

25 ALLEYNE AVE, NORTH NARRABEEN

TROY CARTER

PROPOSED NEW DWELLING HOUSE & ASSOCIATED LANDSCAPING

25 ALLEYNE AVE, NORTH NARRABEEN

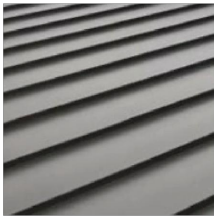
DA DOCUMENTATION SCHEDULE

DWG NO.	TITLE	SCALE	REV.	DATE:	DESCRIPTION:
DA_000	Cover Page & Drawing Schedule	NTS	-	21.10.21	DA
DA_001	Site Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_100	Lower Ground General Arrangement Floor Plan	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_101	Ground Floor General Arrangement Floor Plan	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_102	First Floor General Arrangement Floor Plan	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_300	Elevations Sheet 01	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_301	Elevations Sheet 02	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_302	Elevations Sheet 03	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_303	Elevations Sheet 04	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_400	Section Sheet 01	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_401	Section Sheet 02	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_500	Landscape Concept Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_501	Site Analysis Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_502	Waste Management, Sediment Control & Erosion Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_503	Vehicle Crossing & Driveway gradient	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_900	9am Shadow Diagram Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_901	12pm Shadow Diagram Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_902	3pm Shadow Diagram Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA

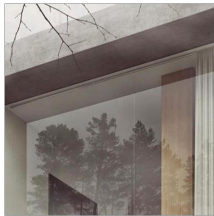
EXTERNAL FINISHES SCHEDULE



1. Monument painted James Harlides - Azon Verticle cladding



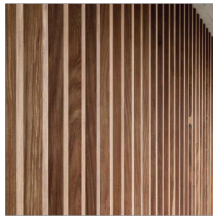
2. Monument roof sheeting



3. Concrete Eaves & White Aluminium Doors



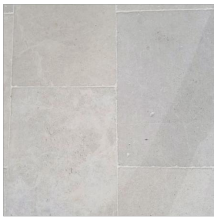
4. Black Aluminium Windows and Doors (GF & FF)



5. Hardwood timber battten privacy screens and fence



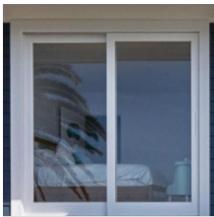
6. Tallow wood timber decking boards to allow to silver naturally



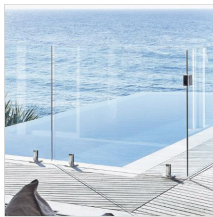
7. External outdoor limestone pavers



8. Recycled brickwork



9. White Timber Windows and Doors (S.G)



10. Glass Balustrade and swimming pool

EXTERNAL MATERIALS BOARD
NEW RESIDENTIAL DWELLING INCL. NEW SWIMMING POOL
25 ALLEYNE AVENUE, NORTH NARRABEEN, NSW

SCHEDULE OF BASIX COMMITTMENTS

Project name - Carter House - Main dwelling
Street address - 25 Alleyne Avenue North Narrabeen 2101
Local Government Area
Plan type Deposited Plan 7593 Lot no.52
Northern Beaches Council
Project type - separate dwelling house
No. of bedrooms - 5
Site details
Site area (m2) 558
Roof area (m2) 199
Conditioned floor area (m2) 318.3
Unconditioned floor area (m2) 15.0
Total area of garden and lawn (m2) 228

Water Commitments

Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 80 square metres of the site.

Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development. The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Project name - Carter House - Secondary dwelling
Street address - 25 Alleyne Avenue North Narrabeen 2101
Local Government Area
Plan type Deposited Plan 7593 Lot no.52
Northern Beaches Council
Project type - separate dwelling house
No. of bedrooms - 2
Site details
Site area (m2) 558
Roof area (m2) 60
Conditioned floor area (m2) 48
Unconditioned floor area (m2) 12.0
Total area of garden and lawn (m2) 35

Water Commitments

Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 80 square metres of the site.

Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development. The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

Thermal Comfort Commitments

Minimum R2.5 insulation to all external walls
R5.0 insulation to ceilings
R2.5 insulation to walls between house & subfloor/earth
Weatherseals to all external doors & windows
Foil + R1.0 insulation blanket underside of roof
Medium/dark walls & medium roof colours
Default floor covering used in NatHERS rating
Insulation must be installed in accordance with NCC and relevant Australian Standards.
Recessed downlights have been included in the NatHERS rating(to be

Swimming pool
The swimming pool must not have a volume greater than 18 kilolitres. The swimming pool must be outdoors.

Thermal Comfort Commitments

Minimum R2.5 insulation to all external walls
R5.0 insulation to ceilings
R2.5 insulation to walls between house & subfloor/earth
Weatherseals to all external doors & windows
Foil + R1.0 insulation blanket underside of roof
Medium/dark walls & medium roof colours
Default floor covering used in NatHERS rating
Insulation must be installed in accordance with NCC and relevant Australian Standards.
Recessed downlights have been included in the NatHERS rating(to be sealed LED downlights)
All windows & glazed doors to have a U value less than or = to 4.90 & with 10% of SHGC 0.33(primary)
All windows & glazed doors to be single glazed clear with aluminium frame(Less than or = to U 6.70, within 10% of SHGC 0.70)(secondary)
Ceiling fan to dining & bed 1 (primary)

Energy Commitments

Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a

Heating system
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.

sealed LED downlights)
All windows & glazed doors to have a U value less than or = to 4.90 & with 10% of SHGC 0.33(primary)
All windows & glazed doors to be single glazed clear with aluminium frame(Less than or = to U 6.70, within 10% of SHGC 0.70)(secondary)
Ceiling fan to dining & bed 1 (primary)

Energy Commitments

Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous.

Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a

Heating system
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.

Ventilation
The applicant must install the following exhaust systems in the development:
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

Ventilation
The applicant must install the following exhaust systems in the development:
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
Laundry: natural ventilation only, or no laundry; Operation control: n/a

Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:
• at least 5 of the bedrooms / study;
• at least 2 of the living / dining rooms;
Natural lighting
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.








Swimming pool
The development must not incorporate any heating system for the swimming pool. The applicant must install a timer for the swimming pool pump in the development.

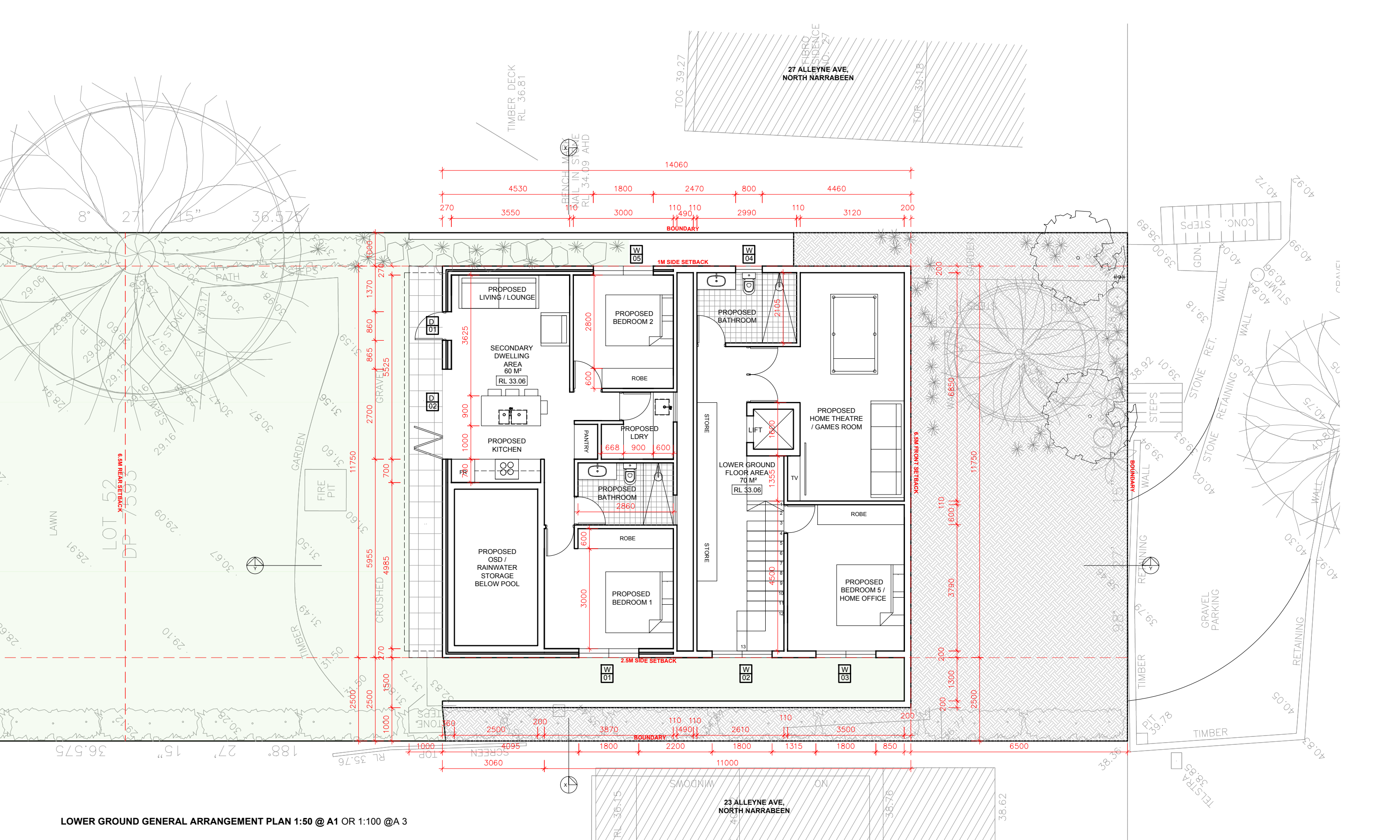
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 3 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.

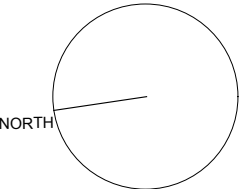
Natural lighting
The applicant must install a window and/or skylight in the Kitchen in the development for natural lighting.
The applicant must install a window and/or skylight in 1 bathroom(s)/toilets(s) in the development for natural light.

Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.

	LEGEND:  DENOTES EXISTING SPOT LEVEL  RL 7.10 DENOTES PROPOSED LEVEL  DENOTES PROPOSED WALLS  DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS	KEY:  DENOTES PROPOSED STRUCTURES  DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED  DENOTES AREA OF SOFT LANDSCAPING	PROJECT: PROPOSED NEW DWELLING HOUSE	PROJECT STAGE: DA	DATE OF ISSUE: 14.10.2021	<div><div>daniel raymond architect new reg. #9718</div><div>Shop 6/20 Avonon Parade, AVAILON, NSW 2107</div><div>e. dan@ramaarchitects.com ABN 612 713 425</div><div>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</div></div>
			CLIENT: TROY CARTER	DRAWING TITLE: COVER PAGE	DRAWING NO. DA-000	
			LOCATION: 25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW	SCALE: NTS	REVISION: -	



LOWER GROUND GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @ A3



LEGEND:

- $\nabla 0.3$ DENOTES EXISTING SPOT LEVEL
- RL 7.10** DENOTES PROPOSED LEVEL
- DENOTES PROPOSED WALLS
- DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

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KEY:

- DENOTES PROPOSED STRUCTURES
- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
- DENOTES AREA OF SOFT LANDSCAPING

PROJECT:

PROPOSED NEW DWELLING HOUSE

CLIENT:
TROY CARTER

LOCATION:
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
LOWER GROUND GENERAL
ARRANGEMENT PLAN

SCALE:
1:100 @ A3

DATE OF ISSUE:
14.10.2021

DRAWING NO.
DA-100

REVISION:
-

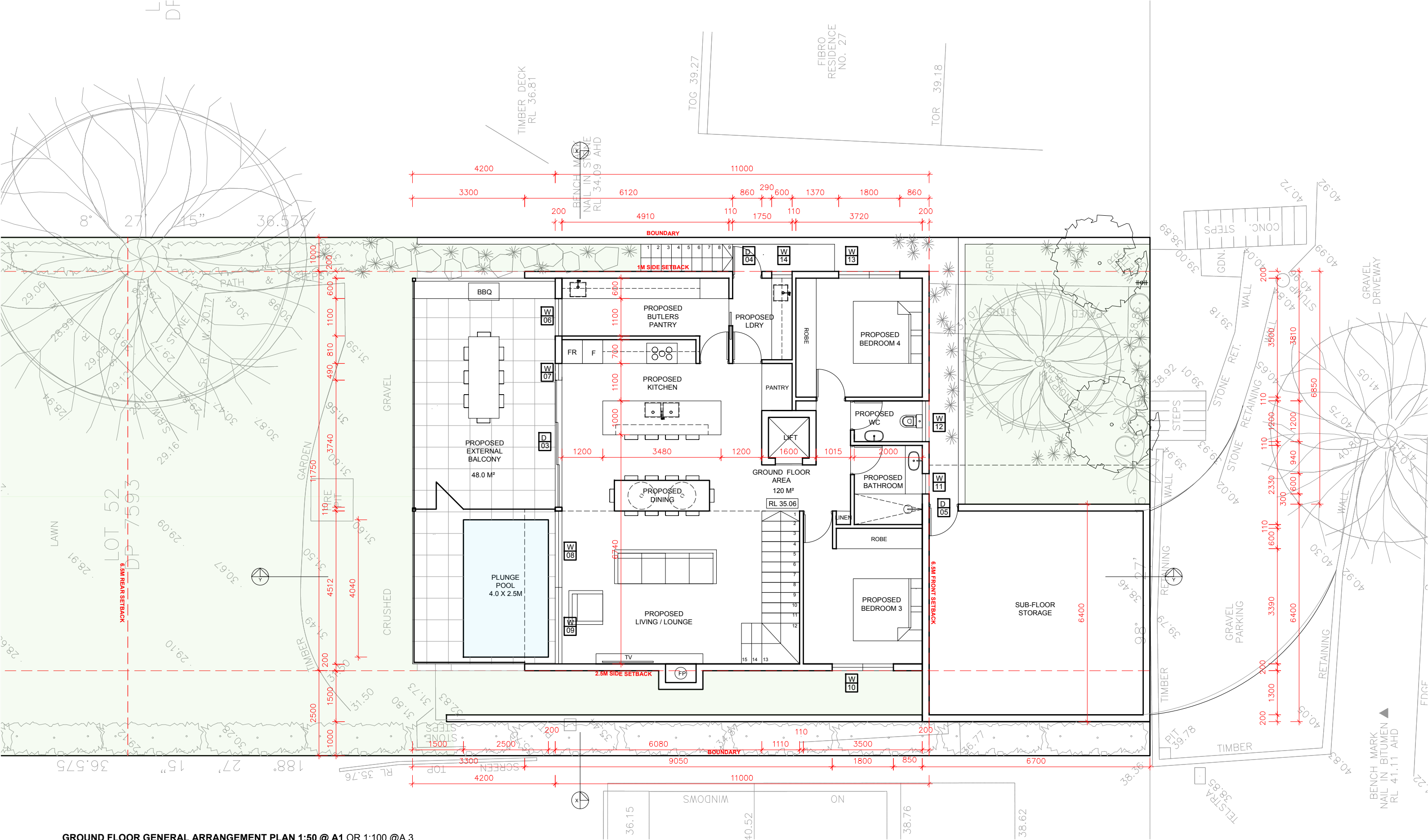
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architect
new reg. #9788

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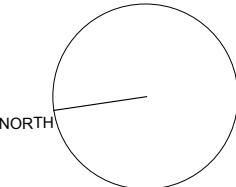
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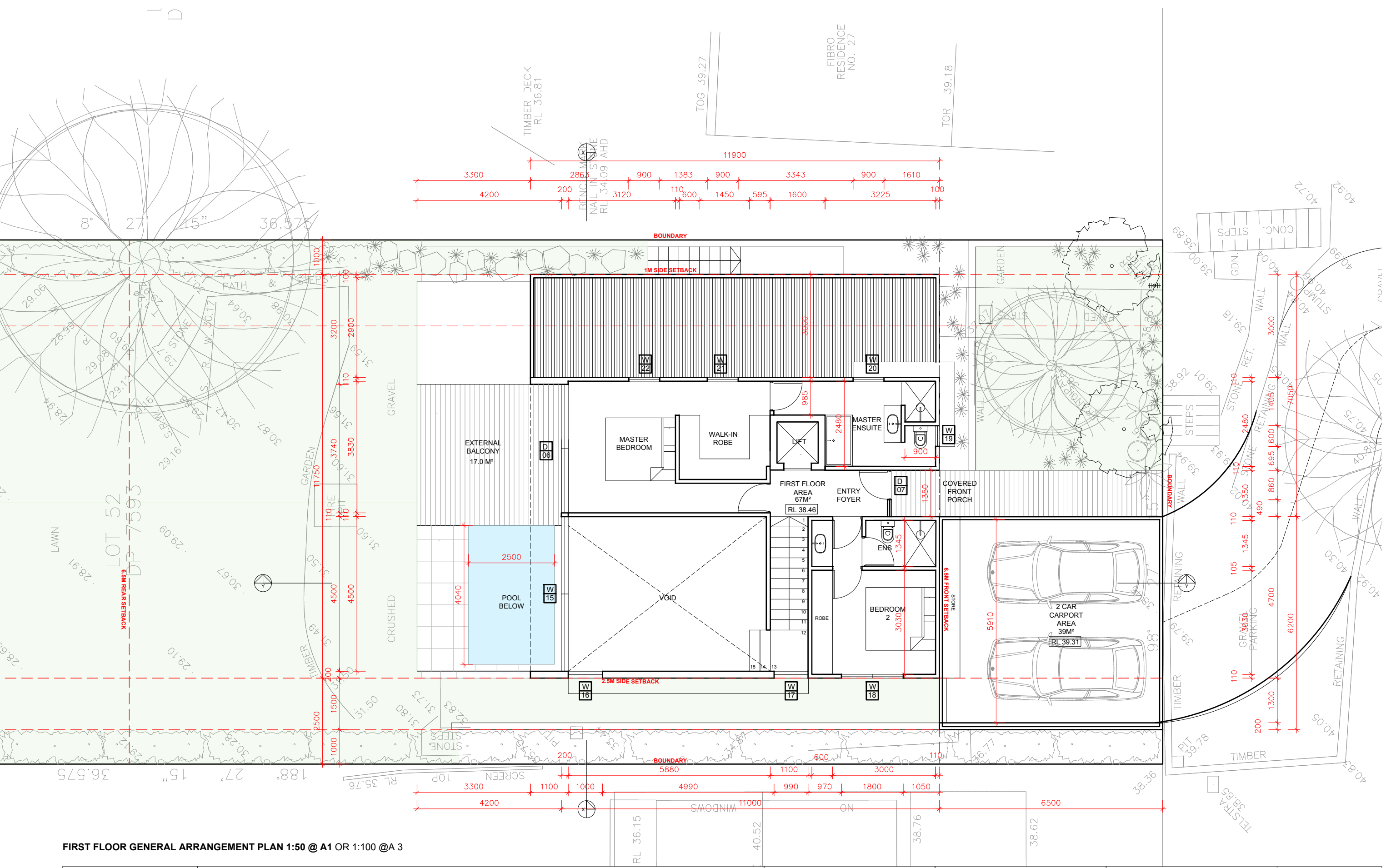
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GROUND FLOOR GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @ A 3

	<p>LEGEND:</p> <p>7.03 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>DENOTES PROPOSED WALLS</p> <p>DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</p>	<p>KEY:</p> <p>DENOTES PROPOSED STRUCTURES</p> <p>DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED</p> <p>DENOTES AREA OF SOFT LANDSCAPING</p>	<p>PROJECT:</p> <p>PROPOSED NEW DWELLING HOUSE</p> <p>CLIENT:</p> <p>TROY CARTER</p> <p>LOCATION:</p> <p>25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW</p>	<p>PROJECT STAGE:</p> <p>DA</p> <p>DRAWING TITLE:</p> <p>GROUND FLOOR GENERAL ARRANGEMENT PLAN</p> <p>SCALE:</p> <p>1:100 @ A3</p>	<p>DATE OF ISSUE:</p> <p>14.10.2021</p> <p>DRAWING NO.</p> <p>DA-101</p> <p>REVISION:</p> <p>-</p>	<p>daniel raymond architect new reg. #9788</p> <p>Shop 6/20 Avalon Parade, AVALON, NSW 2197</p> <p>e. dan@ramaarchitects.com ABN 612 713 425</p> <p>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
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FIRST FLOOR GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @ A3

	<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p> DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</p>	<p>KEY:</p> <p> DENOTES PROPOSED STRUCTURES</p> <p> DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED</p> <p> DENOTES AREA OF SOFT LANDSCAPING</p>	<p>PROJECT: PROPOSED NEW DWELLING HOUSE</p> <p>CLIENT: TROY CARTER</p> <p>LOCATION: 25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: FIRST FLOOR GENERAL ARRANGEMENT PLAN</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 14.10.2021</p> <p>DRAWING NO. DA-102</p> <p>REVISION: -</p>	<p>daniel raymond architect new reg. #9718</p> <p>Shop 6/20 Avalon Parade, AVALON, NSW 2197</p> <p>e. dan@ramaarchitects.com ABN 612 713 425</p> <p>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
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SCHEDULE OF FINISHES

MT - METAL
FC - SHEETING
D - DOOR
AL - ALUMINIUM
W - WINDOW
T - TIMBER
SS - SANDSTONE
BWK - BRICKWORK
GL - GLASS BALUSTRADE

PROPOSED PARAPET RL :42.12

PROPOSED FIRST FLOOR RL :38.46

PROPOSED LOWER GROUND FLOOR RL :35.76

PROPOSED LOWER GROUND FLOOR RL :33.06

AREA OF BUILDING ENVELOPE
ENCROACHMENT SHOWN RED

EXISTING GROUND LINE AT BOUNDARY

EAST ELEVATION 1:50 @ A1 OR 1:100 @ A3

LEGEND:

7.10
RL 7.10

DENOTES EXISTING SPOT LEVEL
DENOTES PROPOSED LEVEL

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KEY:

DENOTES PROPOSED STRUCTURES
DENOTES EXISTING STRUCTURES TO REMAIN
DENOTES OUTLINE OF EXISTING STRUCTURES
TO BE DEMOLISHED
DENOTES AREA OF SOFT LANDSCAPING

PROJECT
PROPOSED NEW DWELLING HOUSE

CLIENT
TROY CARTER

LOCATION
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE
DA

DRAWING TITLE
ELEVATION SHEET 01

SCALE
1:100 @ A3

DATE
18.10.2021

DRAWING NO.
DA-300

REVISION
-

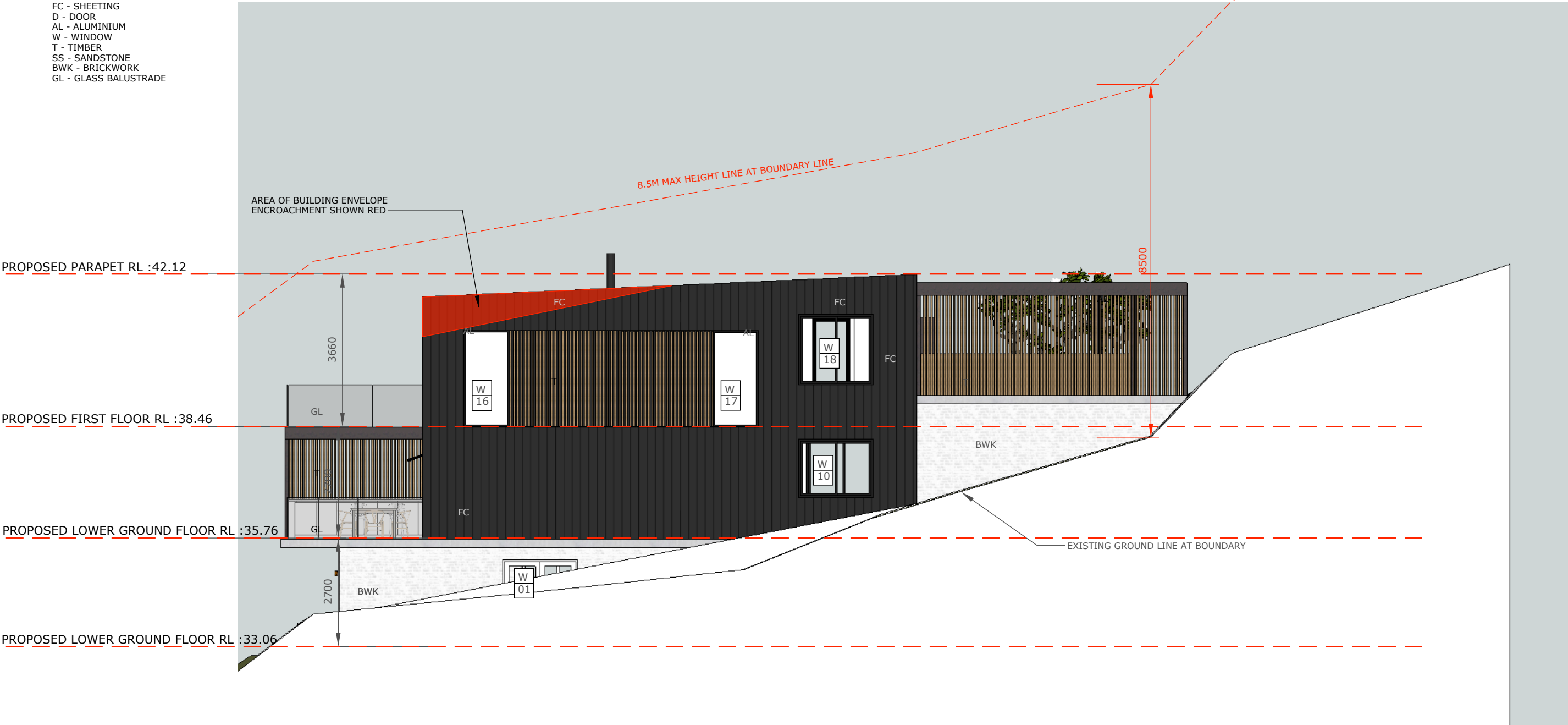
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SCHEDULE OF FINISHES

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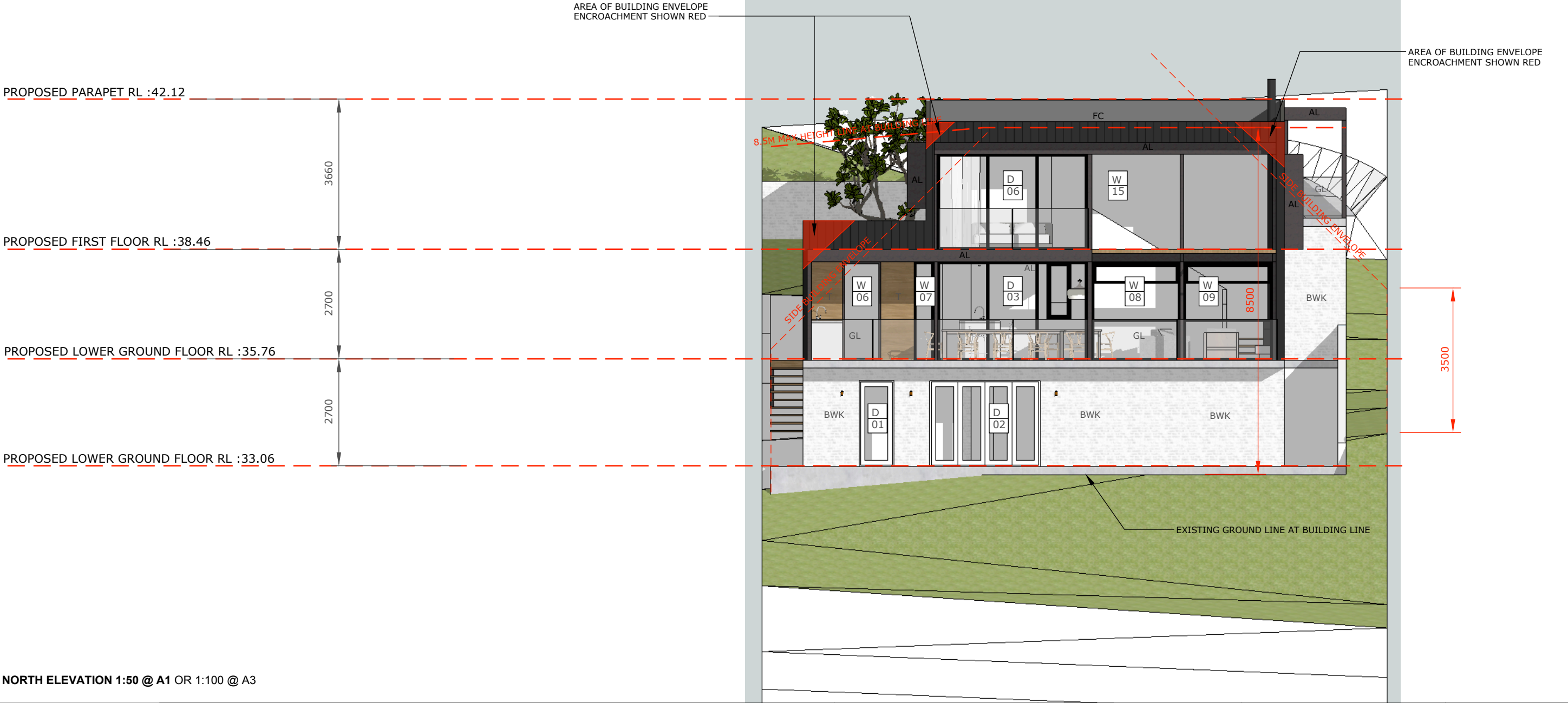


WEST ELEVATION 1:50 @ A1 OR 1:100 @ A3

<p>LEGEND:</p> <p>7.10 DENOTES EXISTING SPOT LEVEL</p> <p>RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELAVANT STANDARDS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</p>	<p>KEY:</p> <p>DENOTES PROPOSED STRUCTURES</p> <p>DENOTES EXISTING STRUCTURES TO REMAIN</p> <p>DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED</p> <p>DENOTES AREA OF SOFT LANDSCAPING</p>	<p>PROJECT</p> <p>PROPOSED NEW DWELLING HOUSE</p> <p>CLIENT</p> <p>TROY CARTER</p> <p>LOCATION</p> <p>25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW</p>	<p>PROJECT STAGE</p> <p>DA</p> <p>DRAWING TITLE</p> <p>ELEVATION SHEET 02</p> <p>SCALE</p> <p>1:100 @ A3</p>	<p>DATE</p> <p>18.10.2021</p> <p>DRAWING NO.</p> <p>DA-301</p> <p>REVISION</p> <p>-</p>	<p>daniel raymond architect new reg.#9788</p> <p>Shop 6/20 Avalon Parade, AVALON, NSW. 2107 www.ramaarchitects.com e. dan@ramaarchitects.com ABN 612 713 425</p> <p>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
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GL - GLASS BALUSTRADE



NORTH ELEVATION 1:50 @ A1 OR 1:100 @ A3

	<p>LEGEND:</p> <p>7.10 RL 7.10</p> <p>DENOTES EXISTING SPOT LEVEL</p> <p>DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELAVANT STANDARDS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</p>	<p>KEY:</p> <p>DENOTES PROPOSED STRUCTURES</p> <p>DENOTES EXISTING STRUCTURES TO REMAIN</p> <p>DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED</p> <p>DENOTES AREA OF SOFT LANDSCAPING</p>	<p>PROJECT PROPOSED NEW DWELLING HOUSE</p> <p>CLIENT TROY CARTER</p> <p>LOCATION 25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW</p>	<p>PROJECT STAGE DA</p> <p>DRAWING TITLE ELEVATION SHEET 03</p> <p>SCALE 1:100 @ A3</p>	<p>DATE 18.10.2021</p> <p>DRAWING NO. DA-302</p> <p>REVISION -</p>	<p>daniel raymond architect new reg.#9788</p> <p>Shop 6/20 Avalon Parade, AVALON, NSW. 2107 www.ramaarchitects.com e. dan@ramaarchitects.com ABN 612 713 425</p> <p>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
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MT - METAL
FC - SHEETING
D - DOOR
AL - ALUMINIUM
W - WINDOW
T - TIMBER
SS - SANDSTONE
BWK - BRICKWORK
GL - GLASS BALUSTRADE

PROPOSED LOWER GROUND FLOOR RL :33.06

Diagram illustrating the side building envelope, showing a dashed red line indicating the boundary.

850

3500

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SCHEDULE OF FINISHES

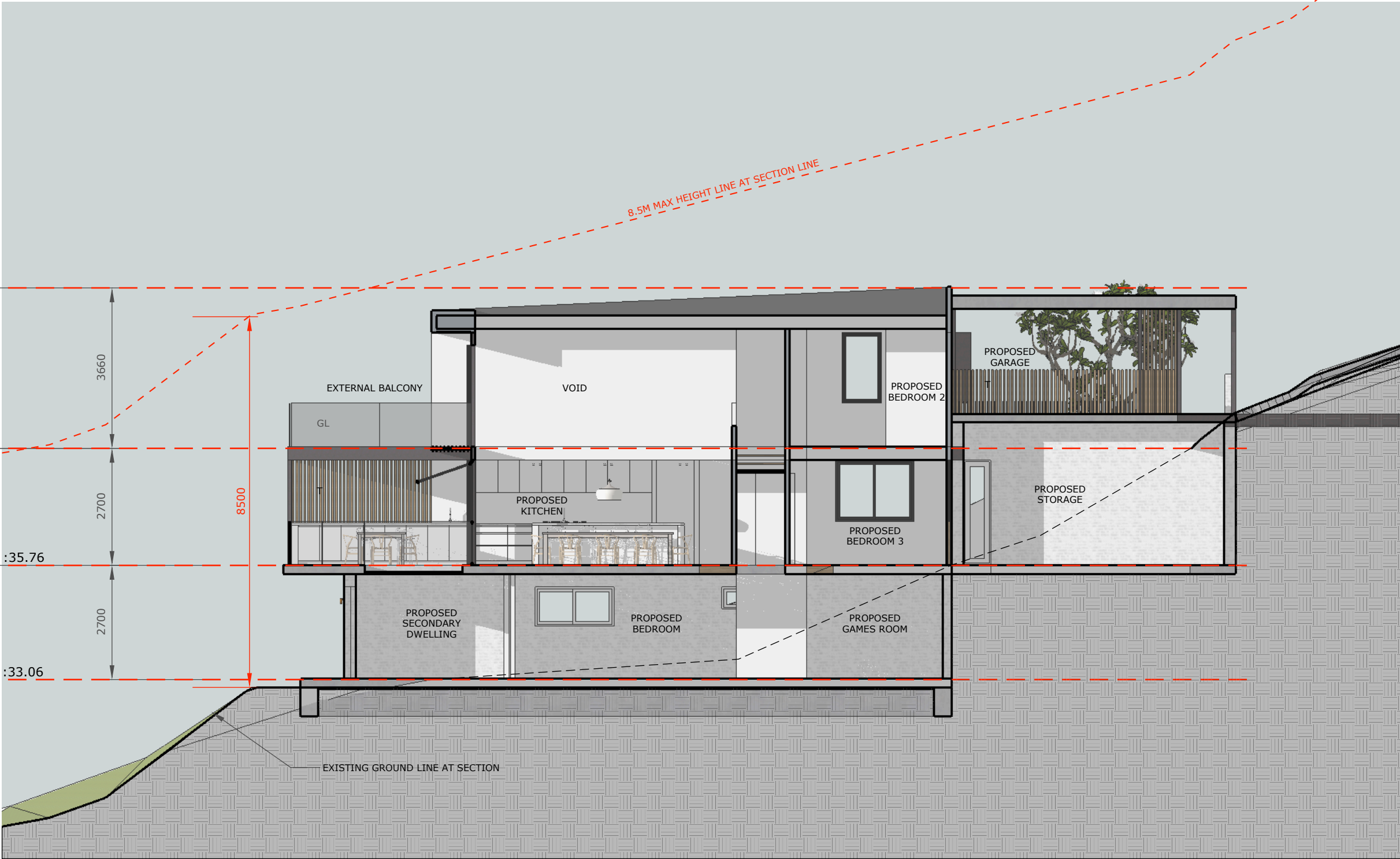
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T - TIMBER
SS - SANDSTONE
BWK - BRICKWORK
GL - GLASS BALUSTRADE

PROPOSED PARAPET RL :42.12

PROPOSED FIRST FLOOR RL :38.46

PROPOSED LOWER GROUND FLOOR RL :35.76

PROPOSED LOWER GROUND FLOOR RL :33.06



SECTION Y 1:50 @ A1 OR 1:100 @ A3

	<p>LEGEND:</p> <p>7.10 RL 7.10</p> <p>DENOTES EXISTING SPOT LEVEL DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELAVANT STANDARDS NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</p>	<p>KEY:</p> <p>DENOTES PROPOSED STRUCTURES DENOTES EXISTING STRUCTURES TO REMAIN DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED DENOTES AREA OF SOFT LANDSCAPING</p>	<p>PROJECT PROPOSED NEW DWELLING HOUSE</p> <p>CLIENT TROY CARTER</p> <p>LOCATION 25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW</p>	<p>PROJECT STAGE DA</p> <p>DRAWING TITLE SECTION SHEET 01</p> <p>SCALE 1:100 @ A3</p>	<p>DATE 18.10.2021</p> <p>DRAWING NO. DA-400</p> <p>REVISION -</p>	<p>daniel raymond architect new reg.#9788</p> <p>Shop 6/20 Avalon Parade, AVALON, NSW. 2107 www.ramaarchitects.com e. dan@ramaarchitects.com ABN 612 713 425</p> <p>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
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SCHEDULE OF FINISHES

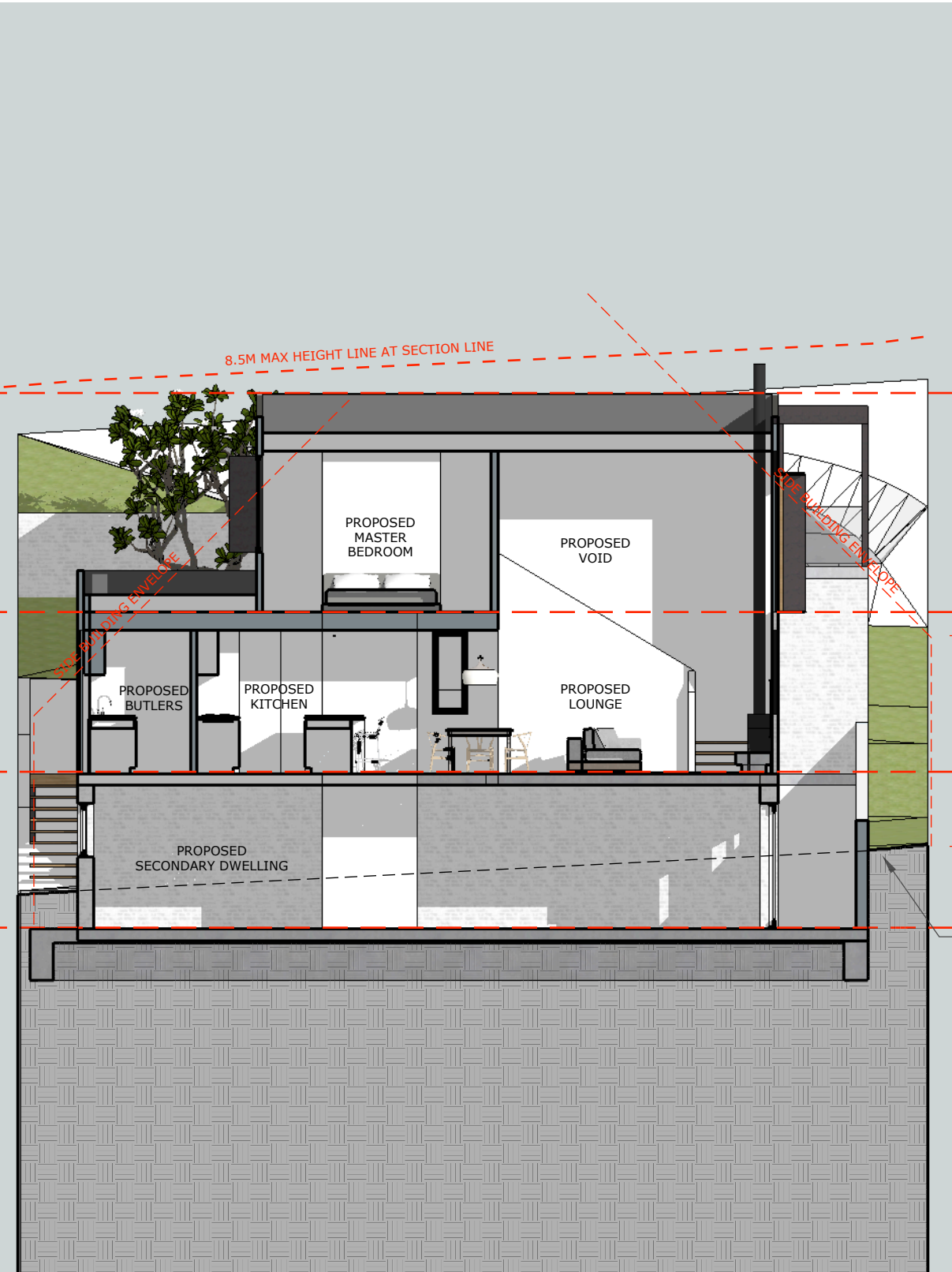
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FC - SHEETING
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W - WINDOW
T - TIMBER
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BWK - BRICKWORK
GL - GLASS BALUSTRADE

PROPOSED PARAPET RL :42.12

PROPOSED FIRST FLOOR RL :38.46

PROPOSED LOWER GROUND FLOOR RL :35.76

PROPOSED LOWER GROUND FLOOR RL :33.06



SECTION X 1:50 @ A1 OR 1:100 @ A3

LEGEND:

- 7.10
RL 7.10
- DENOTES EXISTING SPOT LEVEL
DENOTES PROPOSED LEVEL

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NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELAVANT STANDARDS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

- DENOTES PROPOSED STRUCTURES
DENOTES EXISTING STRUCTURES TO REMAIN
DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
DENOTES AREA OF SOFT LANDSCAPING

PROJECT
PROPOSED NEW DWELLING HOUSE

CLIENT
TROY CARTER

LOCATION
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE
DA

DRAWING TITLE
SECTION SHEET 02

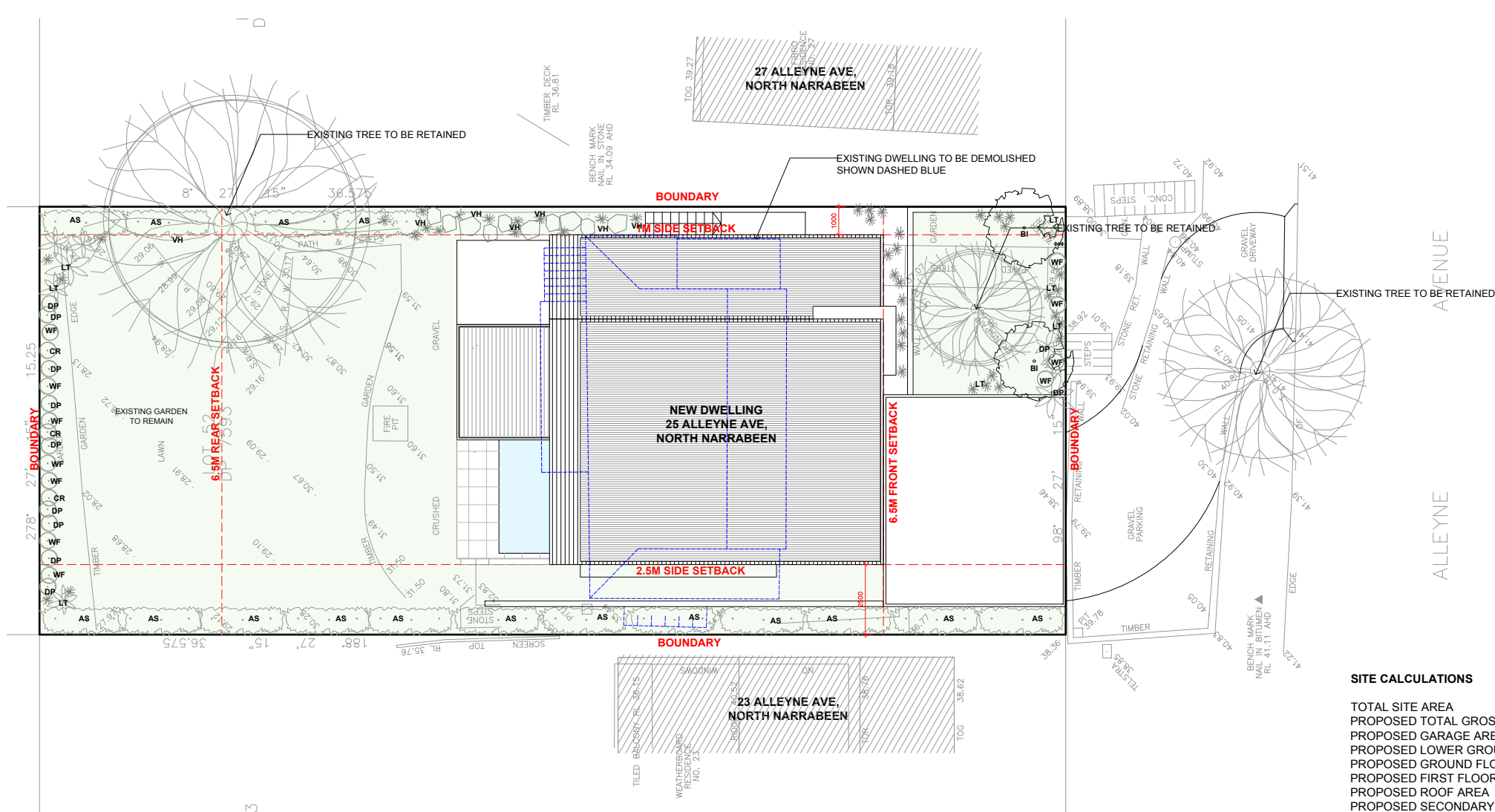
SCALE
1:100 @ A3

DATE
18.10.2021

DRAWING NO.
DA-401

REVISION
-

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KEY:

	DENOTES CALCULATED SOFT LANDSCAPE AREA
	DENOTES GRASS LAWN AREA
	DENOTES CONCRETE DRIVEWAY SURFACE

DENOTES OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

DENOTES PROPOSED FEATURE TREE

DENOTES EXISTING TREE

DENOTES PROPOSED SHRUB

DENOTES PROPOSED SCREENING HEDGE

DENOTES PROPOSED FEATURE PLANT

DENOTES PROPOSED GRASSES AND GROUND COVERS

DENOTES PROPOSED TERRACE AREA

DENOTES PROPOSED STEPPING STONES

DENOTES PROPOSED PAVERS

ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SCHEDULED SIZE
TREES				
BI	2	BANKSIA INTEGRIFOLIA	COASTAL BANKSIA	75LT
AS	16	ACMENA SMITHII	BROAD-LEAF LILLYPILLY	45LT
SHRUBS				
WF	11	WESTRINGIA FRUTICOSA	COASTAL ROSEMARY	300MM
CR	3	CORREA REFLEXA	COMMON CORREA	300MM
DP	11	DORYANTHES PALMERI	GYMEA LILLY	300MM
GRASSES/ GROUNDCOVERS				
LT	7	LOMANDRA LONGIFOLIA	SPINY-HEADED MAT RUSH	100MM
VH	12	VIOLA HEDERACEA	NATIVE VIOLET	100MM
LM	-	LIROPE'E'EVERGREEN GIANT'	GIANT MONDO GRASS	150MM
DR	-	DICHONDRA REPENS	KIDNEY WEED	100MM
C	-	CARPOBROTUS	PIGFACE	100MM

LANDSCAPE CONSTRUCTION NOTES

TREE PROTECTION

All trees nominated to be retained are to be protected throughout the duration of the demolition and construction periods. All tree protection enclosures must be established prior to commencement of demolition works and shall comprise a fence enclosure around the PZ of the tree. The Project Arborist must be present to supervise any excavation, trenching or tunnelling within the PZ of any retained trees if required. Keep the area within the enclosure free of construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Do not cut tree roots exceeding 50mm diameter. Where it is necessary to cut tree roots, use handsaw, cut cleanly, do not rip with machinery and such that the cutting does not unduly disturb the remaining root system. If damage does occur to a tree, the project Arborist is to attend prior to repairing damage and during repair work. If a tree is damaged and repair work is considered impractical, or is attempted and fails, give notice and obtain instructions.

SUBSOIL

Excavate to bring the subsoil to a minimum of 300mm below finished design levels, to allow for infilling with topsoil mix. Break up the soil to a further depth of 100mm. Remove all building rubble, waste oil, cement and other material harmful to plant growth from planting beds prior to placement of topsoil. Cultivate to a minimum depth of 100mm over areas to be planted or grassed. Do not disturb services or tree roots; if necessary, cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to the required design levels after cultivation. Confirm that the planting beds are free draining. If not install sub-soil drainage lines and connect to stormwater system. Apply additives after ripping or cultivation and incorporate into the upper 100mm layer of the subsoil.

TOPSOIL

Where possible use site topsoil and compost mixed at a rate of 4 soil : 1 compost, thoroughly mixed before placement. If imported soil is required soil shall be same or similar to Australian Native Landscapes Premium garden mix or similar for garden bed areas or Turf Underlay mix for turf areas. Spread topsoil on the prepared subsoil and grade evenly, making the necessary allowances so that required finished levels and contours are achieved after light compaction. Compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which is ready for planting. Spread topsoil to the following typical depths: Planting beds: 300mm Grass areas: 100mm

PLANTING

trees: excavate a plant hole to twice the diameter of the root ball and at least 100mm deeper than the root ball. break up the base of the hole to a further depth of 100mm, and loosen the compacted sides of the hole. shrubs/ground covers: excavate a hole big enough for the plant plus 100mm all round. provide plants which have large healthy root systems, with no evidence of root cur, restriction or damage, are vigorous, well established, free from disease and pests, of good form consistent with the species or variety; and are hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site. trees: provide trees which, unless required to be multi-stemmed, have a single leading shoot. trees should be staked as specified. label at least one plant of each species or variety in a batch using a durable, readable tag. do not plant in unsuitable weather conditions such as extreme heat, cold, wind or rain. in other than sandy soils, suspend excavation when the soil is wet, or during frost periods. when the hold is of the correct size, remove the plant from the container with minimum disturbance to the root ball. ensure that the root ball is moist and place in the final position, in the hole and plumb, with the top soil level of the plant root ball level with the finished surface of the surrounding soil, or 75mm below paving level to allow placement of mulch. backfill with topsoil mixture. lightly tamp and water to eliminate air pockets. ensure that topsoil is not placed over the top of the rootball, so that the plant stem is the same height as in the container. thoroughly water plants before planting and immediately after planting. in planting beds and individual plantings, place slow release fertiliser pellets around plants at the time of planting at the rate recommended by the manufacturer. mulching. All garden bed areas are to be mulched to 75mm depth with same or similar to Forest Blend. Provide mulch/gravel which is free of deleterious and extraneous matter such as stones, soil, weeds and sticks. Place mulch/gravel clear of plant stems, and rake to an even surface flush with the surrounding finished levels.

SITE CALCULATIONS

TOTAL SITE AREA	557.8m²
PROPOSED TOTAL GROSS FLOOR AREA INC. SECONDARY DWELLING	317m²
PROPOSED GARAGE AREA	37m²
PROPOSED LOWER GROUND GROSS FLOOR AREA	70m²
PROPOSED GROUND FLOOR GROSS FLOOR AREA	120m²
PROPOSED FIRST FLOOR GROSS FLOOR AREA	67m²
PROPOSED ROOF AREA	199m²
PROPOSED SECONDARY DWELLING	60m²
PROPOSED POOL VOLUME	18m³
PROPOSED HARD SURFACE AREA	245.7m² (44%)
PROPOSED TOTAL SOFT LANDSCAPE AREA	312.1m² (56%)

DECORATIVE GRAVEL

All areas nominated as Decorative Gravel are to be finished as detailed with sandstone pebbles 10mm-20mm average diameter, same or similar to that supplied by Australian Native Landscapes. Selected pebbles are to be free of deleterious and extraneous matter such as stones, cement, soil, weeds and sticks. Tamp pebbles to an even surface flush with the surrounding finished levels.

DECORATIVE ROCK MULCH

All areas nominated as Decorative Rock Mulch are to be finished with sandstone spalls, average diameter 80mm-120mm, same or similar to those supplied by Benedicts Sand and Gravel.

DECOMPOSED GRANITE PAVEMENT

Decomposed granite is to be fine-crushed river gravel (5mm-7mm), to a depth of 50mm, placed on a 50mm bed of coarse gravel on 100mm consolidated hardcore. Gravel is to be compacted and trimmed to provide falls and a free draining surface.

INSTALLATION OF BRICK GARDEN EDGE

A stretcher or single paver brick edge is to be installed to separate turf and garden beds. Secure pavers on rough mortar footing 100mm thick and ensure uniform 10mm joints between each brick to create flush struck joints. Refer to edging and turling detail.

FERTILISER

Fertiliser is to be slow release fertiliser equivalent to "Osmocote" and is to be applied at manufacturer's specified rates.

DRAINAGE

Ensure adequate drainage to all garden beds, gravel and lawn areas. Install 100mm agricultural pipe with sock as required in garden beds and behind all retaining walls. Agricultural pipes to drain to junction pits and connect to stormwater system. Ensure paved areas are free draining. Install pits if required. (Refer to Hydraulic Engineering).

RETAINING WALLS

Retaining walls to be constructed as per Engineer's details.

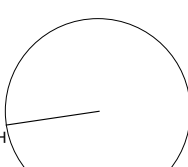







CONCRETE WORKS

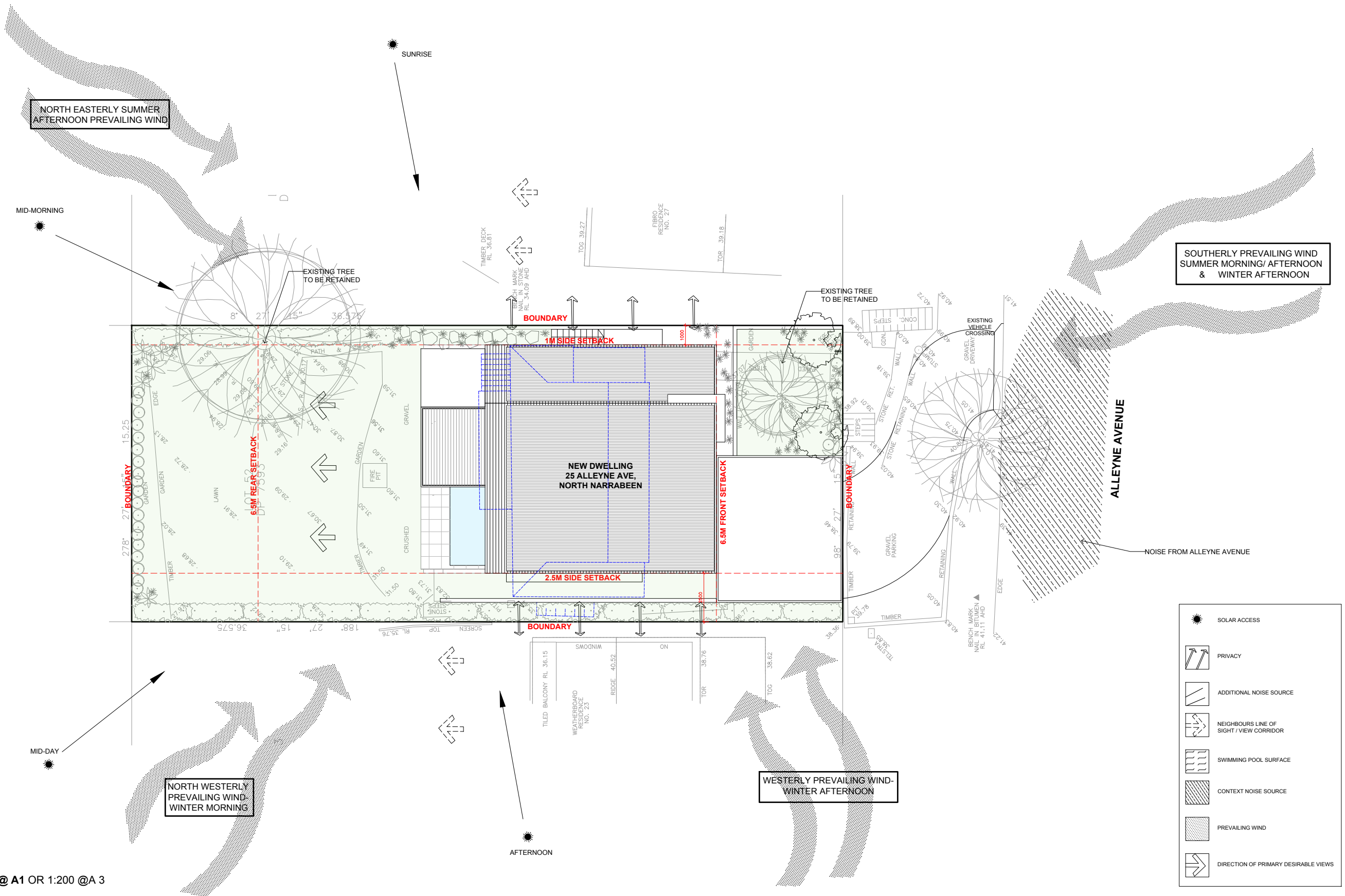
All paths, steps, slabs and footings shall be to Engineer's specification. Materials and construction to AS3600 and AS3610. Supply and install ready mixed concrete to AS1379 with selected aggregate. Ensure all appropriate PVC conduits for garden lighting and irrigation systems are placed before concrete and paving installation.

MAINTENANCE

Throughout the planting establishment period (minimum 12 weeks), carry out maintenance work including watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, reseeding, returfing, staking and tying, replanting, cultivating, pruning, hedges clipping, aerating, reinstatement of mulch, renovating, top dressing and keeping the site neat and tidy. Continue to replace failed, damaged or stolen plants.

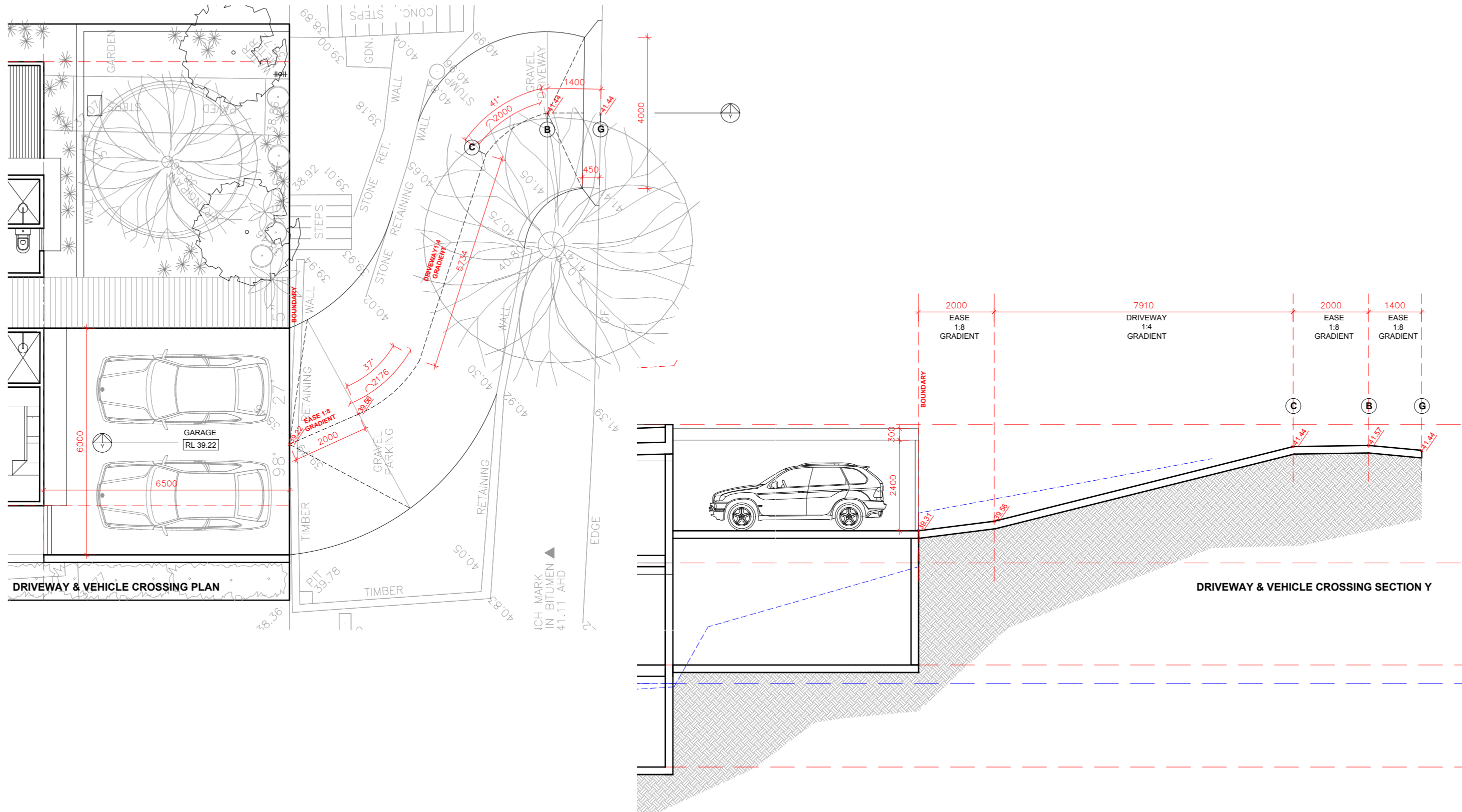
LANDSCAPE CONCEPT PLAN 1:100 @ A1 OR 1:200 @A 3

 NORTH	LEGEND:  DENOTES EXISTING SPOT LEVEL  DENOTES PROPOSED LEVEL  DENOTES PROPOSED WALLS  DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS	KEY:  DENOTES PROPOSED STRUCTURES  DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED  DENOTES AREA OF SOFT LANDSCAPING	PROJECT: PROPOSED NEW DWELLING HOUSE	PROJECT STAGE: DA	DATE OF ISSUE: 14.10.2021	CLIENT: TROY CARTER	DRAWING TITLE: LANDSCAPE CONCEPT PLAN	DRAWING NO. DA-500	REVISION: -	<div><div><div>daniel raymond architect nsw reg. #9788</div><div>Shop 6/20 Avalon Parade, AVALON, NSW 2107 e. dan@ramaarchitects.com ABN 612 713 425</div><div>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</div></div></div>
	CLIENT: TROY CARTER	DRAWING TITLE: LANDSCAPE CONCEPT PLAN	DATE OF ISSUE: 14.10.2021	DRAWING NO. DA-500	REVISION: -					
	LOCATION: 25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW	SCALE: 1:200 @ A3	REVISION: -							

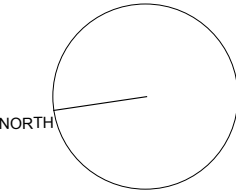







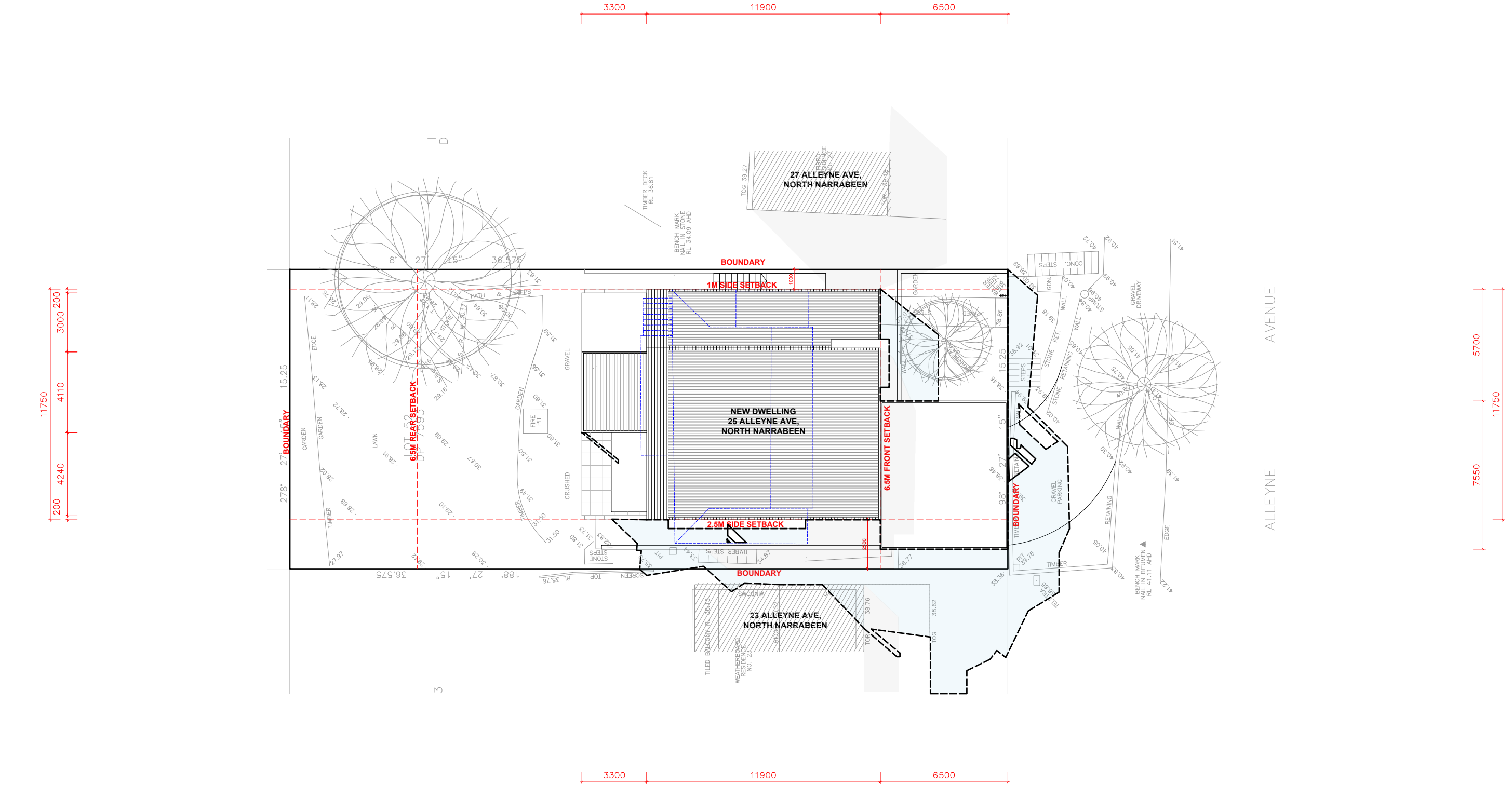
SITE ANALYSIS PLAN 1:100 @ A1 OR 1:200 @A 3

	<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p> DENOTES PROPOSED LEVEL</p> <p> DENOTES PROPOSED WALLS</p> <p> DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</p>	<p>KEY:</p> <p> DENOTES PROPOSED STRUCTURES</p> <p> DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED</p> <p> DENOTES AREA OF SOFT LANDSCAPING</p>	<p>PROJECT:</p> <p>PROPOSED NEW DWELLING HOUSE</p> <p>CLIENT:</p> <p>TROY CARTER</p> <p>LOCATION:</p> <p>25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW</p>	<p>PROJECT STAGE:</p> <p>DA</p> <p>DRAWING TITLE:</p> <p>SITE ANALYSIS PLAN</p> <p>SCALE:</p> <p>1:200 @ A3</p>	<p>DATE OF ISSUE:</p> <p>14.10.2021</p> <p>DRAWING NO.</p> <p>DA-501</p> <p>REVISION:</p> <p>-</p>	<p>daniel raymond architect nsw reg. #57788</p> <p>Shop 6/20 Avalon Parade, AVALON, NSW. 2107</p> <p>e. dan@aramarchitects.com ABN 612 713 425</p> <p>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
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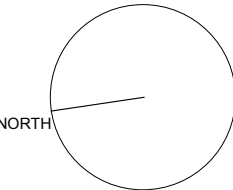










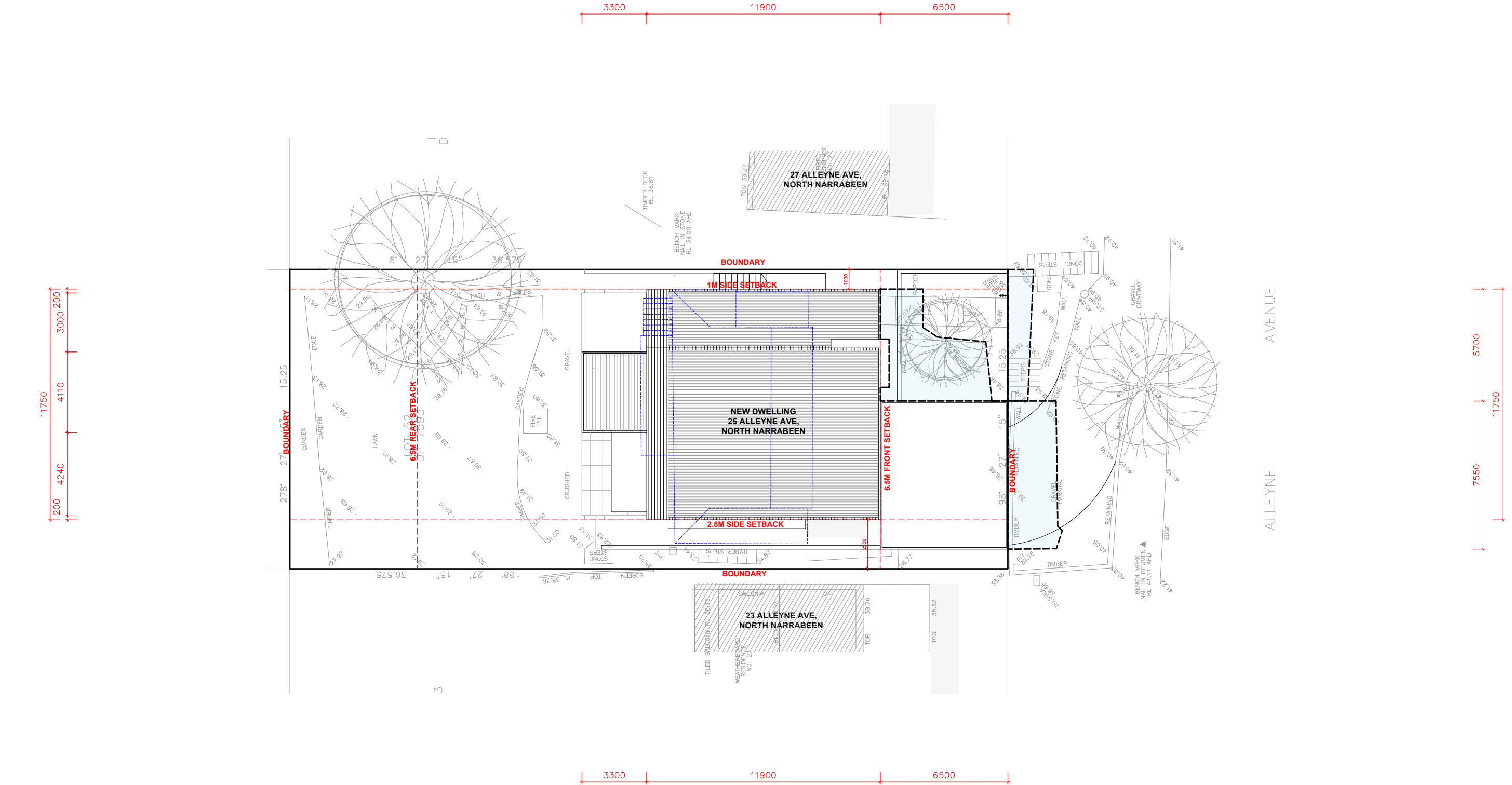
VEHICLE CROSSING AND DRIVEWAY GRADIENT 1:50 @ A1 OR 1:100 @A 3

	<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p> RL 7.10 DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</p>	<p>KEY:</p> <p> DENOTES PROPOSED STRUCTURES</p> <p> DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED</p> <p> DENOTES AREA OF SOFT LANDSCAPING</p>	<p>PROJECT: PROPOSED NEW DWELLING HOUSE</p> <p>CLIENT: TROY CARTER</p> <p>LOCATION: 25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW</p>	<p>PROJECT STAGE: DA</p> <p>DRAWING TITLE: VEHICLE CROSSING & DRIVEWAY GRADIENT PLAN</p> <p>SCALE: 1:100 @ A3</p>	<p>DATE OF ISSUE: 14.10.2021</p> <p>DRAWING NO. DA-503</p> <p>REVISION: -</p>	<p><small>daniel raymond architect new reg. #9718</small></p> <p><small>Shop 6/20 Avalon Parade, AVALON, NSW 2107</small></p> <p><small>e. dan@ramaarchitects.com</small></p> <p><small>ABN 612 713 425</small></p> <p><small>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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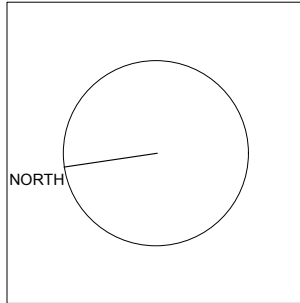










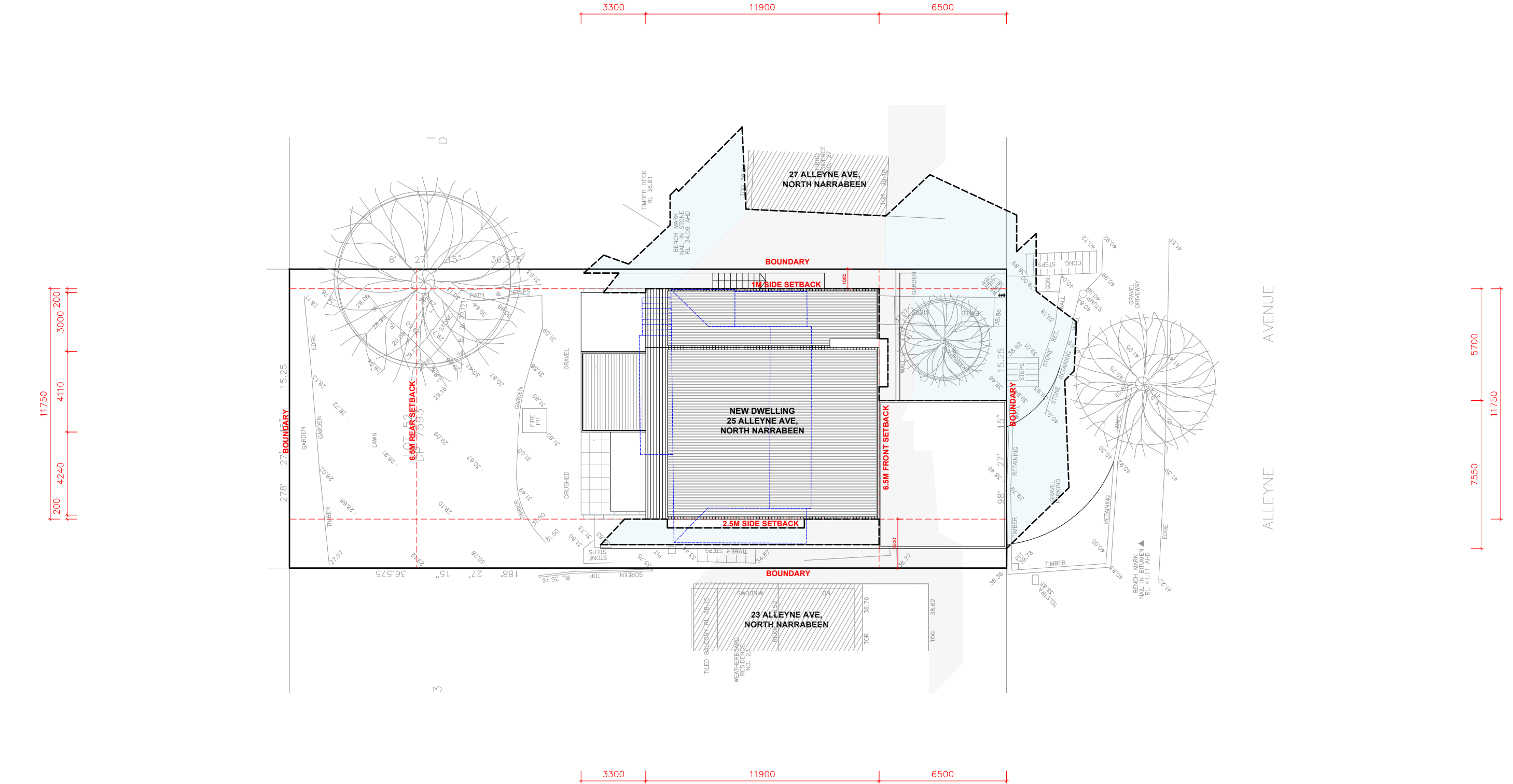
9AM 21ST JUNE SHADOW DIAGRAM PLAN 1:100 @ A1 OR 1:200 @A 3

	<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p> RL 7.10 DENOTES PROPOSED LEVEL</p> <p> DENOTES PROPOSED WALLS</p> <p> DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</p>	<p>KEY:</p> <p> DENOTES PROPOSED WALLS</p> <p> DENOTES OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED</p> <p> DENOTES AREA OF EXISTING SHADOW TO REMAIN CAST FROM PROPOSED NEW DWELLING AT 25 ALLEYNE AVE, NORTH NARRABEEN, NSW.</p> <p> DENOTES AREA OF ADDITIONAL SHADOW CAST FROM PROPOSED NEW DWELLING AT 25 ALLEYNE AVE, NORTH NARRABEEN, NSW.</p>	<p>PROJECT:</p> <p>PROPOSED NEW DWELLING HOUSE</p> <p>CLIENT:</p> <p>TROY CARTER</p> <p>LOCATION:</p> <p>25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW</p>	<p>PROJECT STAGE:</p> <p>DA</p> <p>DRAWING TITLE:</p> <p>9AM SHADOW DIAGRAM PLAN</p> <p>SCALE:</p> <p>1:200 @ A3</p>	<p>DATE OF ISSUE:</p> <p>14.10.2021</p> <p>DRAWING NO.</p> <p>DA-900</p> <p>REVISION:</p> <p>-</p>	<p>daniel raymond architect nsw reg. #9788</p> <p>Shop 6/20 Avalon Parade, AVALON, NSW. 2107</p> <p>e. dan@ramaarchitects.com ABN 612 713 425</p> <p>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
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12PM 21ST JUNE SHADOW DIAGRAM PLAN 1:100 @ A1 OR 1:200 @A 3

	<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p> RL 7.10 DENOTES PROPOSED LEVEL</p> <p> DENOTES PROPOSED WALLS</p> <p> DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</p>	<p>KEY:</p> <p> DENOTES PROPOSED WALLS</p> <p> DENOTES OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED</p> <p> DENOTES AREA OF EXISTING SHADOW TO REMAIN CAST FROM PROPOSED NEW DWELLING AT 8 DELECTA AVE, CLAREVILLE, NSW.</p> <p> DENOTES AREA OF ADDITIONAL SHADOW CAST FROM PROPOSED NEW DWELLING AT 8 DELECTA AVE, CLAREVILLE, NSW.</p>	<p>PROJECT:</p> <p>PROPOSED NEW DWELLING HOUSE</p> <p>CLIENT:</p> <p>TROY CARTER</p> <p>LOCATION:</p> <p>25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW</p>	<p>PROJECT STAGE:</p> <p>DA</p> <p>DRAWING TITLE:</p> <p>12PM SHADOW DIAGRAM PLAN</p> <p>SCALE:</p> <p>1:200 @ A3</p>	<p>DATE OF ISSUE:</p> <p>14.10.2021</p> <p>DRAWING NO.</p> <p>DA-901</p> <p>REVISION:</p> <p>-</p>	<p>daniel raymond architect nsw reg. #9788</p> <p>Shop 6/20 Avalon Parade, AVALON, NSW. 2107</p> <p>e. dan@ramaarchitects.com ABN 612 713 425</p> <p>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
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3PM 21ST JUNE SHADOW DIAGRAM PLAN 1:100 @ A1 OR 1:200 @A 3

	<p>LEGEND:</p> <p> DENOTES EXISTING SPOT LEVEL</p> <p> DENOTES PROPOSED LEVEL</p> <p> DENOTES PROPOSED WALLS</p> <p> DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS. NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</p>	<p>KEY:</p> <p> DENOTES PROPOSED WALLS</p> <p> DENOTES OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED</p> <p> DENOTES AREA OF EXISTING SHADOW TO REMAIN CAST FROM PROPOSED NEW DWELLING AT 8 DELECTA AVE, CLAREVILLE, NSW.</p> <p> DENOTES AREA OF ADDITIONAL SHADOW CAST FROM PROPOSED NEW DWELLING AT 8 DELECTA AVE, CLAREVILLE, NSW.</p>	<p>PROJECT:</p> <p>PROPOSED NEW DWELLING HOUSE</p> <p>CLIENT:</p> <p>TROY CARTER</p> <p>LOCATION:</p> <p>25 ALLEYNE AVE, NORTH NARRABEEN, 2101, NSW</p>	<p>PROJECT STAGE:</p> <p>DA</p> <p>DRAWING TITLE:</p> <p>3PM SHADOW DIAGRAM PLAN</p> <p>SCALE:</p> <p>1:200 @ A3</p>	<p>DATE OF ISSUE:</p> <p>14.10.2021</p> <p>DRAWING NO.</p> <p>DA-902</p> <p>REVISION:</p> <p>-</p>	<p>daniel raymond architect nsw reg. #9788</p> <p>Shop 6/20 Avalon Parade, AVALON, NSW. 2107</p> <p>e. dan@ramaarchitects.com ABN 612 713 425</p> <p>COPYRIGHT OF DANIEL RAYMOND ARCHITECTS. THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</p>
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