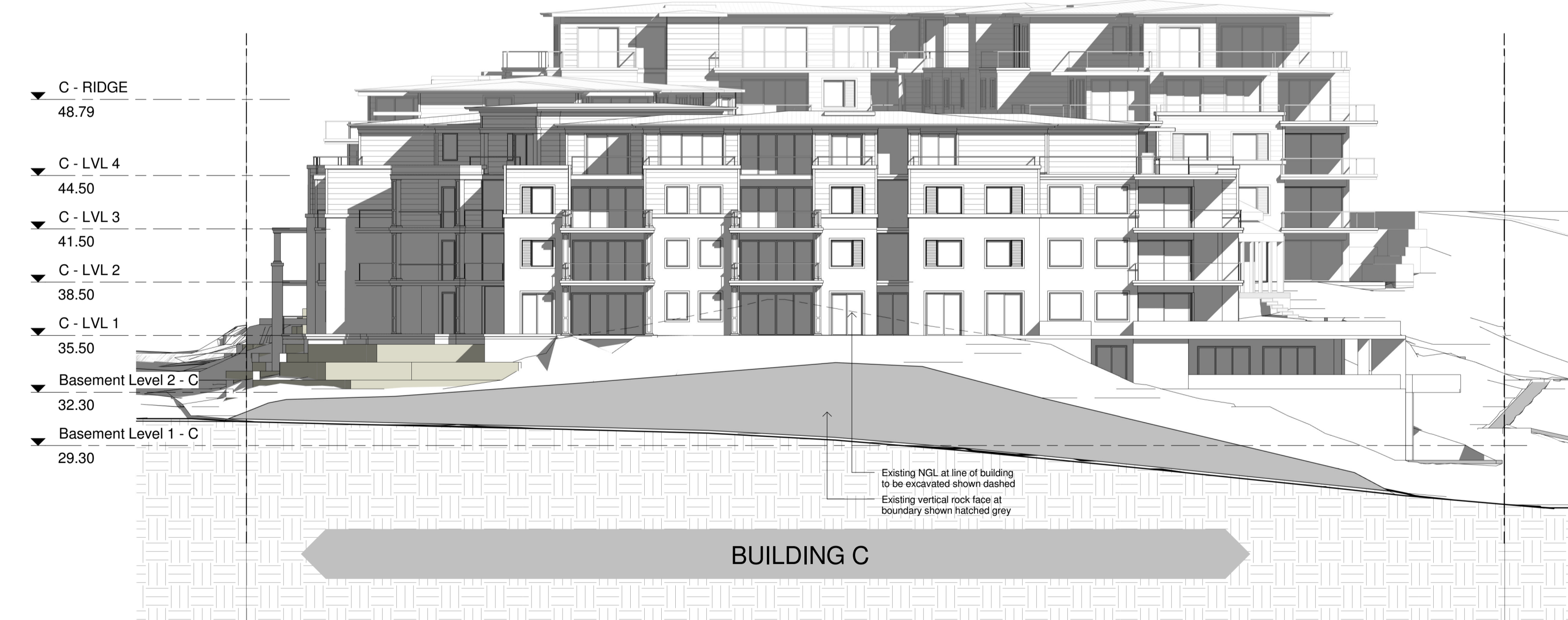
BUILDING A

PACIFIC LODGE



1 West Elevation (No trees)
1:200

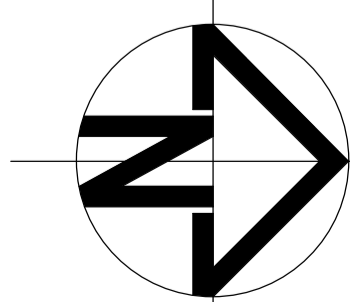
BUILDING A



2 South Elevation (No trees)
1:200

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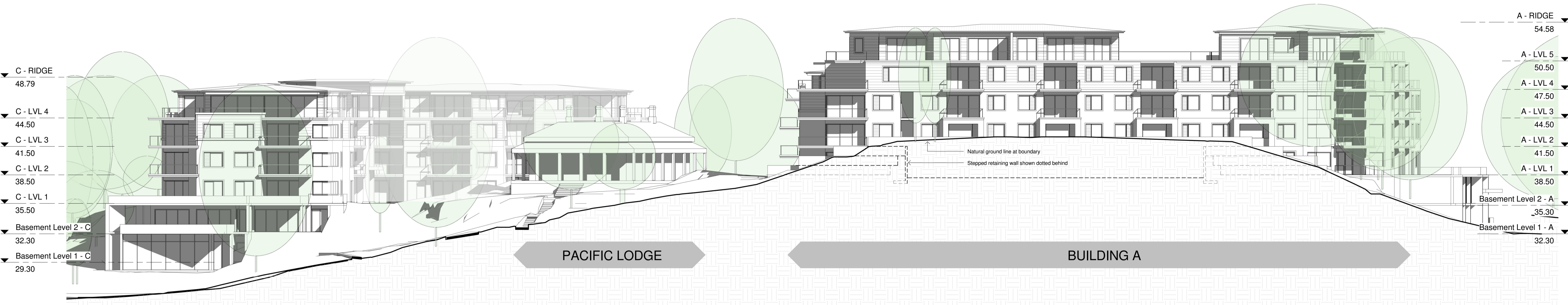
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Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:200 Date: Sept 2018	Project No: 1607 Drawing No: A 3.02
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A

BUILDING C



1 East Elevation
1:200

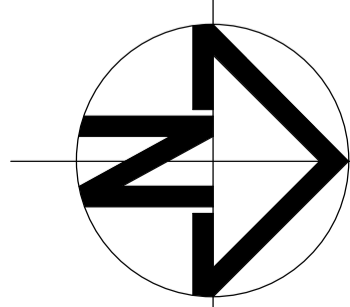
BUILDING B



2 North Elevation
1:200

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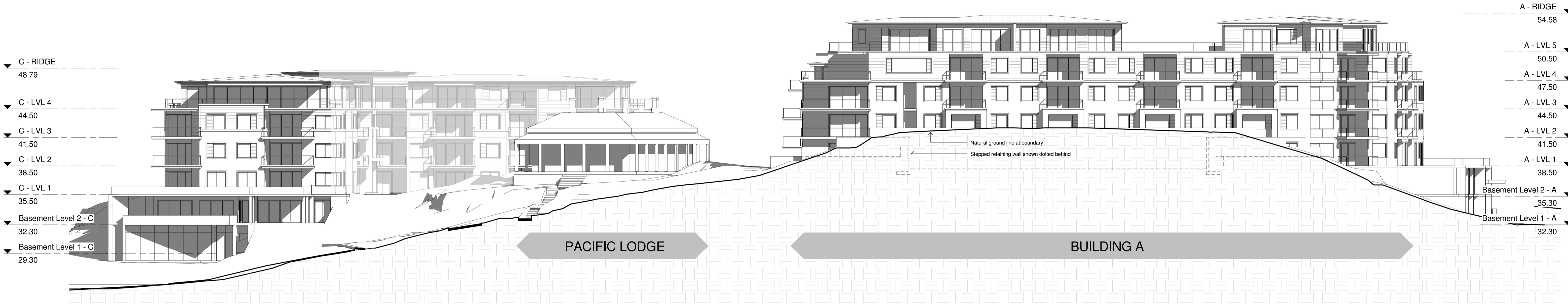
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PROPOSED MIXED USE DEVELOPMENT	23 Fisher Road, Dee Why LOT 11 D.P.577062	Hamptons By Rose Pty Ltd	EAST ELEVATION & NORTH ELEVATION	1:200	Sept 2018	DEVELOPMENT APPLICATION	1607	A 3.03	A

BUILDING C

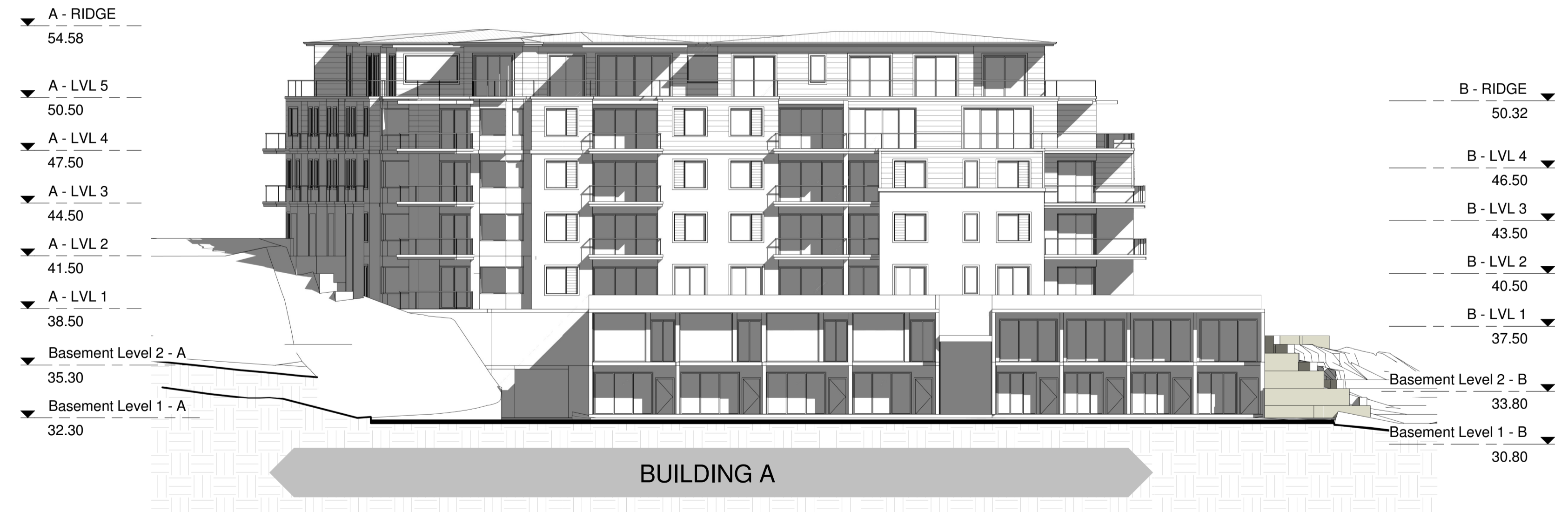


- ▼ C - RIDGE 48.79
- ▼ C - LVL 4 44.50
- ▼ C - LVL 3 41.50
- ▼ C - LVL 2 38.50
- ▼ C - LVL 1 35.50
- ▼ Basement Level 2 - C 32.30
- ▼ Basement Level 1 - C 29.30

- ▼ A - RIDGE 54.58
- ▼ A - LVL 5 50.50
- ▼ A - LVL 4 47.50
- ▼ A - LVL 3 44.50
- ▼ A - LVL 2 41.50
- ▼ A - LVL 1 38.50
- ▼ Basement Level 2 - A 35.30
- ▼ Basement Level 1 - A 32.30

1 East Elevation (No trees)
1 : 200

BUILDING B

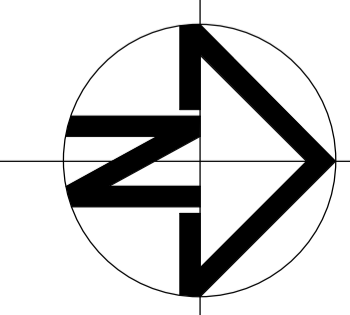


- ▼ A - RIDGE 54.58
- ▼ A - LVL 5 50.50
- ▼ A - LVL 4 47.50
- ▼ A - LVL 3 44.50
- ▼ A - LVL 2 41.50
- ▼ A - LVL 1 38.50
- ▼ Basement Level 2 - A 35.30
- ▼ Basement Level 1 - A 32.30

- ▼ B - RIDGE 50.32
- ▼ B - LVL 4 46.50
- ▼ B - LVL 3 43.50
- ▼ B - LVL 2 40.50
- ▼ B - LVL 1 37.50
- ▼ Basement Level 2 - B 33.80
- ▼ Basement Level 1 - B 30.80

2 North Elevation (No trees)
1 : 200

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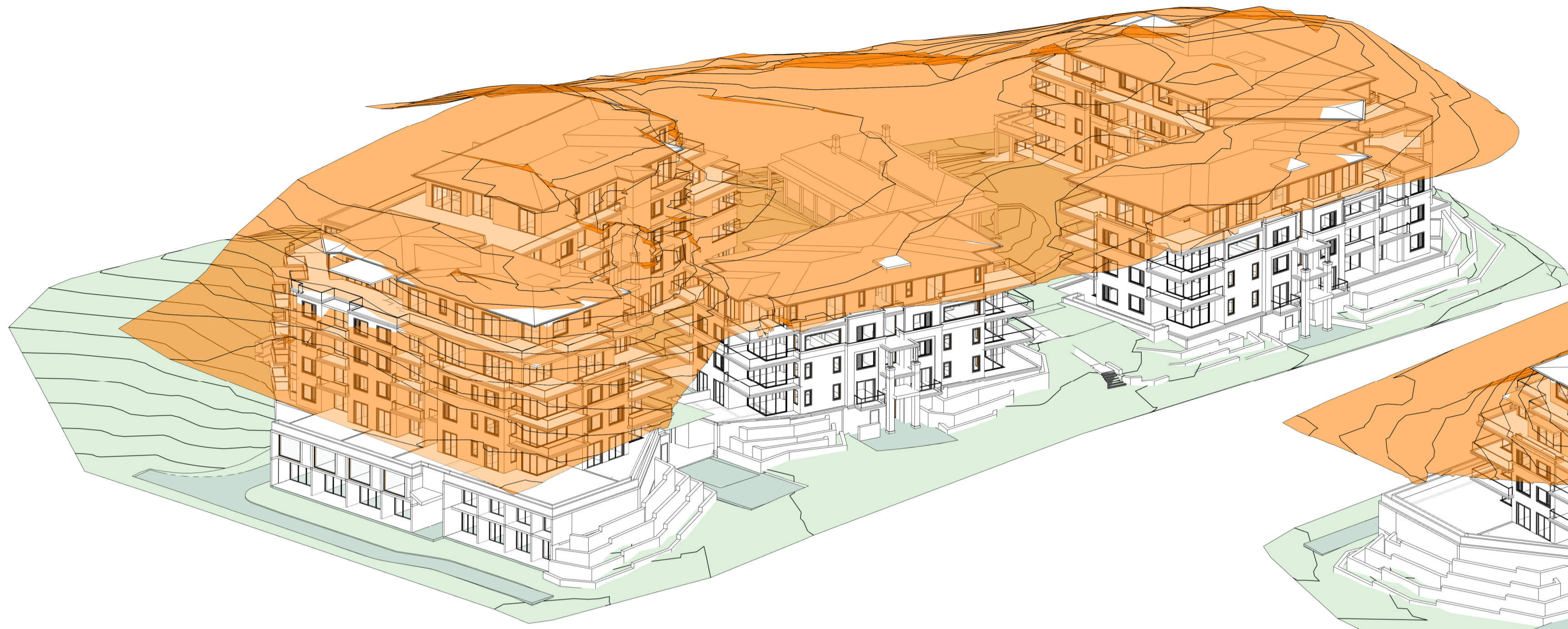


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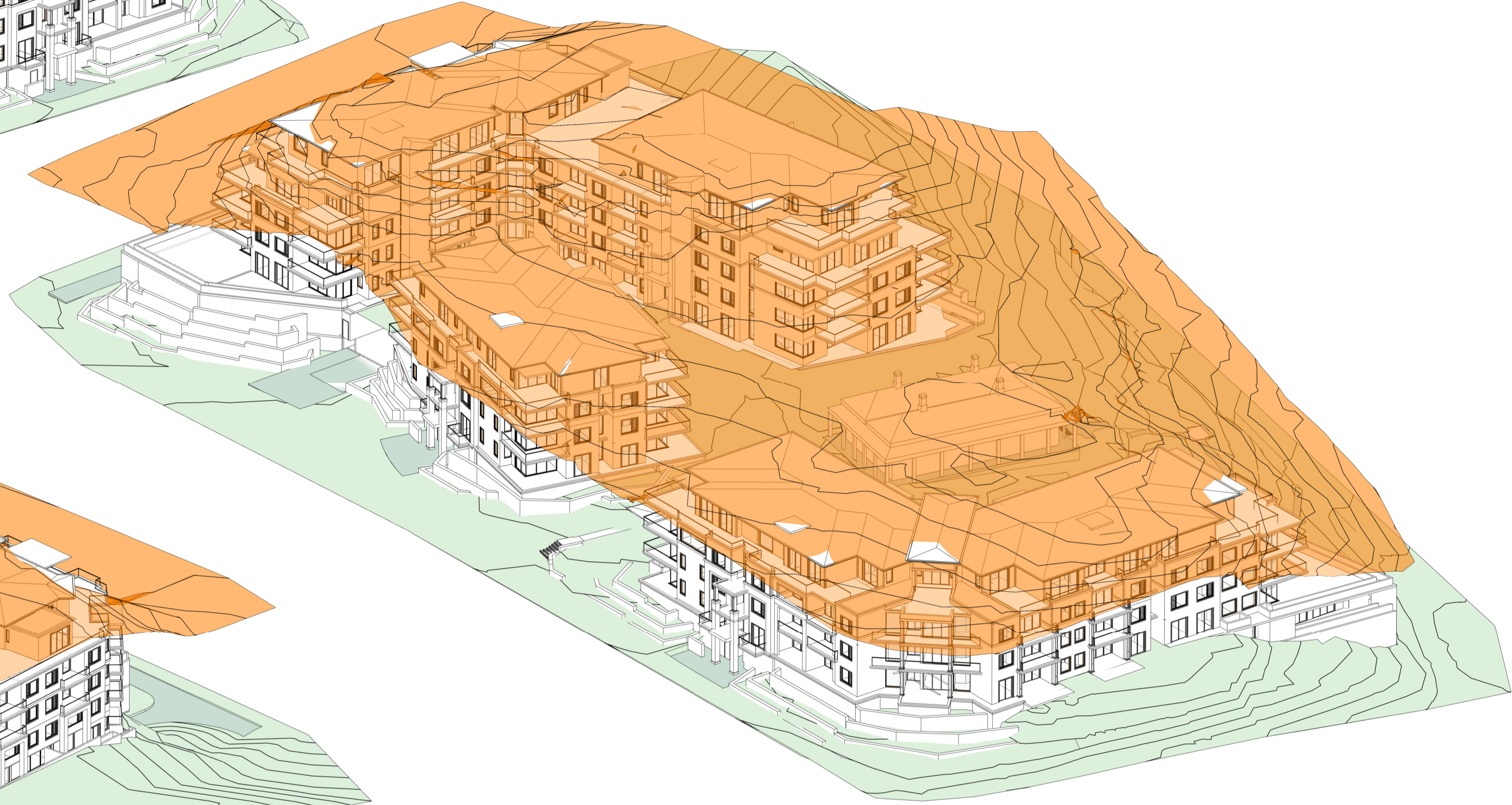
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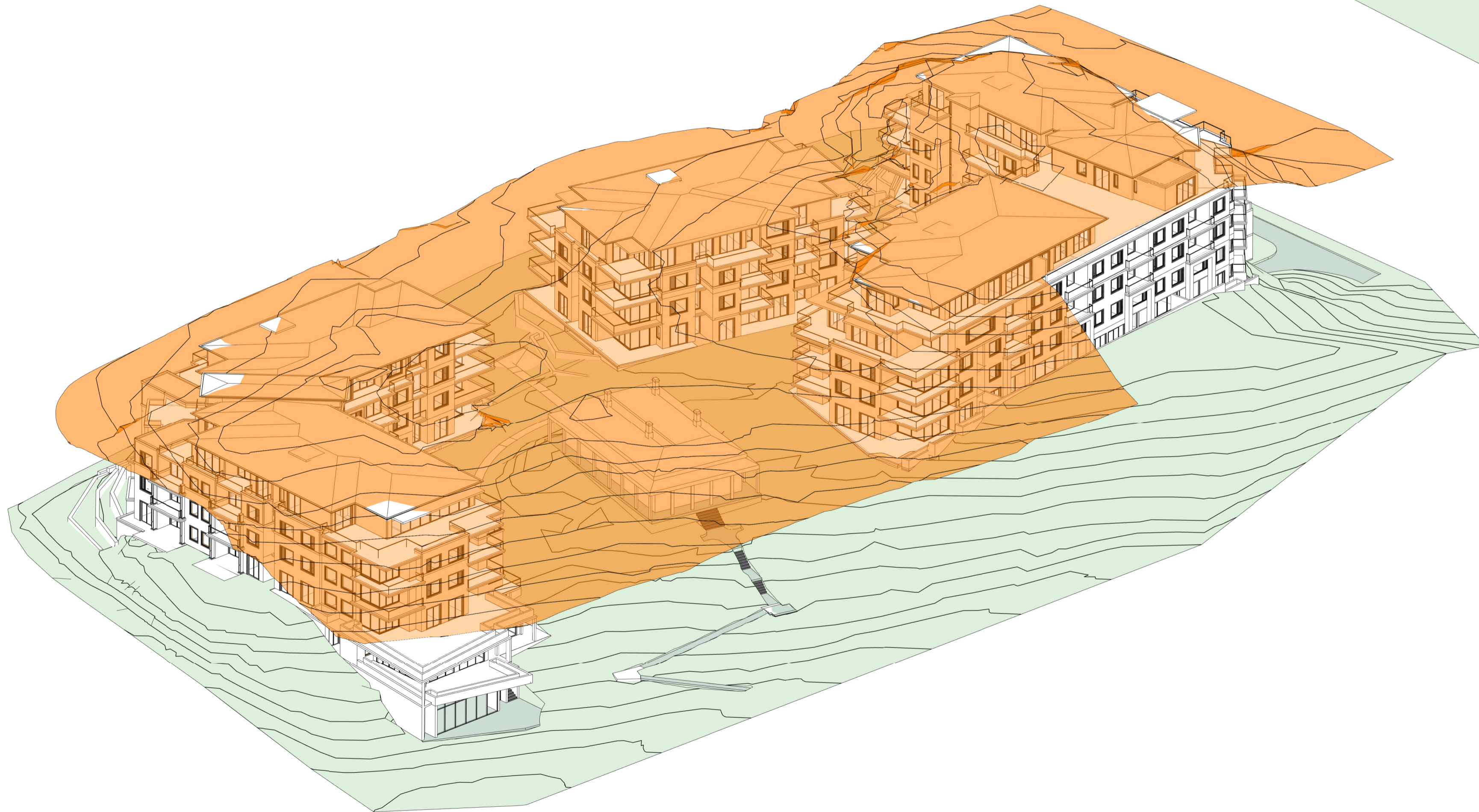
Project	Drawing Title	Status
PROPOSED MIXED USE DEVELOPMENT	EAST ELEVATION & NORTH ELEVATION (no trees)	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:200 Date: Sept 2018	Project No: 1607 Drawing No: A 3.04
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A



1 13m Height Plane - North West



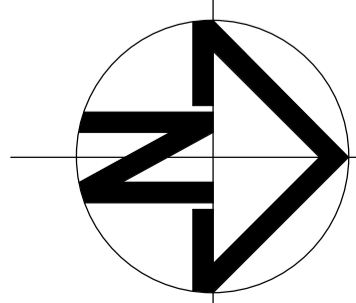
3 13m Height Plane - South West



2 13m Height Plane - South East

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Issue	Description	Date	Issue	Description	Date
A	DEVELOPMENT APPLICATION	03.Sept.18			

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Project	Drawing Title	Status
PROPOSED MIXED USE DEVELOPMENT	13M HEIGHT PLANE DIAGRAM	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:350 Date: Sept 2018	Project No: 1607
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Drawing No: A 3.07 Revision: A



1 Shadow Diagrams - June 21 - 9am
1:650

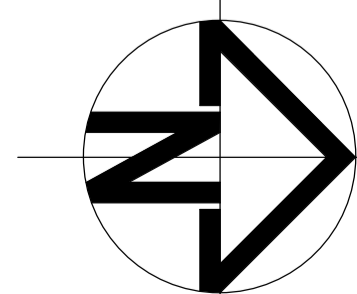


2 Shadow Diagrams - June 21 - 12pm
1:650



3 Shadow Diagrams - June 21 - 3pm
1:650

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Issue	Description	Date	Issue	Description	Date
A	DEVELOPMENT APPLICATION	03.Sept.18			

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Project	Drawing Title	Status
PROPOSED MIXED USE DEVELOPMENT	SHADOW DIAGRAM JUNE 21	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:650 Date: Sept 2018	Project No: 1607 Drawing No: A 4.01
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A



1 Shadow Diagrams - December 21 - 9am
1:650



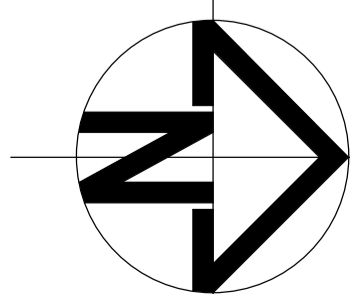
2 Shadow Diagrams - December 21 - 12pm
1:650



3 Shadow Diagrams - December 21 - 3pm
1:650

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Issue	Description	Date	Issue	Description	Date
A	DEVELOPMENT APPLICATION	03.Sept.18			

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Project	Drawing Title	Status
PROPOSED MIXED USE DEVELOPMENT	SHADOW DIAGRAM DECEMBER 21	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:650 Date: Sept 2018	Project No: 1607 Drawing No: A 4.02
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A



2 Shadow Diagrams - March / September 21
- 9am
1:650



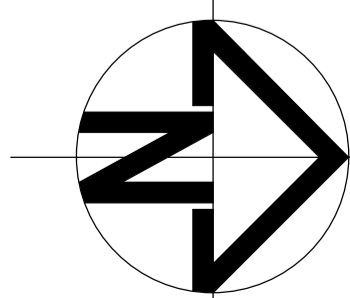
3 Shadow Diagrams - March / September 21
- 12pm
1:650



1 Shadow Diagrams - March / September 21
- 3pm
1:650

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Issue	Description	Date	Issue	Description	Date
A	DEVELOPMENT APPLICATION	03.Sep.18			

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Project	Drawing Title	Status
PROPOSED MIXED USE DEVELOPMENT	SHADOW DIAGRAM MARCH / SEPTEMBER 21	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: 1:650 Date: Sept 2018	Project No: 1607 Drawing No: A 4.03
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A

ARCHITECTURE



External Wall 1

External Wall 2

External Wall 3

Schedule of Colours and Materials

Item	Material / Colour
Roof Sheeting	Colorbond metal, Colour: "Woodlands Grey"
Fascia & Gutter	Metal, Colorbond "Woodlands Grey"
Downpipes	Metal, Colorbond "Surfmist"
Eaves & Soffits	Fibre cement sheet, Taubmans Endure T12.1.A1 "Cotton Ball"
External Wall 1	Eco Outdoors Stone Tiles - Barrimah
- All exposed walls to basement levels 1 & 2	
- Mailbox walls	
- Ground level planter walls	
External Wall 2	Render, paint, Taubmans Endure T12.1.A1 "Cotton Ball"
- Levels 1, 2 & 3 all buildings	
- Part Level 4 Building A	
- Entry Columns	
External Wall 3	Painter Fibre Cement Weatherboards Taubmans Endure A368 "Stream"
- Level 4 Buildings B & C	
- Part Level 4 Building A	
- Level 5 Building A	
Applied Detail & Trim	Painted timber corner boards and trims. Taubmans Endure T12.1.A1 "Cotton Ball"
- Window sills and head trims	
- Banding	
- Column Capitals	
- Pergolas	
External Metalwork	Aluminium, Powdercoat, Duratec "Zues White Gloss" 8900-87731
- Window & Door Frames	
- External Louvres	
- Balcony Balustrade	
Stair handrail	Brushed Stainless Steel
- Fire Stairs	
- Landscape Accessible	
Courtyard Fences	Aluminium, Powdercoat, Dulux 32999 "Charcoal"
- Raised ground level terraces	
Privacy Screens & Fences	Painted Timber, Taubmans Endure T12.1.A1 "Cotton Ball"
- Ground level apartments	
Carpark Entry Door & Basement Louvres	Aluminium, Powdercoat, Duralloy "Jasper" 2728122S
Paving	Adri Masonry Euroclassic, "Athens", 300mm x 300mm x 40mm concrete. Adri Masonry Euroclassic, "London", 300mm x 300mm x 40mm concrete borders.
- Private courtyards	
Driveway	Washed aggregate concrete PGH 50mm wirecut "Chestnut" header paver
Entry Path	Anston Paving Stones, 600mm x 600mm, traditional range, colour Murry.

LANDSCAPE



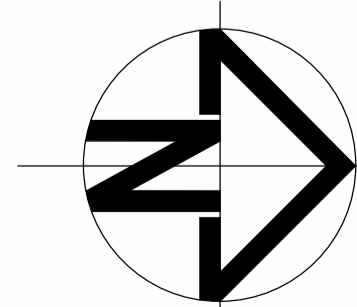
External Paths
Courtyard Fences

Dry Stacked Stone Retaining Walls

Dressed Stone Retaining Walls

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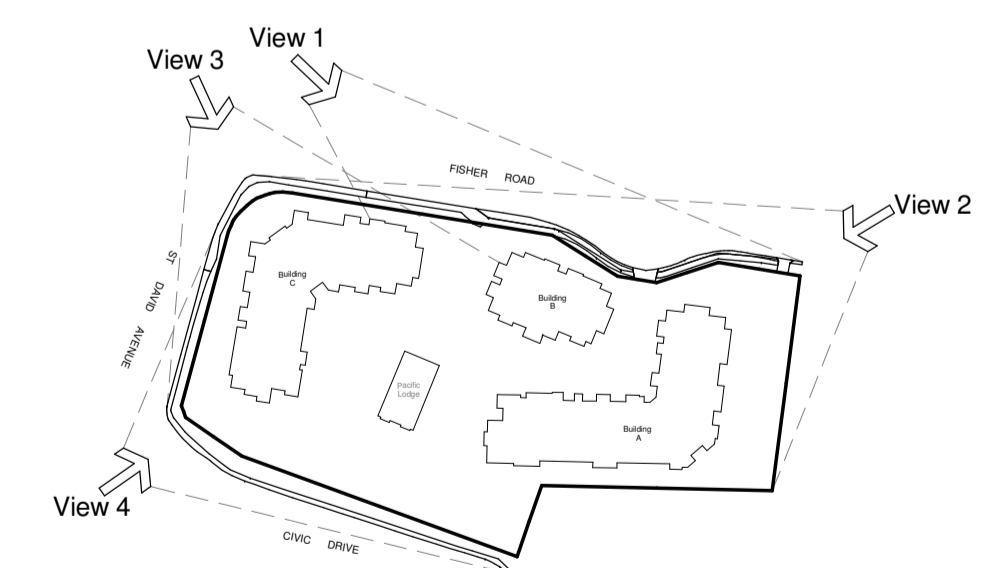
Project	Drawing title	Status
PROPOSED MIXED USE DEVELOPMENT	External Materials & Finishes Palette	DEVELOPMENT APPLICATION
Address 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: NTS Date: Sept 2018	Project No: 1607 Drawing No: A 5.01
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A



View 1 - Fisher Road

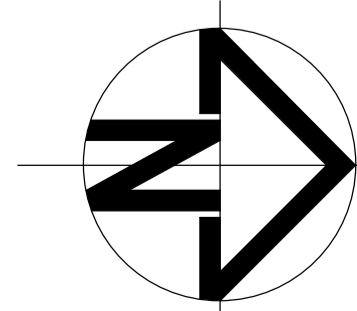


View 2 - Fisher Road



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Issue	Description	Date	Issue	Description	Date
A	DEVELOPMENT APPLICATION	03 Sept.18			

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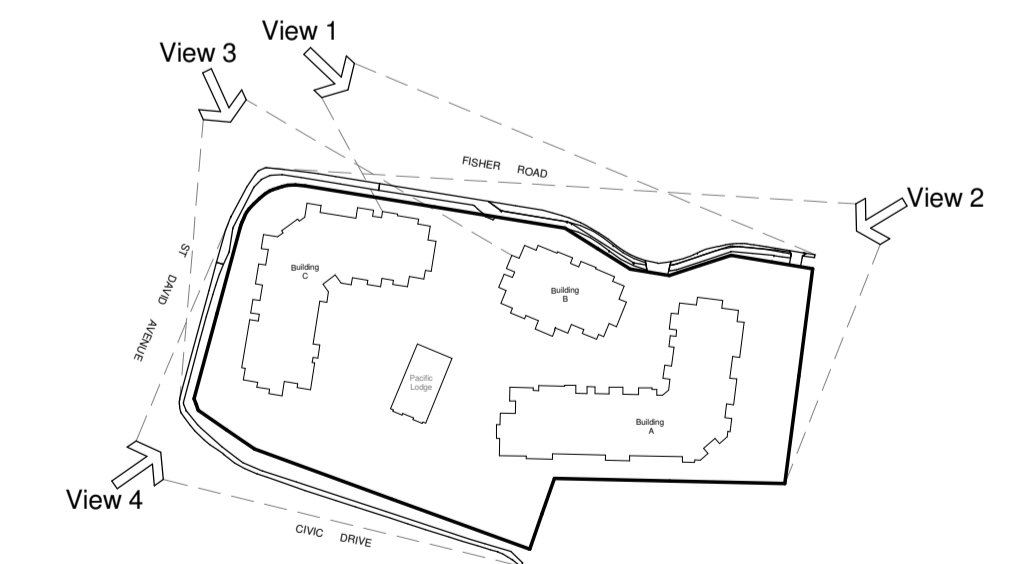
Project	Drawing Title	Status
PROPOSED MIXED USE DEVELOPMENT	Photomontages 1	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: NTS Date: Sept 2018	Project No: 1607 Drawing No: A 5.02
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A



View 3 - Cnr St David avenue & Fisher Road

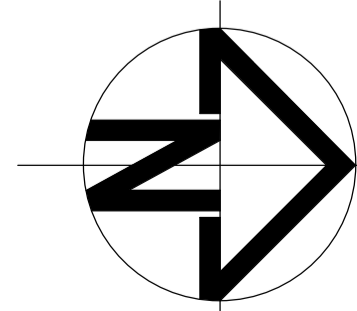


View 4 - Cnr St David Avenue & Civic Dr



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Issue	Description	Date	Issue	Description	Date
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Project	Drawing Title	Status
PROPOSED MIXED USE DEVELOPMENT	Photomontages 2	DEVELOPMENT APPLICATION
Address: 23 Fisher Road, Dee Why LOT 11 D.P.577062	Scale: NTS Date: Sept 2018	Project No: 1607 Drawing No: A 5.03
Client: Hamptons By Rose Pty Ltd	Drawn: RAD Reviewed: Checked: AO	Revision: A