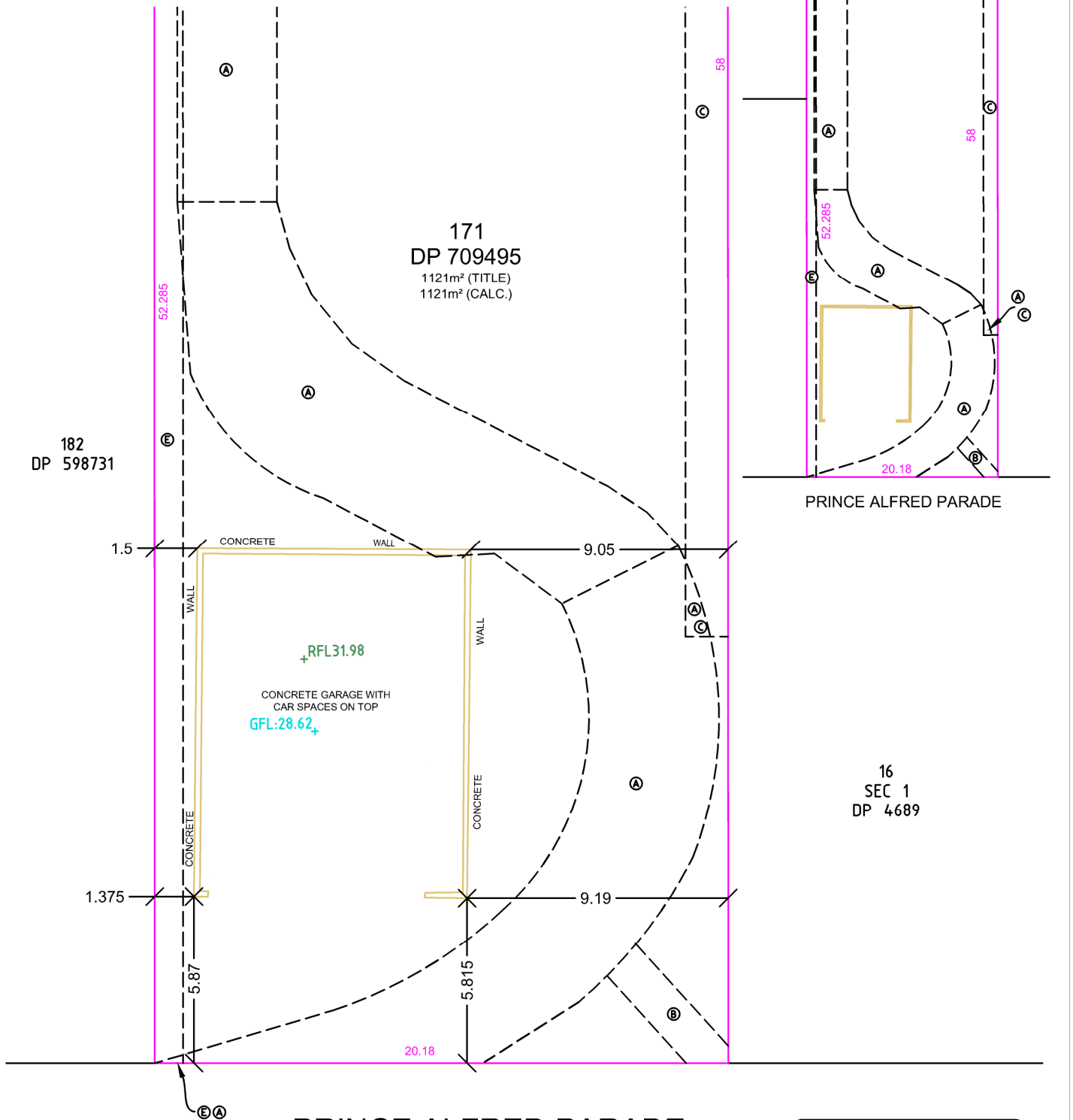
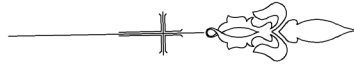


- (A) - RIGHT OF WAY 3.5, 4.5 AND VARIABLE WIDTH (DP 709495)
 (B) - RIGHT OF FOOTWAY 1.5 WIDE (DP 709495)
 (C) - RIGHT OF WAY 1.5 WIDE (DP 709495)
 (D) - EASEMENT TO DRAIN WATER 1.0 WIDE (DP 709495)
 (E) - EASEMENT FOR SERVICES 1.0 WIDE (DP 709495)



RFL: ROOF FLOOR LEVEL
 GFL: GARAGE FLOOR LEVEL

PRINCE ALFRED PARADE

THE BOUNDARIES AS SHOWN ON THIS SKETCH HAVE BEEN
 IDENTIFIED BY SURVEY



I, *B. Trudgeon* of NSW Land Services, a surveyor registered
 under the Surveying and Spatial Information act 2002, hereby certify that
 the survey represented in this plan is accurate and has been made in
 accordance with the surveying and spatial information regulation 2017.

NSW LAND SERVICES

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52/22-30 CORONATION PARADE, ENFIELD

NSW 2136

ABN: 72 634 829 5757

PH: 13000 NSW LS

info@nswls.au

PROJECT: No.14 Prince Alfred Parade
 Newport

SKETCH FOR IDENTIFICATION PURPOSES
 LOT 171 DP 709495

SURVEYOR BT	11-8-2023	SCALE 1:200
DRAWN RB	REV - B	JOB No. 1913/Jobs
CHECKED BT	1-9-2023	SHEET 1 OF 1
CLIENT: ASI Vallack Pty Ltd		

A4