

Bushfire Assessment Report

Proposed: Alterations and Additions

At:
**24 Simpson Street,
Belrose**

Reference Number: 250995

5 May 2025



Prepared By:
**Building Code & Bushfire
Hazard Solutions Pty Limited**

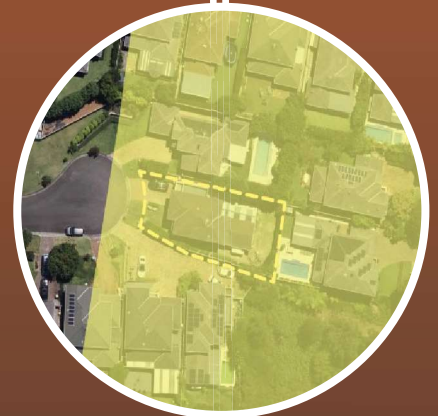
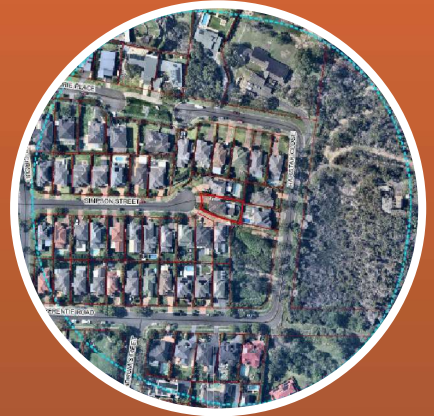
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**SILVER
MEMBER**
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Contents

	<u>Page No.</u>
Copyright and Disclaimer	2
List of Abbreviations	3
1.0 Introduction	4
2.0 Legislative Requirements	5
3.0 Purpose of Report	5
4.0 Scope of Report	5
5.0 Compliance Table and Notes	6
6.0 Aerial view of the subject allotment	7
7.0 Site Assessment	8 - 11
8.0 Bushfire Protection Measures	12 - 16
9.0 Recommendations	17
10.0 Conclusion	18
11.0 Annexure	19
- List of referenced documents and attachments	
- Attachments	

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The onus is on the applicant to cross reference this document with any conditions of consent issued by Council or any requirements supplied by the NSW Rural Fire Service following development approval. BCBHS can review and cross reference these documents however the onus is on the applicant to provide them to us and request this review – Building Code and Bushfire Hazard Solutions Pty. Ltd. is not in a position to track every DA through Council and we rely upon the applicant to undertake this role as project co-ordinator.

Where any discrepancy between this document and the development approval or the NSW Rural Fire Service requirements is found, the conditions of consent always take precedence until such time as an application to review, amend or vary these conditions is approved.

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Version Control				
Version	Date	Author	Reviewed by	Details
1	05/05/2025	Ian Tyerman	Andrew Muirhead	Final Report

List of Abbreviations:

APZ	Asset Protection Zone
AS3959	Australian Standard 3959 – 2018
BAL	Bushfire Attack Level
BPMs	Bushfire Protection Measures
BPLM	Bushfire Prone Land Map
Council	Northern Beaches Council
DA	Development Application
ELVIS	Elevation and Depth Foundation Spatial Data
EP&A Act	<i>Environmental Planning and Assessment Act - 1979</i>
ESD	Ecologically Sustainable Development
FRNSW	Fire and Rescue NSW
IPA	Inner Protection Area
NASH	National Association of Steel-framed Housing
NCC	National Construction Code
NP	National Park
NSP	Neighbourhood Safer Place
OPA	Outer Protection Area
PBP	<i>Planning for Bush Fire Protection – 2019</i>
ROW	Right of Way
RF Act	<i>Rural Fires Act - 1997</i>
RFS	NSW Rural Fire Service
SEPP	State Environmental Planning Policy
SFPP	Special Fire Protection Purpose
SWS	Static Water Supply

1.0 Introduction

The development proposal relates to the alterations and additions to an existing dwelling within a residential allotment located at 24 Simpson Street, Belrose (Lot 2013 DP 1072235).

The subject site has street frontage and access to Simpson Street to the west and abuts similar private residential allotments to the north, east and south.

Properties considered to be affected by possible bushfire impact are determined from the local Bushfire Prone Land Map as prepared by Council and or the Rural Fire Service. All property development within affected areas is subject to the conditions detailed in the document 'Planning for Bush Fire Protection - 2019' (PBP).

PBP formally adopted on the 1st March 2020 provides for the protection of property and life (including fire-fighters and emergency service personnel) from bushfire impact.

Northern Beaches Council's Bushfire Prone Land Map identifies the subject property as containing the Vegetation Buffer. As the subject site is bushfire prone in accordance with section 4.14 of the *Environmental Planning and Assessment Act 1979* development consent cannot be granted unless the proposal satisfies the relevant specifications and requirements of PBP.

As the application relates to the alterations and additions to an existing dwelling within residential allotment the relevant specifications and requirements under PBP are the aim and objectives detailed in Chapter 1 'Introduction' and specific objectives and bushfire protection measures detailed in Chapter 7 'Residential Infill Development' of PBP applied.

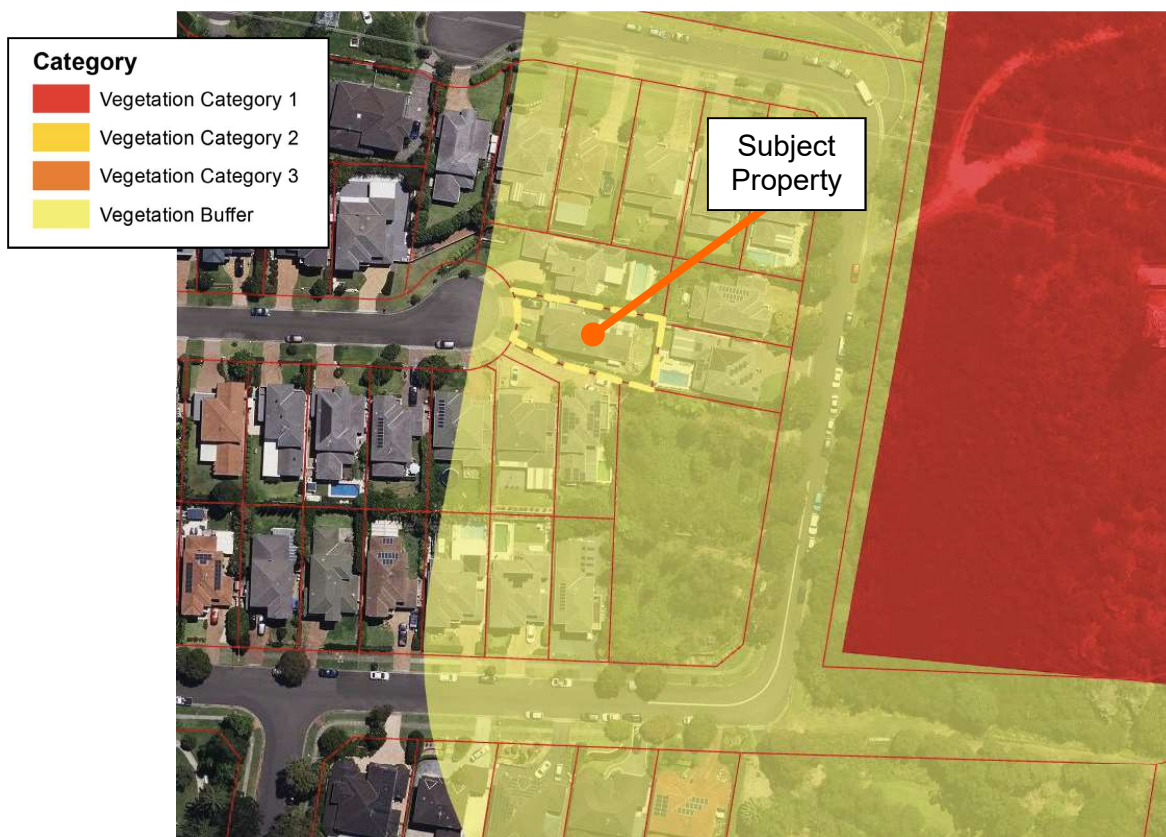


Figure 01: Extract from Northern Beaches Council's Bushfire Prone Land Map.

2.0 Legislative Requirements

The subject site is designated as Bushfire Prone Land (Figure 01).

In accordance with section 4.14 of the *Environmental Planning and Assessment Act 1979* development consent cannot be granted for the carrying out of development for any purpose (other than a subdivision of land that could lawfully be used for residential or rural residential purposes or development for a special fire protection purpose) on bush fire prone land unless the consent authority:

- (a) *is satisfied that the development conforms to the specifications and requirements of the version (as prescribed by the regulations) of the document entitled Planning for Bush Fire Protection, or*
- (b) *has been provided with a certificate by a person who is recognised by the NSW Rural Fire Service as a qualified consultant in bush fire risk assessment stating that the development conforms to the relevant specifications and requirements.*
- (1A) *If the consent authority is satisfied that the development does not conform to the relevant specifications and requirements, the consent authority may, despite subsection (1), grant consent to the carrying out of the development but only if it has consulted with the Commissioner of the NSW Rural Fire Service concerning measures to be taken with respect to the development to protect persons, property and the environment from danger that may arise from a bush fire.*

This Bushfire Assessment Report and accompanying certificate has been prepared by a person who is recognised by the NSW Rural Fire Service (RFS) as qualified in bushfire risk assessment and has been accredited by the Fire Protection Association of Australia as a Level 2 BPAD qualified practitioner.

3.0 Purpose of Report

The purpose of this Bushfire Assessment Report is to provide the owners and Council with an independent bushfire assessment together with appropriate recommendations for both new building construction and bushfire mitigation measures considered necessary having regard to construction within a designated 'bushfire prone' area.

The recommendations contained within this report may assist in forming the basis of any specific construction conditions and/or bushfire mitigation measures that Council and/or the NSW Rural Fire Service may elect to place within any consent conditions issued for the subject Development Application.

4.0 Scope of this Report

The scope of this report is limited to providing a bushfire assessment and recommendations for the subject property. Where reference has been made to the surrounding lands, this report does not purport to directly assess those lands; rather it may discuss bushfire impact and/or progression through those lands and possible bushfire impact to the subject property.

5.0 Compliance Tables & Notes

The following table sets out the project's compliance with *Planning for Bush Fire Protection – 2019*.

	North	East	Southeast	West
Vegetation Structure	Managed Land	Tall Heath	Freshwater Wetlands (Detention Basins)	Managed Land
Slope	N/A	5 - 10 degrees down	0 - 5 degrees down	N/A
Available Asset Protection Zone	N/A	52 metres	>11 metres	N/A
Significant Landscape Features	Maintained grounds	Neighbouring maintained allotments & Perentie Road	Maintained grounds	Simpson Street
Threatened Species	APZ Existing	APZ Existing	APZ Existing	APZ Existing
Aboriginal Relics	APZ Existing	APZ Existing	APZ Existing	APZ Existing
Bushfire Attack Level	BAL Low	BAL 12.5	BAL 19	BAL Low
Required Construction Level	BAL 12.5	BAL 19	BAL 19	BAL 12.5

Compliance Summary of Bushfire Protection Measures			
Bushfire Protection Measure (s7 PBP)	Acceptable Solution	Performance Solution	Report Section
Asset Protection Zones	<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.03
Access	<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.03
Water Supplies	<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.03
Electricity and Gas Services	<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.03
Construction Standards	<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.03
Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.03

6.0 Aerial view of the subject allotment



Figure 02: Aerial view of the subject area C/- Nearmap.

7.0 Site Assessment

A representative of Building Code & Bushfire Hazard Solutions completed a site inspection of the subject site and surrounding area on 16th April 2025.

The following external data sources have been relied upon for this assessment:

- Aerial imagery of the subject area (NSW Spatial Services & Nearmap).
- 1 metre contour mapping of the subject area (Elevation and Depth Foundation Spatial Data – Geoscience Australia)
- NSW Planning Portal Spatial Viewer
- Vegetation mapping (NSW State Vegetation Type Map)
- NSW Bush Fire Prone Land (NSW Rural Fire Service)

7.01 Location

The subject property is known as 24 Simpson Street, Belrose (Lot 2013 DP 1072235) and is a residential allotment (zoned R2: Low Density Residential) located within Northern Beaches Council's Local Government Area.

The subject site has street access to Simpson Street to the west and abuts similar private residential allotments to the north, south and east.

The vegetation identified as being the potential hazard is located within Perentie Park Reserve to the east and detention basins to the southeast of the proposed works.

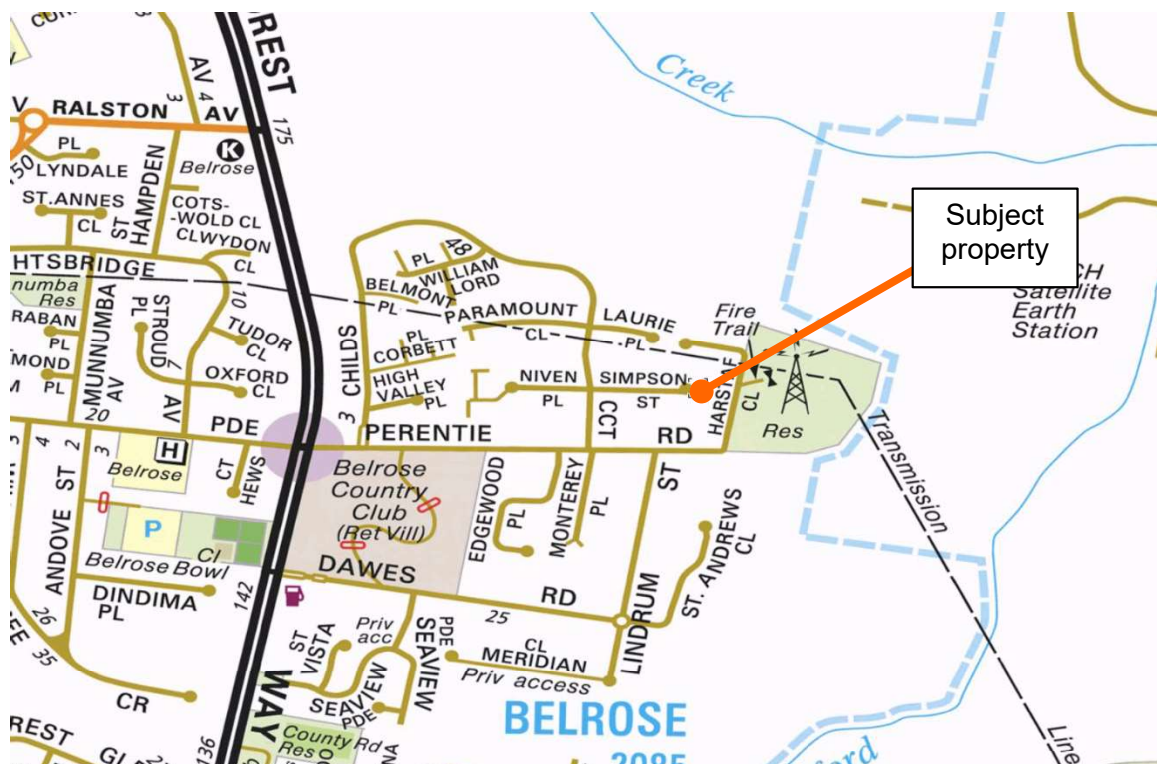


Figure 03: Extract from street-directory.com.au

7.02 Vegetation

The vegetation identified as being the potential hazard is located within Perentie Park Reserve to the east and detention basins to the southeast of the proposed works.

The vegetation posing a threat to the proposed development was found to consist of shrubs >2 metres in height with 70 - 80% foliage cover and an understorey of ground covers and grasses.

The vegetation within the detention basins to the southeast primarily consist of reeds and grasses with a narrow band of shrubs separating the two basins.

The NSW Vegetation mapping identifies the vegetation to the east as Woronora Plateau Heath Mallee (PCT: 3814), which has a formation of Sydney Coastal Heaths (Tall Heath).

For the purpose of assessment under Planning for Bushfire Protection the vegetation posing a hazard to the east has been assessed as Tall Heath and the vegetation to the southeast has been conservatively determined to be Freshwater Wetlands.



Figure 04: Extract from NSW Vegetation mapping.

Tall Heath



Photograph 01: View toward the vegetation to the east



Freshwater
Wetlands

Photograph 02: View toward the vegetation to the Southeast.

7.03 Slope and Topography

The slope of the land under the classified vegetation has a direct influence on the forward rate of spread, fire intensity and radiant heat exposure. The effective slope is considered to be the slope under the classified vegetation which will most significantly influence bushfire behaviour toward the development site.

In accordance with A1.4 'Determine slope' of PBP the slope assessment is to be derived from the most detailed contour data available.

The slope that would **most significantly** influence bushfire impact was determined onsite using an inclinometer and verified from topographic imagery to be:

- 0 - 5 degrees down slope within the hazard to the southeast
- 5 - 10 degrees down slope within the hazard to the east



Figure 05: Extract from ELVIS - Geoscience Australia - 1m contours

8.0 Bushfire Protection Measures

8.01 Planning for Bush Fire Protection - 2019

Planning for Bush Fire Protection – 2019 (PBP) is applicable to development located on land determined as being 'bushfire prone' in accordance with the local Bushfire Prone Land Map.

Bushfire prone land are defined as those areas;

- *containing or within 100m of Category 1 Vegetation; or*
- *containing or within 30m of Category 2 or 3 Vegetation.*

Northern Beaches Council's Bushfire Prone Land Map identifies the subject property as containing the Vegetation Buffer therefore PBP must apply in this instance.

The application of Planning for Bush Fire Protection requires satisfactory demonstration of the aim and objectives and the following bushfire protection measures (BPMs):

- Asset Protection Zones
- Building construction, siting & design
- Access arrangements
- Water supply & utilities
- Landscaping

As the proposal relates to the alterations and additions to the existing dwelling and therefore the proposal must comply with the bushfire protection measures detailed within Chapter 7 'Residential Infill Development' of PBP applied.

8.02 Asset Protection Zones

An Asset Protection Zone (APZ) is an area between the development (in this instance the building footprint) and the identified bushfire hazards where fuels are maintained to a minimum to prevent the spread of fire between a hazard and an asset.

The width of the APZ is determined by the vegetation structure of the identified hazard, Forest Fire Danger Index, effective slope and the type of development (residential development or Special Fire Protection Purpose).

The Acceptable Solution under Table 7.4a of PBP requires APZs be provided in accordance with Table A1.12.2, consistent with that for residential subdivisions.

The minimum required APZ for the proposed buildings was determined from Table A1.12.2 of PBP to be 20 metres from the Tall Heath to the east and 6 metres from the Freshwater Wetlands to the southeast.

The available APZs to the proposed works is 52 metres to the east, and >11 metres to the southeast exceeding the minimum required APZ in accordance with A1.12.2 of PBP.

All grounds not built upon within the subject site shall be maintained in accordance with an APZ (Inner Protection Area). This will result in the provision of a defensible space for attending fire service and in conjunction with the application of the recommended construction provisions will provide APZs commensurate with the construction.



Photograph 03: Sign showing the APZ area.



Photograph 03: View along the APZ to the southeast of the property.

8.03 Building construction, siting & design

Australian Standard 3959 – 2018 'Construction of buildings in bushfire-prone areas' (AS3959) specifies construction standards for buildings within various Bushfire Attack Levels as determined by Planning for Bush Fire Protection – 2019.

AS3959 provides for six (6) levels of building construction these being BAL - Low, BAL - 12.5, BAL - 19, BAL - 29, BAL - 40 and BAL - FZ.

Bushfire Attack Level	Maximum radiant heat impact (kW/m ²)	Level of construction under AS3959-2018
Low		No special construction requirements
12.5	≤12.5	BAL - 12.5
19	12.6 to 19.0	BAL - 19
29	19.1 to 29.0	BAL - 29
40	29.1 to 40.0	BAL - 40
Flame Zone	>40.0	BAL FZ No deemed to satisfy provisions

Table 01: Correlation between bushfire impact and AS3959

The highest Bushfire Attack Level to the proposed works was determined from Table A1.12.5 of PBP to be 'BAL 19'. The proposed works will be constructed to sections 3 and 6 (BAL 19) under AS3959 – 2018 and the additional construction requirements detailed in section 7.5 of PBP. The western and northern elevations have been downgraded to BAL 12.5 due to shielding by the dwelling itself in accordance with A1.8 of PBP.

8.04 Property Access

The subject property has street access to Simpson Street to the west. Persons seeking to egress from the subject property will be able to do so via the existing access drive and public roads.

The most distant external point of the proposed works is within 70 metres from a public road supporting the operational use of fire fighting vehicles and therefore the Access requirements detailed in Table 7.4a of PBP are not applicable.

Access to the hazard is available via the external APZ and neighbouring allotments for hazard reduction or for fire suppression activities.

The existing access is considered adequate for this development.

8.05 Water Supply & Utilities

Hydrants are available along Simpson Street and the surrounding road network. The most distant external point of the building footprint is less than 70 metres from an operational hydrant and therefore a Static Water Supply is not required in consideration of AS2419.1 – 2021 and Chapter 7 of PBP.

The proposed works will be connected to the existing electrical network.

Any new gas connections must comply with Table 7.4a of PBP.

The existing water supply is adequate for this development for this proposal.

8.06 Emergency management arrangements

Evacuation is possible by utilising existing road infrastructure.

It is encouraged that the occupants complete a Bush Fire Survival Plan. The template for this plan is available at <https://www.rfs.nsw.gov.au/resources/bush-fire-survival-plan>.

8.07 Landscaping

Any new landscaping must comply with Table 7.4a of *Planning for Bush Fire Protection* 2019.

8.08 Aim & Objectives of PBP

The following table details the aim and objectives of Planning for Bush Fire Protection 2019 and the proposals ability to comply.

Aim / Objective	Comment
The aim of PBP is to provide for the protection of human life and minimise impacts on property from the threat of bush fire, while having due regard to development potential, site characteristics and protection of the environment.	With the inclusion of the recommendations made herein it is of our opinion that the aim of PBP has been satisfied.
(i) afford buildings and their occupants protection from exposure to a bush fire;	The proposed works will be constructed to the relevant Bushfire Attack Levels and along with the APZ will protect occupants from exposures to a bushfire.
(ii) provide for a defendable space to be located around buildings;	There are defendable spaces available to the identified hazards.
(iii) provide appropriate separation between a hazard and buildings which, in combination with other measures, prevent the likely fire spread to buildings;	The APZs, in conjunction with construction measures will prevent the likely fire spread to the buildings.
(iv) ensure that appropriate operational access and egress for emergency service personnel and occupants is available;	The existing access and road network provides appropriate operational access and egress for emergency services.
(v) provide for ongoing management and maintenance of bush fire protection measures, (BPMs); and	<p>All grounds not built upon shall maintained in accordance with an Asset Protection Zone / Inner Protection Area as detailed in Appendix 4 of Planning for Bush Fire Protection 2019 and the NSW Rural Fire Service publication 'Standards for Asset Protection Zones'.</p> <p>Any new landscaping is to comply with the provisions of Table 7.4a and Appendix 4 of PBP.</p>

Aim / Objective	Comment
(vi) ensure that utility services are adequate to meet the needs of firefighters.	The existing water supply is adequate for the replenishment of attending fire services.

It is therefore of our opinion that the proposal can satisfactorily comply with the aim and objectives of Planning for Bush Fire Protection 2019.

9.0 Recommendations

The following recommendations are provided as the minimum necessary for compliance with Planning for Bush Fire Protection – 2019 and Australian Standard 3959 'Construction of buildings in bushfire-prone areas - 2018. Additional recommendations are provided to supplement these minimum requirements where considered necessary.

Asset Protection Zones

1. That all grounds not built upon within the subject site shall continue to be maintained as an Asset Protection Zone (Inner Protection Area) as detailed in the NSW Rural Fire Service's document 'Standards for Asset Protection Zones' and Appendix 4 of *Planning for Bush Fire Protection* 2019.

Note: At the time of our inspection, the subject property was considered to meet the requirements of an APZ and no vegetation modification or tree removal is required to implement the aforementioned APZs.

Construction

2. That all new roofing and construction facing west and south shall comply with sections 3 and 6 (BAL 19) Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' and section 7.5 of *"Planning for Bush Fire Protection - 2019"*.
3. That all new construction facing west and north shall comply with sections 3 and 5 (BAL 12.5) Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' and section 7.5 of *"Planning for Bush Fire Protection - 2019"*.

Landscaping

4. That any new landscaping is to comply with Table 7.4a of *Planning for Bush Fire Protection* 2019.

Gas (where applicable)

5. That any new gas services are to comply with Table 7.4a of *Planning for Bush Fire Protection* 2019 as follows:
 - reticulated or bottled gas is installed and maintained in accordance with AS/NZS 1596:2014 and the requirements of relevant authorities, and metal piping is used;
 - all fixed gas cylinders are kept clear of all flammable materials to a distance of 10m and shielded on the hazard side;
 - connections to and from gas cylinders are metal;
 - polymer-sheathed flexible gas supply lines are not used; and
 - above-ground gas service pipes are metal, including and up to any outlets.

Emergency management

6. That the occupants of the subject dwelling complete a Bush Fire Survival Plan.

10.0 Conclusion

Given that the property is deemed bushfire prone under Northern Beaches Council's Bushfire Prone Land Map any development would need to meet the requirements of Planning for Bush Fire Protection – 2019 and of the construction requirements of AS3959 – 2018. The determination of any bushfire hazard must be made on a site-specific basis that includes an assessment of the local bushland area and its possible impact to the subject property.

The subject property is a residential allotment within an area of similar properties. The vegetation identified as being the potential hazard is located within Perentie Reserve to the east and two detention basins to the southeast of the proposed works. The vegetation posing a hazard has been assessed as Tall Heath to the east and Freshwater Wetlands to the southeast.

The highest Bushfire Attack Level to the proposed works was determined from Table A1.12.5 of PBP to be 'BAL 19'. The proposed dwelling will be constructed to sections 3 and 6 (BAL 19) under AS3959 – 2018 and the additional construction requirements detailed in section 7.5 of PBP. The northern and western elevations have been downgraded to BAL 12.5 due to shielding by the dwelling itself in accordance with A1.8 of PBP.

The existing water supply and existing access provisions are considered adequate.

In accordance with the bushfire safety measures contained in this report, and consideration of the site-specific bushfire risk assessment it is our opinion that when combined, they will provide a reasonable and satisfactory level of bushfire protection to the subject development.

We are therefore in support of the development application.

Should you have any enquiries regarding this project please contact me at our office.

Prepared by
Building Code & Bushfire Hazard Solutions



Ian Tyerman

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Graduate Certificate in Bushfire Protection
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BPAD Accreditation No. BPAD30356



Reviewed and endorsed by
Building Code & Bushfire Hazard Solution P/L



Andrew Muirhead

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Bachelor of Engineering Technology Major in Civil UniSQ
FPA Australia BPAD Level 3 Accredited Practitioner
BPAD Accreditation No. BPAD46966



11.0 Annexure 01

List of Referenced Documents

Australian Building Codes Board (2022). *National Construction Code Volume Two - Building Code of Australia*. ABCB

Delve Design (2024). *Site Plan* (Drawing Number DA03, Job Ref 1596, Rev F, Date 15/11/2024).

ELVIS -Elevation -Foundation Spatial Data. Elevation.fsdf.org.au. Available at: <http://elevation.fsdf.org.au/>

Keith, D. (2004). "Ocean Shores to Desert Dunes" Department of Environment and Conservation, Sydney

NSW Department of Planning and Environment (2019). *Planning Portal*. Accessed at: <https://www.planningportal.nsw.gov.au/>

NSW Rural Fire Service (2019). *Planning for Bush Fire Protection. A Guide for Councils, Planners, Fire Authorities and Developers*.

Standards Australia (2018). *AS3959 Construction of buildings in bushfire-prone areas*.

Standards Australia (2014). *AS/NZS 1596 The storage and handling of LP Gas*

Rural Fire Service NSW (2005). *Standards for Asset Protection Zones*

Acknowledgements to:

Geoscience Australia
Nearmaps
Street-directory.com.au

Attachments

Attachment 01: s4.14 Compliance Certificate

Bush Fire Certificate

Certificate issued unders4.14(1)(b) of the *Environmental Planning & Assessment Act, 1979* and *Planning for Bush Fire Protection 2019*

This Certificate has been issued by a person accredited by Fire Protection Association Australia (FPA Australia) under the Bush Fire Planning and Design (BPAD) Accreditation Scheme and who is recognised by the NSW Rural Fire Service as a qualified consultant in bushfire risk assessment within the meaning of section 4.14(1)(b) of the *Environmental Planning and Assessment Act 1979* (NSW).



Property Details and Description of Works

Address Details	Unit no	Street no	Street name		Lot/Sec/DP
		24	Simpson Street		2011/-/1072235
Local Government Area BCA class of the building Description of the proposal Development Application Reference	Suburb			State	Postcode
	Belrose			NSW	2108
	Northern Beaches				
	1a				
	Additions and alterations				

Bush Fire Assessment Report

A detailed Bush Fire Assessment Report is attached, which includes the relevant submission requirements set out in <i>Appendix 2 of Planning for Bush Fire Protection 2019</i> together with recommendations as to how the relevant specifications and requirements are to be achieved.	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Report Reference and date	
Bushfire Assessment Report 250995	05 May 2025

BPAD Certification

Name Ian Tyerman	I hereby certify, in accordance with Section 4.14(1)(b) of the <i>Environmental Planning and Assessment Act 1979</i> that: <ul style="list-style-type: none"> I am a person recognised by the NSW Rural Fire Service as a qualified consultant in bush fire risk assessment; and the development conforms to the relevant specifications and requirements of Planning for Bush Fire Protection 2019 in accordance with section 4.14(1)(b) of the <i>Environmental Planning and Assessment Act 1979</i> (NSW). 	
Company Details & ABN Bushfire Hazard Solutions 19 057 337 774		
BPAD Accreditation Number 30356 	Signature 	Date 05 May 2025