

PROJECT: NEW DWELLING  
ADDRESS: 26 PARR AVE NORTH CURL CURL NSW 2099

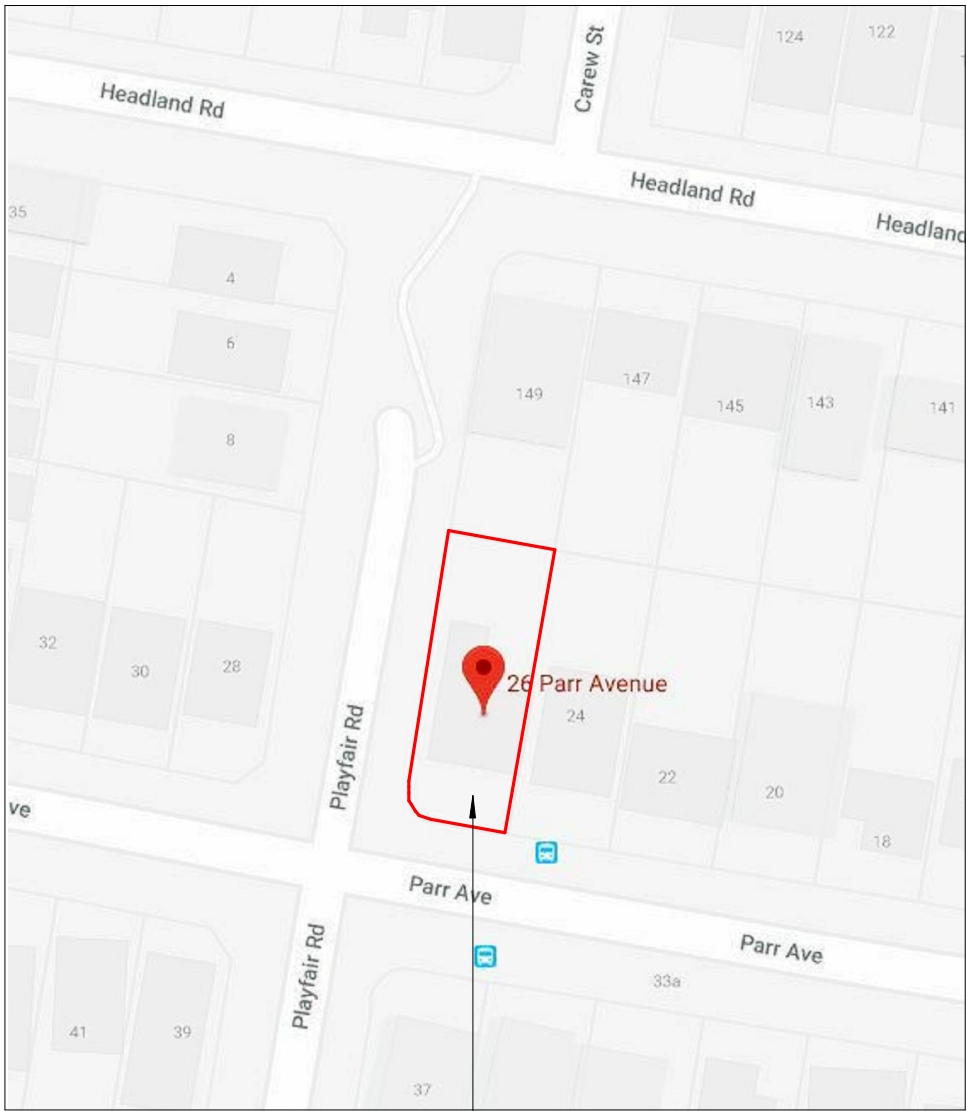
LOT #: 14  
DP #: 13900

DRAWING LIST

DRAWING No	DRAWING NAME	REVISION	DATE
GJG-A01	COVER SHEET	K	08/04/2019
GJG-A02	EXISTING SURVEY PLAN	K	08/04/2019
GJG-A03	SITE PLAN	K	08/04/2019
GJG-A04	LANDSCAPE PLAN	K	08/04/2019
GJG-A05	GROUND FLOOR PLAN	K	08/04/2019
GJG-A06	FIRST FLOOR PLAN	K	08/04/2019
GJG-A07	ELEVATIONS	K	08/04/2019
GJG-A08	ELEVATIONS	K	08/04/2019
GJG-A09	SECTIONS	K	08/04/2019
GJG-A10	DEMOLITION PLAN	K	08/04/2019
GJG-A11	SHADOW DIAGRAM	K	08/04/2019
GJG-A12	EROSION & SEDIMENT PLAN	K	08/04/2019
GJG-A13	SITE ANALYSIS	K	08/04/2019
GJG-A14	WASTE MANAGEMENT	K	08/04/2019
GJG-A15	BASIX COMMITMENT	K	08/04/2019
GJG-A16	DRIVEWAY DETAIL	K	08/04/2019

DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/11/2018
B	CHANGES TO GARAGE RL, FRONT DOOR, BALCONY DOOR, BUTTLERS, LAUNDRY, BATH & BED 1	28/11/2018
C	CHANGES TO RL'S; CHANGE ALFRESCO DOOR HEIGHTS; CHANGE WINDOWS TO DOUBLE HUNG; ADD FIRE PROOFING WALL; ADJUST GARAGE DOOR; ADD TUB TO BATHROOM.	10/12/2018
D	CHANGES TO ALL WALLS, BUTTLERS, BATH, BED 1, DINING, PORCH, BALCONY, DRY, WINDOWS IN LIVING ROOM & ALL STAIRS. ADDED RAMP	13/12/2018
E	CHANGE FLAT BATH LAYOUT; MORE SLIDING DOOR; CAVITY SLIDER TO STUDY	17/12/2018
F	ADD RAMP FROM FOOTPATH	24/01/2019
G	CHANGES TO GABLE ROOF. ADDED SKYLIGHT, WATER TANK, AC & HWU. UPDATED TO FULL SET FOR DA ISSUE	11/02/2019
H	ADDED BASIX COMMITMENT	28/03/2019
J	CHANGES TO BATH IN GRANNY FLAT, STAIRS, POSITION OF WATER TANK, A/C, HWS & RAMP. ADDED POWER BOX & A/C.	04/04/2019
K	ADDED SKYLIGHTS TO KITCHEN AREA	08/04/2019



26 PARR AVE  
NORTH CURL CURL

SPECIFICATION:

The specification overrides drawings

STRUCTURAL DESIGN:

This design may be subject to change due to structural engineers requirements and / or LGA / PCA conditions.

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General notes  
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FINAL SIGNED COPY

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Owner(s) signature

Builders signature

Date

G.J. Gardner. HOMES

SYDNEY NORTH

Unit 2, 28 - 30 Orchard Rd, Brookvale  
Sydney, NSW, 2100  
Phone 9939 3339 Fax 9939 4442  
www.gjgardner.com.au

Drafted By:



SUITE 302  
5 CELEBRATION DRIVE  
BELLA VISTA NSW 2153  
PHONE: (02) 8883 4344  
EMAIL: kjrdrafting@kjr.net.au

Project  
DOUBLE STOREY DWELLING

Project address  
26 PARR AVE NORTH CURL CURL  
NSW 2099

Client  
IAN HAINE & NARELLE MOSS

Stage  
DA

Drawing title  
COVER SHEET

Date 08/04/2019 Drawn NF- KJR

Sheet Size A3 Scale 1 : 100

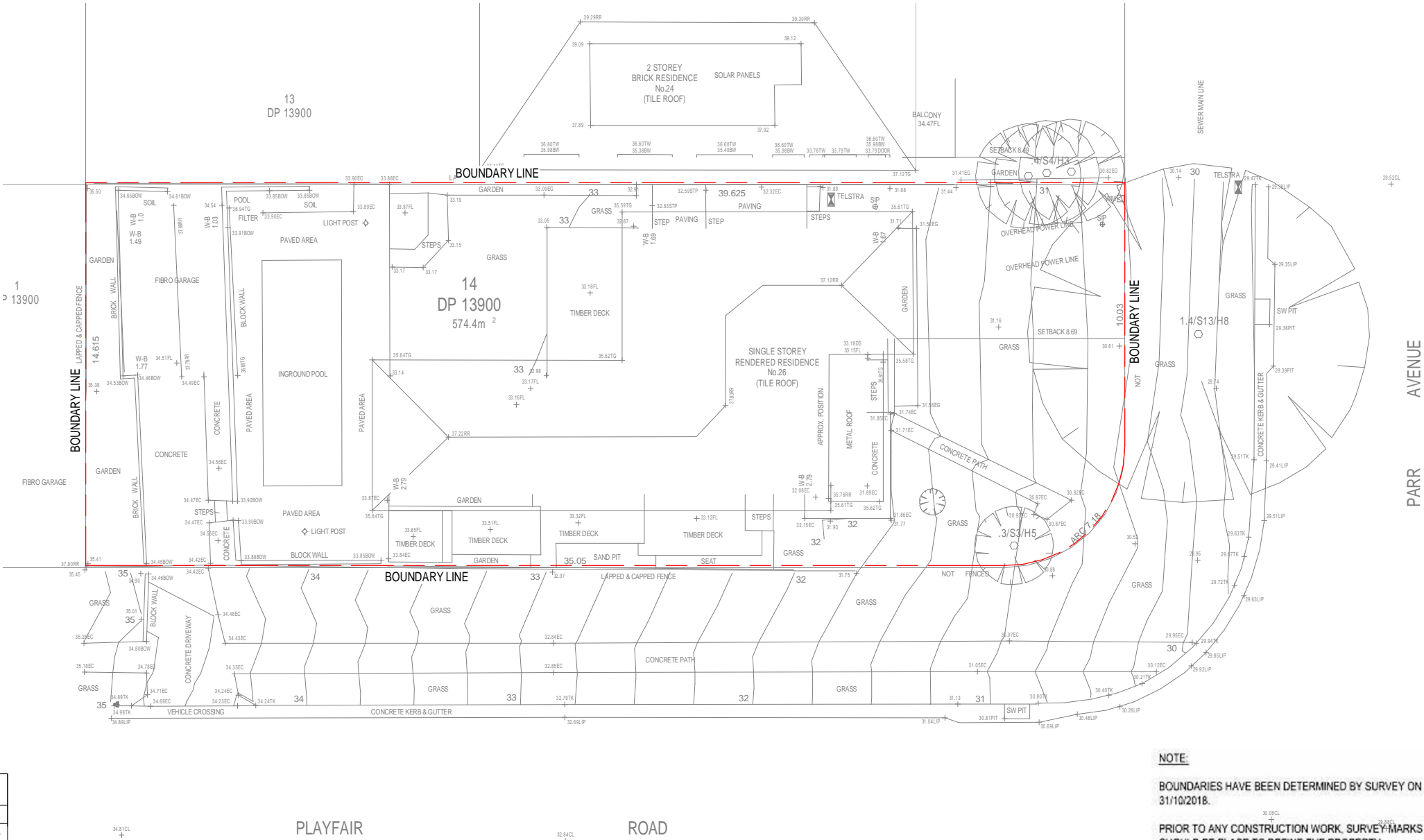
Job No 230240 - GJGN079

True North Drawing No Rev

GJG-A01 K

LEGEND

BENCH MARK	▲
TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV
WATER HYDRANT	HYD
WATER METER	WM
GAS METER	GM
STATE SURVEY MARK	SSM



1 EXISTING SURVEY  
1 : 200



TSS TOTAL SURVEYING  
SOLUTIONS

ARTARMON | CAMDEN | MANLY VALE

NOTE:

INFORMATION CONTAINED IN THIS PLAN  
IS THE COPYRIGHT OF TOTAL SURVEYING  
SOLUTIONS. THE USE OR DUPLICATION  
WITHOUT THE WRITTEN CONSENT OF TOTAL  
SURVEYING SOLUTIONS CONSTITUTES AN  
INFRINGEMENT OF COPYRIGHT.

LEGEND:

EC - EDGE OF CONCRETE  
TK- TOP OF KERB  
TW - TOP OF WINDOW  
BW - BOTTOM OF WINDOW  
TG - TOP OF GUTTER  
RR - ROOF RIDGE

FL - FLOOR LEVEL  
DS - DOOR STEP  
EG - EDGE OF GARDEN  
Ø.4/S10/H16 - DIAMETER/SPREAD/HEIGHT

0 1m 3m 5m 10m  
SCALE BAR 1:200

NOTE:

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON  
31/10/2018.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS  
SHOULD BE PLACED TO DEFINE THE PROPERTY  
BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS  
ARE BASED ON SURFACE INDICATOR(S) LOCATED  
DURING FIELD SURVEY. CONFIRMATION OF THE EXACT  
POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION  
WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT  
SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM  
(AHD) USING PM 2211 WITH RL 29.046 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY  
INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT  
AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE  
EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT  
LEVELS ARE TRUE FOR THEIR POSITION, AND ARE  
INTENDED TO BE USEFUL TO REPRESENT THE GENERAL  
TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

COVENANT C785977

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Project  
DOUBLE STOREY DWELLING

Project address  
26 PARR AVE NORTH CURL CURL  
NSW 2099

Client  
IAN HAINE & NARELLE MOSS

Stage  
DA

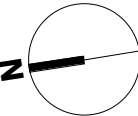
Drawing title  
EXISTING SURVEY PLAN

Date 08/04/2019 Drawn NF- KJR

Sheet Size A3 Scale 1 : 200

Job No 230240 - GJGN079

True North Drawing No Rev



GJG-A02

K



REFER TO COLOUR SELECTION FOR BATHROOM  
AND LAUNDRY FINAL LAYOUT & FINISHES

WINDOW SCHEDULE		
Code	Width	Height
W01	900	1500
W02	900	1500
W03	2410	600
W04	610	860
W05	610	860
W06	2170	1200
W07	1810	600

WINDOW SCHEDULE		
Code	Width	Height
W08	1810	600
W09	1570	1460
W10	1570	1460
W11	900	1500
W12	900	1500
W13	610	1460
W14	610	1460

WINDOW SCHEDULE		
Code	Width	Height
W15	610	1460
W16	610	1460
W17	2170	600
W18	1210	600
W19	1570	600
W20	1810	600
W21	1570	600
W22	1570	600
W23	2410	1200
W24	2410	1200
W25	2410	1200
W26	587	
W27	587	
Grand total: 27		

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Date

#### PROPOSED FLOOR SPACES

NAME	AREA	%
ALFRESCO	34 m <sup>2</sup>	9%
BALCONY	13 m <sup>2</sup>	4%
FIRST FLOOR	106 m <sup>2</sup>	30%
GARAGE	34 m <sup>2</sup>	10%
GROUND	156 m <sup>2</sup>	44%
PORCH	13 m <sup>2</sup>	4%
TOTAL AREAS:	355 m <sup>2</sup>	100%

#### DOOR SCHEDULE

Code	Width	Height
D01	1200	2100
D02	3588	2400
D03	3588	2400
D04	2170	2400
D05	1640	2100
D06	1640	2100
Grand total: 6		

#### SPECIFICATION:

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#### STRUCTURAL DESIGN:

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RL 40.150 ROOF PEAK

RL 38.890 UF CEILING

RL 36.340 UF

RL 36.040 GF CEILING

RL 33.300 GF

RL 33.000 LGF

1 FRONT ELEVATION  
1 : 100

RL 40.150 ROOF PEAK

RL 38.890 UF CEILING

RL 36.340 UF

RL 36.040 GF CEILING

RL 33.300 GF

RL 33.000 LGF

2 REAR ELEVATION  
1 : 100

DA APPLICATION - NOT FOR CONSTRUCTION

0 1m 2m 3m 4m 5m 10m  
SCALE BAR 1:100

REFER TO COLOUR SELECTION FOR BATHROOM  
AND LAUNDRY FINAL LAYOUT & FINISHES

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W10	1570	1460
W11	900	1500
W12	900	1500
W13	610	1460
W14	610	1460

WINDOW SCHEDULE		
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W15	610	1460
W16	610	1460
W17	2170	600
W18	1210	600
W19	1570	600
W20	1810	600
W21	1570	600
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W24	2410	1200
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**SYDNEY NORTH**

Unit 2, 28 - 30 Orchard Rd, Brookvale  
Sydney, NSW, 2100  
Phone 9939 3339 Fax 9939 4442  
www.gjgardner.com.au

Drafted By: **KJR** SUITE 302  
5 CELEBRATION DRIVE  
BELLA VISTA NSW 2153  
PHONE: (02) 8883 4344  
EMAIL: kjrdrafting@kjr.net.au

Project  
**DOUBLE STOREY DWELLING**

Project address  
26 PARR AVE NORTH CURL CURL  
NSW 2099

Client  
IAN HAINE & NARELLE MOSS

Stage  
DA

Drawing title  
ELEVATIONS

Date 08/04/2019 Drawn NF - KJR

Sheet Size A3 Scale 1 : 100

Job No 230240 - GJGN079

True North Drawing No Rev

**GJG-A08 K**

RL 40.150 ROOF PEAK

RL 38.890 UF CEILING

RL 36.340 UF

RL 36.040 GF CEILING

RL 33.300 GF

RL 33.000 LGF

1 SIDE ELEVATION 1  
1 : 100

RL 40.150 ROOF PEAK

RL 38.890 UF CEILING

RL 36.340 UF

RL 36.040 GF CEILING

RL 33.300 GF

RL 33.000 LGF

2 SIDE ELEVATION 2  
1 : 100

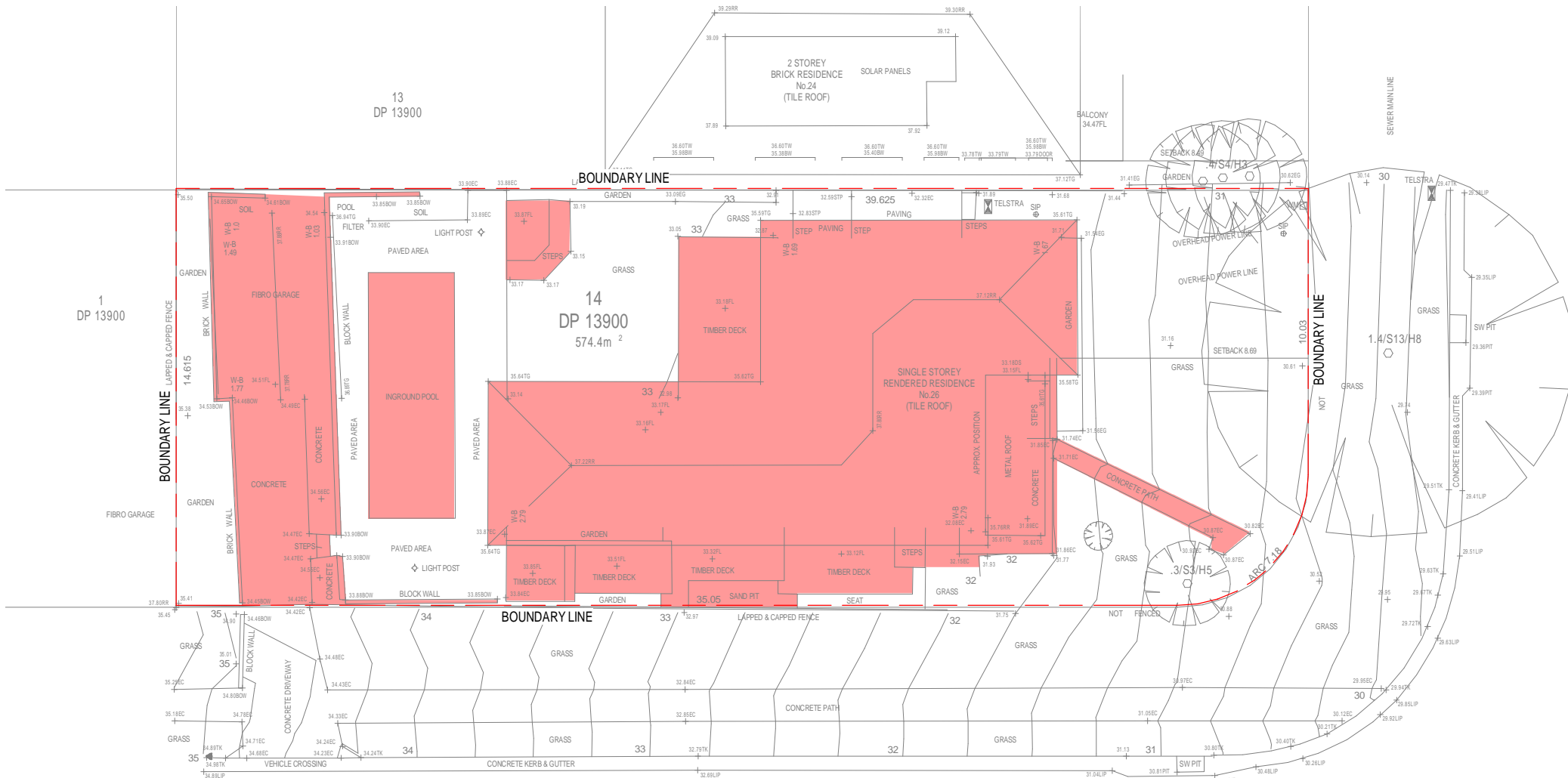
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0 1m 2m 3m 4m 5m 10m  
SCALE BAR 1:100

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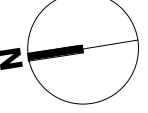
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26 PARR AVE NORTH CURL CURL  
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Drawing title  
DEMOLITION PLAN

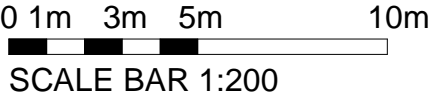
Date	08/04/2019	Drawn	NF- KJR
Sheet Size	A3	Scale	1 : 200

Job No 230240 - GJGN079

True North	Drawing No	Rev
	<b>GJG-A10</b>	<b>K</b>

DEMOLITION WORKS ARE SHOWN IN RED

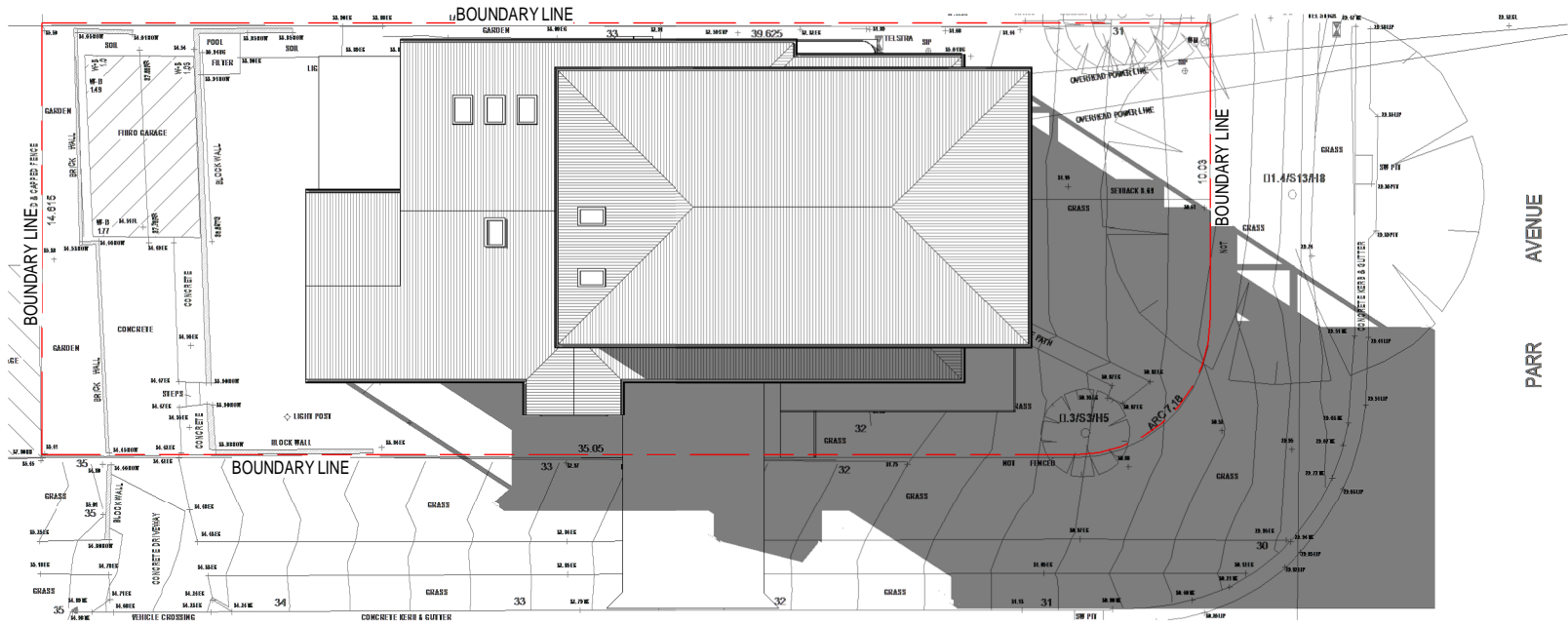
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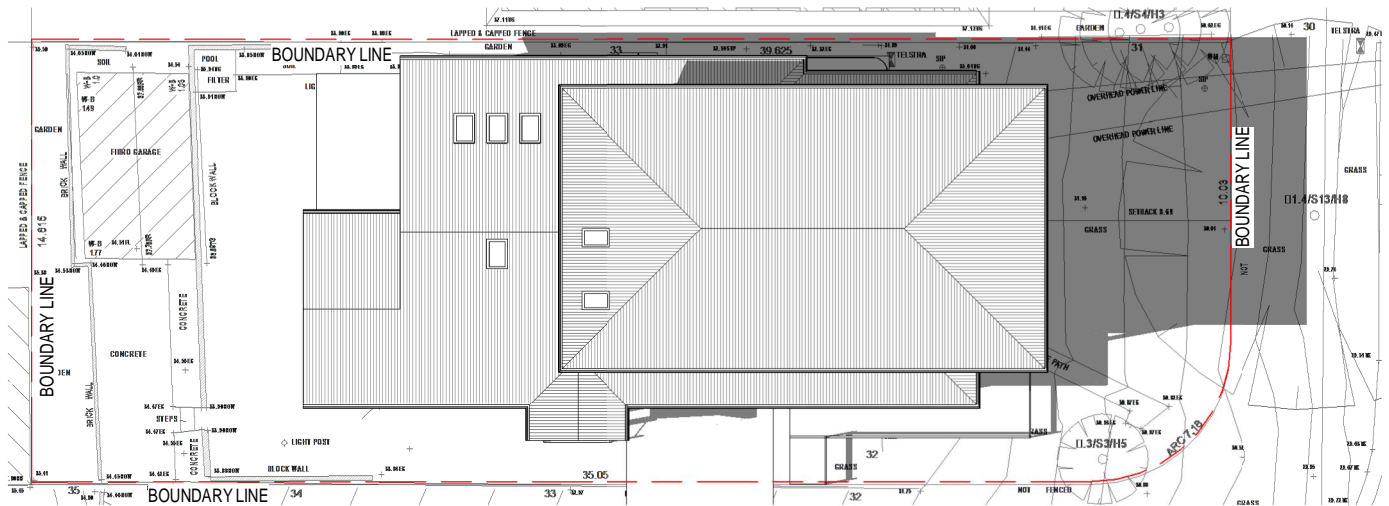
1 DEMOLITION PLAN  
1 : 200



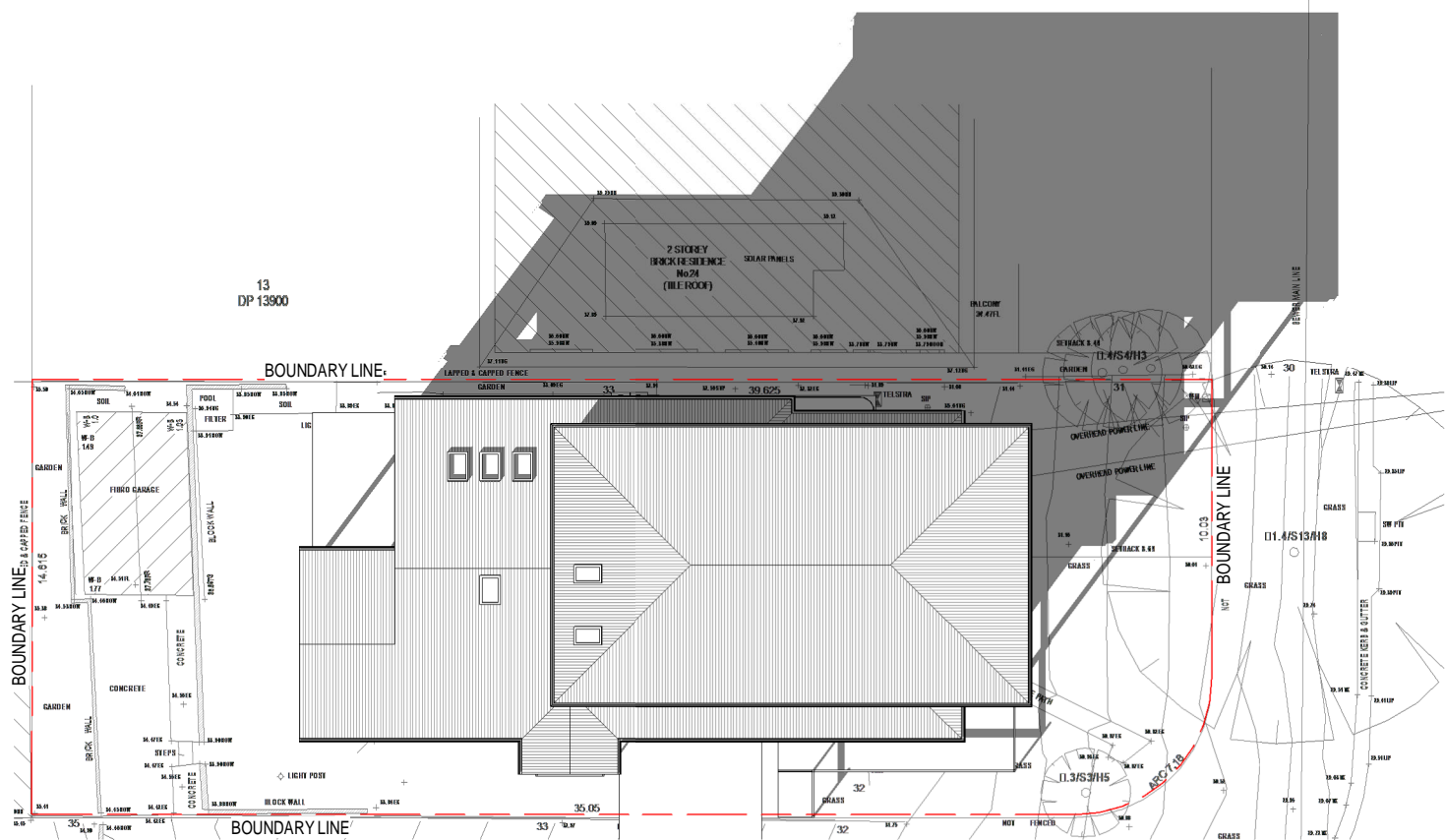
1 SHADOW DIAGRAM 9AM  
1 : 250



2 SHADOW DIAGRAM 12PM  
1 : 250



3 SHADOW DIAGRAM 3PM  
1 : 250



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PARR AVENUE

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Drawing title  
SHADOW DIAGRAM

Date 08/04/2019 Drawn NF- KJR

Sheet Size A3 Scale As indicated

Job No 230240 - GJGN079

True North Drawing No Rev

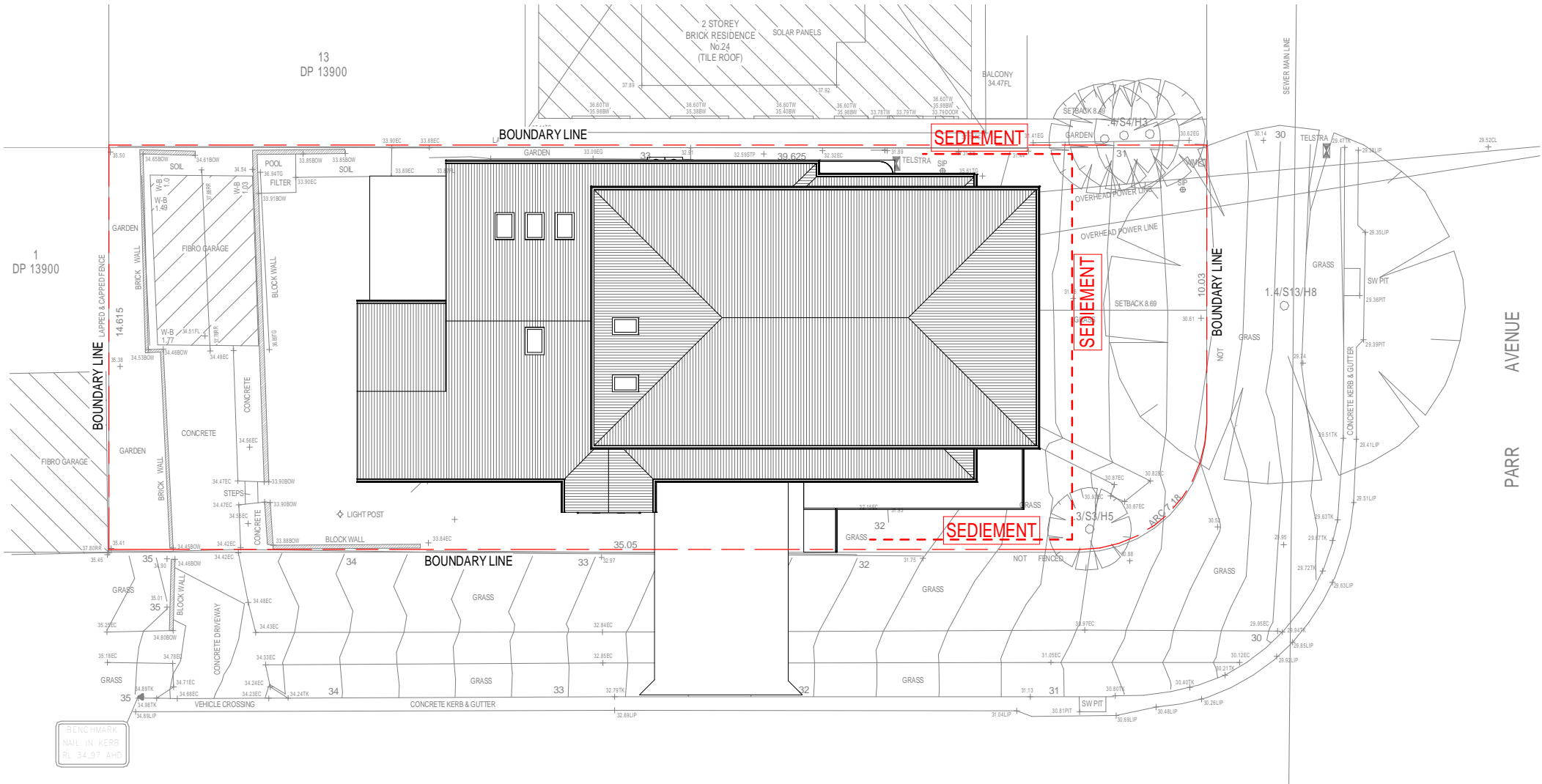
**GJG-A11 K**

SHADOW DIAGRAM LEGEND:  
(21st JUNE)

	9AM shadow
	12PM shadow
	3PM shadow

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C	CHANGES TO RL'S; CHANGE ALFRESCO DOOR HEIGHTS; CHANGE WINDOWS TO DOUBLE HUNG; ADD FIRE PROOFING WALL; ADJUST GARAGE DOOR; ADD TUB TO BATHROOM.	10/12/2018
D	CHANGES TO ALL WALLS, BUTTLERS, BATH, BED 1, DINING, PORCH, BALCONY, DRY,WINDOWS IN LIVING ROOM & ALL STAIRS. ADDED RAMP	13/12/2018
E	CHANGE FLAT BATH LAYOUT; MORE SLIDING DOOR; CAVITY SLIDER TO STUDY	17/12/2018
F	ADD RAMP FROM FOOTPATH	24/01/2019
G	CHANGES TO GABLE ROOF. ADDED SKYLIGHT, WATER TANK, AC & HWU. UPDATED TO FULL SET FOR DA ISSUE	11/02/2019
H	ADDED BASIX COMMITMENT	28/03/2019
J	CHANGES TO BATH IN GRANNY FLAT, STAIRS, POSITION OF WATER TANK, A/C, HWS & RAMP. ADDED POWER BOX & A/C.	04/04/2019
K	ADDED SKYLIGHTS TO KITCHEN AREA	08/04/2019



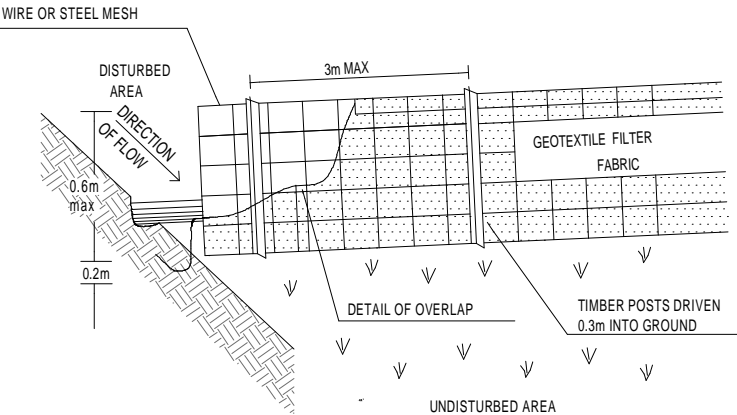
## 1 EROSION & SEDIMENT

1 : 200

### SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL.
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.



SEDIMENT FENCE DETAILS

0 1m 3m 5m 10m  
SCALE BAR 1:200

### BOUNDARY NOTES:

- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

### SETOUT NOTES:

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.

### SPECIFICATION:

The specification overrides drawings

### STRUCTURAL DESIGN:

This design may be subject to change due to structural engineers requirements and / or LGA / PCA conditions.

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Wind rating, refer to framing manufacturers specifications.

### FINAL SIGNED COPY

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Owner(s) signature

Builders signature

Date

G.J. Gardner. HOMES

### SYDNEY NORTH

Unit 2, 28 - 30 Orchard Rd, Brookvale  
Sydney, NSW, 2100  
Phone 9939 3339 Fax 9939 4442  
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Drafted By: SUITE 302  
5 CELEBRATION DRIVE  
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EMAIL: kjrdrafting@kjr.net.au

Project  
DOUBLE STOREY DWELLING

Project address  
26 PARR AVE NORTH CURL CURL  
NSW 2099

Client  
IAN HAINE & NARELLE MOSS  
Stage  
DA

Drawing title  
EROSION & SEDIMENT PLAN

Date 08/04/2019 Drawn NF- KJR

Sheet Size A3 Scale 1 : 200

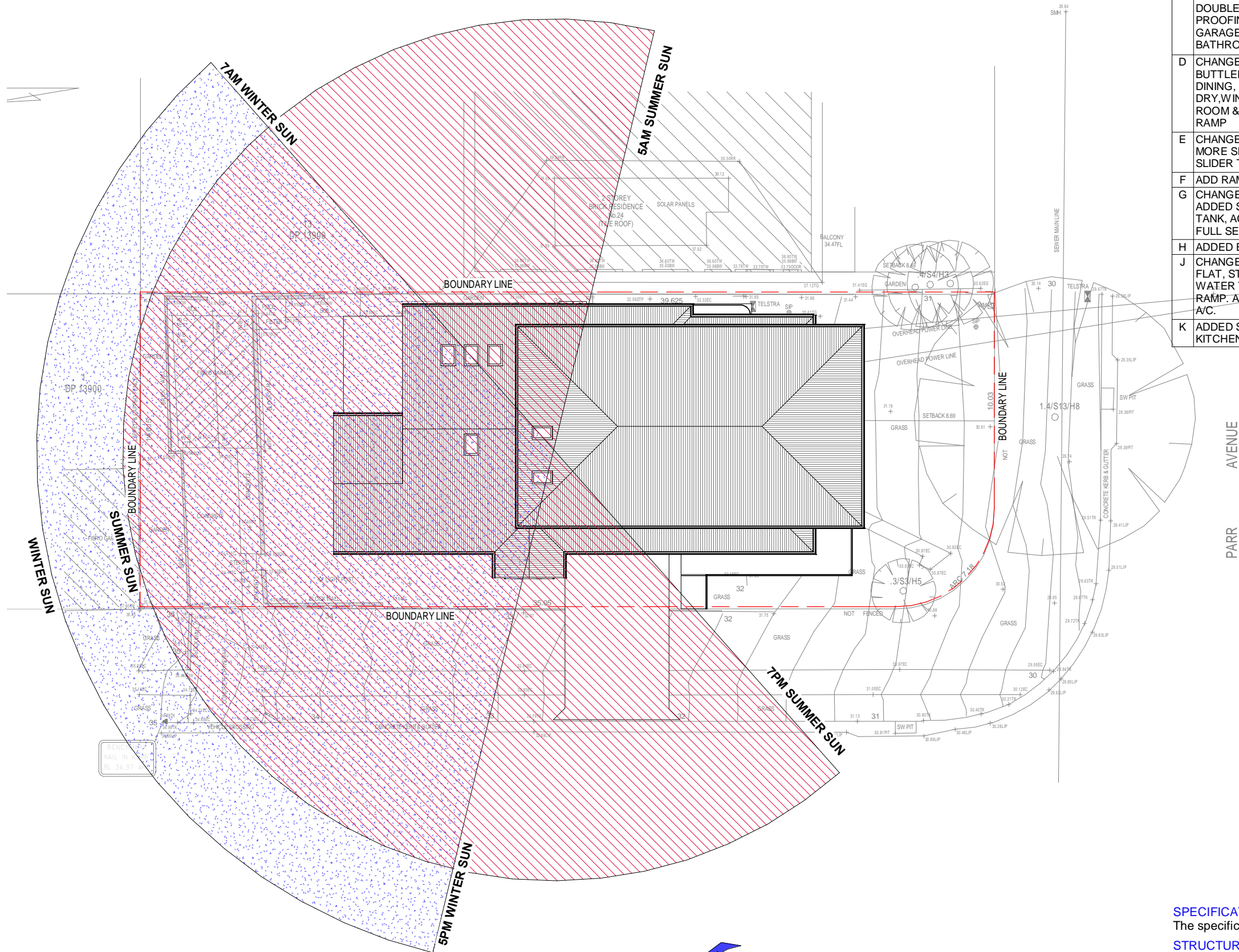
Job No 230240 - GJGN079

True North Drawing No Rev

GJG-A12 K



SUMMER BREEZE



1 SITE ANALYSIS  
1 : 200

WINTER BREEZE

0 1m 3m 5m 10m  
SCALE BAR 1:200

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Unit 2, 28 - 30 Orchard Rd, Brookvale  
Sydney, NSW, 2100  
Phone 9939 3339 Fax 9939 4442  
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Drafted By: **KJR** DRAFTING  
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EMAIL: kjrdrafting@kjr.net.au

Project  
DOUBLE STOREY DWELLING  
Project address  
26 PARR AVE NORTH CURL CURL  
NSW 2099

Client  
IAN HAINE & NARELLE MOSS  
Stage  
DA

Drawing title  
SITE ANALYSIS

Date 08/04/2019 Drawn NF- KJR

Sheet Size A3 Scale 1 : 200

Job No 230240 - GJGN079

True North Drawing No Rev

**GJG-A13 K**



WASTE MANAGEMENT PLAN FOR PROPOSED 2 STOREY DWELLING AT:  
26 PARR AVE NORTH CURL CURL

DEMOLITION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste	2	Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks	Nil			Nil to landfill
Concrete	20		Waste Management centre for recycling	Nil to landfill
Timber	10	Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard	10	Crush and combine with soil and fertilizer for landscaping and new gardens	Waste Management centre	Taken to landfill
Roof tiles	8		Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals	2		Waste Management centre for recycling	Nil to landfill
Asbestos	5		Cart to licensed asbestos tip	Taken to landfill

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CONSTRUCTION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Excavation Material	5	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-	
Green waste	Nil			
Bricks	Nil			
Concrete	2		Excess concrete returned to supplier	Nil to landfill
Timber	2		Excess timber returned to supplier	Nil to landfill
Plasterboard	0.5	Crush and combine with soil and fertilizer for landscaping and new gardens	Excess plasterboard returned to supplier	Nil to landfill
Roof colorbond	0.5		Excess colorbond roof returned to supplier	Nil to landfill
Metals	0.1		Waste Management centre for recycling	Nil to landfill

USE OF PREMISES			
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection

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Stage  
DA

Drawing title  
WASTE MANAGEMENT

Date	08/04/2019	Drawn	NF- KJR
Sheet Size	A3	Scale	1 : 1

Job No	230240 - GJGN079		
True North	Drawing No	Rev	
	<b>GJG-A14</b>	<b>K</b>	



Multi Dwelling

Certificate number: 995738M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Wednesday, 27 March 2019  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Schedule of BASIX commitments

- Commitments for multi-dwelling houses
  - Dwellings
    - Water
    - Energy
    - Thermal Comfort
- Commitments for single dwelling houses
- Commitments for common areas and central systems/facilities for the development (non-building specific)
  - Water
  - Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	All showers	Fixtures			Appliances		Individual pool			Individual spa		
		All kitchen taps	All bathroom taps	All dishwashers	All clothes washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 4.5 but < 5 L/min)	3 star	3 star	3 star	no	-	-	-	-	-	-	-

Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up
All dwellings	central water tank (no. 1)	See central systems	See central systems	yes	yes	yes	no
None	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. This applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	no mechanical ventilation (ie. natural)	-	individual fan, not ducted	manual switch on/off	natural ventilation only, or no laundry	-

Description of project

Project address		Common area landscape	
Project name	n.GJGN079_26 Parr ave North Curl Curl	Common area lawn (m²)	0.0
Street address	26 Parr Avenue North Curl Curl 2099	Common area garden (m²)	0.0
Local Government Area	Northern Beaches Council	Area of indigenous or low water use species (m²)	0.0
Plan type and plan number	deposited 13900	<b>Assessor details</b>	
Lot no.	14	Assessor number	101484
Section no.	-	Certificate number	QHRY8E3ZT4
<b>Project type</b>		Climate zone	56
No. of residential flat buildings	0	<b>Project score</b>	
No. of units in residential flat buildings	0	Water	✓ 48 Target 40
No. of multi-dwelling houses	2	Thermal Comfort	✓ Pass Target Pass
No. of single dwelling houses	0	Energy	✓ 50 Target 50
<b>Site details</b>			
Site area (m²)	574.4		
Roof area (m²)	259		
Non-residential floor area (m²)	0.0		
Residential car spaces	2		
Non-residential car spaces	0		

Cooling			Heating		Artificial lighting					Natural lighting		
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
1	ceiling fans + 1-phase airconditioning 6 Star (zoned)	ceiling fans + 1-phase airconditioning 6 Star (zoned)	1-phase airconditioning 5.5 Star (zoned)	1-phase airconditioning 5.5 Star (zoned)	4	2	yes	yes	yes	yes	3	yes
All other dwellings	ceiling fans + 1-phase airconditioning 6 Star (zoned)	ceiling fans + 1-phase airconditioning 6 Star (zoned)	1-phase airconditioning 5.5 Star (zoned)	1-phase airconditioning 5.5 Star (zoned)	2	1	yes	yes	yes	yes	1	yes

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	no	yes

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.				
(iii) Thermal Comfort		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol				
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.				
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.		✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.			✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.		✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.		✓	✓	✓

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
1	36.0	25.3
All other dwellings	25.7	26.0

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m²)	Suspended floor with open subfloor (m²)	Suspended floor with enclosed subfloor (m²)	Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls
1	125	-	-	28	No

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m²)	Suspended floor with open subfloor (m²)	Suspended floor with enclosed subfloor (m²)	Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls
All other dwellings	51	-	-	-	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	5000.0	To collect run-off from at least - 259.0 square metres of roof area of buildings in the development - 0.0 square metres of impervious area in the development - 0.0 square metres of garden/lawn area in the development - 0.0 square metres of planter box area in the development (excluding, in each case, any area which drains to or supplies, any other alternative water supply system).	-

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
1	3	163.5	15.9	192.0	0.0
Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
2	1	44.3	6.6	110.0	0.0

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

- In these commitments, "applicant" means the person carrying out the development.
- The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
- This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
- If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
- If a star or other rating is specified in a commitment, this is a minimum rating.
- All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

- Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
- Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
- Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	19/11/2018
B	CHANGES TO GARAGE RL, FRONT DOOR, BALCONY DOOR, BUTTLERS, LAUNDRY, BATH & BED 1	28/11/2018
C	CHANGES TO RL'S; CHANGE ALFRESCO DOOR HEIGHTS; CHANGE WINDOWS TO DOUBLE HUNG; ADD FIRE PROOFING WALL; ADJUST GARAGE DOOR; ADD TUB TO BATHROOM.	10/12/2018
D	CHANGES TO ALL WALLS, BUTTLERS, BATH, BED 1, DINING, PORCH, BALCONY, DRY WINDOWS IN LIVING ROOM & ALL STAIRS. ADDED RAMP	13/12/2018
E	CHANGE FLAT BATH LAYOUT; MORE SLIDING DOOR; CAVITY SLIDER TO STUDY	17/12/2018
F	ADD RAMP FROM FOOTPATH	24/01/2019
G	CHANGES TO GABLE ROOF. ADDED SKYLIGHT, WATER TANK, AC & HWU. UPDATED TO FULL SET FOR DA ISSUE	11/02/2019
H	ADDED BASIX COMMITMENT	28/03/2019
J	CHANGES TO BATH IN GRANNY FLAT, STAIRS, POSITION OF WATER TANK, A/C, HWS & RAMP. ADDED POWER BOX & A/C.	04/04/2019
K	ADDED SKYLIGHTS TO KITCHEN AREA	08/04/2019

SPECIFICATION:

The specification overrides drawings

STRUCTURAL DESIGN:

This design may be subject to change due to structural engineers requirements and / or LGA / PCA conditions.

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General notes  
Use figured dimensions only.  
Do not scale from drawings.  
All ground lines are approximate.  
Window and door sizes shown are nominal.  
All work to be carried out in accordance with local Council codes, BCA, Australian Standards and any relevant authorities.  
Wind rating, refer to framing manufacturers specifications.

FINAL SIGNED COPY

I / We accept that these plans are the final working drawings. They supercede any preliminary plan and  
I / We have checked that all alterations and additions are shown. I / We are aware these plans form part of our contract between GJ Gardner Homes (Sydney North).

Owner(s) signature

Builders signature

Date

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Project  
DOUBLE STOREY DWELLING

Project address  
26 PARR AVE NORTH CURL CURL  
NSW 2099

Client  
IAN HAINE & NARELLE MOSS  
Stage  
DA

Drawing title  
BASIX COMMITMENT

Date 08/04/2019 Drawn NF- KJR

Sheet Size A3 Scale

Job No 230240 - GJGN079

True North Drawing No Rev

**GJG-A15 K**





## **26 Parr Ave, North Curl Curl**

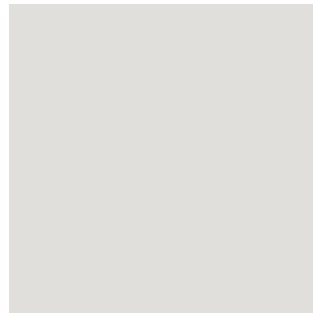
### **External Finishes Schedule**



**Roof & Gutters – Colorbond Shale Grey**

**Windows – Pearl White**

**Eaves, Fascia and Garage Door – Colorbond Dover  
White/Thredbo White**



**James Hardie Cladding & Downpipes – Dulux Bleaches Half**

**Front Door and Timber Trim – Dulux Lexicon Quarter**

**PLEASE NOTE: Colours reflected on this schedule do NOT necessarily reflect true  
colours**