

ParkTransit

Traffic and Parking Impact Assessment Report

Westfield Warringah Mall

Prepared for Scentre Group

1st November 2024

Attention of: Micha Hinden
For: Scentre Group
Traffic and Parking Impact Assessment Report
Westfield Warringah Mall
Date: 1st November 2024

Version No.	Author	Reviewed by:	Date:
1	A.Mohammad	G.C	28.10.2024
2	A.Mohammad	Client	1.11.2024
3			
4			

© ParkTransit Australia Pty Ltd 2024 ABN: 16 627 168 290

The information contained in this document is confidential and intended solely for the use of the client for the purpose for which it has been prepared.

1st November 2024

Attention: Micha Hinden
Project Architectural Manager
Design
Scentre Group

**RE: Traffic and Parking Assessment Report for
Proposed Sewer Works - Westfield Warringah Mall**

ParkTransit have been engaged by Scentre Group Ltd to assess the proposed sewer upgrade within Westfield Warringah Mall's existing car park (purple car park). The upgrades included the following:

- Installation of new in-ground sewer tank and pump station within the car park; and
- Realignment of the existing two (2) disabled car spaces located near the entrance.

Westfield Warringah Mall Shopping Centre is a regional centre located at 145 Old Pittwater Road, Brookvale. It has a 134,735 sqm gross leasable floor area (GLFA) and includes an on-site parking provision in the order of 4600 spaces.



Figure 1- Site Location Plan

Proposal

The proposal involves a sewer upgrade within the existing car park (purple car park) of the Westfield Warringah Mall facility to include the following:

- Installation of new in-ground sewer tank and pump station within the car park; and
- Realignment of the existing two (2) disabled car spaces located near the entrance.

The proposal does not involve any modification to the existing access arrangement servicing the carpark and the road network.

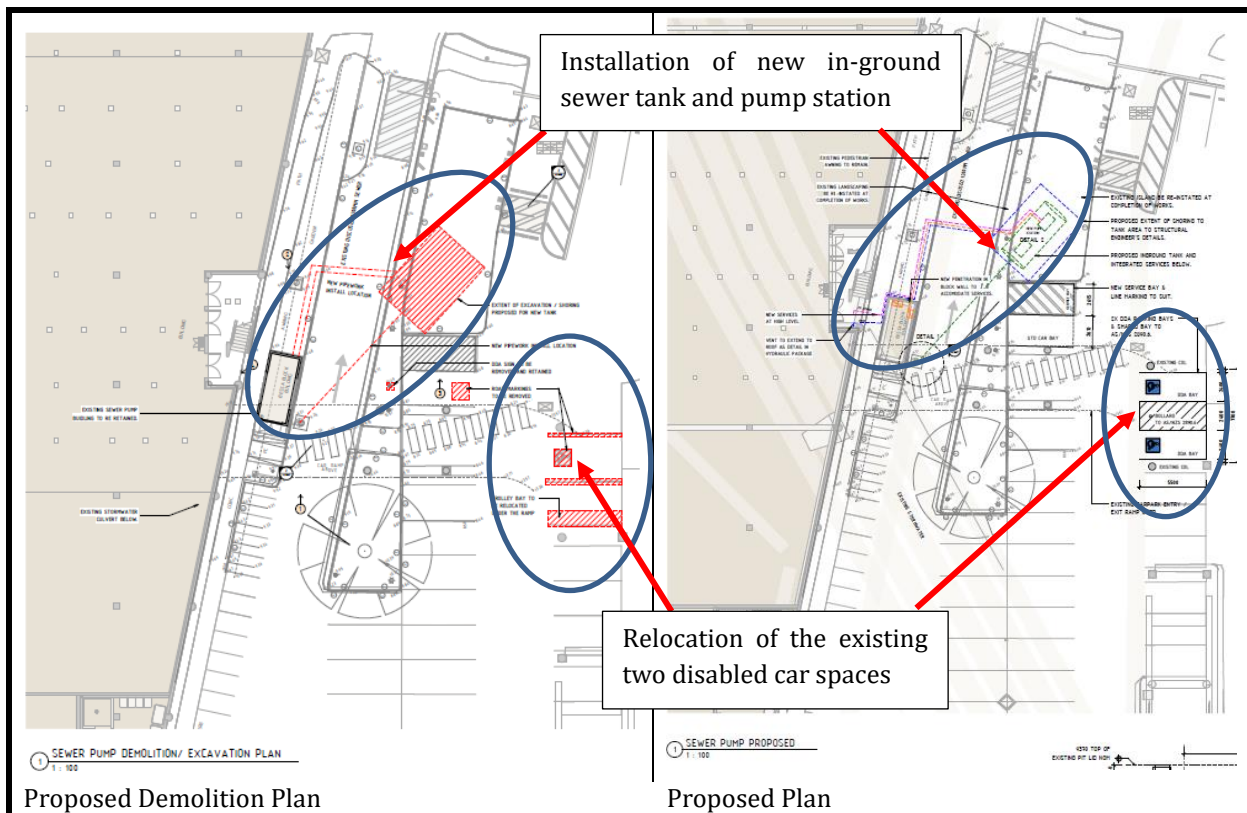


Figure 2- Proposed Architectural Plan Purple car park (Source Architectural Plan Prepared by Scentre Group)

Reviewed Plans

As part of the review process, PT have undertaken the assessment of the proposed sewer pump room upgrade with reference to the following drawings prepared by Scentre Group. A copy of the following plans is presented as **Attachment A**:

- Location Plan - Drawing Number SDC-ARC-42.0000, Revision C;
- Demolition Pan - Drawing Number SDC-ARC-42.0001, Revision C;
- Pump Replacement Plan- Drawing Number SDC-ARC-42.0002, Revision C; and
- Proposed Builders Work Scope - Drawing Number SDC-ARC-42.0003, Revision C

The proposed modifications do not change the existing access and driveway arrangements onto the surrounding road network. Thus, the proposal retains the existing on-site parking provision.

However, during the construction stage, which is projected to last for up to 12 weeks, a total of 15 car spaces will be temporarily removed and will be replaced by a waste storage & collection area will be set up at this location. Lastly, the existing exit lane leading back to Pittwater/Condamine Road will be closed during construction.

To assist with traffic circulation within the car park, an interim break in the parking aisle will be introduced to allow visitors to recirculate and exit the car park via the existing exit connecting Old Pittwater Road. The existing Old Pittwater Road exit is used by the service vehicles and visitors accessing the site. A copy of the Architectural plans prepared by Scentre Group is presented as **Attachment A**.

Construction Phase

The proposal is at the DA stage, so a detailed construction methodology has not been developed. Once a builder is engaged, the construction methodology will be finalised, and a detailed construction traffic management plan will be implemented.

However, as part of this assessment, ParkTransit have undertaken an assessment of the construction process on the available on-site parking servicing the site.

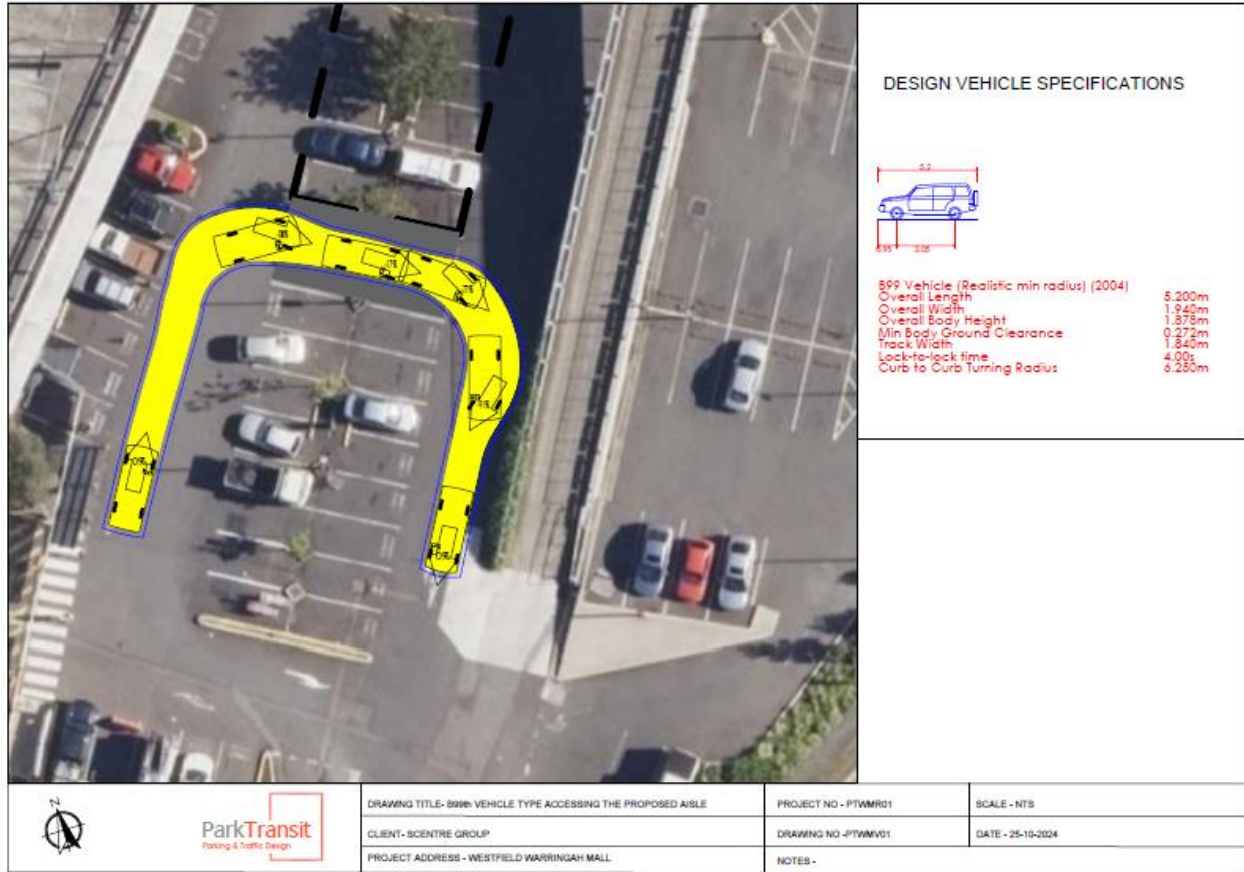
As discussed earlier, the Centre has approximately 4,600 on-site parking spaces. During construction, 19 spaces, including four (4) spaces for recirculation, will temporarily be lost.

The loss of 19 car spaces represents 0.41% of the total on-site parking supply, which is significantly less than the daily variation of around 10%. Therefore, the construction process is unlikely to impact the available on-site parking provision servicing the Warringah Mall.

To minimise the impact of construction on the mall's operation, the construction activity will commence after the Christmas period (i.e., February 2025 onwards).

Lastly, to review the proposed temporary traffic flow, ParkTransit has undertaken a Swept Path Analysis using the AutoTrack simulation software. The Analysis, which uses the recommended vehicle type, is presented in the figure overleaf.

The swept path assessment concluded that the proposed temporary traffic flow arrangement is suitable to service a standard B99th vehicle type.



Operation

The proposal involves a sewer upgrade within the existing car park (purple car park) of the Westfield Warringah Mall facility to include the following:

- Installation of new in-ground sewer tank and pump station within the car park; and
- Realignment of the existing two (2) disabled car spaces located near the entrance.

The proposal does not involve any modification to the existing access arrangement servicing the carpark and the road network.

In summary, the proposal retains the existing on-site parking provision and involves realigning the two disabled car spaces. Therefore, ParkTransit has reviewed the proposed disabled car spaces as part of this assessment.

In relation to disabled car spaces, the Australian Standard for Off-street Parking for People with Disabilities – AS2890.6 -2022. The standard recommends that disabled bays should be accompanied by a shared zone (exact dimensions as a standard space). The dimensions of a standard space are the following:

- Space width – 2.4 metres
- Space length – 5.4 metres

The disabled space dimensions were measured at a minimum of 2.4 metres wide and 5.4 metres long, with an associated shared zone of 2.4 metres wide and 5.4 metres, thereby meeting the minimum requirements stipulated by AS2890.6-2022.

Conclusion and Recommendation

- Based on the information provided, the proposal does not generate any increase in safety risk to pedestrians or drivers as a result of the access and parking configuration;
- The proposal will not negatively impact current traffic conditions, including local intersection capacity during both the operation and construction;
- Following completion of the proposal, the Mall is unlikely to generate parking demand in excess of the existing demand/supply and will not cause parking demand to be further intensified within the car park; and
- An assessment of the disabled car spaces, including aisle width, indicates that it is designed in accordance with the relevant applicable Standards (AS2890.6).

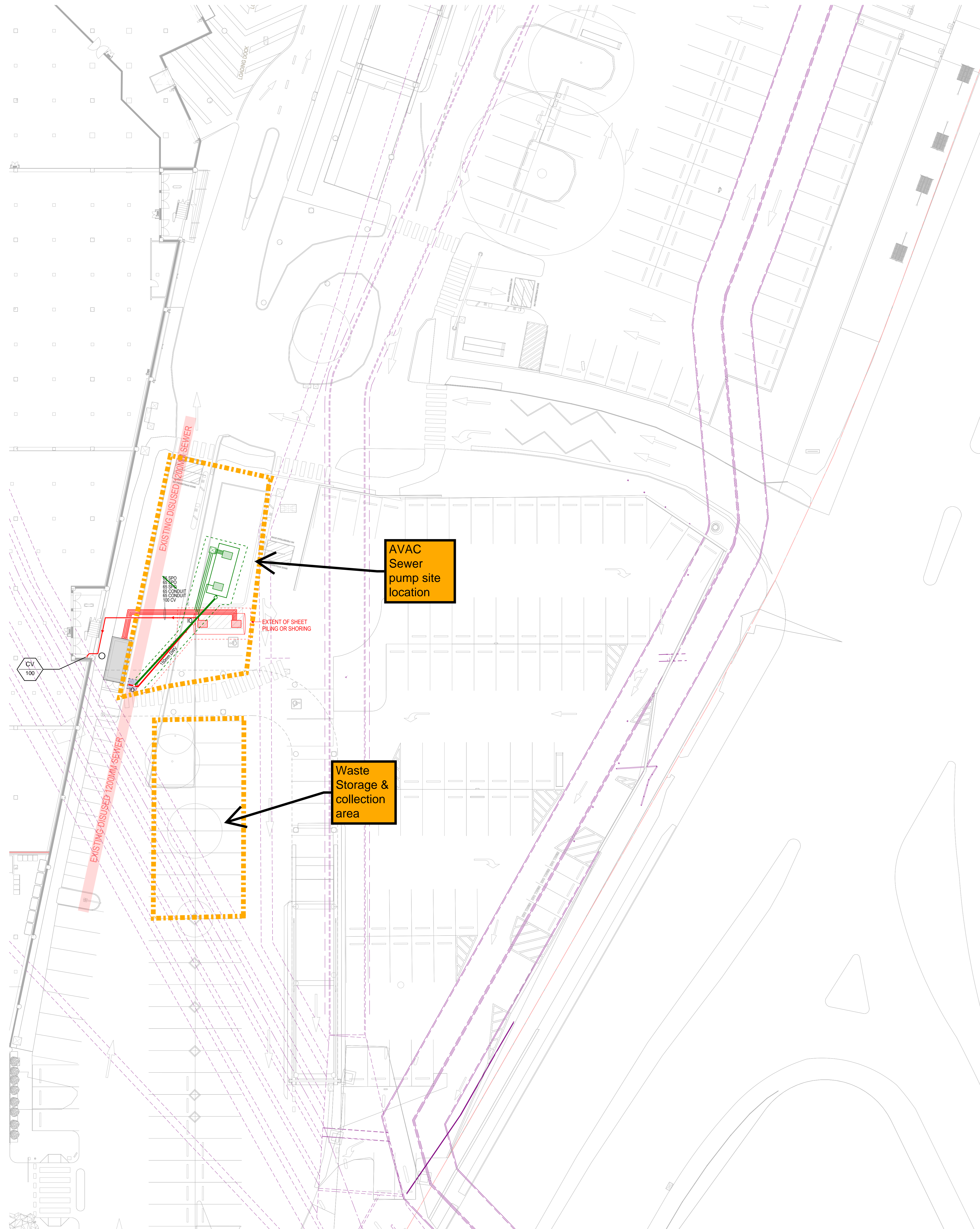
Sincerely,



Abdul Muneeb Khan Mohammad
B.E. (Civil), Masters in Engineering (Transport System Engineering)
Member, Australian Institute of Traffic Planning and Management
Senior Traffic Engineer
ParkTransit
+61 (0) 431 084 571

Attachment A – Copy of the Reviewed Architectural Plans

DEMOLITION & CONSTRUCTION WASTE PLAN



NOTES & REFERENCES

THIS DRAWING MUST BE READ IN CONJUNCTION WITH RELEVANT NOTES FOUND ON DRAWINGS 000002 AS HIGHLIGHTED BELOW BUT NOT LIMITED TO:

NOTES	NOTES (CONT)	NOTES (CONT)
1. GENERAL	20. EGRESS	38. SKYLIGHTS
2. CIVIL	21. GENERAL GLAZING	39. PRECAST CLADDING
3. BULK EXCAVATION	22. LOUVER	40. SPRAZE CLADDING
4. FOOTINGS	23. COMPOSITE PANELS	41. MESH
5. SHORING	24. CARPARK ENTRIES	42. WALL FURNITURE
6. CONCRETE	25. PARKING	43. HAND PLANT WORKS
7. BLOWDOWN	26. LEADING DOORS	44. LANDSCAPING
8. COLUPM	27. BOLLARDS	45. METAL WORK
9. STRUCTURAL STEEL	28. ROLLER SHUTTERS	46. WATERPROOFING
10. EXPANSION JOINT	29. SLAB SLOTTING	47. SERVICE CORRIDORS
11. FLOOR ACCESS POINTS	30. BALUSTRADE	48. VENTILATION
12. FLOOR TILING	31. BALUSTRADE	49. WORKS
13. STAIR	32. CEILING CLADDING	50. WALL COORDINATION
14. LIFT	33. SIGNAGE COLOURS	51. WORKSHOP DWG
15. RAMP	34. PAINT FINISHES	
16. ESCALATORS	35. FFF TRAVELLATORS	
17. WALL ENTRIES	36. FELLINGS	

ARCHITECTURAL DRAWING REFERENCES

THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS UNDER AS STRUCTURAL, SERVICES DETAIL DRAWINGS AND SPECIFICATIONS INCLUDING OF ARCHITECTURAL DWG SERIES PACKAGES HIGHLIGHTED BELOW BUT NOT LIMITED TO:

00 COVER INDEX/LEGENDS	01 GROUND LEVELS	02 EXISTING BUILDING	03 DEMOLITION	04 SHORING & FOOTINGS	05 STAGING & IMPACT	06 REMOVAL PLANS	07 GENERAL PLAN	08 MASTER LEASE PLANS	09 ZONE PLANS	10 CONCRETE PROFILES	11 BLOWDOWN DETAILS	12 FLOOR FINISHES	13 CEILING FINISHES	14 EXTERNAL SIGNAGE	15 CARPARK & SIGNAGE	16 INFILTRATION SERVICES	17 BUILDING ELEVATIONS	18 BUILDING SECTIONS	19 STAGING & IMPACT	20 VERTICAL TRANSPORT	21 SERVICES & VEPLAN	22 LEADING DOORS	23 VOIDS & BALUSTRADES	24 ELECTRICAL SERVICES	25 HYDRAULIC SERVICES	26 MECHANICAL SERVICES	27 FREE SERVICES	28 WASTE MANAGEMENT	29 INSULATION	30 MISC. METAL WORK	31 EXTERNAL FINISHES	32 GLAZING	33 ENTRANCES	34 SKYLIGHTS	35 ROOF & RAINING	36 CENTRE MANAGEMENT	37 ADVERTISING	38 WALL FINISHES	39 VOIDS & BALUSTRADES	40 COLLUM FINISHES	41 WALL FINISHES	42 WINDOW SCHEDULE	43 EXTERNAL WORKS	44 LEASE PLANS	45 MAJOR TENANTS	46 STANDARD DETAILS
------------------------	------------------	----------------------	---------------	-----------------------	---------------------	------------------	-----------------	-----------------------	---------------	----------------------	---------------------	-------------------	---------------------	---------------------	----------------------	--------------------------	------------------------	----------------------	---------------------	-----------------------	----------------------	------------------	------------------------	------------------------	-----------------------	------------------------	------------------	---------------------	---------------	---------------------	----------------------	------------	--------------	--------------	-------------------	----------------------	----------------	------------------	------------------------	--------------------	------------------	--------------------	-------------------	----------------	------------------	---------------------

DIMENSIONS

ALL DIMENSIONS TO BE CHECKED ON SITE. WRITTEN DIMENSIONS ONLY TO BE USED BEFORE COMMENCING WORK. REFER ANY DISCREPANCIES TO ARCHITECTS.

TYPICAL TAG LEGEND

REFER TO 000001 FOR LEGENDS

XXXXXX (MALL TYPE) WALL TAG
 XXXX (MALL TYPE) REFER TO 000001 / SERVICES ZONE DRAWINGS
 XXXX (MALL TYPE) REFER TO FINISHES SCHEDULE BOOKLET

ZONE PLAN NUMBERING CONVENTION

ZONE CODES	DRAWING NO.	LEVEL CODES
XX XX	XXX.XXXX	+ 01
XX XX	XXX.XXXX	+ 02
XX XX	XXX.XXXX	+ 03
XX XX	XXX.XXXX	+ 04
XX XX	XXX.XXXX	+ 05
XX XX	XXX.XXXX	+ 06
XX XX	XXX.XXXX	+ 07
XX XX	XXX.XXXX	+ 08
XX XX	XXX.XXXX	+ 09
XX XX	XXX.XXXX	+ 10

General Note:
 ALL DIMENSIONS TO BE CHECKED ON SITE. WRITTEN DIMENSIONS ONLY TO BE USED BEFORE COMMENCING WORK. REFER ANY DISCREPANCIES TO ARCHITECTS.
 THIS DRAWING IS THE PROPERTY OF SCENTRE GROUP. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SCENTRE GROUP. SCENTRE GROUP ACCEPTS NO LIABILITY FOR ANY DAMAGE OR LOSS OF PROFITS OR BUSINESS ARISING FROM THE USE OF THIS DRAWING.

SCENTRE GROUP
 Scentre Design & Construction
 "people protecting people"

SCENTRE GROUP
 Creating Extra-ordinary Places. Connecting & Enriching Communities.

WARRINGAH

Scentre Design and Construction Pty Limited
 85 Castlereagh Street, Sydney NSW 2000
 Phone (02) 9558 7000 Fax (02) 9028 8500
 GPO Box 4014 Sydney NSW 2001
 ACN 000 287 265

AVAC SEWER PUMP REPLACEMENT PLANS

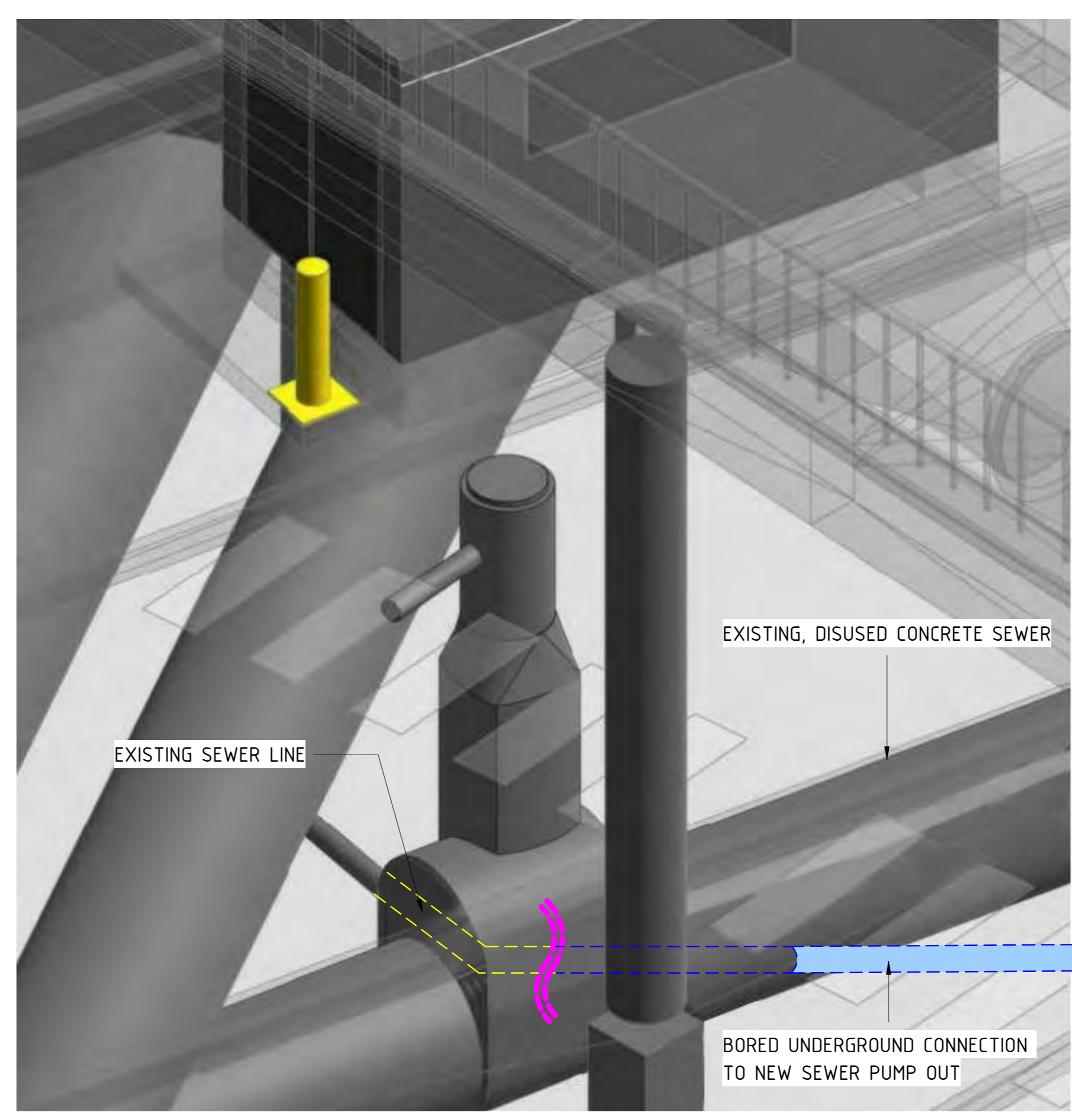
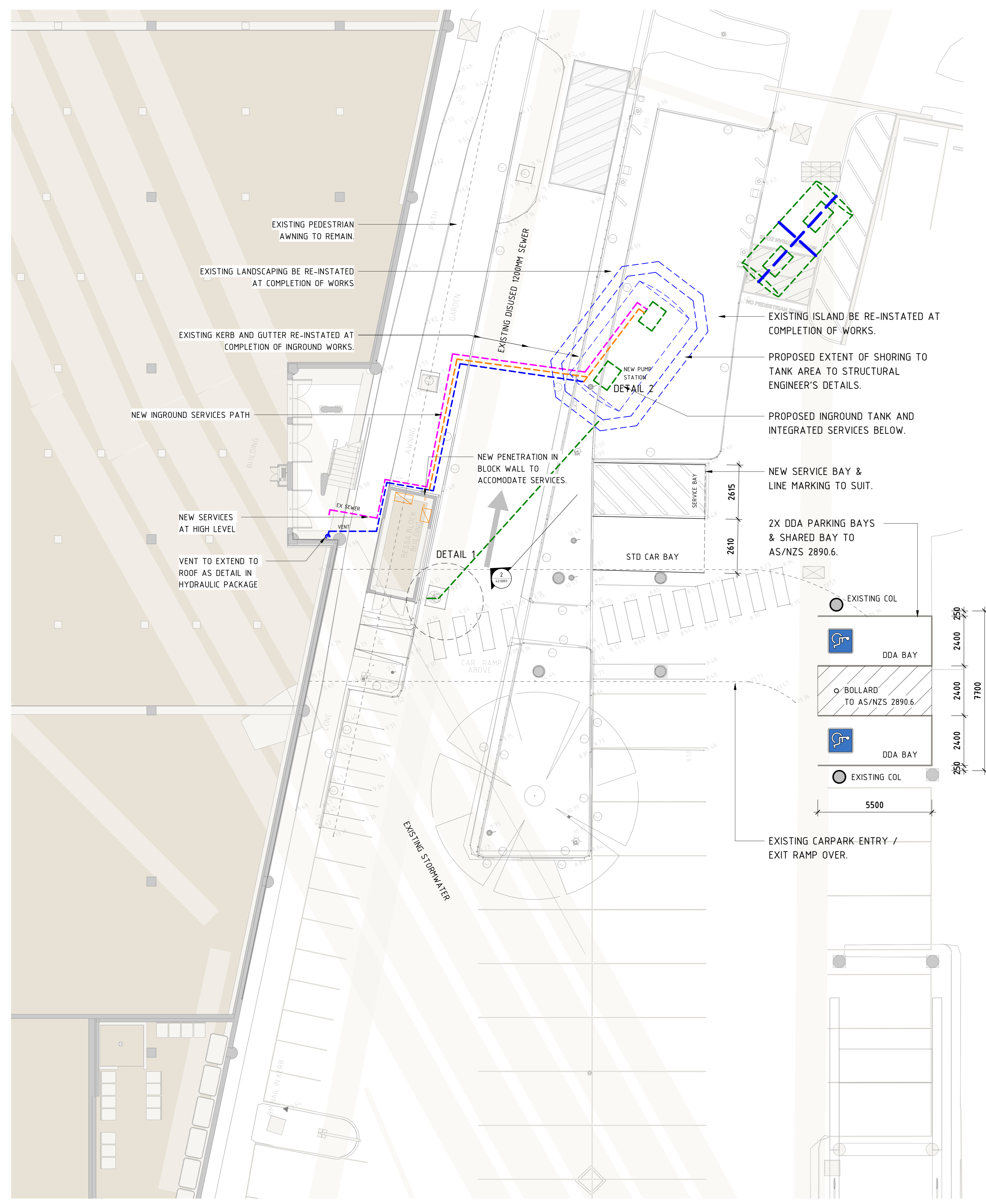
Scale: 1 : 200

Project No: C130139
 Plot Date: 06/05/2024
 2:50:33 PM

Drawing No: SDC-42.1001
 Revision: A

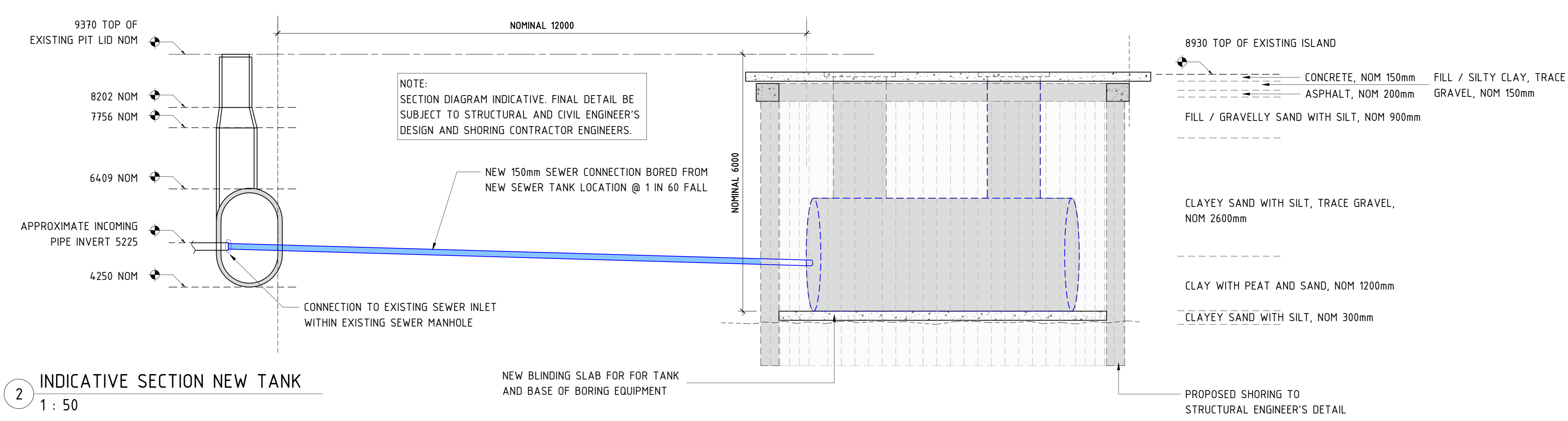
1 SEWER PUMP PLAN
1 : 200

SDC-42.1001 [A] PRINT IN COLOUR ISSUE FOR REVIEW



DETAIL 1 - EXISTING SEWER MANHOLE ACCESS CHAMBER

1 SEWER PUMP PROPOSED
1 : 100



2 INDICATIVE SECTION NEW TANK
1 : 50

NOTES & REFERENCES

THIS DRAWING MUST BE READ IN CONJUNCTION WITH RELEVANT NOTES FOUND ON DRAWINGS OR REFERRED AS HIGHLIGHTED BELOW BUT NOT LIMITED TO:

NOTES	NOTES (CONT)	NOTES (CONT)
1. GENERAL	20. EGRESS	38. SKYLIGHTS
2. CIVIL	21. PRECAST GLAZING	39. PRECAST GLAZING
3. DEMOLITION	22. LOUVER	40. SPRAZE GLAZING
4. BULK EXCAVATION	23. COMPOSITE PANELS	41. MESH
5. FOOTINGS	24. CARPARK ENTRIES	42. MALL FURNITURE
6. SHORING	25. CARPARK ENTRIES	43. HANGING SIGN
7. CONCRETE	26. CARPARK ENTRIES	44. LAMINATING
8. BLOCKWORK	27. LAMINATING	45. METAL WORK
9. COLUMN	28. BOLLARDS	46. WATERPROOFING
10. STRUCTURAL STEEL	29. ROLLER SHUTTERS	47. SERVICE CORRIDORS
11. EXPANSION JOINT	30. SLAB SLOTTED INSL.	48. RENOVATION
12. FLOOR ACCESS POINTS	31. METAL ROOF	49. WORKS
13. FLOOR TILING	32. BALUSTRADE	50. MALL COORDINATION WORKSHOP DWG
14. STAIR	33. COLUMN GLAZING	
15. LIFT	34. SIGNAGE COLOURS	
16. RAMP	35. PAINT FINISHES	
17. ESCALATORS	36. FINE RATINGS	
18. MALL ENTRIES	37. CEILING	

ARCHITECTURAL DRAWING REFERENCES

THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS OF ALL STRUCTURAL, SERVICES, DETAIL DRAWINGS AND SPECIFICATIONS INCLUDING OF ARCHITECTURAL DWG SERIES PACKAGES HIGHLIGHTED BELOW BUT NOT LIMITED TO:

00 COVER INDEX/LEGENDS	01 GROUND LEVELS	02 EXISTING BUILDING	03 DEMOLITION	04 SHORING & FOOTINGS	05 STAGING & IMPACT	06 REMOVAL PLANS	07 GENERAL AIR PLANS	08 MASTER LEASE PLANS	09 EGRESS PLANS	10 ZONE PLANS	11 CONCRETE PROFILES	12 BLOCKWORK DETAILS	13 FLOOR FINISHES	14 CEILING PLANS	15 MALL COORDINATION	16 EXTERNAL SIGNAGE	17 CARPARK & SIGNAGE	18 INGROUND SERVICES	19 BUILDING ELEVATIONS	20 DETAILED ELEVATIONS	21 BUILDING SECTIONS	22 DETAILED SECTIONS	23 VERTICAL TRANSPARENT BALUSTRADES	24 LEADING DOORS	25 ELECTRICAL SERVICES	26 MECHANICAL SERVICES	27 FIRE SERVICES	28 WASTE MANAGEMENT	29 INSULATION	30 MISC. METAL WORK	31 EXTERNAL FINISHES	32 CARPARK & SIGNAGE	33 STRUCTURAL STEEL	34 ENTRIES	35 SKYLIGHTS	36 ROOF & RAINING	37 CENTRE MANAGEMENT	38 ARCHITECTS	39 MALL PRESETS	40 VOIDS & BALUSTRADES	41 COLUMN FINISHES	42 WINDOW SCHEDULE	43 EXTERNAL WORKS	44 LEASE PLANS	45 MALL MAJOR TENANTS	46 STANDING DETAILS
------------------------	------------------	----------------------	---------------	-----------------------	---------------------	------------------	----------------------	-----------------------	-----------------	---------------	----------------------	----------------------	-------------------	------------------	----------------------	---------------------	----------------------	----------------------	------------------------	------------------------	----------------------	----------------------	-------------------------------------	------------------	------------------------	------------------------	------------------	---------------------	---------------	---------------------	----------------------	----------------------	---------------------	------------	--------------	-------------------	----------------------	---------------	-----------------	------------------------	--------------------	--------------------	-------------------	----------------	-----------------------	---------------------

DIMENSIONS

ALL DIMENSIONS TO BE CHECKED ON SITE. WRITTEN DIMENSIONS ONLY TO BE USED BEFORE COMMENCING WORK. REFER TO ALL DETAIL DRAWINGS, STRUCTURAL, MECHANICAL AND SERVICE DRAWINGS REFER ANY DISCREPANCIES TO ARCHITECTS.

TYPICAL TAG LEGEND

REFER TO 00/001 FOR LEGENDS

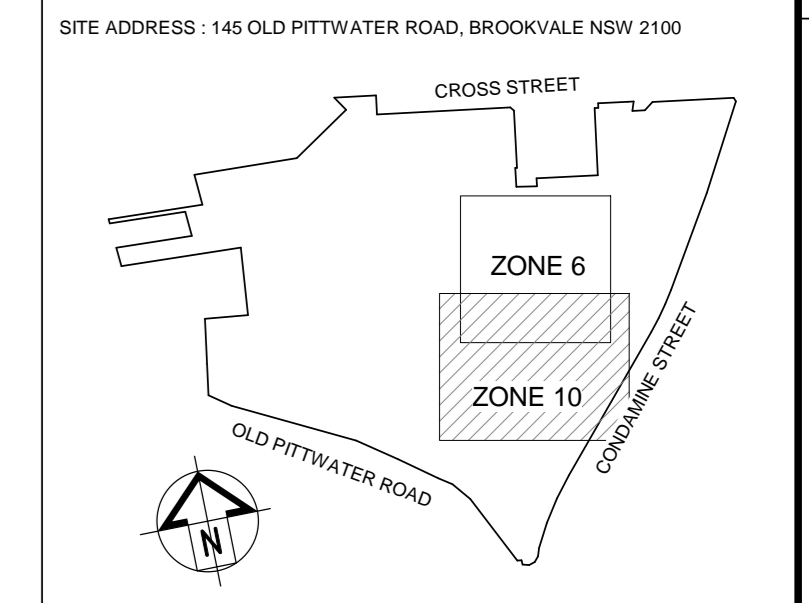
XXXXXX WALL TAG
 XXXX WALL HEIGHT REFER TO 00/001 / 00/SERIES (ZONE DRAWINGS)
 XXXX OR (XXXX-XX) STANDARD NOTE TAG REFER TO DRAWING 00/001 FOR SPECIFIC NOTE
 XXXX FINISHES TAG REFER TO FINISHES SCHEDULE BOOKLET
 XXXX PACKAGE SPECIFIC TAGS, SYMBOLS AND GRAPHICS REFER TO XXXXXX

ZONE PLAN NUMBERING CONVENTION

ZONE CODES	DRAWING NO.	LEVEL CODES	
XX	XX	XXX	+ 01
XX	XX	XXX	+ 02
XX	XX	XXX	+ 03
XX	XX	XXX	+ 04
XX	XX	XXX	+ 05
XX	XX	XXX	+ 06
XX	XX	XXX	+ 07
XX	XX	XXX	+ 08
XX	XX	XXX	+ 09

REVISIONS

NO.	DATE	BY	DESCRIPTION
C	28/10/2024	MM	ISSUE FOR DEVELOPMENT APPLICATION
B	04/10/2024	MM	ISSUE FOR DEVELOPMENT APPLICATION
A	03/10/2024	MM	ISSUE FOR DEVELOPMENT APPLICATION



SCENTRE GROUP
 Scentre Design & Construction
 "people protecting people"

SCENTRE GROUP
 Creating Extra-ordinary Places, Connecting & Enriching Communities

WARRINGAH

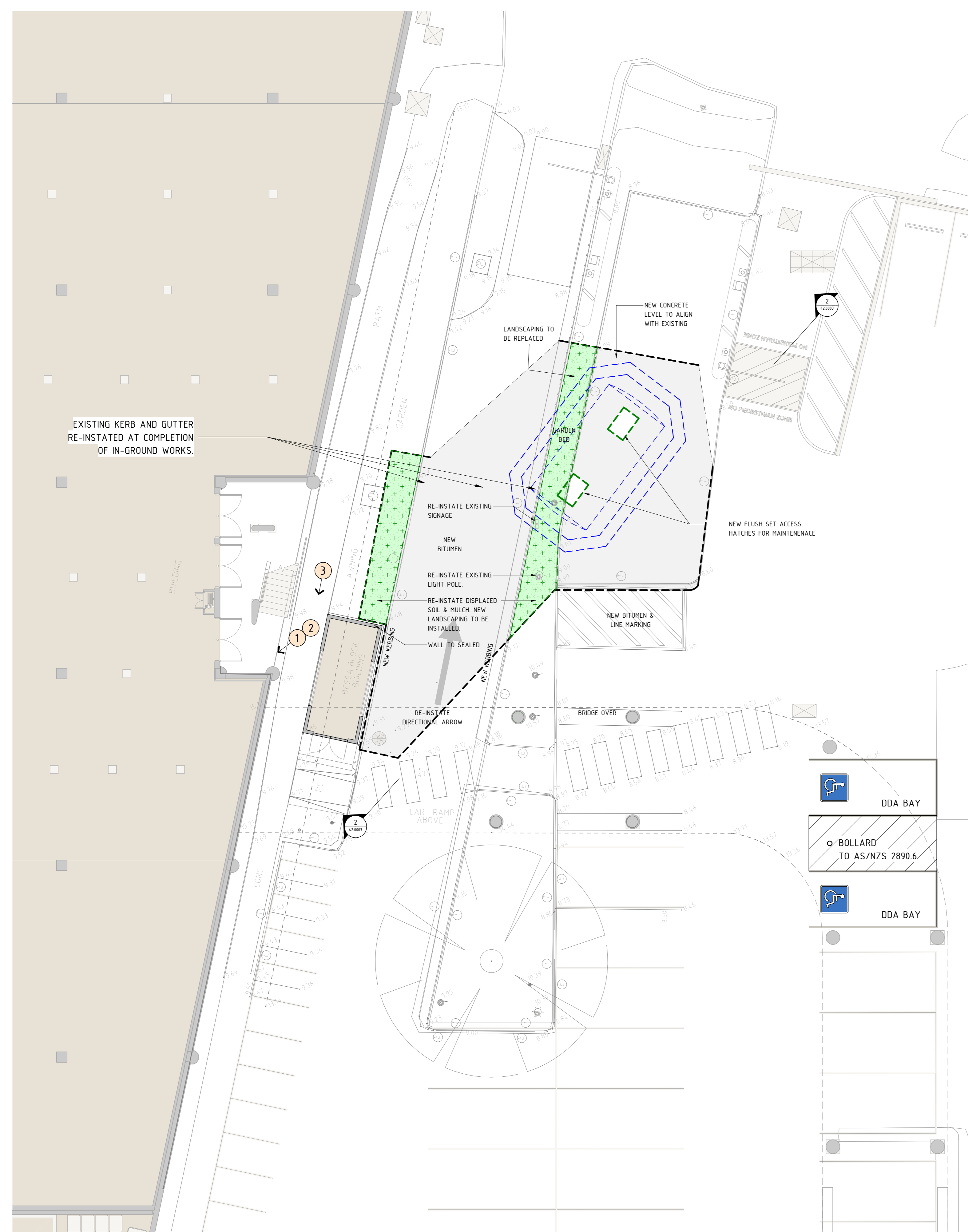
Scentre Design and Construction Pty Limited
 85 Castlereagh Street Sydney NSW 2000
 Phone (02) 9358 7000 Fax (02) 9028 8500
 GPO Box 4004 Sydney NSW 2001
 ACN 000 287 265

AVAC SEWER PUMP REPLACEMENT PROPOSED SCOPE

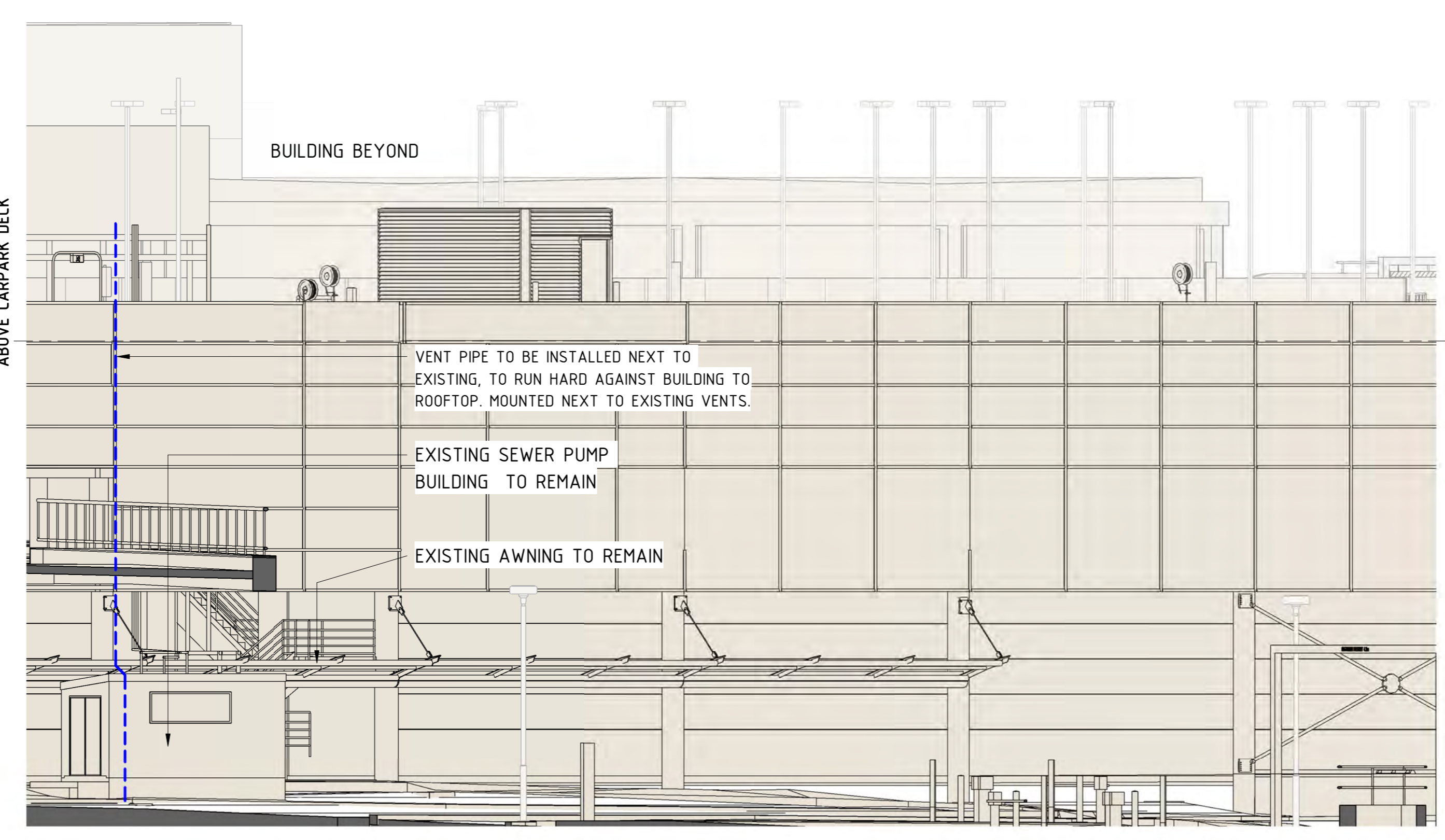
Drawing Scale: Scale Bar 1:1
 As Indicated

Project No: C130139
 Plot Date: 30/10/2024
 5:30:38 PM

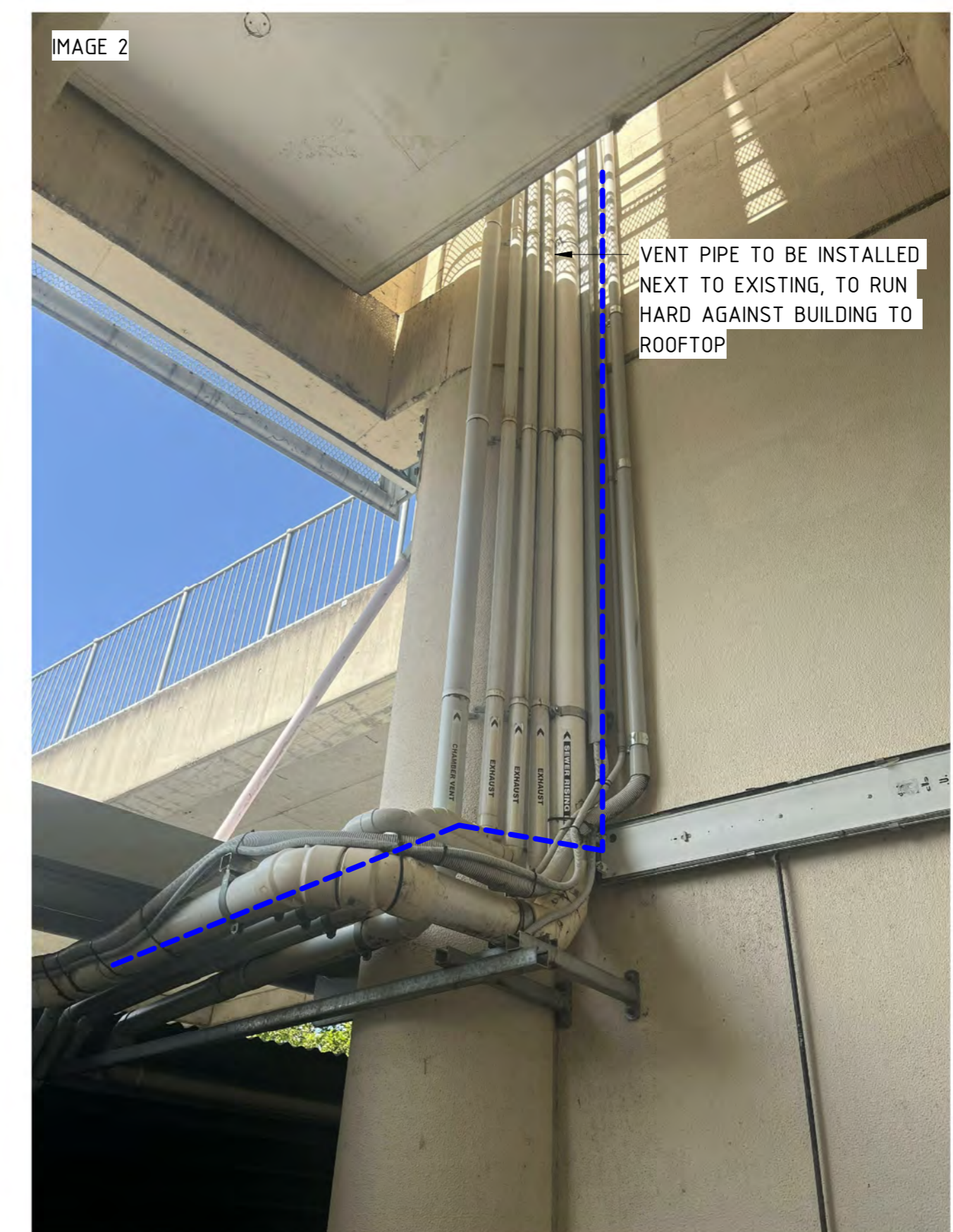
Drawing No: SDC-ARC-42.0002
 Revision: C



1 SEWER PUMP PROPOSED BUILDERS WORKS
1 : 100



2 EXISTING BUILDING ELEVATION
1 : 100



NOTES & REFERENCES

THIS DRAWING MUST BE READ IN CONJUNCTION WITH RELEVANT NOTES FOUND ON DRAWINGS OR REFERRED AS HIGHLIGHTED BELOW BUT NOT LIMITED TO:

NOTES	NOTES (CONT)	NOTES (CONT)
1. GENERAL	20. EGRESS	37. ROOFSWAYS
2. CIVIL	21. GENERAL GLAZING	38. SKYLIGHTS
3. DEPOSITION	22. LOUVER	39. PRECAST CLADDING
4. BULK EXCAVATION	23. COMPOSITE PANELS	40. SPRAZE CLADDING
5. FOOTINGS	24. CARPARK ENTRIES	41. MIBEL
6. SHORING	25. FINISHES	42. MALL FURNITURE
7. CONCRETE	26. FINISHES DOORS	43. AIR PLANT ROOMS
8. BLOCKWORK	27. BOLLARDS	44. LANDSCAPING
9. COLLUM	28. ROLLER SHUTTERS	45. METAL WORK
10. STRUCTURAL STEEL	29. SLAB SOFFIT INSUL.	46. WATERPROOFING
11. EXPANSION JOINT	30. METAL ROOF	47. SERVICE CORRIDORS
12. FLOOR ACCESS POINTS	31. BALUSTRADE	48. RENOVATION
13. FLOOR TILING	32. CEILING CLADDING	49. WORKS
14. STAIR	33. SIGNAGE COLOURS	50. MALL COORDINATION WORKSHOP DWG
15. LIFT	34. PAINT FINISHES	
16. RAMP	35. FIRE RATINGS	
17. ESCALATORS	36. CEILING	
18. MALL ENTRIES		

ARCHITECTURAL DRAWING REFERENCES

THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS SUCH AS STRUCTURAL, SERVICES DETAIL DRAWINGS AND SPECIFICATIONS INCLUDING OF ARCHITECTURAL DWG SERIES PACKAGES HIGHLIGHTED BELOW BUT NOT LIMITED TO:

00 COVER DEVELOPMENTS	19. CARPARK & STORAGE	53. GLAZING
01 GRID SCHEM	20. STRUCTURAL STEEL	54. ENTRIES
02 EXISTING BUILDING	21. INSULATION SERVICES	55. SKYLIGHTS
03 DEPOSITION	22. DETAILED ELEVATIONS	56. ROOFS & RAINING
04 SHORING & FOOTINGS	23. BUILDING SECTIONS	57. CENTRE MANAGEMENT
05 STAGING & IMPACT	24. DETAILED SECTIONS	58. ENTRANCES
06 REMOVAL PLANS	25. VERTICAL TRANSPORT	59. MALL FINISHES
07 GENERAL ABB. PLANS	26. SERVICES KEY PLAN	60. VENTS & BALUSTRADES
08 MASTER LEASE PLANS	27. LEADING DOORS	61. COLLUM FINISHES
09 EGRESS PLANS	28. ELECTRICAL SERVICES	62. WALL FINISHES
10 ZONE PLANS	29. HYDRAULIC SERVICES	63. WINDOW SCHEDULE
11 CONCRETE PROFILES	30. MECHANICAL SERVICES	64. WINDOW SCHEDULE
12 BLOCKWORK DETAILS	31. FIRE SERVICES	65. EXTERNAL WORKS
13 FLOOR FINISHES	32. WASTE MANAGEMENT	66. LEASE PLANS
14 CEILING PLANS	33. INSULATION	67. EXTERNAL TENANTS
15 MALL COORDINATION	34. MISC. METAL WORK	68. MAJOR TENANTS
16 EXTERNAL SIGNAGE	35. EXTERNAL FINISHES	69. STANDING DETAILS

DIMENSIONS

ALL DIMENSIONS TO BE CHECKED ON SITE. WRITTEN DIMENSIONS ONLY TO BE USED BEFORE COMMENCING WORK. REFER TO ALL DETAIL DRAWINGS, STRUCTURAL, MECHANICAL AND SERVICE DRAWINGS FOR ANY DISCREPANCIES TO ARCHITECTS.

TYPICAL TAG LEGEND

REFER TO 000001 FOR LEGENDS

XXXXXX	MALL TYPE	MALL TAG
XXXXXX	MALL HEIGHT	REFER TO 000001 / 000002 ZONE DRAWINGS
XXXXXX	TIME PLAN	

STANDARD NOTE TAG
REFER TO DRAWING 000001 FOR SPECIFIC NOTE

FINISHES TAG
REFER TO FINISHES SCHEDULE BOOKLET

PACKAGE TAG
REFER TO XXXXXX PACKAGE SPECIFIC TAGS, SYMBOLS AND GRAPHICS

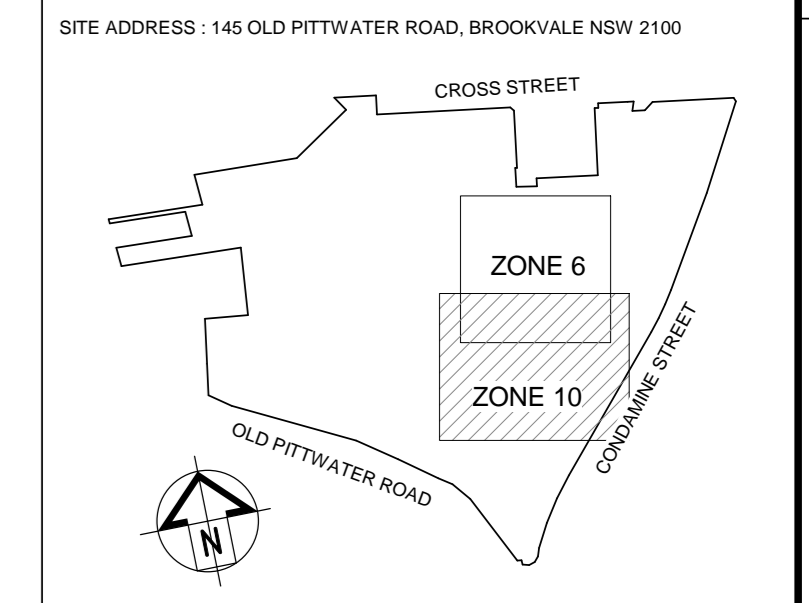
ZONE PLAN NUMBERING CONVENTION

ZONE CODES	DRAWING NO.	LEVEL CODES	
XX	XXXX	XX	+01
XX XX	XX.XXXX	XXX	+02
XX XX		XXXX	+03
XX XX		XXXX	+04
XX XX	PACKAGE	XXXX	+05
XX XX		XXXX	+06
XX XX	ZONE	XXXX	+07
XX XX		XXXX	+08
XX XX	SUB-ZONE	XXXX	+09
XX XX		XXXX	+10

REVISIONS

NO.	DATE	DESCRIPTION
1	20/10/2024	ISSUE FOR DEVELOPMENT APPLICATION
2	04/10/2024	ISSUE FOR DEVELOPMENT APPLICATION
3	03/10/2024	ISSUE FOR DEVELOPMENT APPLICATION

Site Address: 140 OLD PITTWATER ROAD, BROOKVALE NSW 2100



SCENTRE GROUP
Scentre Design & Construction
people protecting people

SCENTRE GROUP
Creating Extra-ordinary Places, Connecting & Enriching Communities

WARRINGAH

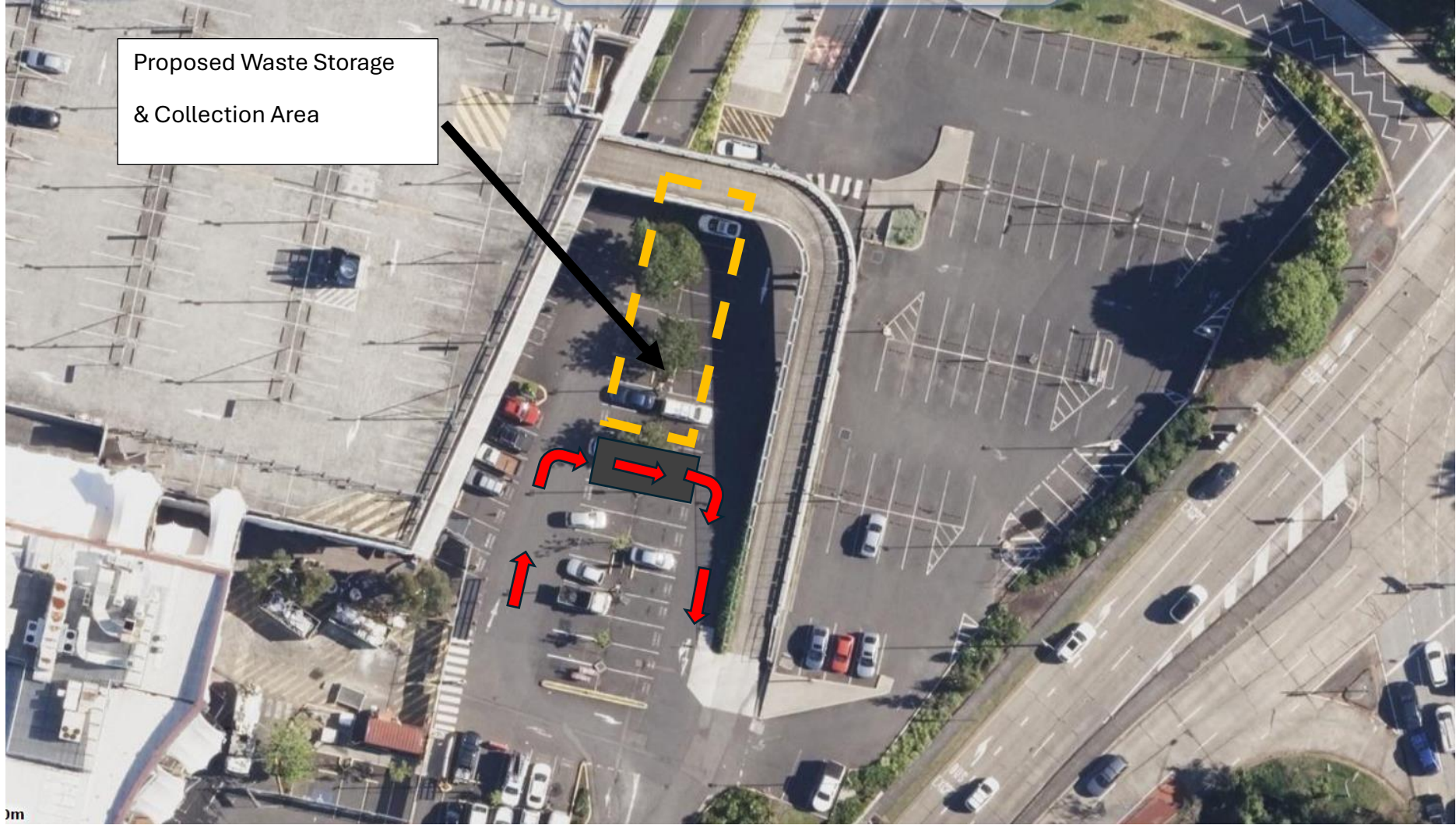
Scentre Design and Construction Pty Limited
85 Castlereagh Street Sydney NSW 2000
Phone (02) 9558 7000 Fax (02) 9028 8500
GPO Box 4004 Sydney NSW 2001
ACN 000 287 265

AVAC SEWER PUMP REPLACEMENT PROPOSED BUILDERS WORK SCOPE

Drawing Scale: 1 : 100
Scale Bar: 1:1

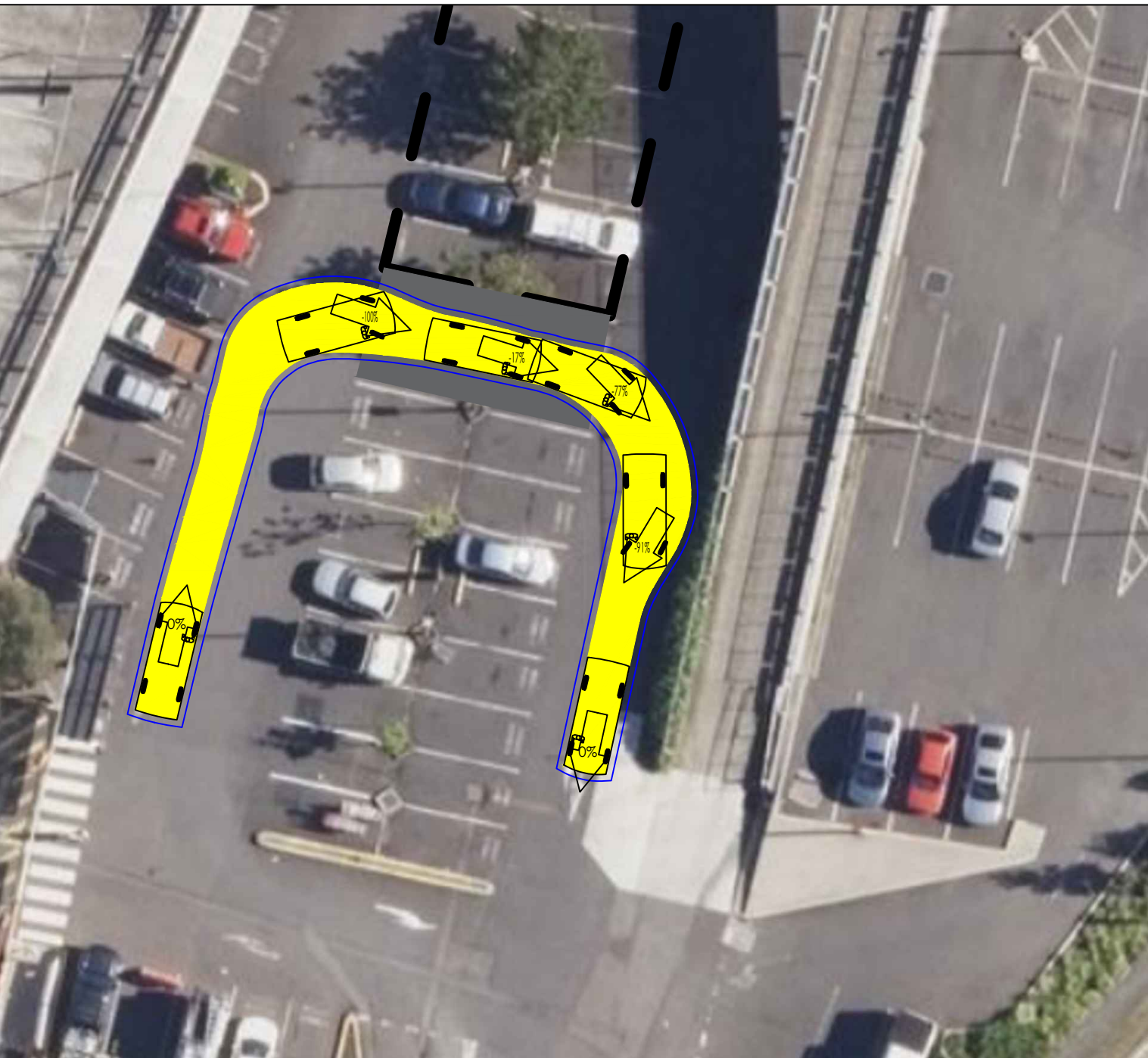
Project No: C130139
Plot Date: 30/10/2024 5:30:08 PM

Drawing No: SDC-ARC-42.0003
Revision: C

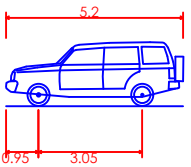


0m

Proposed Traffic Flow



DESIGN VEHICLE SPECIFICATIONS



- B99 Vehicle (Realistic min radius) (2004)
- Overall Length 5.200m
- Overall Width 1.940m
- Overall Body Height 1.878m
- Min Body Ground Clearance 0.272m
- Track Width 1.840m
- Lock-to-lock time 4.00s
- Curb to Curb Turning Radius 6.250m



DRAWING TITLE- B99th VEHICLE TYPE ACCESSING THE PROPOSED AISLE

PROJECT NO - PTWMR01

SCALE - NTS

CLIENT- SCENTRE GROUP

DRAWING NO -PTWMV01

DATE - 25-10-2024

PROJECT ADDRESS - WESTFIELD WARRINGAH MALL

NOTES -