

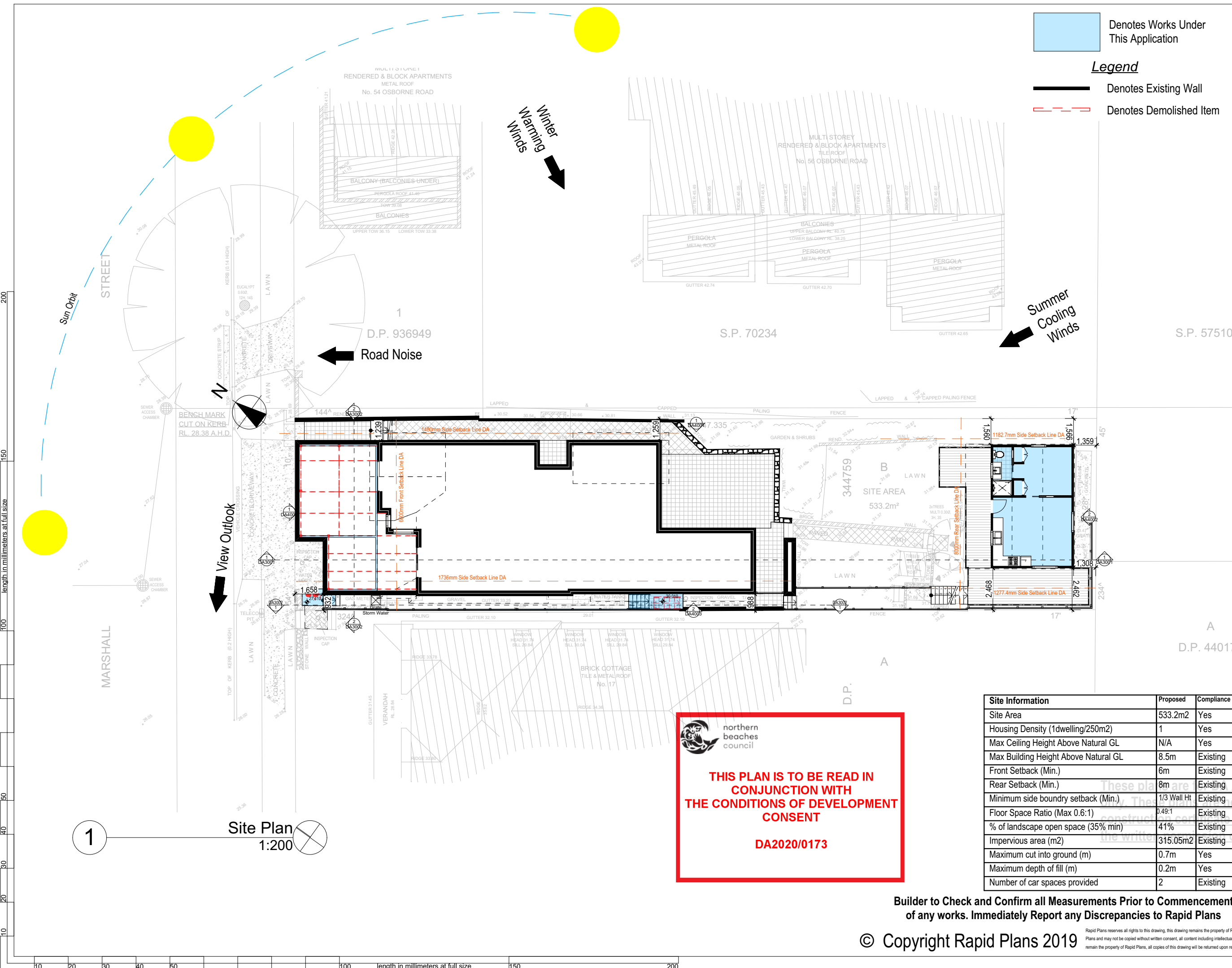
**NOTES**  
 19 Marshall Street, Manly is zoned R1 General Residential.  
 New Works to be constructed shown in Shaded/Blue. 19 Marshall Street, Manly is not considered a heritage item.

**Construction**  
 Concrete & Timber  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite Management to BCA and AS 3660.1  
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**Certifying**  
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**Legend**

- Denotes Works Under This Application
- Denotes Existing Wall
- Denotes Demolished Item



length in millimeters at full size

**1** Site Plan 1:200

**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

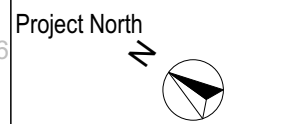
**DA2020/0173**

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

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Client: Paul Jacobsohn  
 Project Name: Alterations & Additions/Change of Use  
 19 Marshall Street, Manly 2095

Lot B D.P. 344759  
 Drawing Title: Site Plans - Site Plan

Scale: A3 as noted Date: 5-4-2019  
 Status: DA Checked By: GBJ

Project No: RP0119JAC Drawing No: DA1003



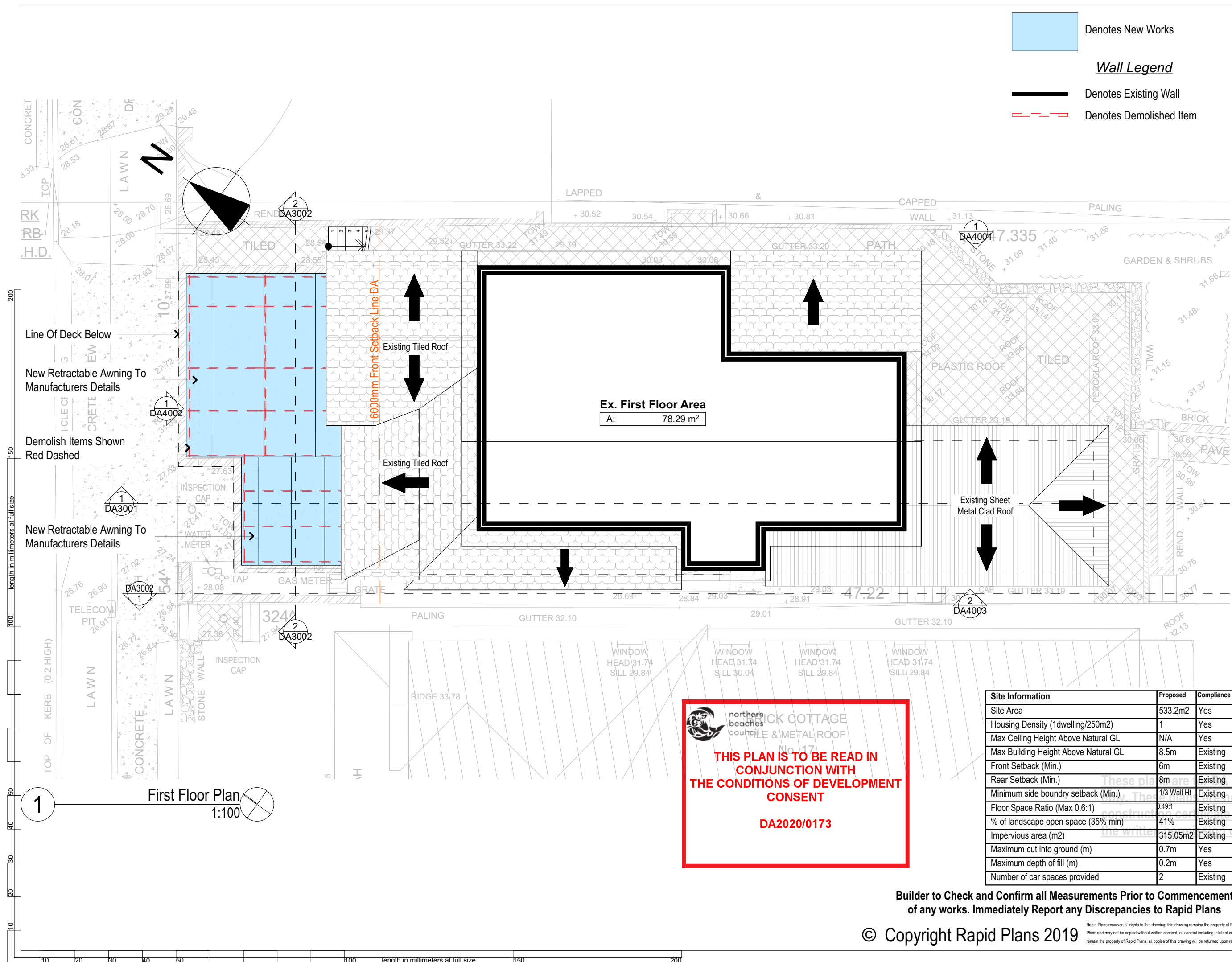


**Denotes New Works**

**Wall Legend**

**Denotes Existing Wall**

**Denotes Demolished Item**



**NOTES**  
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**Construction**  
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Line Of Deck Below

New Retractable Awning To Manufacturers Details

Demolish Items Shown Red Dashed

New Retractable Awning To Manufacturers Details

length in millimeters at full size

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0173**

Site Information	Proposed	Compliance
Site Area	533.2m2	Yes
Housing Density (1dwelling/250m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m2)	315.05m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

Project North

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

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Client: Paul Jacobsohn  
 Project Name: Alterations & Additions/Change of Use  
 19 Marshall Street, Manly  
 2095

Lot B D.P.344759  
 Drawing Title: Plans - First Floor Plan  
 First Floor Plan

Scale: A3 as noted Date: 5-4-2019  
 Status: DA Checked By: GBJ

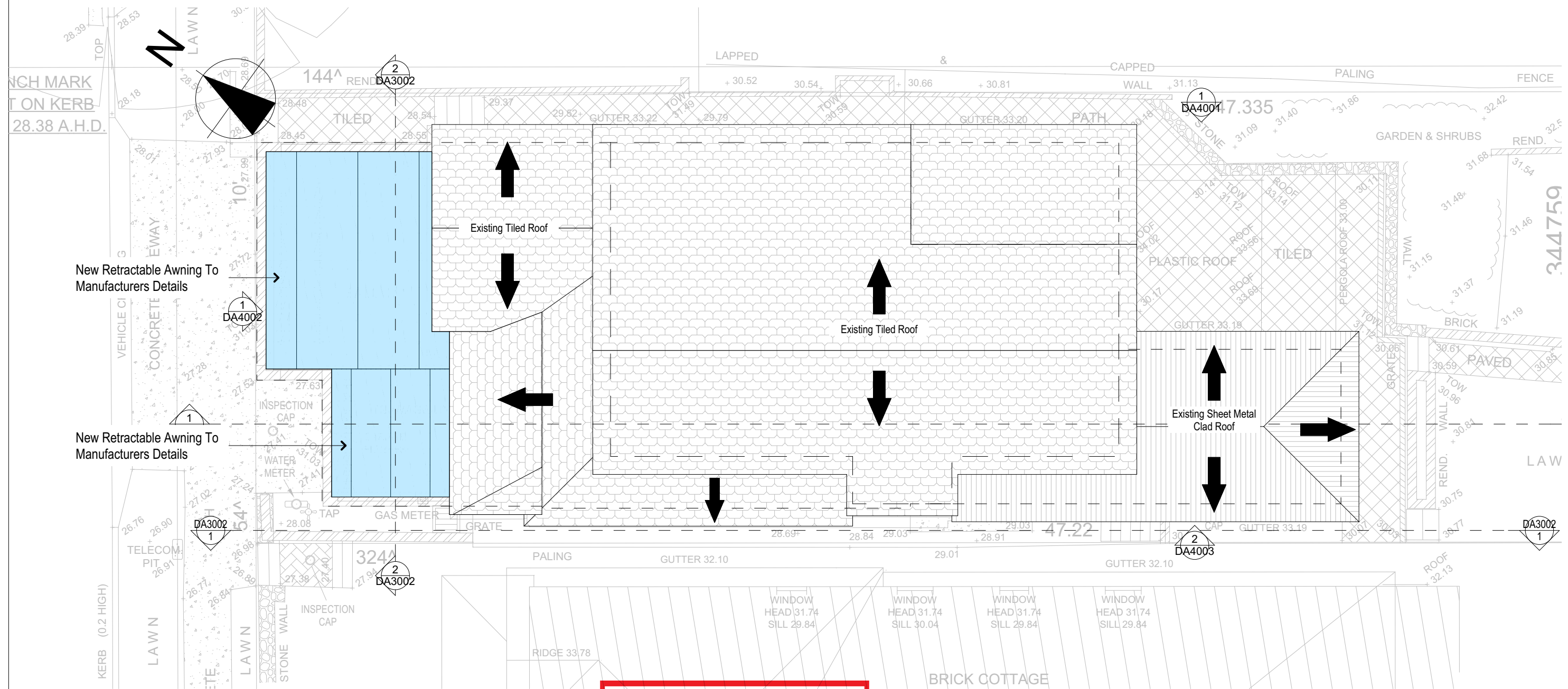
Project No: RP0119JAC Drawing No: DA2004

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Denotes Works Under This Application



Adjoins Sheet DA2006

1 Roof Plan 1:100


  
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**DA2020/0173**

**DA APPLICATION ONLY**  
 NOT FOR CONSTRUCTION

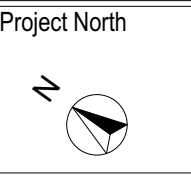
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Site Information	Proposed	Compliance
Site Area	533.2m2	Yes
Housing Density (1dwelling/250m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
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Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m2)	315.05m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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Client:  
 Paul Jacobsohn

Client  
 Paul Jacobsohn  
 Project Name  
**Alterations & Additions/Change of Use**  
 19 Marshall Street, Manly  
 2095

Lot B D.P. 344759  
 Drawing Title:  
 Plans - Roof Plan Primary  
 Dwelling  
 Roof Plan

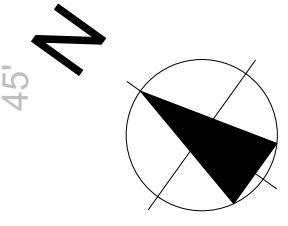
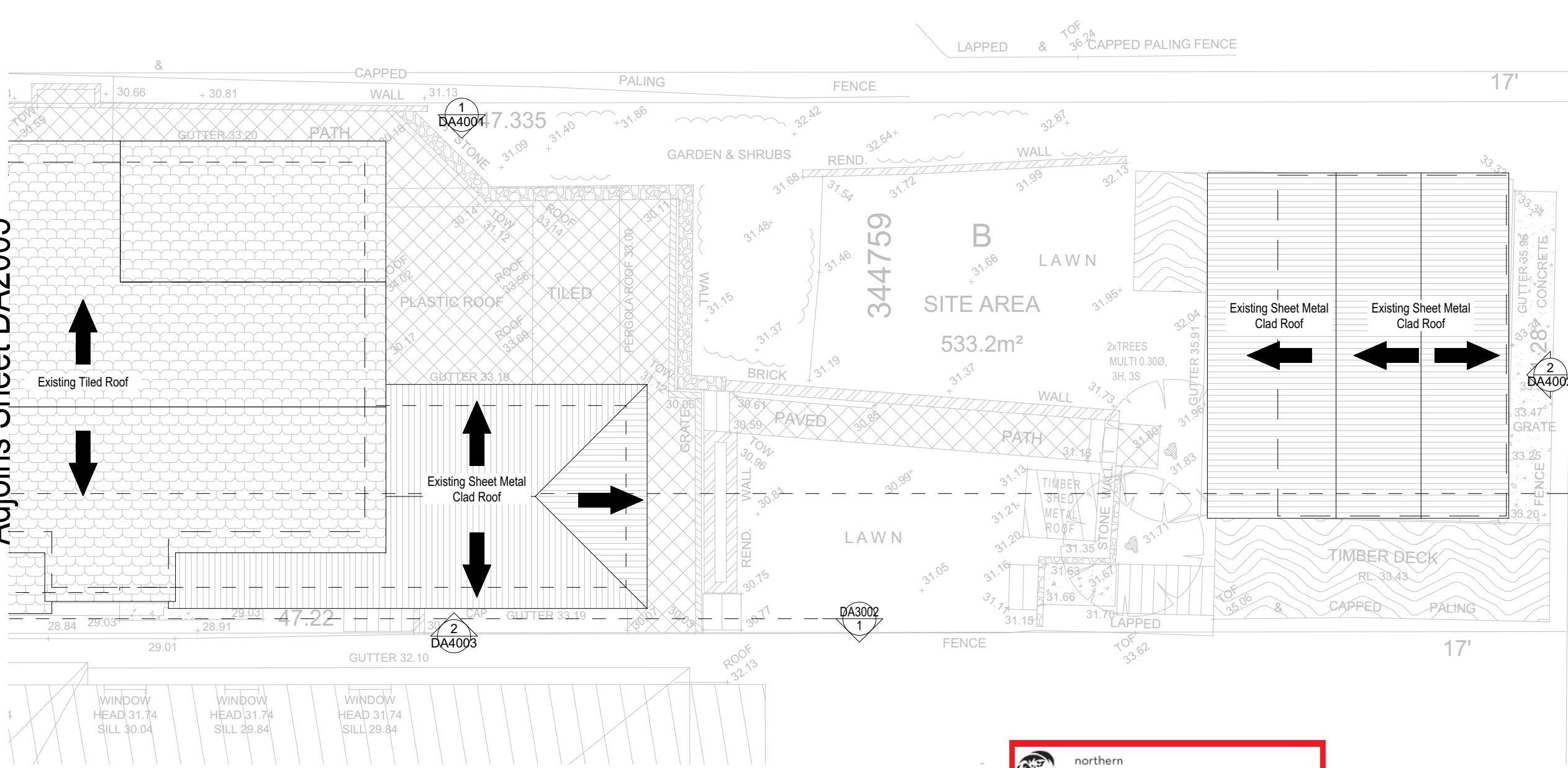
Scale: A3 as noted  
 Status: DA  
 Project No.  
 RP0119JAC

Date: 5-4-2019  
 Checked By: GBJ  
 Drawing No.  
**DA2005**



Denotes Works Under This Application

Adjoins Sheet DA2005



1 Roof Plan 1:100

  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**DA2020/0173**

Site Information	Proposed	Compliance
Site Area	533.2m2	Yes
Housing Density (1dwelling/250m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m2)	315.05m2	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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**NOTES**  
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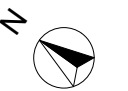
**Construction**  
 Concrete & Timber Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1



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Project North



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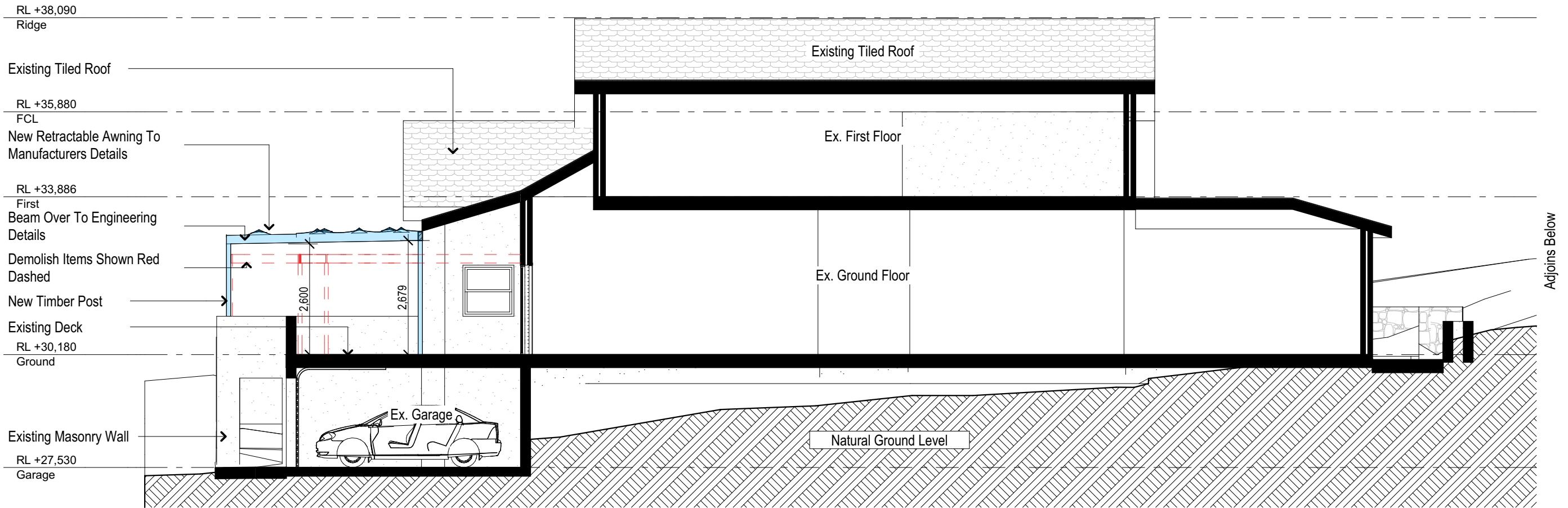
Client:  
 Paul Jacobsohn

Client  
 Paul Jacobsohn  
 Project Name  
 Alterations & Additions/Change of Use  
 19 Marshall Street, Manly  
 2095

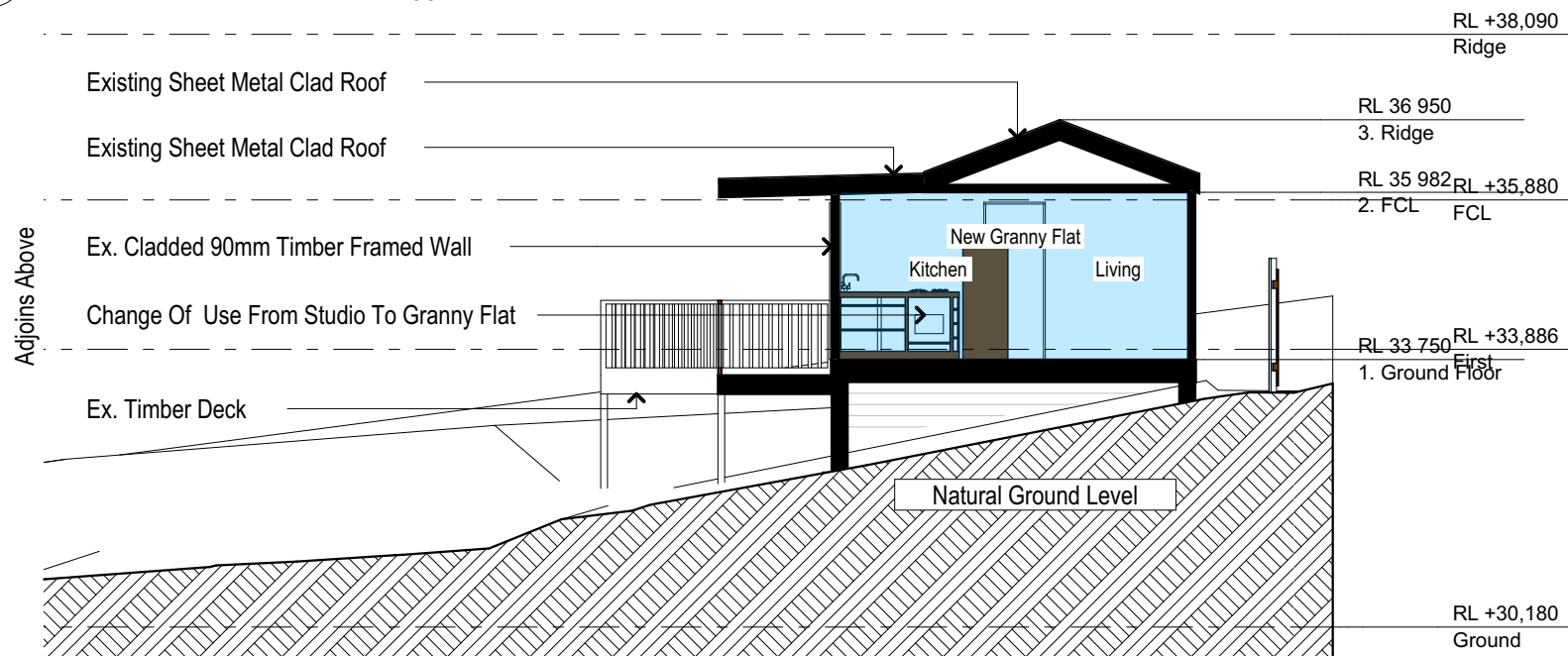
Lot B D.P. 344759  
 Drawing Title:  
 Plans - Roof Plan Secondary Dwelling  
 Roof Plan

Scale: A3 as noted  
 Status: DA  
 Project No.  
 RP0119JAC

Date: 5-4-2019  
 Checked By: GBJ  
 Drawing No.  
**DA2006**



1 Section 1  
1:100



1 Section 1  
1:100


  
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**DA2020/0173**

- Denotes Works Under This Application
- Wall Legend**
- Denotes New Timber Framed Wall/Floor
  - Denotes New Masonry Wall
  - Denotes Existing Wall
  - - - Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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**NOT FOR CONSTRUCTION**

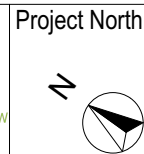
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**NOTES**  
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**Construction**  
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All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1



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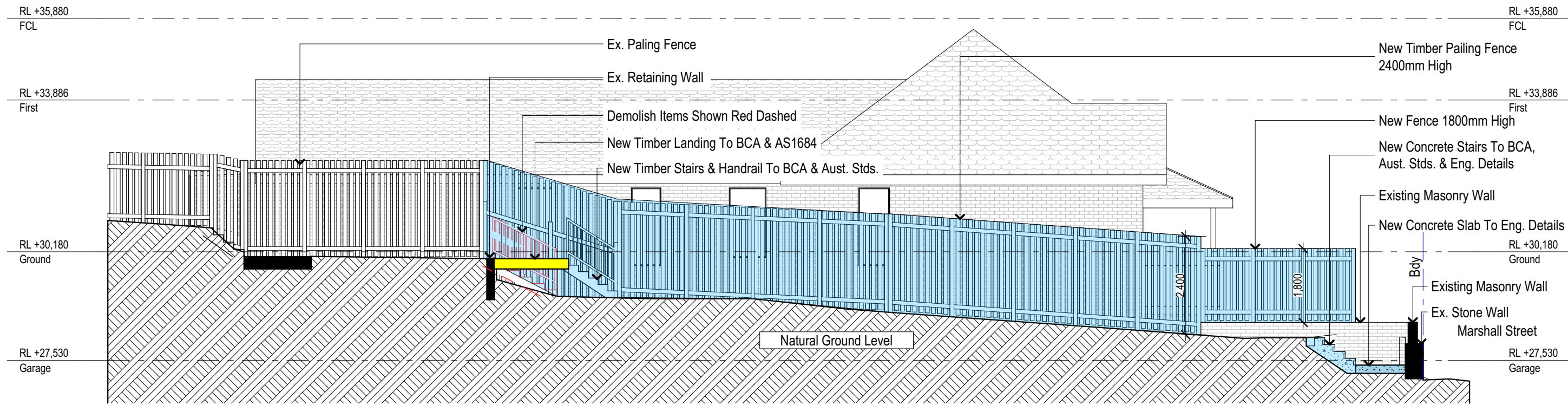
Client:  
Paul Jacobsohn

Client  
Paul Jacobsohn  
Project Name  
Alterations & Additions/Change of Use  
19 Marshall Street, Manly  
2095

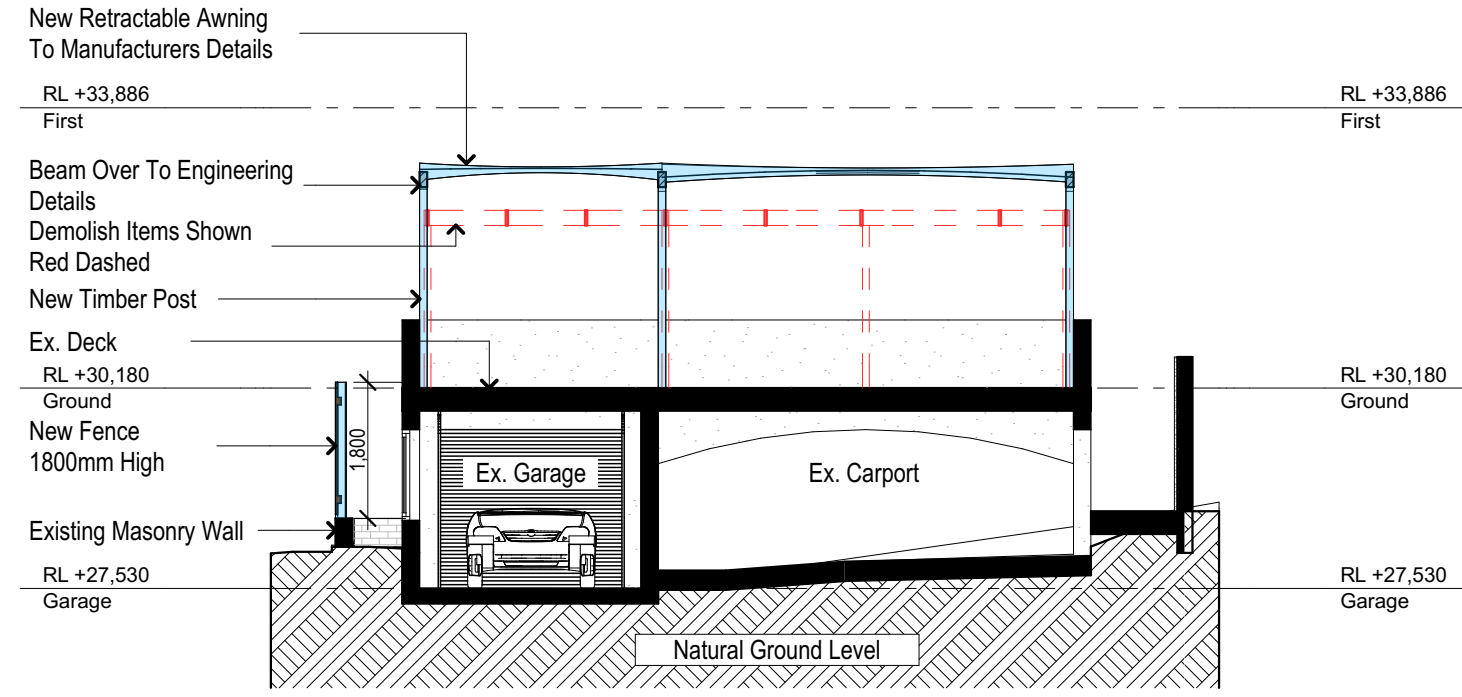
Lot B D.P.344759  
Drawing Title:  
Sections - Section 1  
Section 1

Scale: A3 as noted  
Status: DA  
Project No.  
RP0119JAC

Date: 5-4-2019  
Checked By: GBJ  
Drawing No.  
DA3001







1 Section 3  
1:100



2 Section 2  
1:100

  
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**DA2020/0173**

- Denotes New Works
- Wall Legend**
-  Denotes New Timber Framed Wall/Floor
  -  Denotes New Masonry Wall
  -  Denotes Existing Wall
  -  Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

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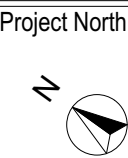
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Client: Paul Jacobsohn

Client: Paul Jacobsohn  
Project Name: Alterations & Additions/Change of Use  
19 Marshall Street, Manly 2095

Lot B D.P.344759  
Drawing Title: Sections - Section 2 Section 3, Section 2

Scale: A3 as noted  
Status: DA  
Project No. RP0119JAC

Date: 5-4-2019  
Checked By: GBJ  
Drawing No. DA3002



**NOTES**  
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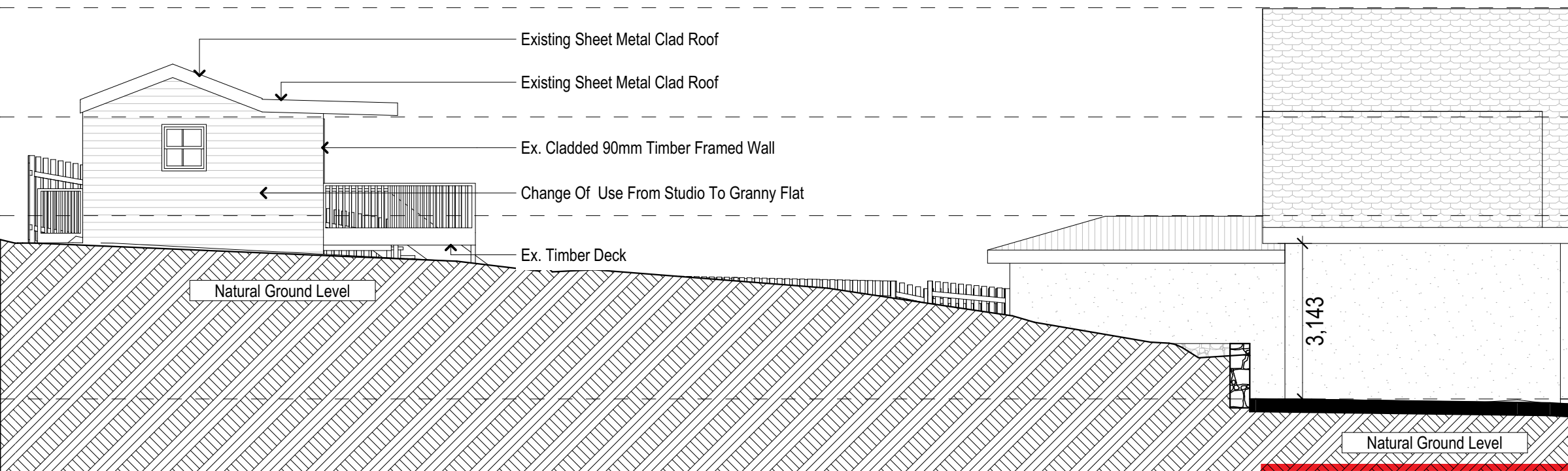
RL +38,090  
Ridge

RL +35,880  
FCL

RL +33,886  
First

RL +30,180  
Ground

Max Building Height 8500 Above GL



1 East 1:100

Max Building Height 8500 Above GL

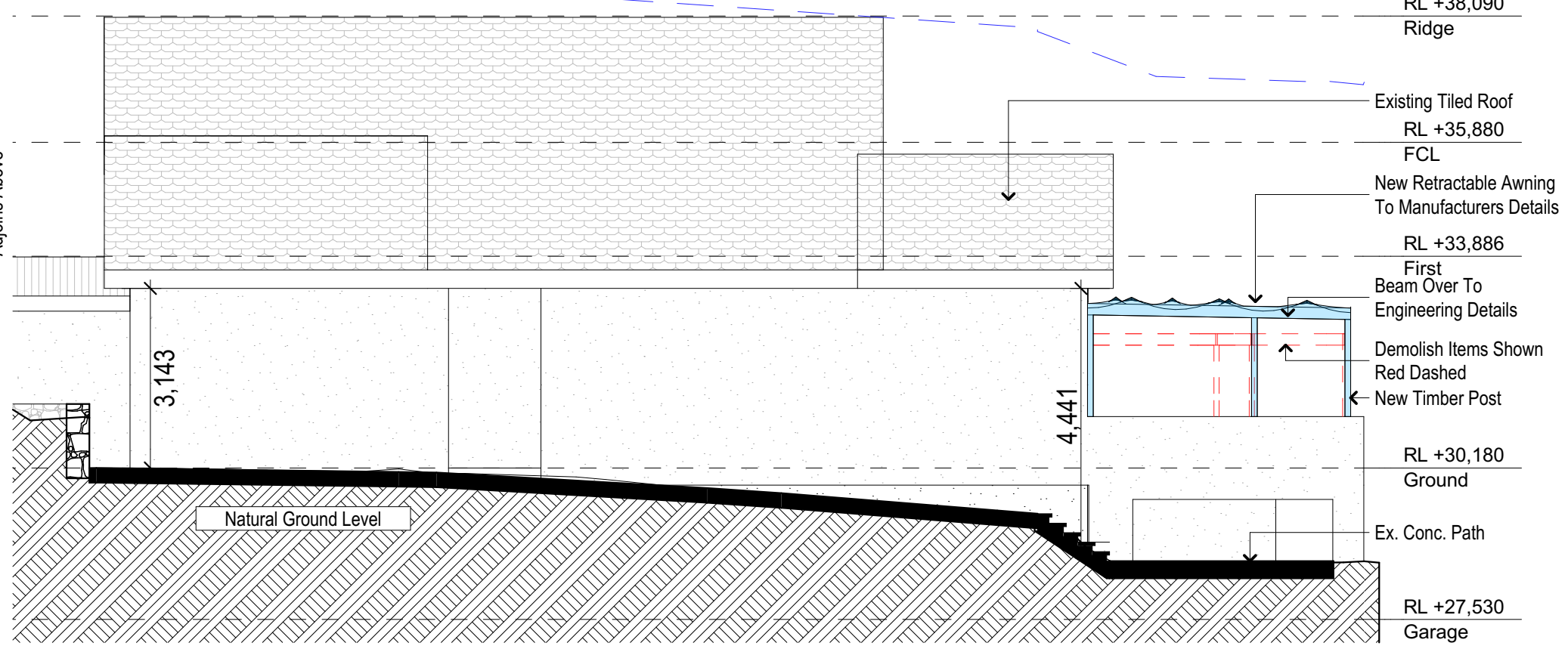
RL +38,090  
Ridge

RL +35,880  
FCL

RL +33,886  
First

RL +30,180  
Ground

RL +27,530  
Garage



2 East 1:100

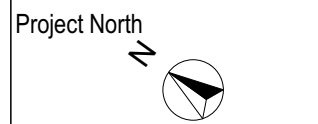
**northern beaches council**

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**DA2020/0173**

Denotes Works Under This Application

Denotes Demolished Item



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Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
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Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
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Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

Client: Paul Jacobsohn  
 Project Name: Alterations & Additions/Change of Use  
 19 Marshall Street, Manly 2095  
 Lot B D.P. 344759

Drawing Title: Elevations - Elevations 1  
 East

Scale: A3 as noted Date: 5-4-2019  
 Status: DA Checked By: GBJ

Project No: RP0119JAC Drawing No: DA4001

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length in millimeters at full size

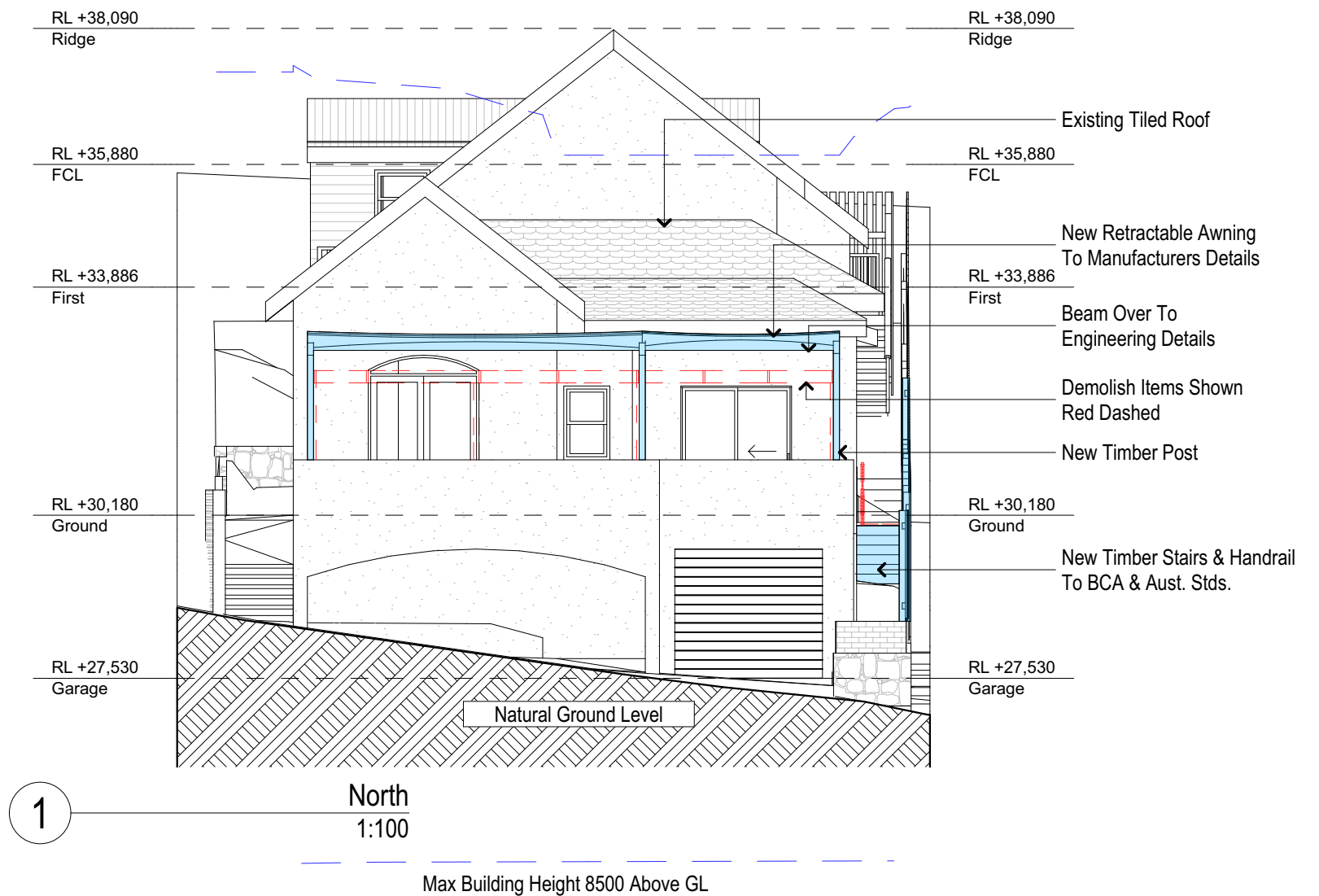
10 20 30 40 50 100 150 200 length in millimeters at full size



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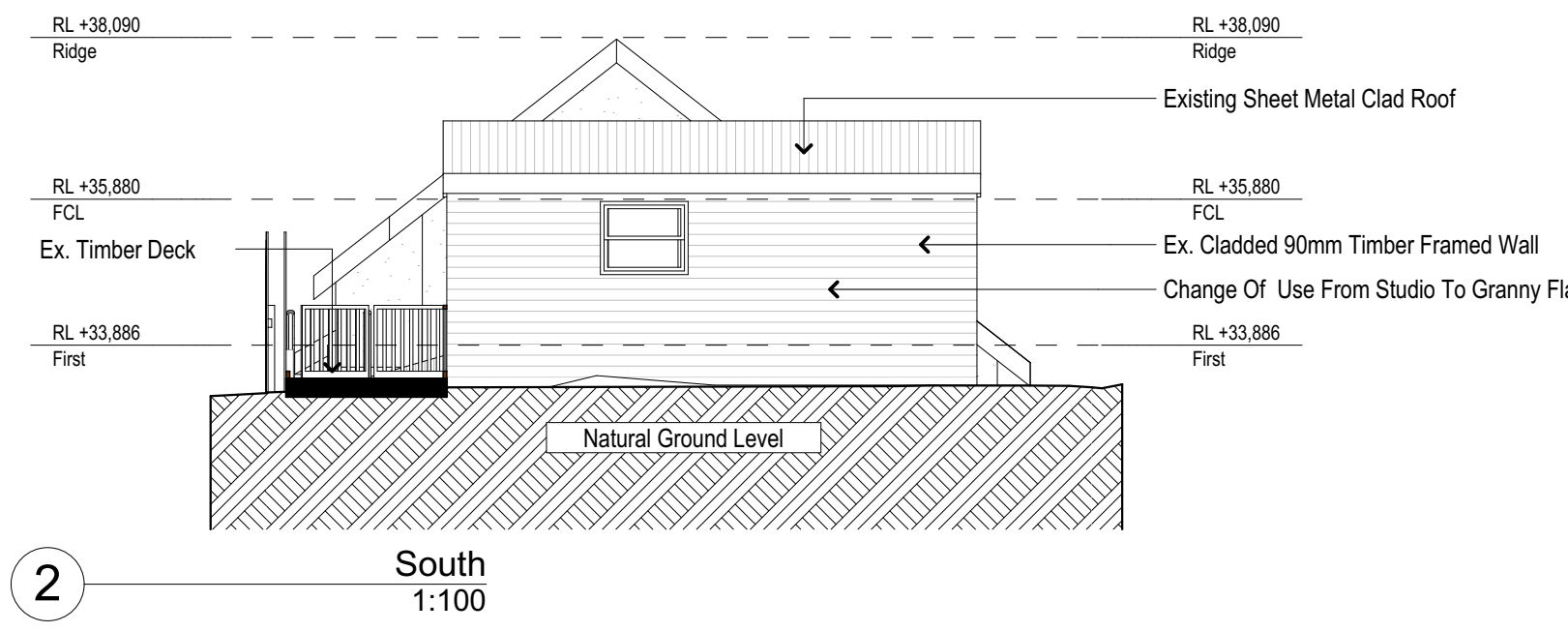


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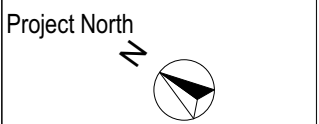
**DA2020/0173**

Denotes Works Under This Application

Denotes Demolished Item



Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
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Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing



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Client: Paul Jacobsohn  
 Project Name: Alterations & Additions/Change of Use  
 19 Marshall Street, Manly 2095  
 Lot B D.P. 344759

Drawing Title: Elevations - Elevations 1  
 North, South

Scale: A3 as noted Date: 10-4-2019  
 Status: DA Checked By: GBJ

Project No: RP0119JAC Drawing No: DA4002

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

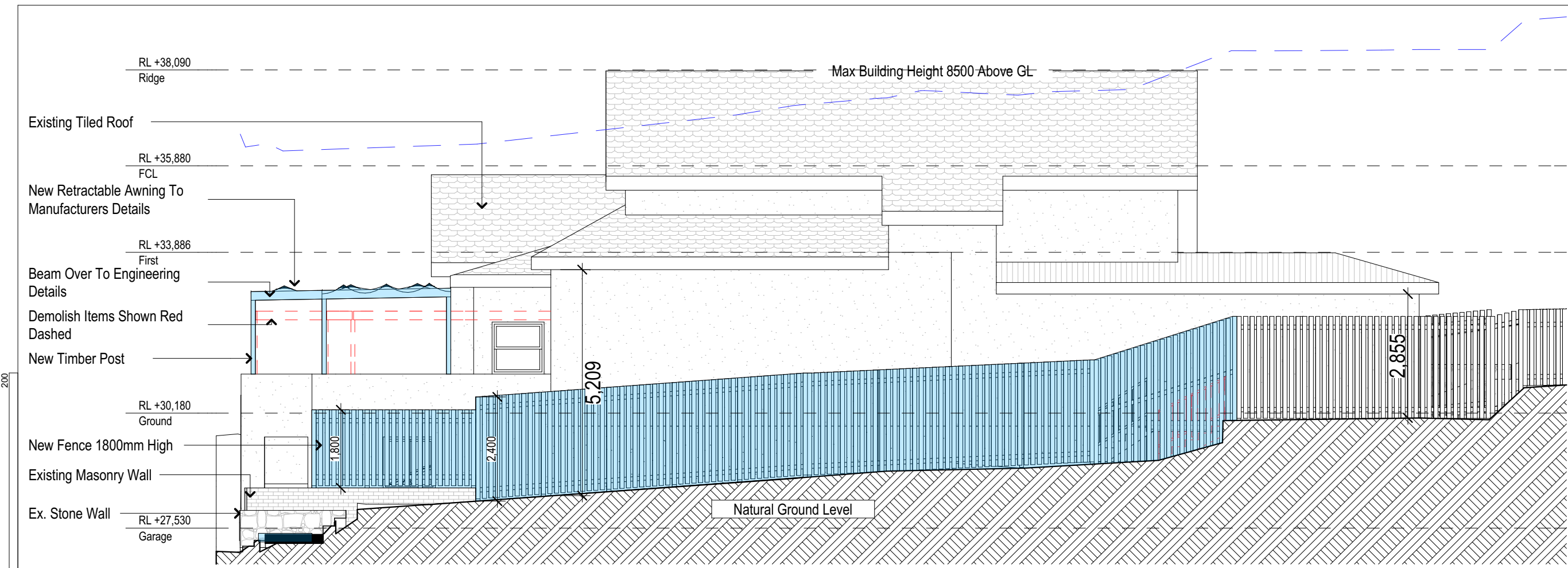
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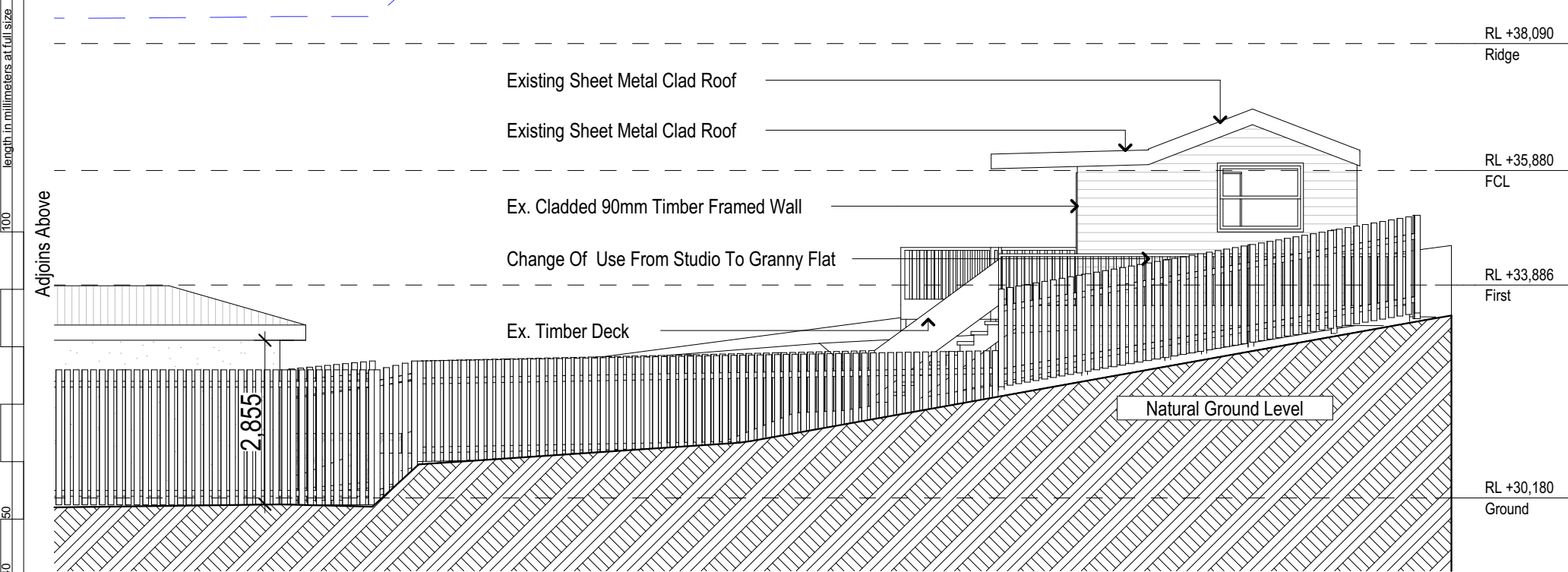
**NOTES**  
 19 Marshall Street, Manly is zoned R1 General Residential.  
 New Works to be constructed shown in Shaded/Blue. 19 Marshall Street, Manly is not considered a heritage item.

**Construction**  
 Concrete & Timber  
 Refer to Engineers drawings for structural details  
 All work to Engineers Specification and BCA  
 Timber framing to BCA and AS 1684  
 Termite framing to BCA and AS 3660.1  
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
 The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.



2 West 1:100



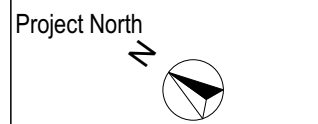
2 West 1:100

**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2020/0173**

Denotes Works Under This Application

Denotes Demolished Item



**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Paul Jacobsohn  
 Project Name: Alterations & Additions/Change of Use  
 19 Marshall Street, Manly 2095  
 Lot B D.P. 344759

Site Information	Proposed	Compliance
Site Area	533.2m <sup>2</sup>	Yes
Housing Density (1dwelling/250m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Existing
Front Setback (Min.)	6m	Existing
Rear Setback (Min.)	8m	Existing
Minimum side boundary setback (Min.)	1/3 Wall Ht	Existing
Floor Space Ratio (Max 0.6:1)	0.49:1	Existing
% of landscape open space (35% min)	41%	Existing
Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

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Drawing Title: Elevations - Elevations 2  
 West  
 Scale: A3 as noted Date: 5-4-2019  
 Status: DA Checked By: GBJ  
 Project No: RP0119JAC Drawing No: DA4003





Denotes Concrete Stairs (Typical).  
Owner To Confirm Type & Colour



Denotes Timber Deck (Typical).  
Owner To Confirm Type & Colour



Denotes Timber Stairs (Typical).  
Owner To Confirm Type & Colour



Denotes Retractable Awning (Typical).  
Owner To Confirm Type & Colour



Denotes Timber Fence (Typical).  
Owner To Confirm Type & Colour


 northern  
beaches  
council  
  
**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**  
  
**DA2020/0173**

Site Information	Proposed	Compliance
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Impervious area (m <sup>2</sup> )	315.05m <sup>2</sup>	Existing
Maximum cut into ground (m)	0.7m	Yes
Maximum depth of fill (m)	0.2m	Yes
Number of car spaces provided	2	Existing

**Builder to Check and Confirm all Measurements Prior to Commencement  
of any works. Immediately Report any Discrepancies to Rapid Plans**

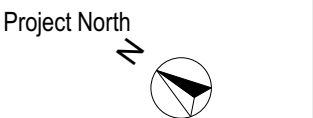
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**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

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Client: Paul Jacobsohn  
 Project Name: Alterations & Additions/Change of Use  
 19 Marshall Street, Manly  
 2095  
 Lot B D.P. 344759

Drawing Title:  
**Sunstudy - Material & Colour Sample Board**

Scale: A3 as noted Date: 5-4-2019

Status: DA Checked By: GBJ

Project No: Drawing No:

**RP0119JAC DA5001**

200  
150  
100  
50  
40  
30  
20  
10  
length in millimeters at full size

10 20 30 40 50 100 150 200 length in millimeters at full size