# YEATES HOUSE

Michelle and Anthony Yeates
5 Kooloora Avenue
Freshwater
NSW 2096

SECTION 4:55 MODIFICATION APPLICATION TO NORTHERN BEACHES COUNCIL - ISSUE A

FEBRUARY 2023


| | | |
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| YH - 15 - DA | SHADOW DIAGRAMS JUNE 21 EXISTING + PROPOSED | N/A |
| YH - 16 - DA | SCHEDULE OF EXTERNAL FINISHES | N/A |


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BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A420521_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A420521 lodged with the consent authority or certifier on 27 Jul 2021 with application DA2021/1233.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl.2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary
Date of issue: Friday, 03, February 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW | Planning, Industry & Environment

Description of project

| Project address | |
|---|---|
| Project name | Yeates House_02 |
| Street address | 5 Kooloora Avenue Freshwater 2096 |
| Local Government Area | Northern Beaches Council |
| Plan type and number | Deposited Plan 12377 |
| Lot number | 3 |
| Section number | |
| **Project type** | |
| Dwelling type | Separate dwelling house |
| Type of alteration and addition | My renovation work is valued at $50,000 or more, and does not include a pool (and/or spa). |

| Certificate Prepared by (please complete before submitting to Council or PCA) |
|---|
| Name / Company Name: Rachel Hudson |
| ABN (if applicable): N/A |

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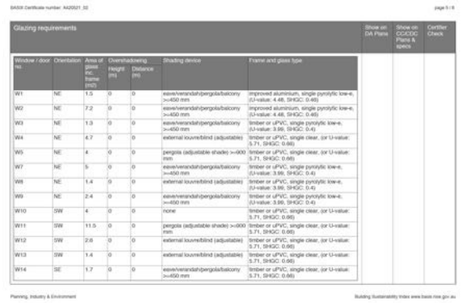

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Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Overshadowing Distance (m) | Shading device | Frame and glass type | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|---|---|---|---|---|---|---|---|---|
| W1 | NE | 1.5 | 0 | 0 | eave/verandah/pergola/balcony >=450 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | | | |
| W2 | NE | 7.2 | 0 | 0 | eave/verandah/pergola/balcony >=450 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) | | | |
| W3 | NE | 1.3 | 0 | 0 | eave/verandah/pergola/balcony >=450 mm | timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4) | | | |
| W4 | NE | 4.7 | 0 | 0 | external louvre/blind (adjustable) | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W5 | NE | 4 | 0 | 0 | pergola (adjustable shade) >=900 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W7 | NE | 5 | 0 | 0 | eave/verandah/pergola/balcony >=450 mm | timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4) | | | |
| W8 | NE | 1.4 | 0 | 0 | external louvre/blind (adjustable) | timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4) | | | |
| W9 | NE | 2.4 | 0 | 0 | eave/verandah/pergola/balcony >=450 mm | timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4) | | | |
| W10 | SW | 4 | 0 | 0 | none | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W11 | SW | 11.5 | 0 | 0 | pergola (adjustable shade) >=900 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W12 | SW | 2.6 | 0 | 0 | external louvre/blind (adjustable) | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W13 | SW | 1.4 | 0 | 0 | external louvre/blind (adjustable) | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W14 | SE | 1.7 | 0 | 0 | eave/verandah/pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |

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Fixtures and systems

| | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|---|---|---|
| **Hot water** | | | |
| The applicant must install the following hot water system in the development: gas instantaneous. | ✓ | ✓ | ✓ |
| **Lighting** | | | |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| **Fixtures** | | | |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | | ✓ | |

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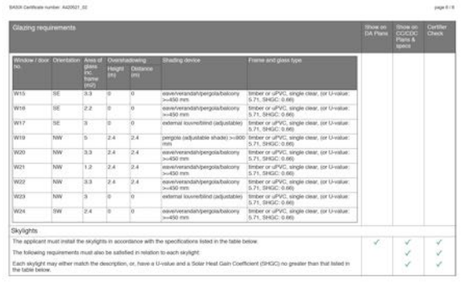

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Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Overshadowing Distance (m) | Shading device | Frame and glass type | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|---|---|---|---|---|---|---|---|---|
| W15 | SE | 3.3 | 0 | 0 | eave/verandah/pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W16 | SE | 2.2 | 0 | 0 | eave/verandah/pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W17 | SE | 3 | 0 | 0 | external louvre/blind (adjustable) | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W19 | NW | 5 | 2.4 | 2.4 | pergola (adjustable shade) >=900 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W20 | NW | 3.3 | 2.4 | 2.4 | eave/verandah/pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W21 | NW | 1.2 | 2.4 | 2.4 | eave/verandah/pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W22 | NW | 3.3 | 2.4 | 2.4 | eave/verandah/pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W23 | NW | 3 | 0 | 0 | external louvre/blind (adjustable) | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |
| W24 | SW | 2.4 | 0 | 0 | eave/verandah/pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | | |

| Skylights | | | |
|---|---|---|---|
| The applicant must install the skylights in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each skylight: | | ✓ | ✓ |
| Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. | | ✓ | ✓ |

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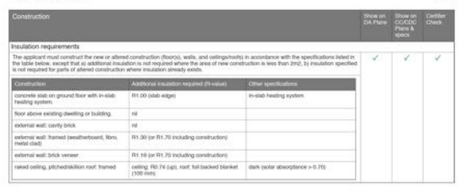

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Construction

| | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|---|---|---|
| **Insulation requirements** | | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the areas of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | ✓ | ✓ | ✓ |

| Construction | Additional insulation required (R-value) | Other specifications |
|---|---|---|
| concrete slab on ground floor with in-slab heating system. | R1.00 (slab edge) | in-slab heating system |
| floor above existing dwelling or building. | nil | |
| external wall: cavity brick | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R0.74 (up), roof: foil backed blanket (100 mm) | dark (solar absorptance > 0.70) |

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Glazing requirements

**Skylights glazing requirements**

| Skylight number | Area of glazing inc. frame (m2) | Shading device | Frame and glass type |
|---|---|---|---|
| S1 | 0.5 | no shading | timber, double clear/air 18, (or U-value: 4.3, SHGC: 0.5) |
| S2 | 0.5 | no shading | timber, double clear/air 18, (or U-value: 4.3, SHGC: 0.5) |

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Glazing requirements

| | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|---|---|---|
| **Windows and glazed doors** | | | |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | | ✓ | ✓ |
| Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. | | ✓ | ✓ |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with comparing U-value and SHGC may be substituted. | | ✓ | ✓ |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. | ✓ | ✓ | ✓ |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. | | ✓ | ✓ |
| External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. | | ✓ | ✓ |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm. | | ✓ | ✓ |
| Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view. | | ✓ | ✓ |
| Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below. | ✓ | ✓ | ✓ |
| **Windows and glazed doors glazing requirements** | | | |

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Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued .

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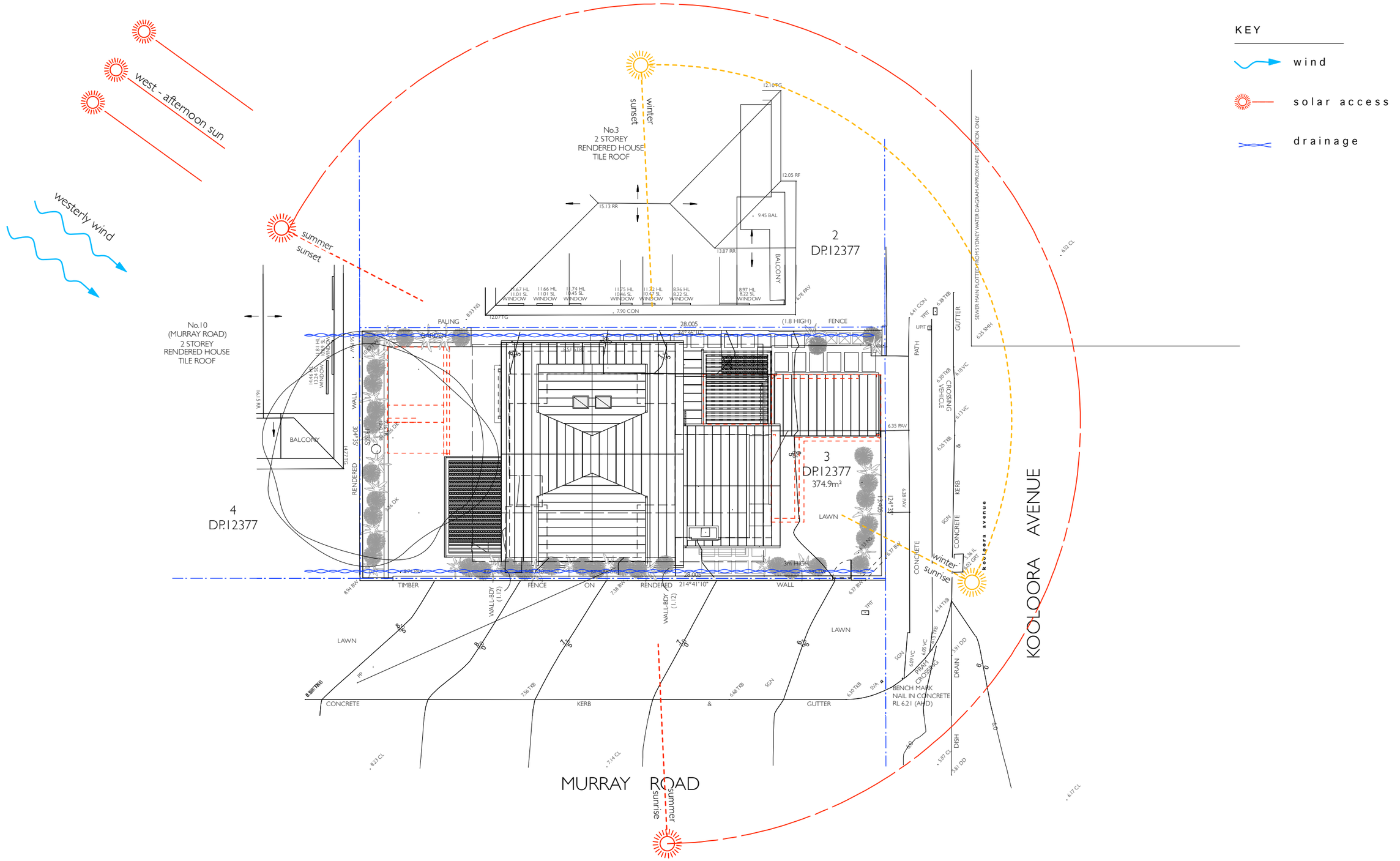


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|---|---|
| DWG | YH-01-DA |
| DATE | 24.02.23 |
| ISSUE | Section 4:55 |
| JOB # | 199 |
| SCALE | 1:200 @ A3 |

**SITE ANALYSIS PLAN**

## Soil & Water Management Plan

All Erosion and Sediment Control measures detailed herein are to be confirmed by the Contractor to be fully functional after any rainfall exceeding 6mm (in a 24 hour Period) and on a weekly basis.This confirmation shall be provided as a condition for undertaking any further work under the Construction Contract.

All services trenches must be backfilled immediately after services are laid and approval is granted to carry out backfilling operations.

Any road vehicle leaving the site which has been in contact with clay soil shall be washed or brushed down on the Site Entry Platform.

The public road in the vicinity of the site is to be swept at regular intervals to prevent sediment buildup at the Site Entry

1. Site works are not to be commenced until all erosion and sedimentation works as outlined on these documents has been completed.

2. Entry and exit to the site is to be via a single means of access/egress - the Site Entry Platform - use site fencing to ensure that all site access and egress is by way of this Platform. Either the existing, concrete driveway; a new, temporary driveway or new Site Entry Platform (as per detail on these drawings) shall be used as the sole site access point.

3. Sediment Control fences are to be installed as indicated on these drawings and are to include provision for site water ingress by means of mounded banks at the outboard edge of the Site Entry Platform or other overland flow paths which may be evident on site.

4. Geotextile 'sausages' filled with aggregate are to be provided to protect Council's Street Stormwater system from sediment pollution from the site.

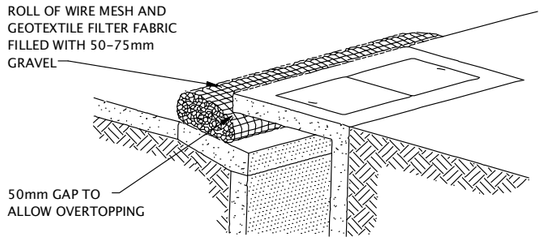
5. All existing topsoil that is disturbed to facilitate excavation is to be stockpiled on site for landscaping purposes. Where any material (topsoil or excavated) is stockpiled on the site, stockpiles are to be covered with a water repellant covering and located outside any area of concentrated Stormwater flow, away from the street and at a distance greater than 2.4m clear of any boundary of the site. Where possible, stockpiles are to be located on a local high point or are to be protected with diversion channels and swales around the stockpile.

6. Areas towards the boundaries of the site are not to be disturbed during the works except where these works are essential for the completion of the project. Where disturbance is essential, work shall be carried out in a manner that minimizes the erosion hazard for as short a time as practicable and includes suitable erosion protection, reinstatement or rehabilitation as part of the disturbance process.

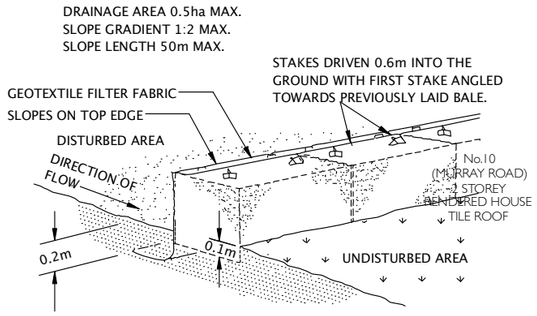
7. The Contractor shall provide approved bins for all site waste to be accumulated and stored for collection and disposal.

Site waste includes:-
- Litter
- All packaging
- mortar, cement and concrete slurries, acid wash down water, paint and any contaminated water

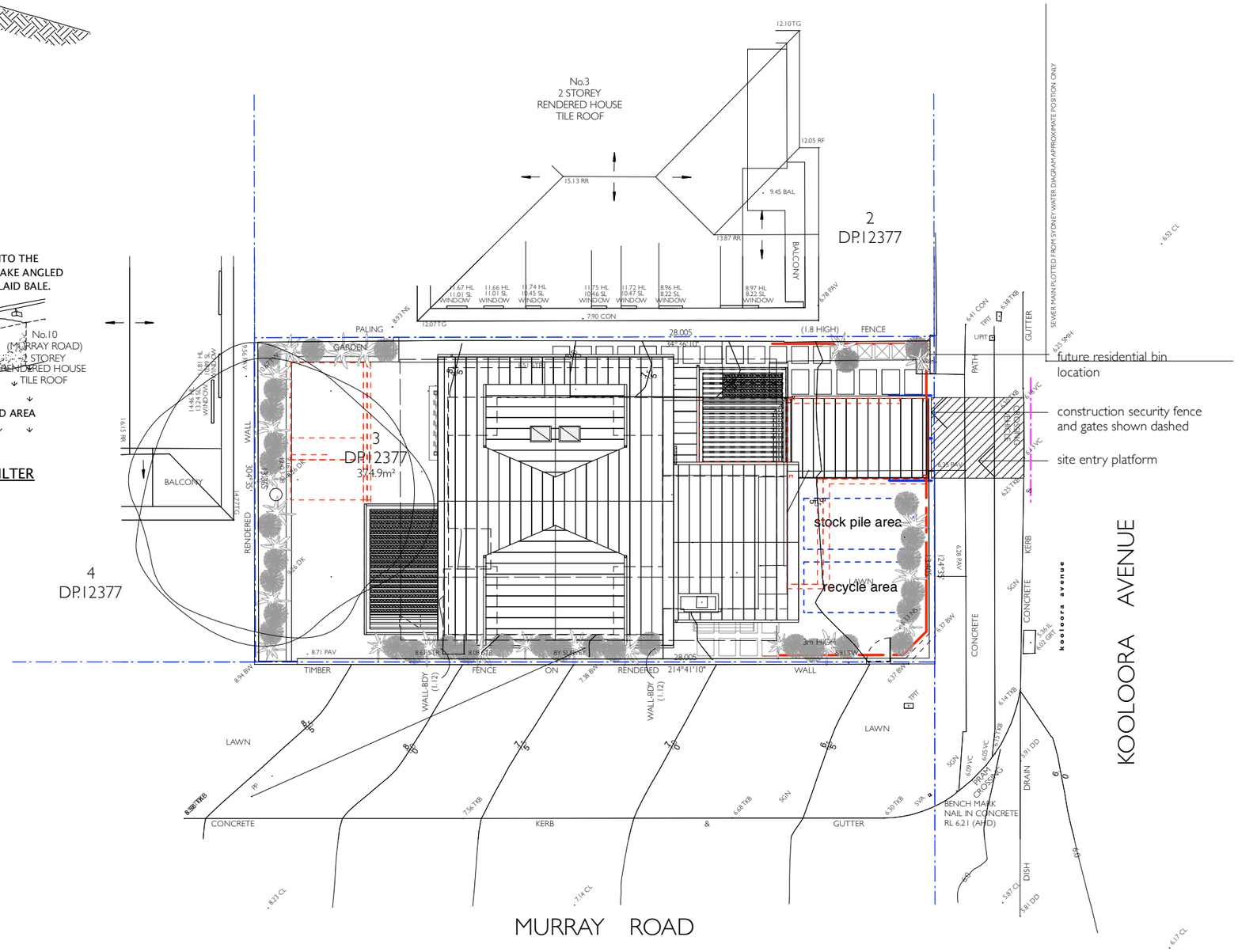
8. Site Stormwater drainage is to be connected and commissioned as soon as practicable following completion of the works.




PORTABLE GRAVEL KERB
SEDIMENT TRAP




STRAW BALE AND GEOTEXTILE SEDIMENT FILTER





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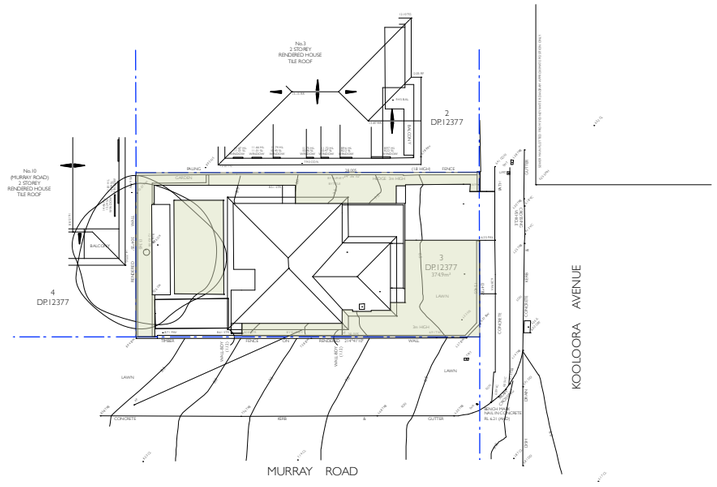
**SEDIMENT / EROSION CONTROL**
**WASTE MANAGEMENT PLAN**




Site area =374.90m2

DCP D1 Landscape Open Space
40% landscaped open space = 149.96m2
*pool surface area included as landscaped open space*

Existing Soft Landscape Area = 183.70m2
Compliance = yes

**Landscape Legend**

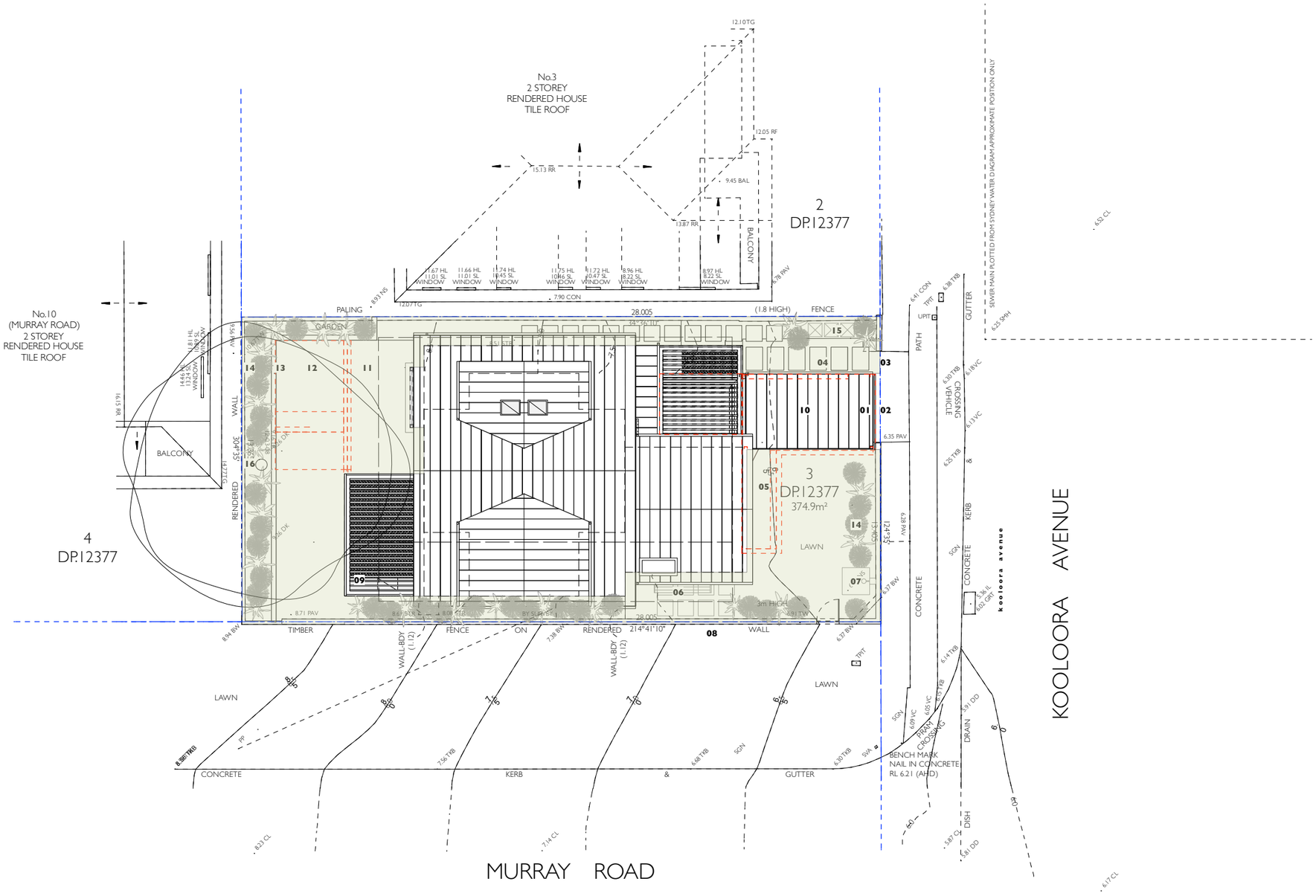
01. New concrete driveway
02. New sliding driveway gate
03. New pedestrian gate
04. New 900mm(w) steppings stones
05. DA approved 0.4m(h) retaining wall shown dashed in red
06. Clothes line
07 New outdoor shower
08. Renew existing 1.8m(h) masonry and timber fence
09. New timber pergola
10. New single carport
11. Lawn
12. DA approved swimming pool shown dashed in red
13. Renew 1.2m(h) garden wall
14. Perimeter planting, 80% shale slopes community
15. Domestic bin location
16. Existing avocaod tree (exempt sepcies) to be retained

PLANT STOCK TO BE AT LEAST **80% LOCALLY NATIVE PLANT SPECIES**

Site area =374.90m2

DCP D1 Landscape Open Space
40% landscaped open space = 146m2

Proposed Soft Landscape Area = 186m2
Compliance = yes

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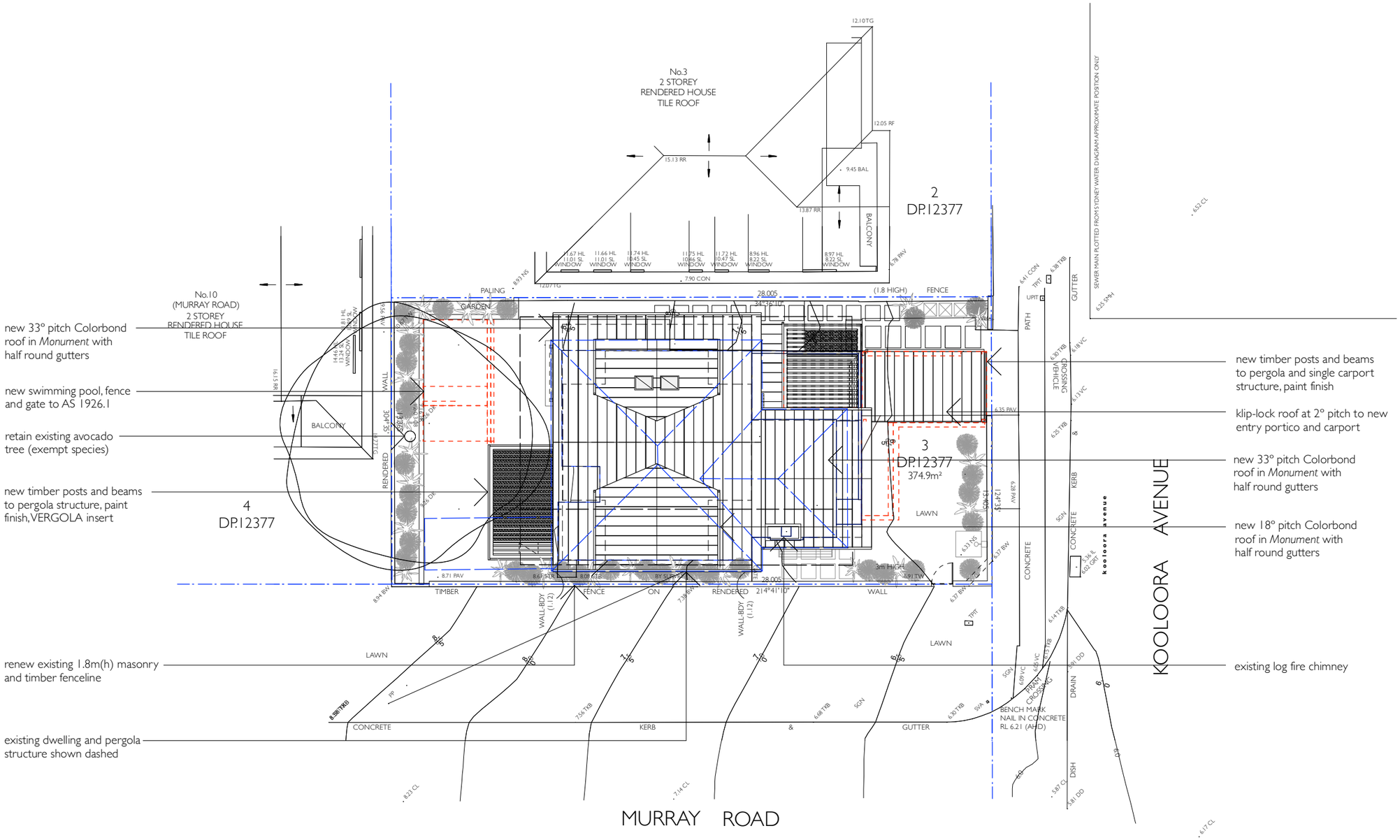
**LANDSCAPE PLAN**

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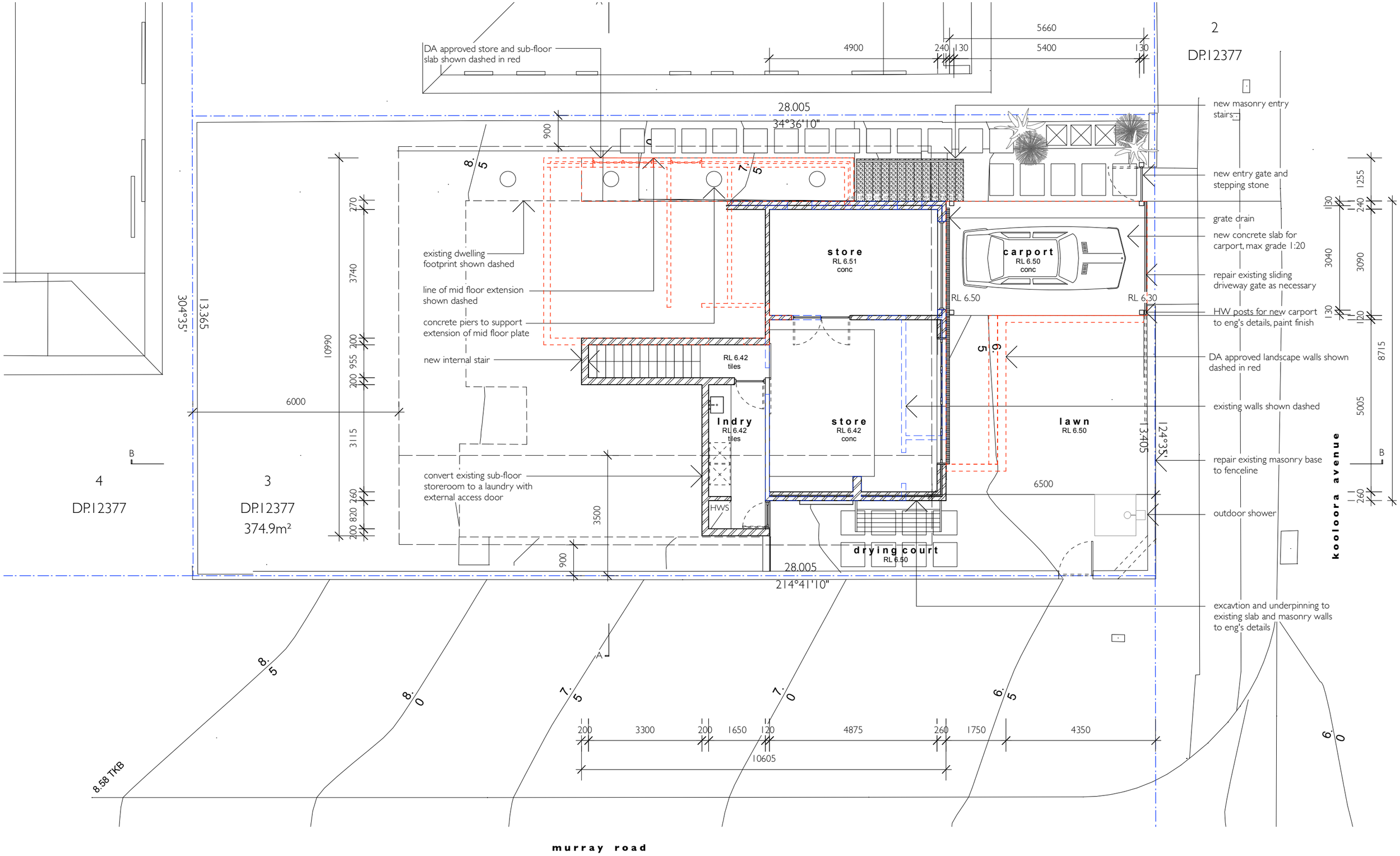
**SITE PLAN**

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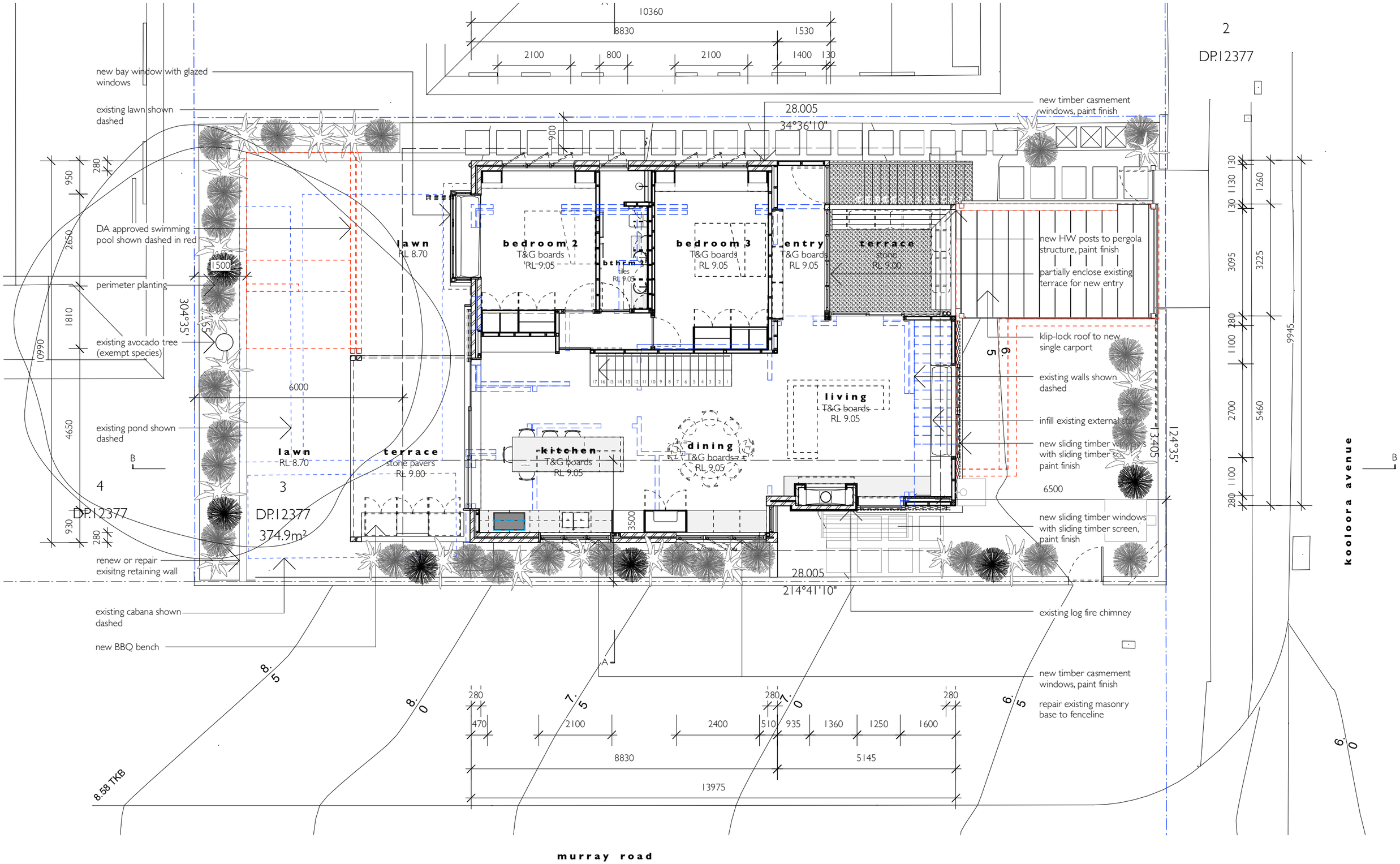
| DATE | 24.02.23 |
| ISSUE | Section 4.55(1A) |
| JOB # | 199 |
| SCALE | 1:100 @ A3 |

**LOWER FLOOR PLAN**

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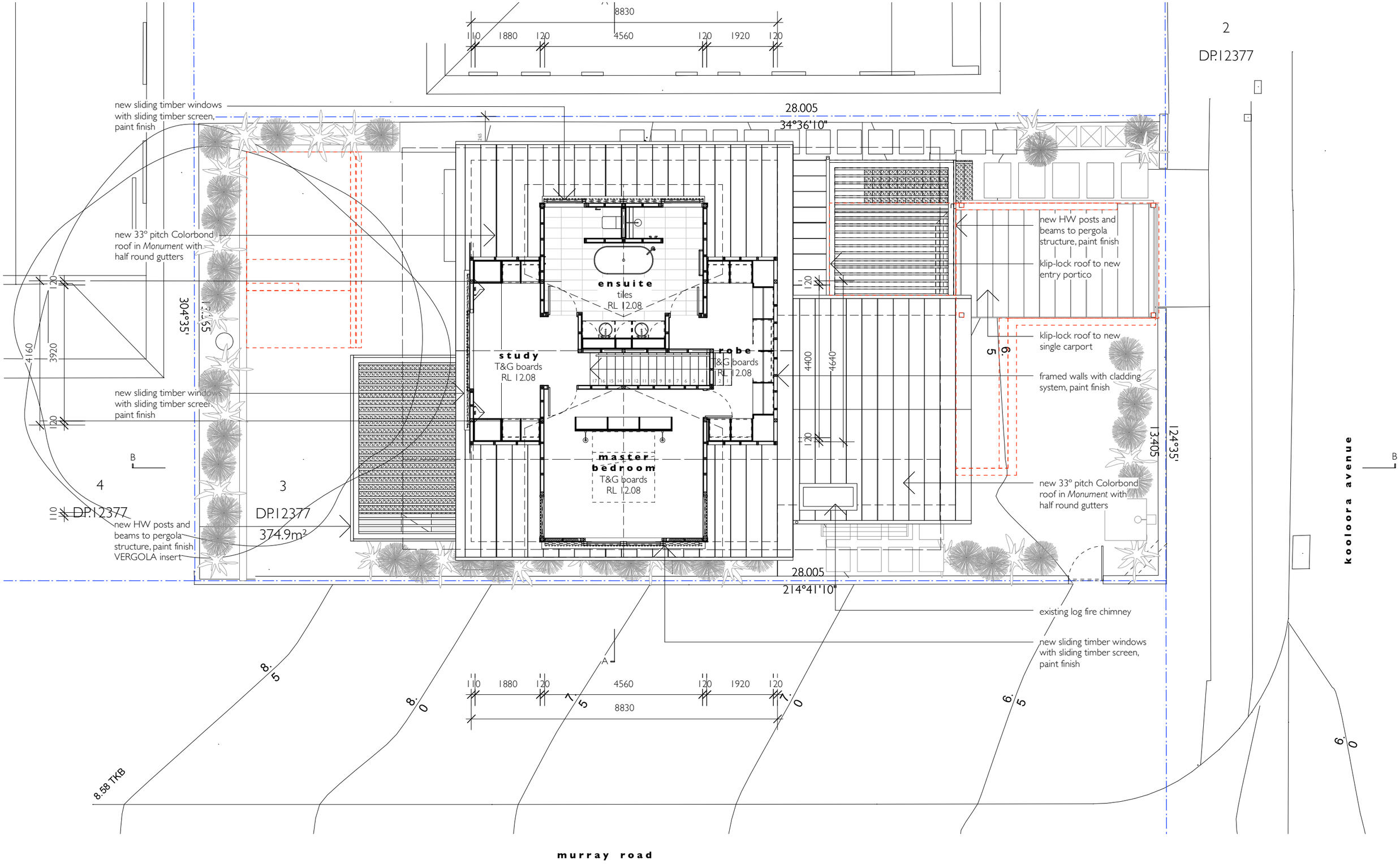
**MID FLOOR PLAN**

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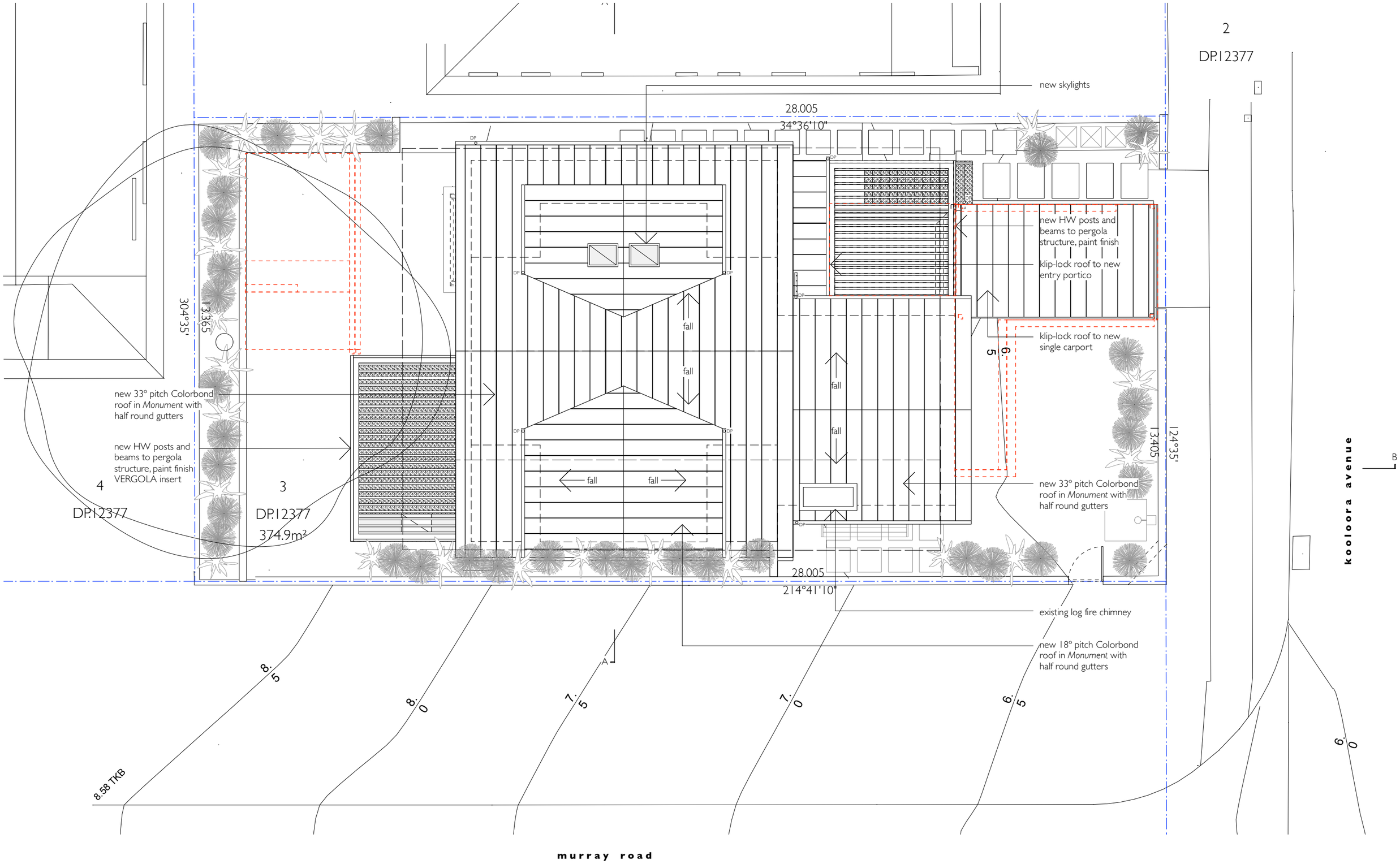
**UPPER FLOOR PLAN**

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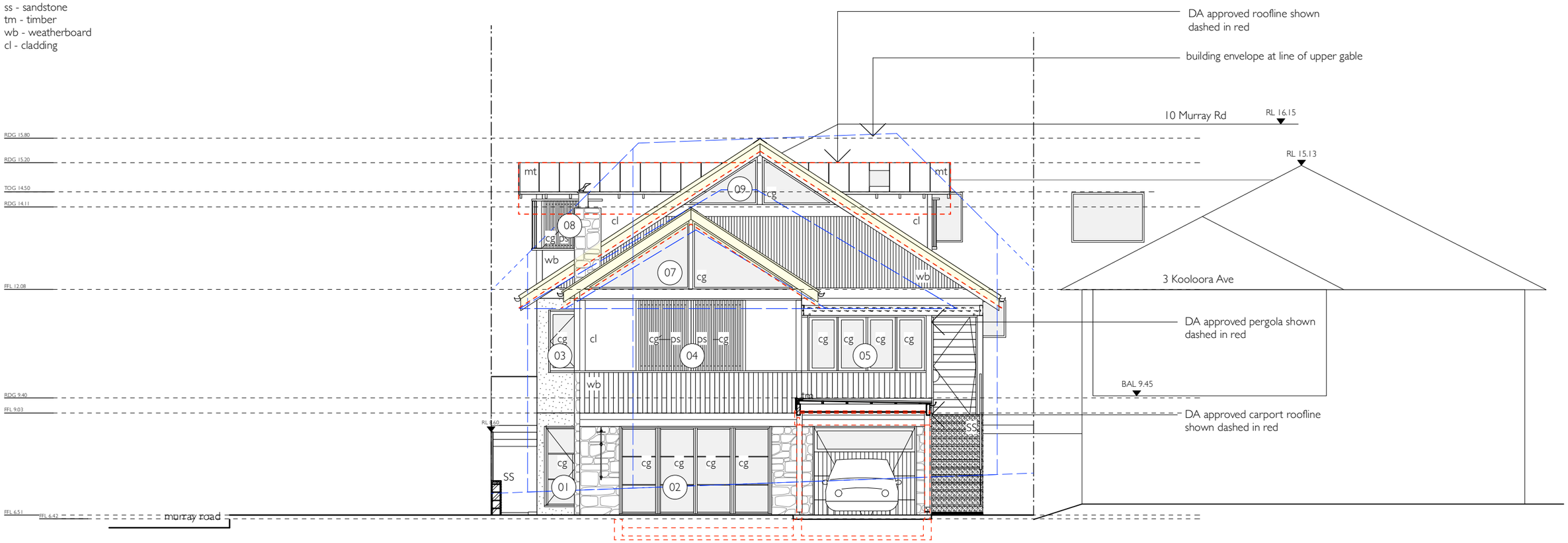
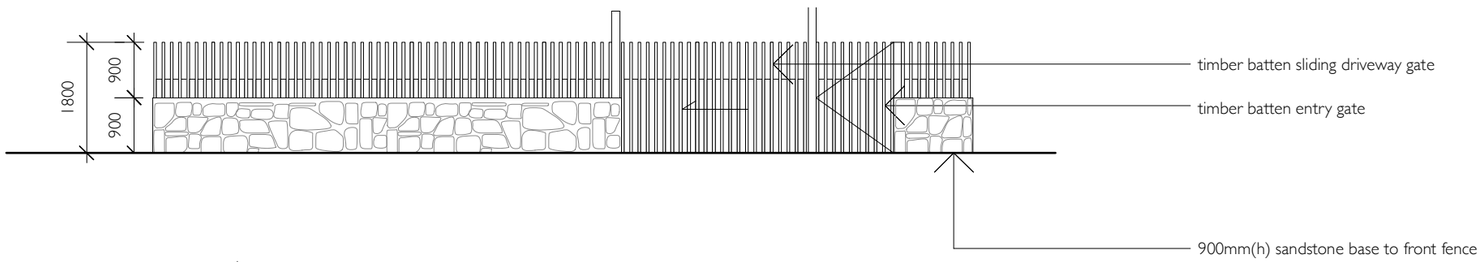
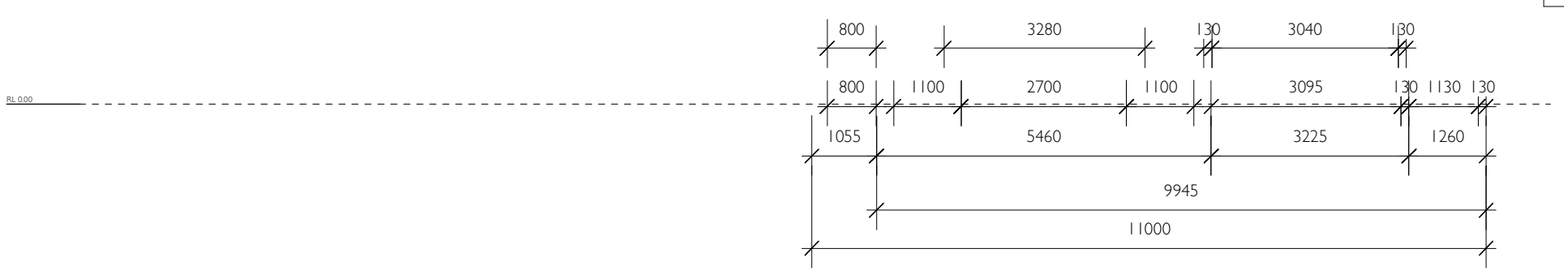
**ROOF PLAN**

MATERIALS LEGEND

mn - masonry
cn - concrete
cr - cement render
cg - clear glass
og - opaque glass
mt - metal roof
ps - privacy screen
ss - sandstone
tm - timber
wb - weatherboard
cl - cladding

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| JOB # | 199 |
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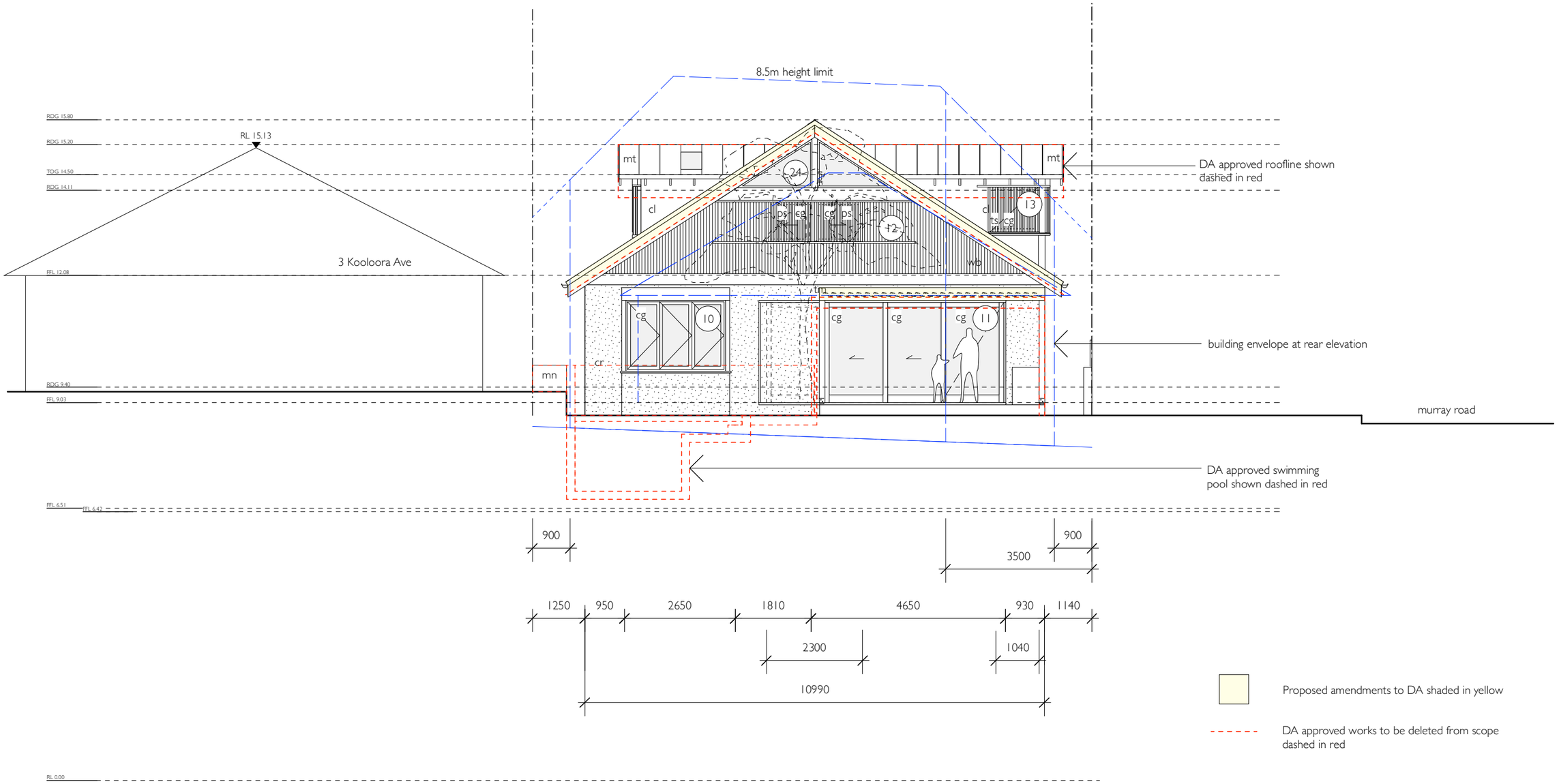
**NE ELEVATION**

MATERIALS LEGEND

mn - masonry
cn - concrete
cr - cement render
cg - clear glass
og - opaque glass
mt - metal roof
ps - privacy screen
ss - sandstone
tm - timber
wb - weatherboard
cl - cladding





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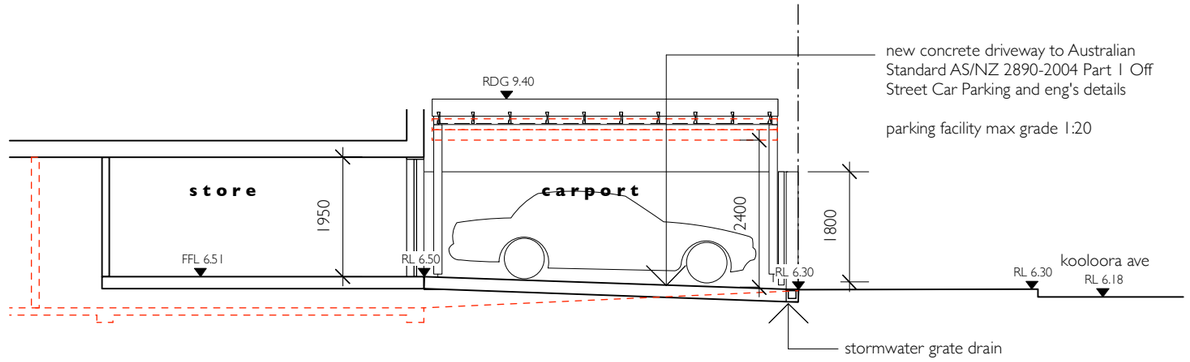
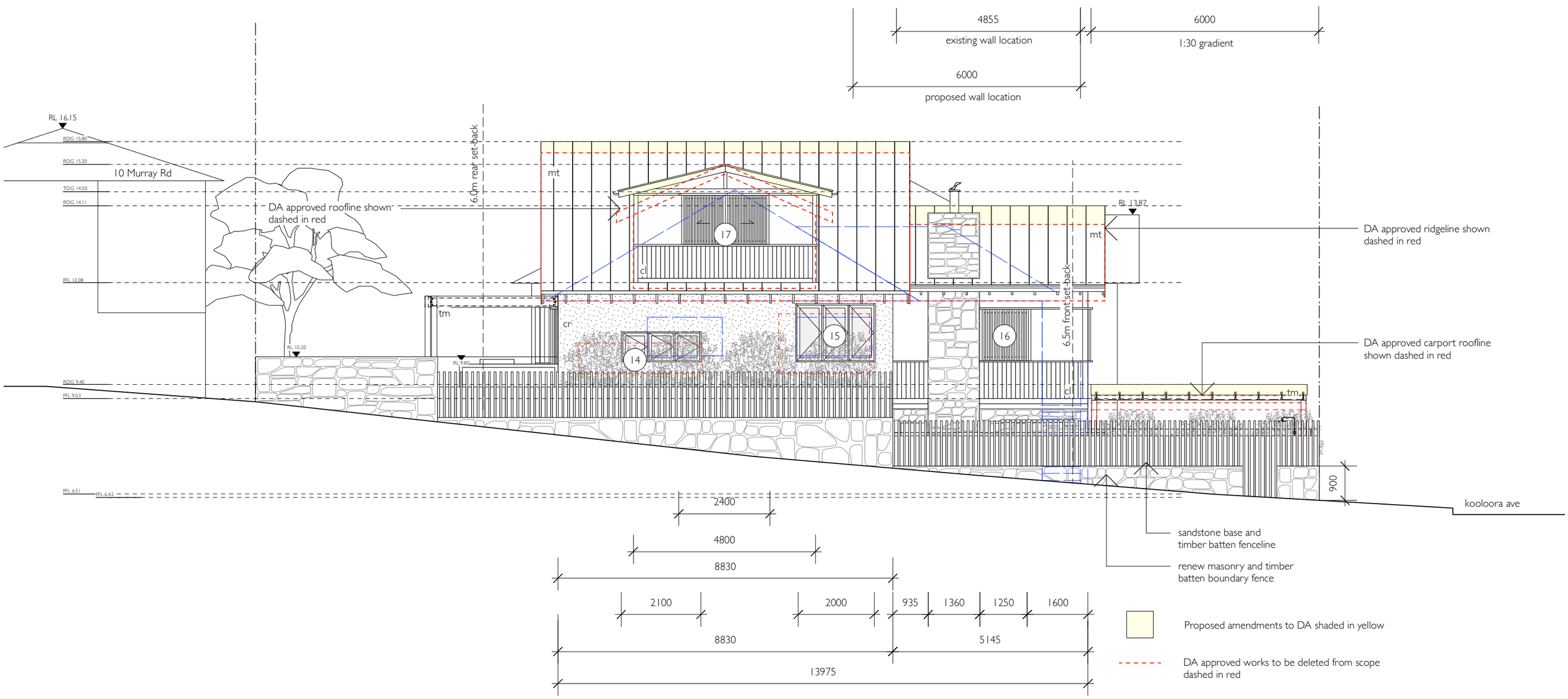
| JOB # | 199 |
| SCALE | 1:100 @ A3 |

**SW ELEVATION**

MATERIALS LEGEND

mn - masonry
cn - concrete
cr - cement render
cg - clear glass
og - opaque glass
mt - metal roof
ps - privacy screen
ss - sandstone
tm - timber
wb - weatherboard
cl - cladding





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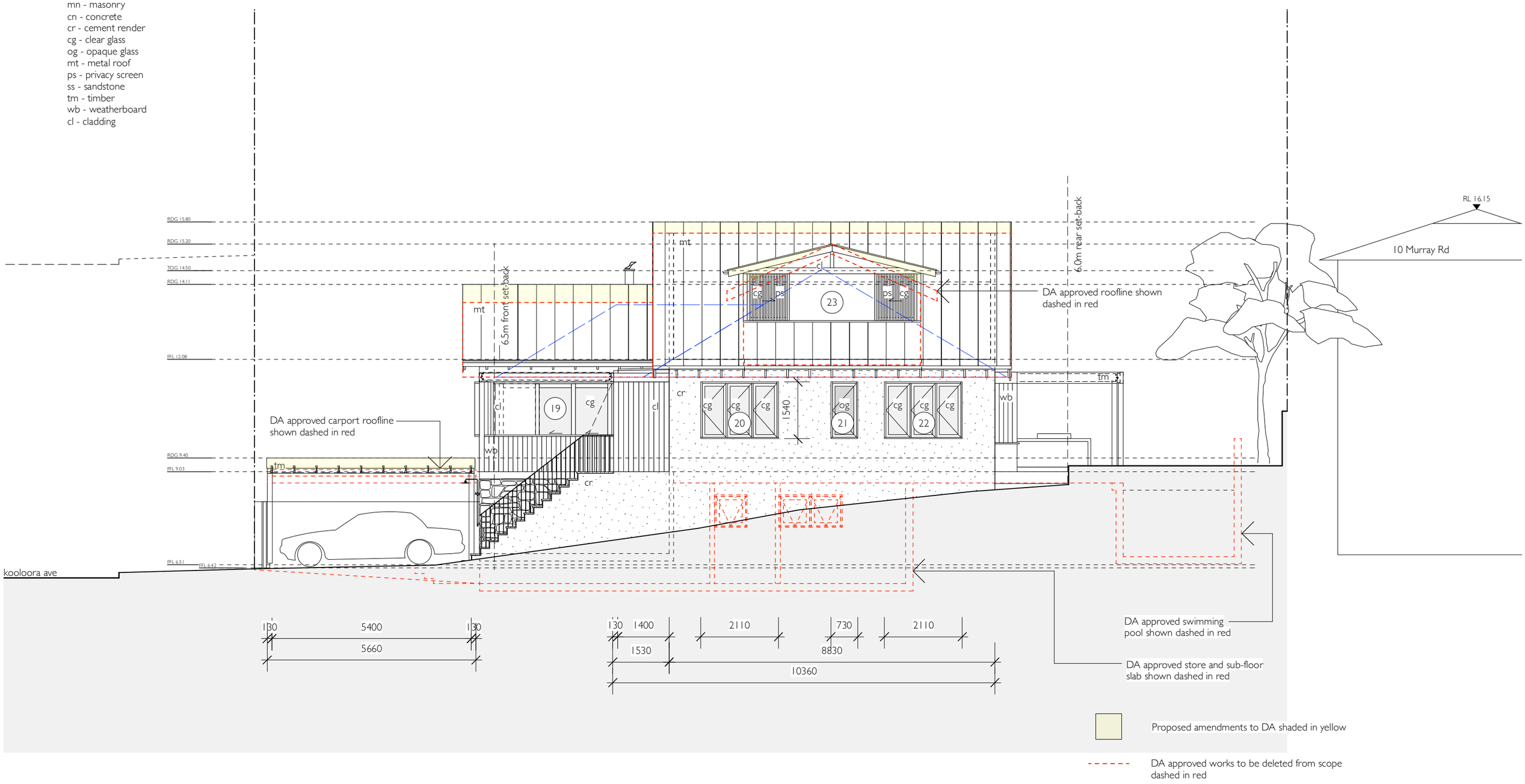
**SE ELEVATION + CARPORT SECTION**

MATERIALS LEGEND

mn - masonry
cn - concrete
cr - cement render
cg - clear glass
og - opaque glass
mt - metal roof
ps - privacy screen
ss - sandstone
tm - timber
wb - weatherboard
cl - cladding





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| ISSUE | Section 4:55 |
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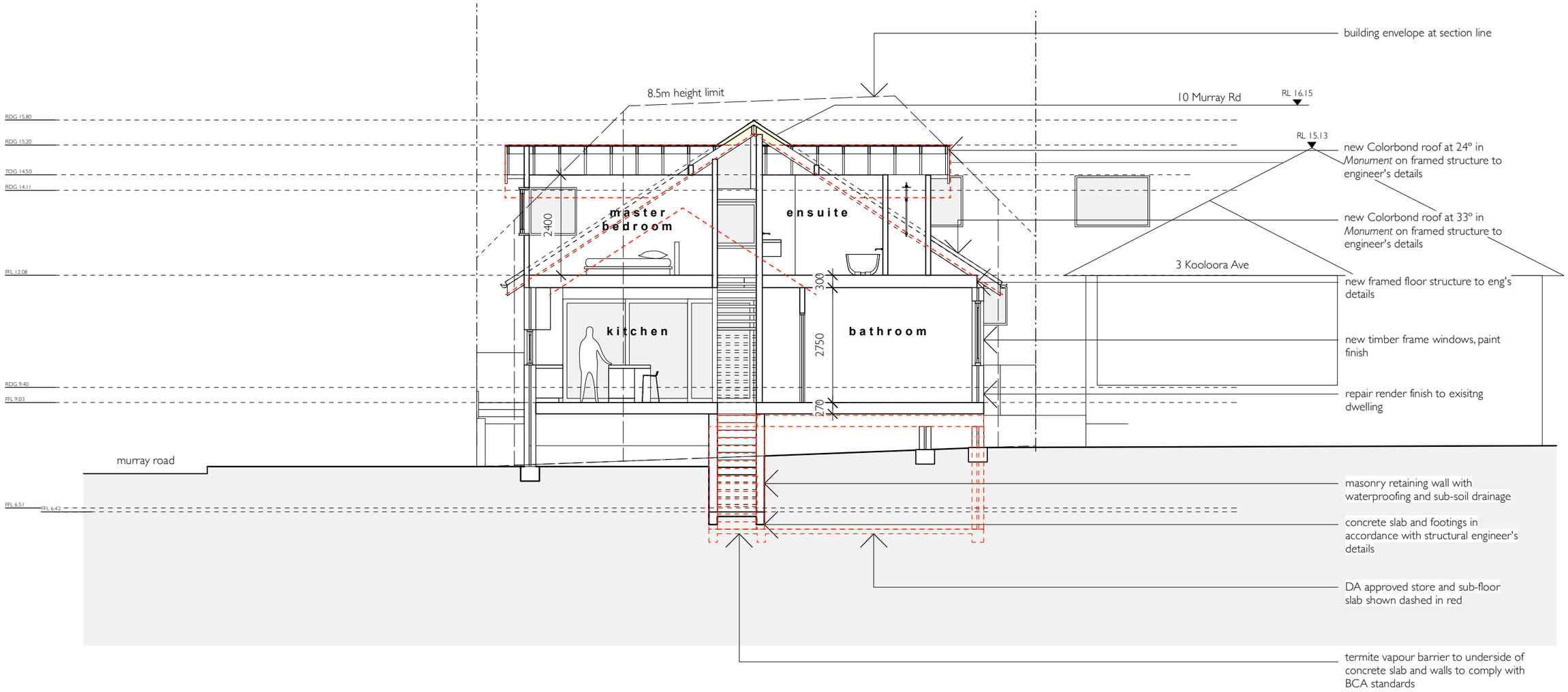
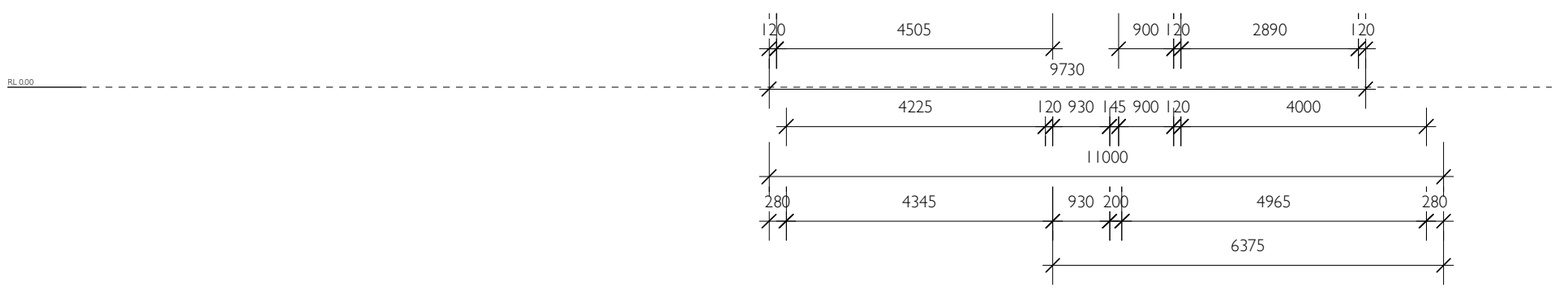
| SCALE | 1:100 @ A3 |

**NW ELEVATION**

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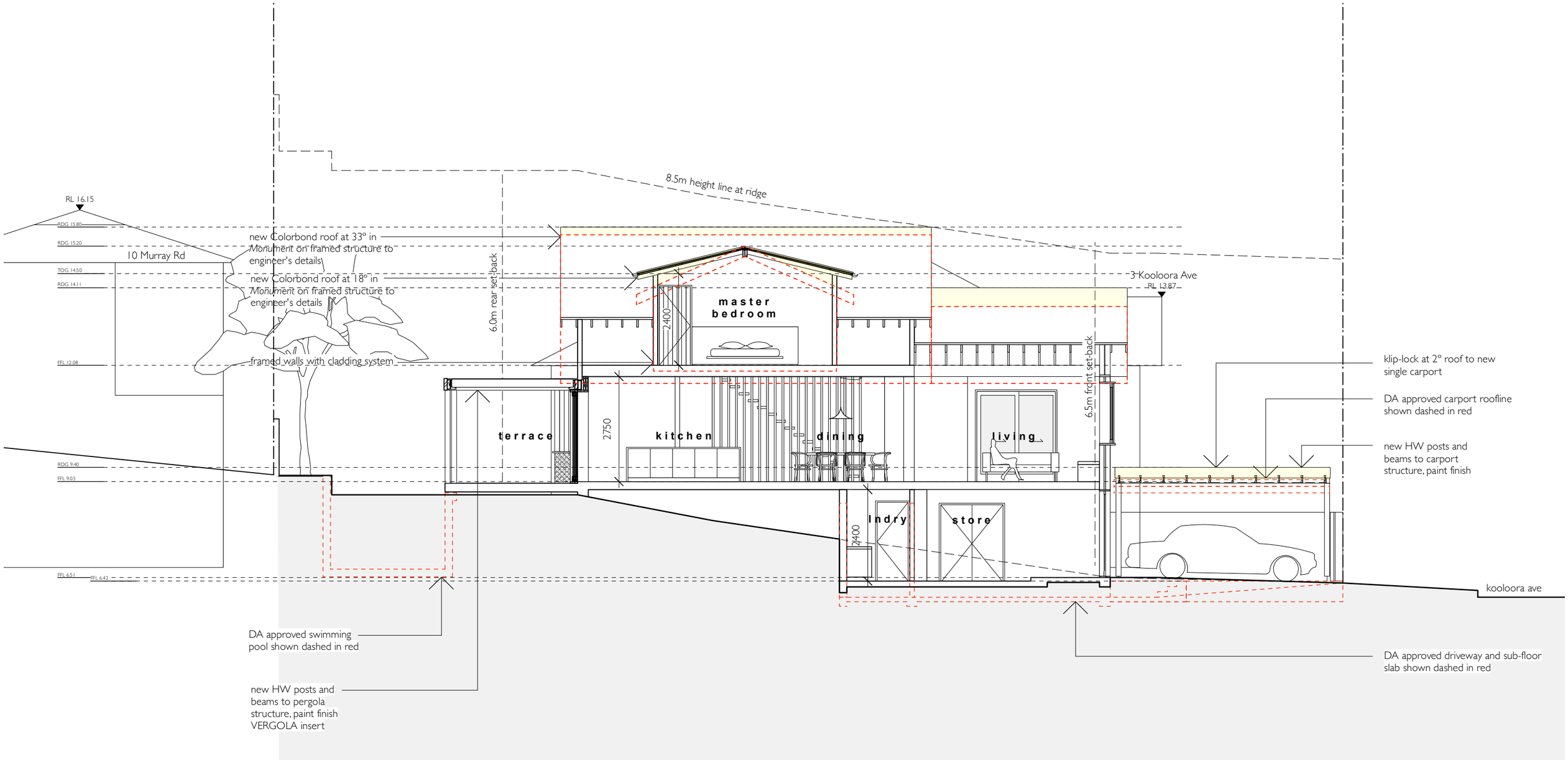
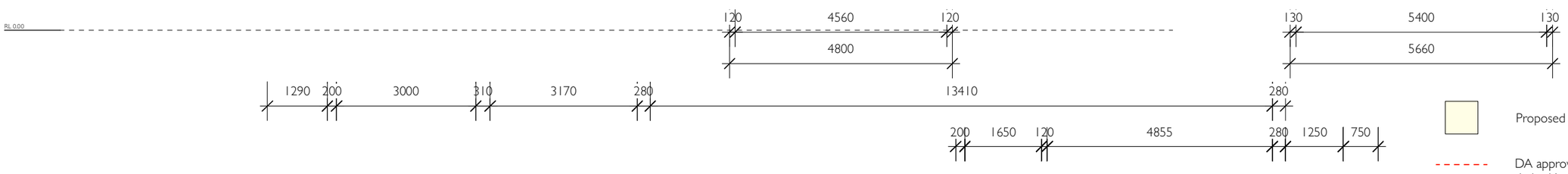
**SECTION AA**

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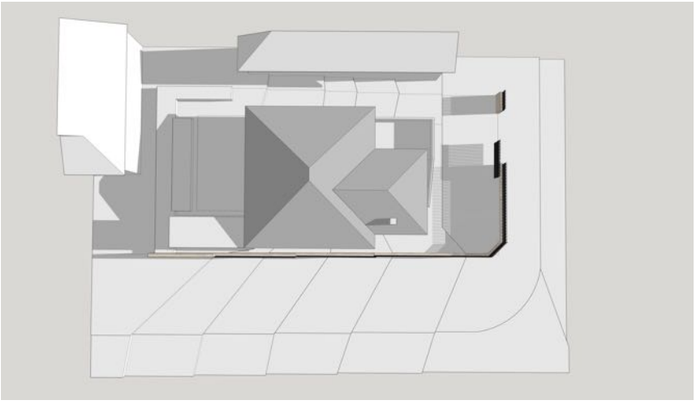
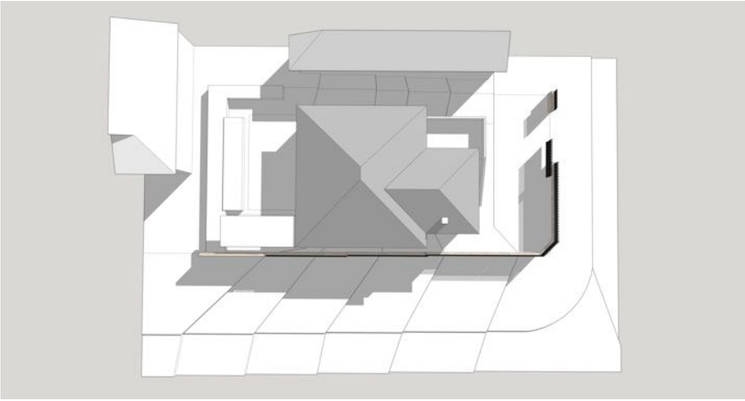
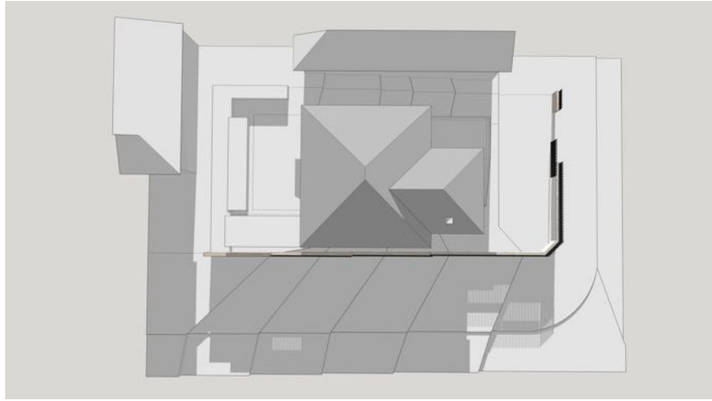
**SECTION BB**



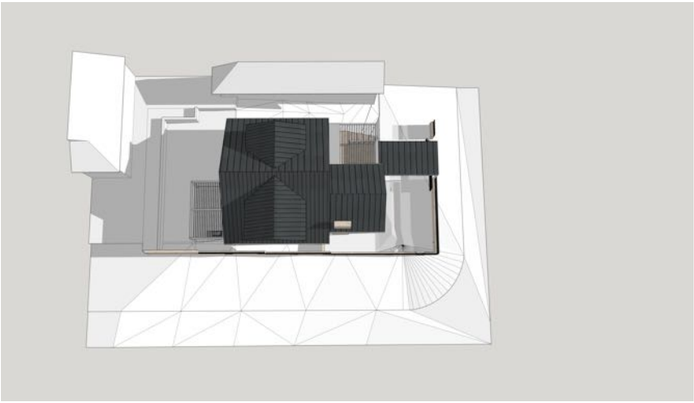
**9:00am June 21 - Existing Dwelling**



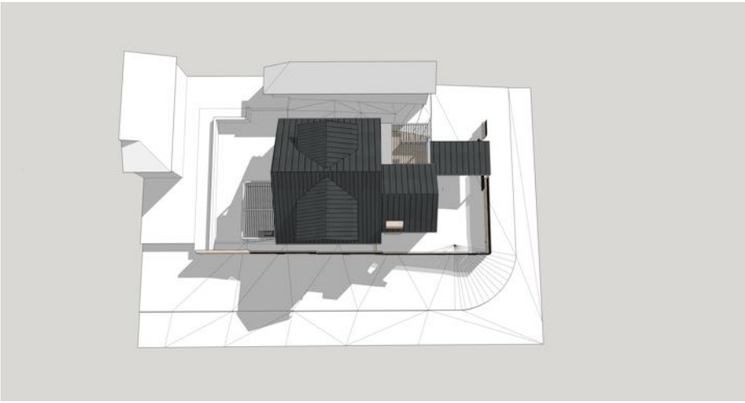
**12:00pm June 21 - Existing Dwelling**



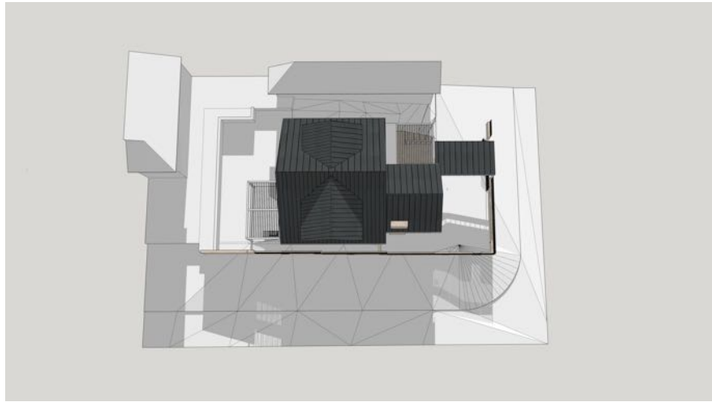
**3:00pm June 21 - Existing Dwelling**



**9:00am June 21 - Proposed Dwelling**



**12:00pm June 21 - Proposed Dwelling**



**3:00pm June 21 - Proposed Dwelling**

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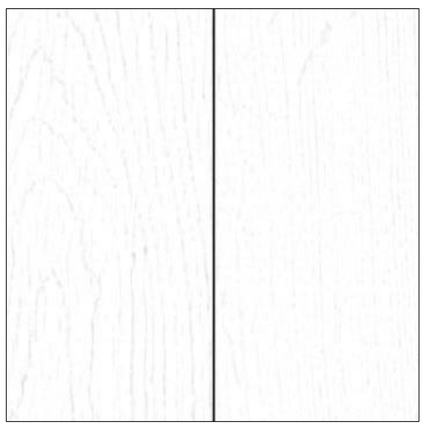
**SHADOW DIAGRAMS JUNE 21**
**EXISTING + PROPOSED**

**Swimming pool**
- proposed site feature

**Timber Battens**
- dwelling additions
- sliding window screens
- white paint finish



**Timber Frame**
- rafter tails
- carport and pergola frame
- door and window frames
- white paint finish

**Concrete**
- driveway
- landscaping features

**Charred Timber**
- perimeter fenceline
- sliding driveway gate
- entry gate

**Soft Landscaping**
- site condition

**Shiplap Cladding**
- dwelling additions
- PORTER'S *Popcorn* or similar

**Brick - textured render finish**
- existing dwelling
- PORTER'S *Popcorn* or similar

**Colorbond Monument**
- roofing
- gutters
- downpipes

**Sandstone**
- landscaping features
- perimeter fenceline base

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**SCHEDULE OF EXTERNAL FINISHES**