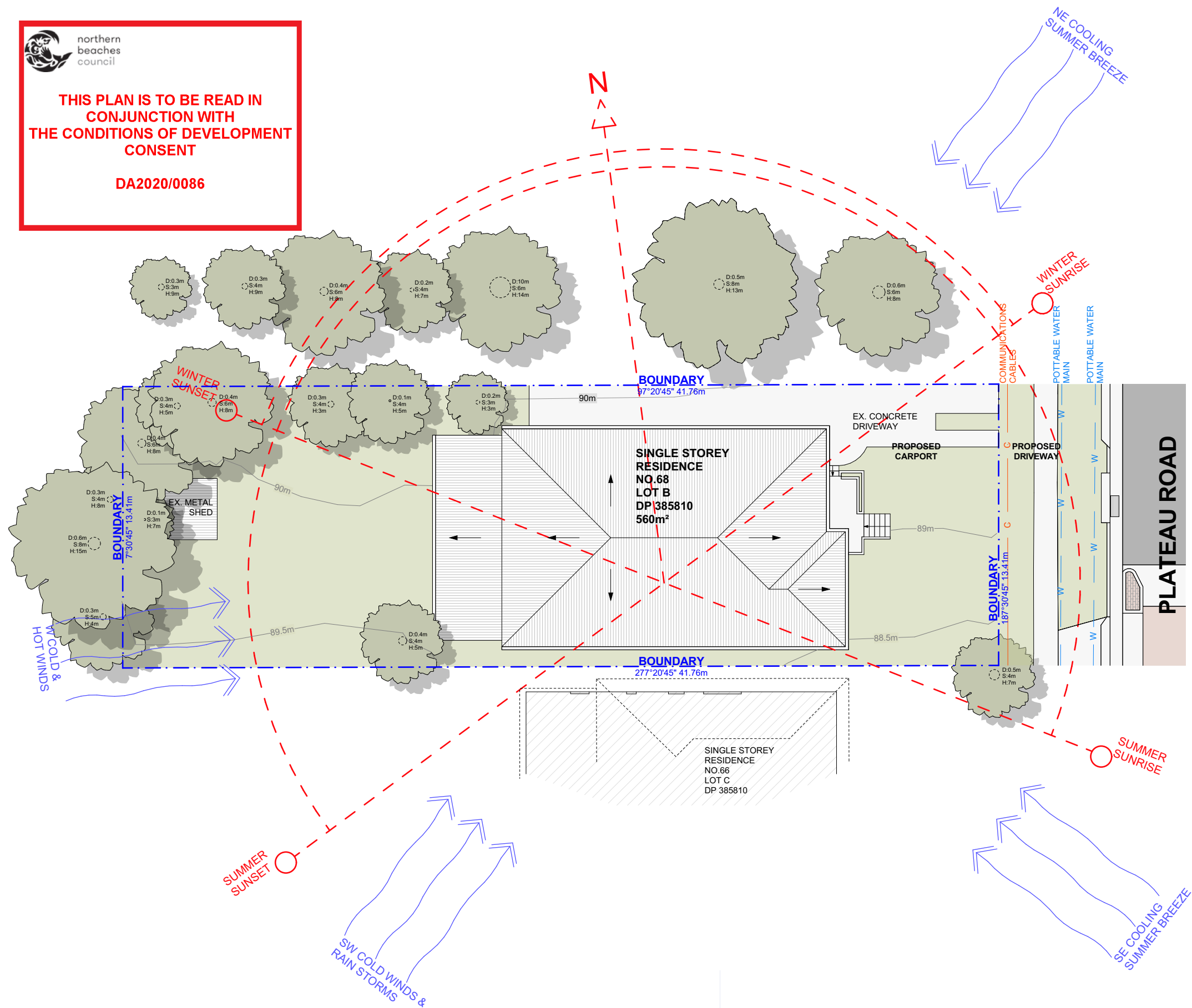




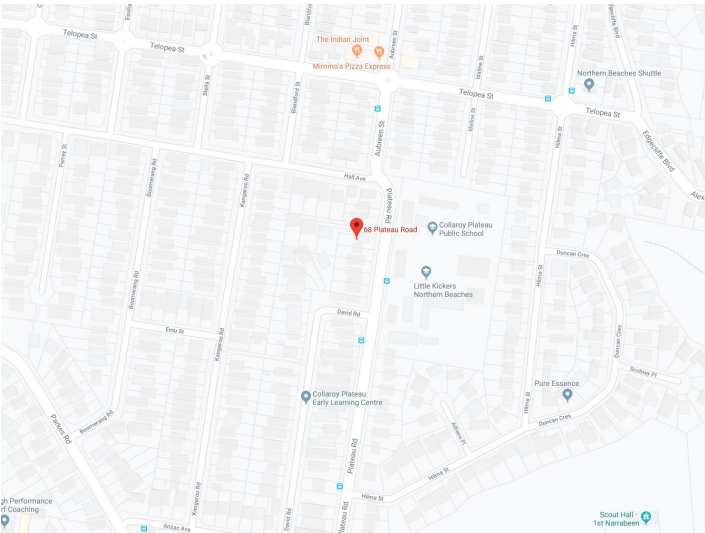
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CONSENT

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STREET VIEW



LOCATION VIEW



AERIAL MAP

SITE ANALYSIS  
1:200

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001








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LEGEND	
	METAL ROOF
	GRASSED AREA
	VEGETATION
	DEMOLISHED
	CONCRETE

**CLIENT**  
Barry & Jenny Morgan

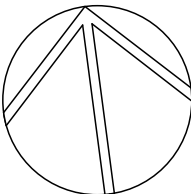
**PROJECT ADDRESS**  
68 PLATEAU ROAD,  
COLLAROY PLATEAU  
NSW 2097

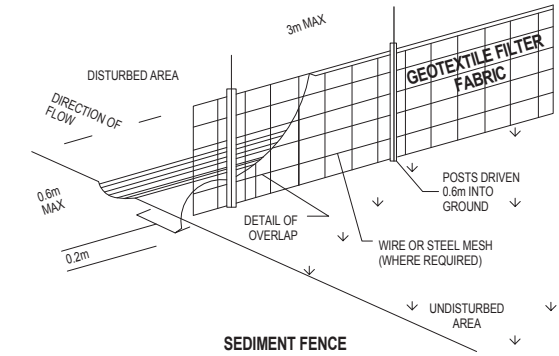
**DRAWING NO.**  
DA02

**DATE**  
Wednesday, 29  
January 2020

**DRAWING NAME**  
SITE ANALYSIS

**SCALE**  
1:200 @A3





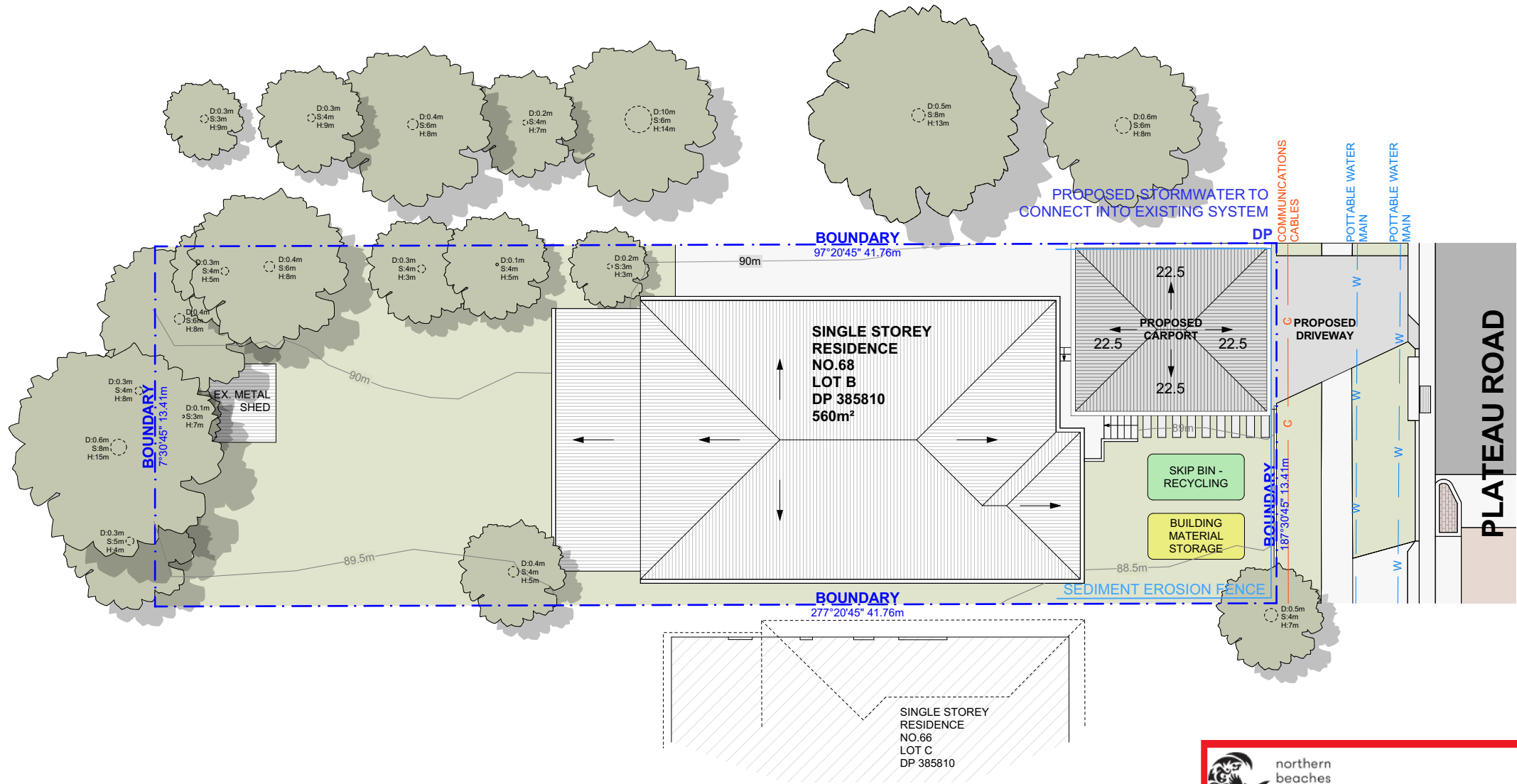
**DUST CONTROL :**  
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

**SEDIMENT NOTE :**  
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.  
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.  
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.  
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.  
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

**STOCKPILES :**  
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.  
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.  
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

**GUTTER PROTECTION :**  
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

**NOTE:** ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



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**SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN**

1:200



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**LEGEND**

	METAL ROOF		CONCRETE
	GRASSED AREA		NEW DRIVEWAY
	VEGETATION		SEDIMENT EROSION FENCE
	DEMOLISHED		

**CLIENT**

Barry & Jenny Morgan

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68 PLATEAU ROAD,  
COLLAROY PLATEAU  
NSW 2097

**DRAWING NO.**

**DA03**

**DATE**

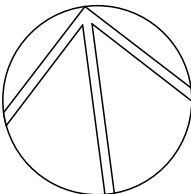
Wednesday, 29  
January 2020

**DRAWING NAME**

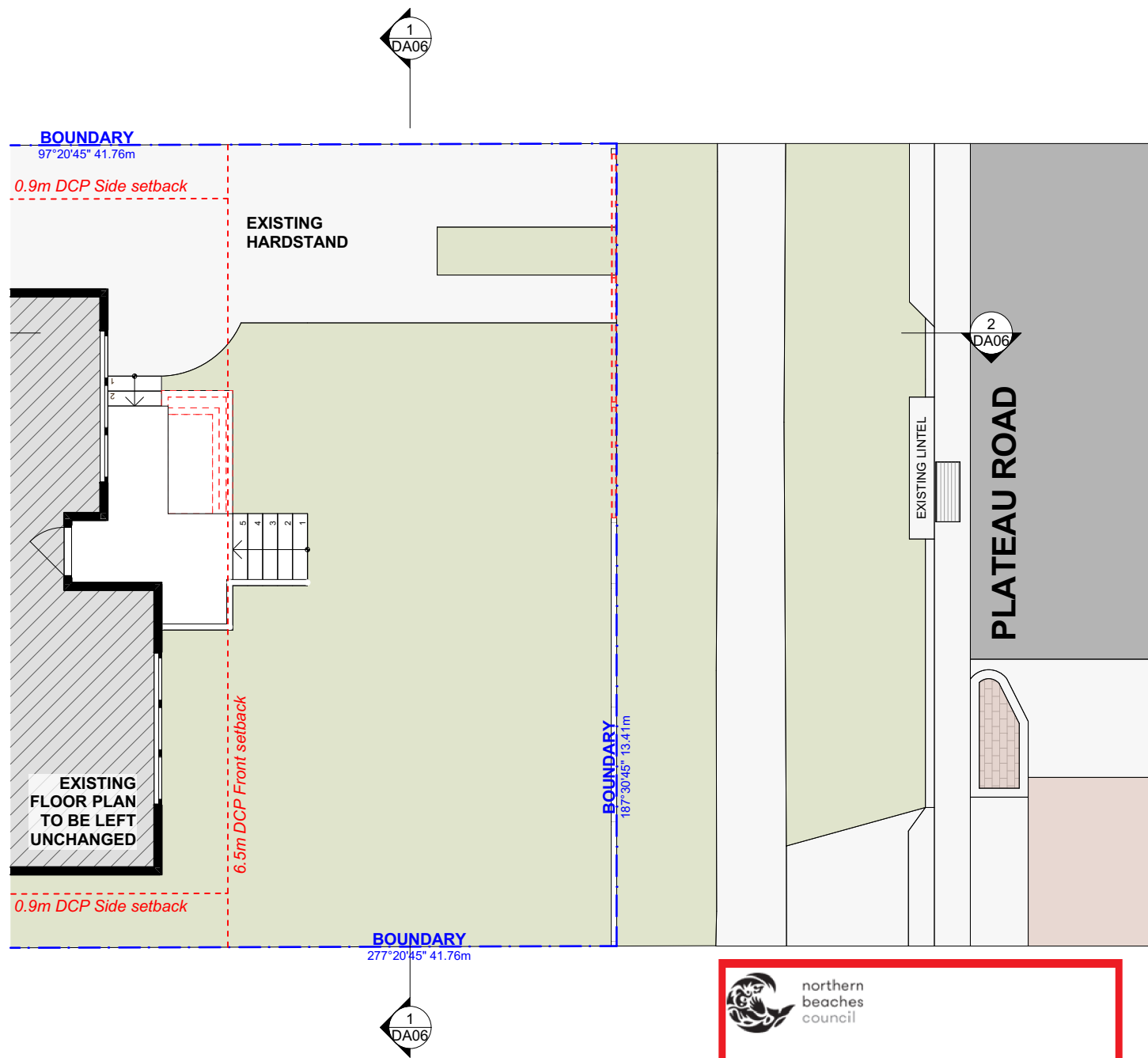
SITE / ROOF / SEDIMENT  
EROSION / WASTE  
MANAGEMENT / STORMWATER  
CONCEPT PLAN

**SCALE**

1:200 @A3





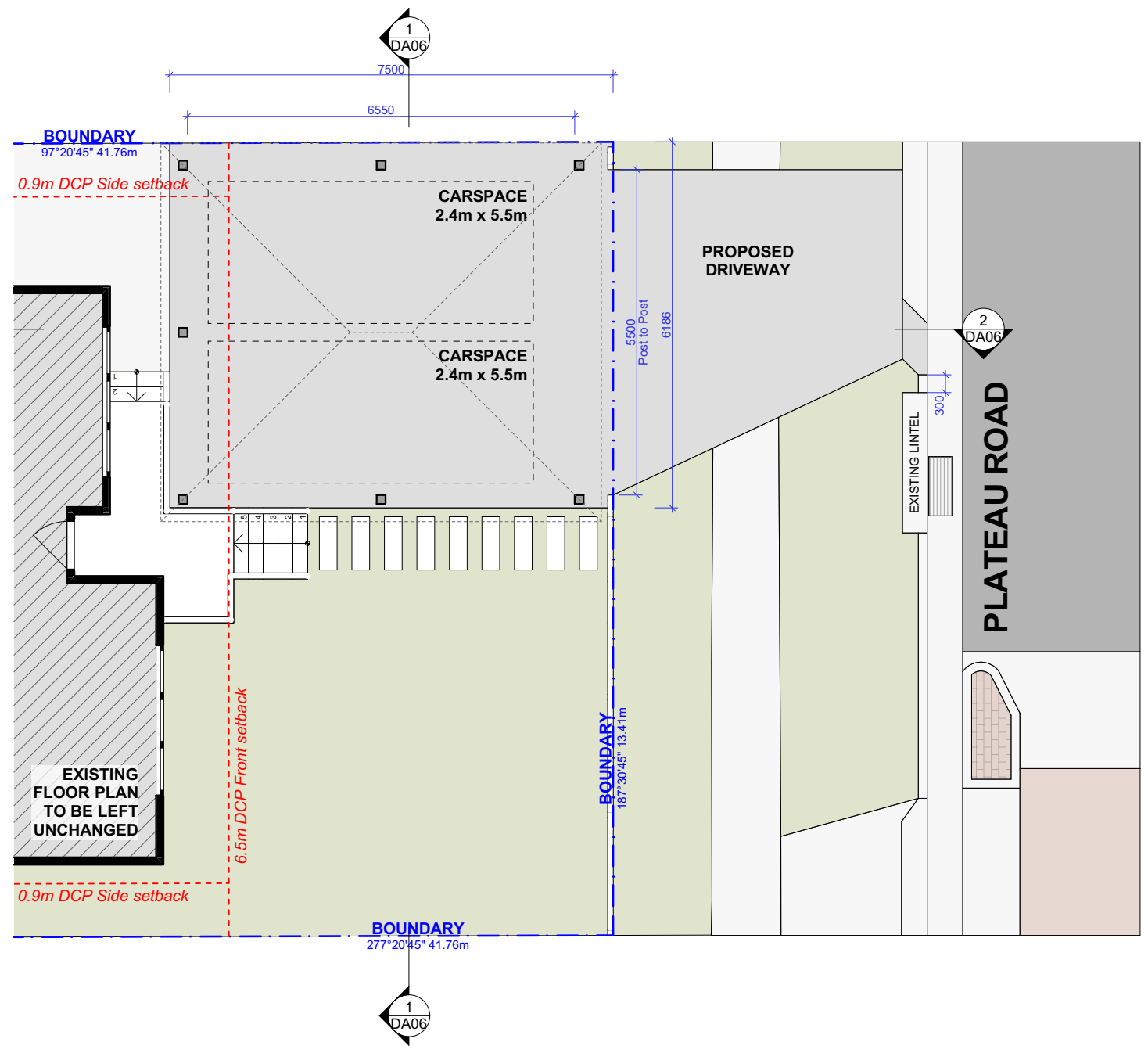


**EXISTING GROUND FLOOR PLAN**  
1:100



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**PROPOSED GROUND FLOOR PLAN**  
1:100

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**LEGEND**

EXISTING  
 PROPOSED  
 DEMOLISHED

**CLIENT**

Barry & Jenny Morgan

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68 PLATEAU ROAD,  
COLLARROY PLATEAU  
NSW 2097

**DRAWING NO.**

**DA04**

**DATE**

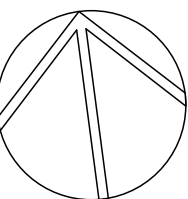
Wednesday, 29  
January 2020

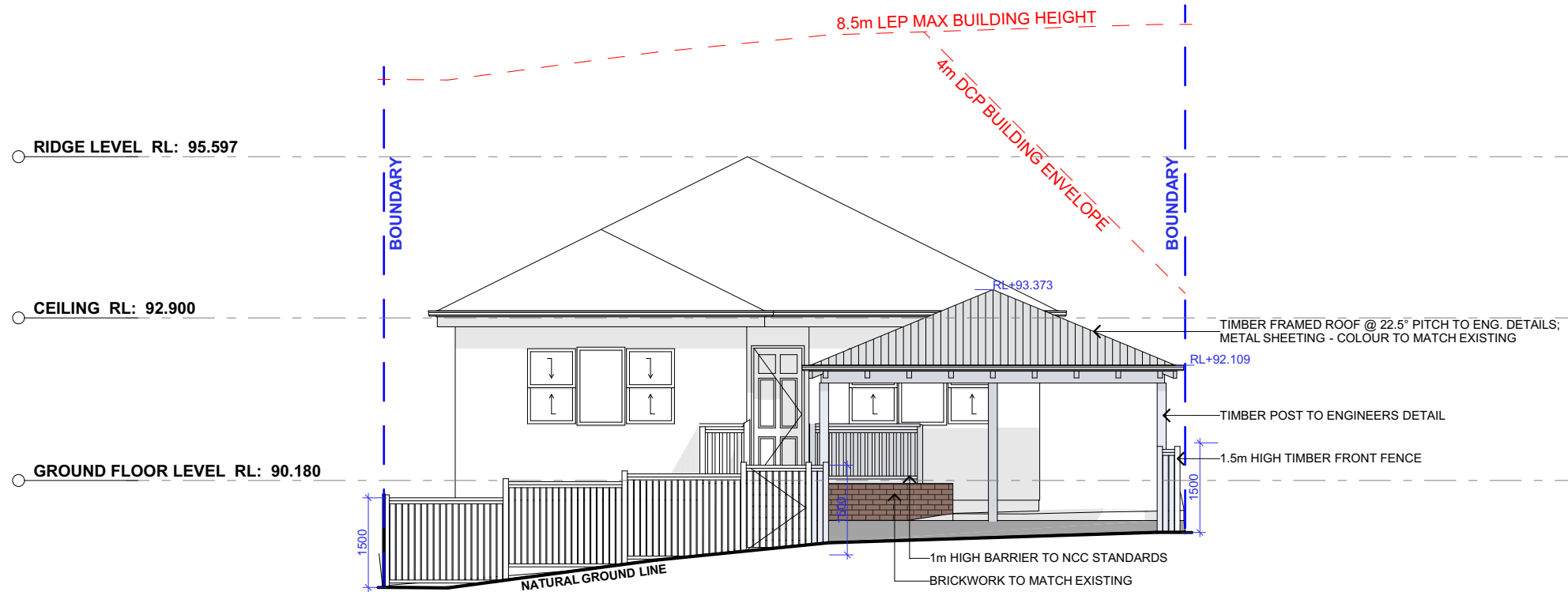
**DRAWING NAME**

EXISTING & PROPOSED  
GROUND FLOOR PLAN

**SCALE**

1:100 @A3



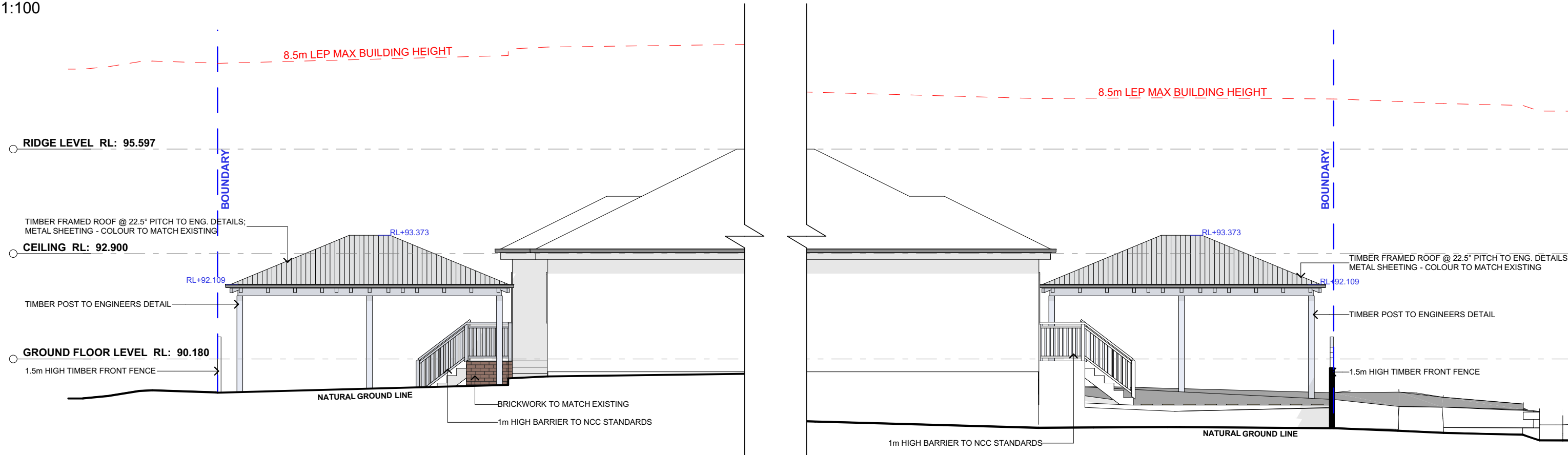


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**EAST ELEVATION**  
1:100



**NORTH ELEVATION**  
1:100

**WEST ELEVATION**  
1:100



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
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LEGEND	
	METAL ROOF
	BRICKWORK
	TIMBER
	DEMOLISHED
	EXISTING

**CLIENT**

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**DRAWING NO.**

**DA05**

**DATE**

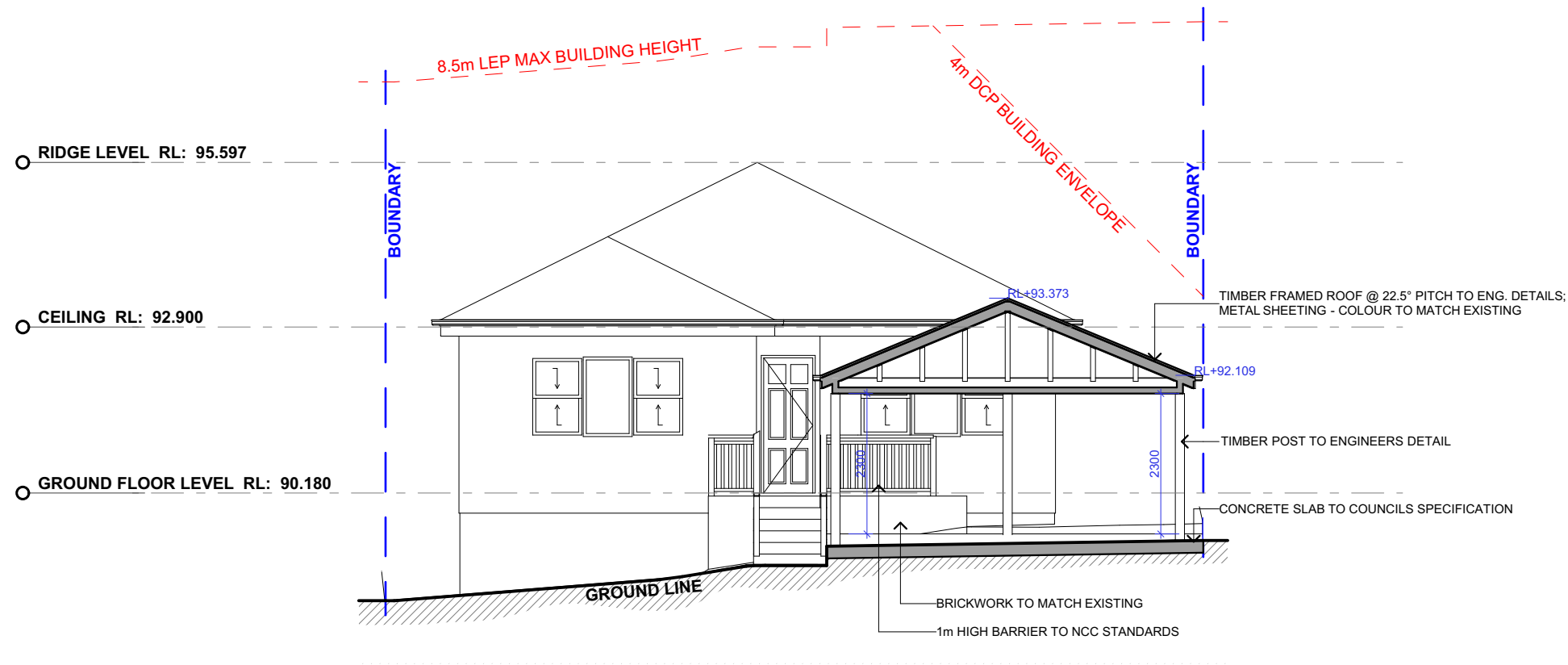
Wednesday, 29  
January 2020

**DRAWING NAME**

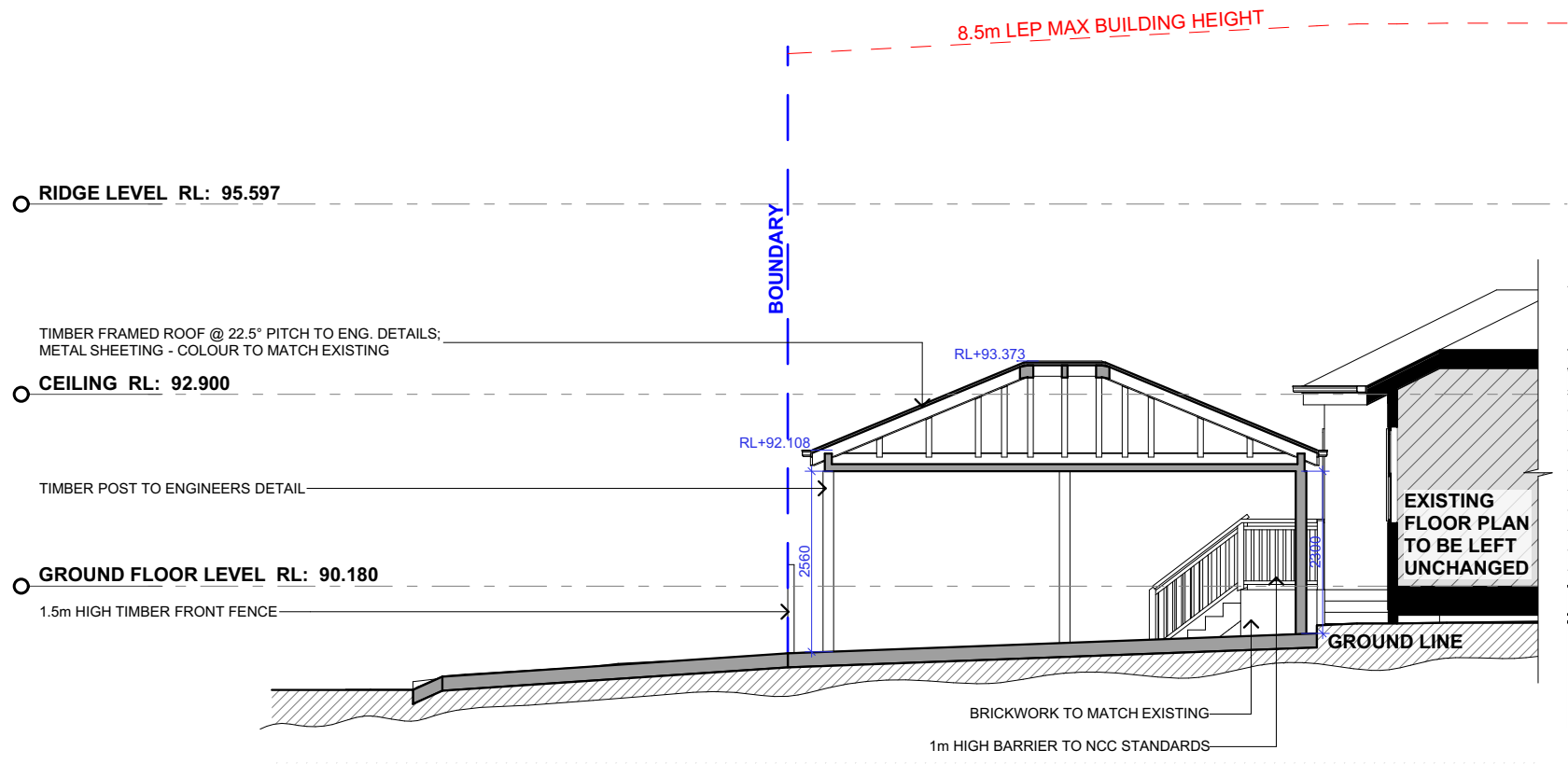
ELEVATIONS

**SCALE**

1:100 @A3



CROSS SECTION (1)  
1:100



LONG SECTION (2)  
1:100

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**LEGEND**

 EXISTING

 PROPOSED

 DEMOLISHED

**CLIENT**

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**DRAWING NO.**

**DA06**

**DATE**

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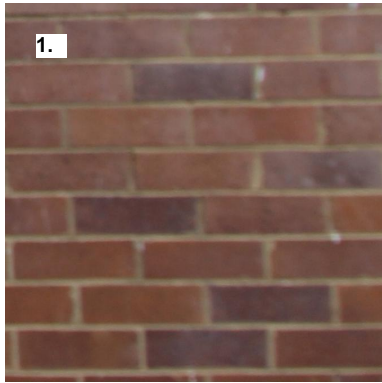
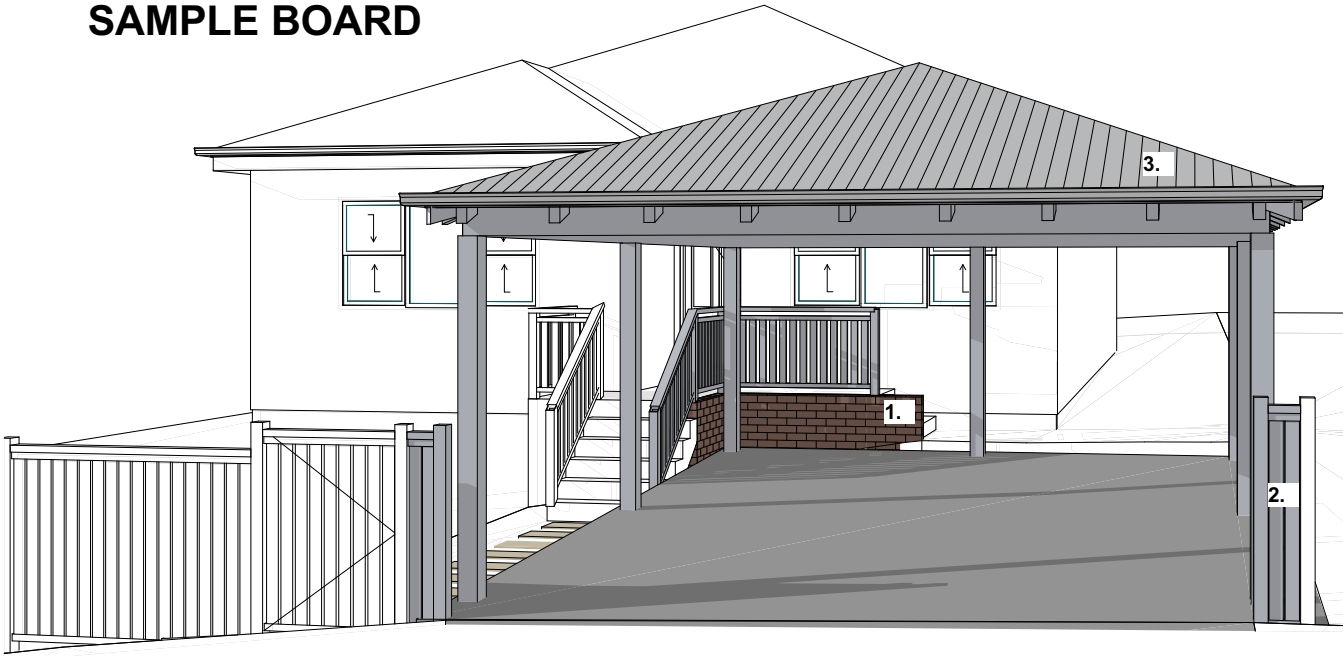
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LONG / CROSS SECTION

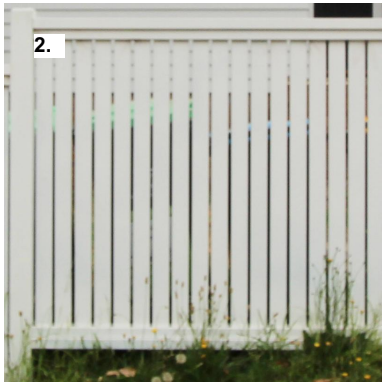
**SCALE**

1:100 @A3

SAMPLE BOARD



BRICKWORK TO MATCH EXISTING



FRONT FENCE TO MATCH EXISTING



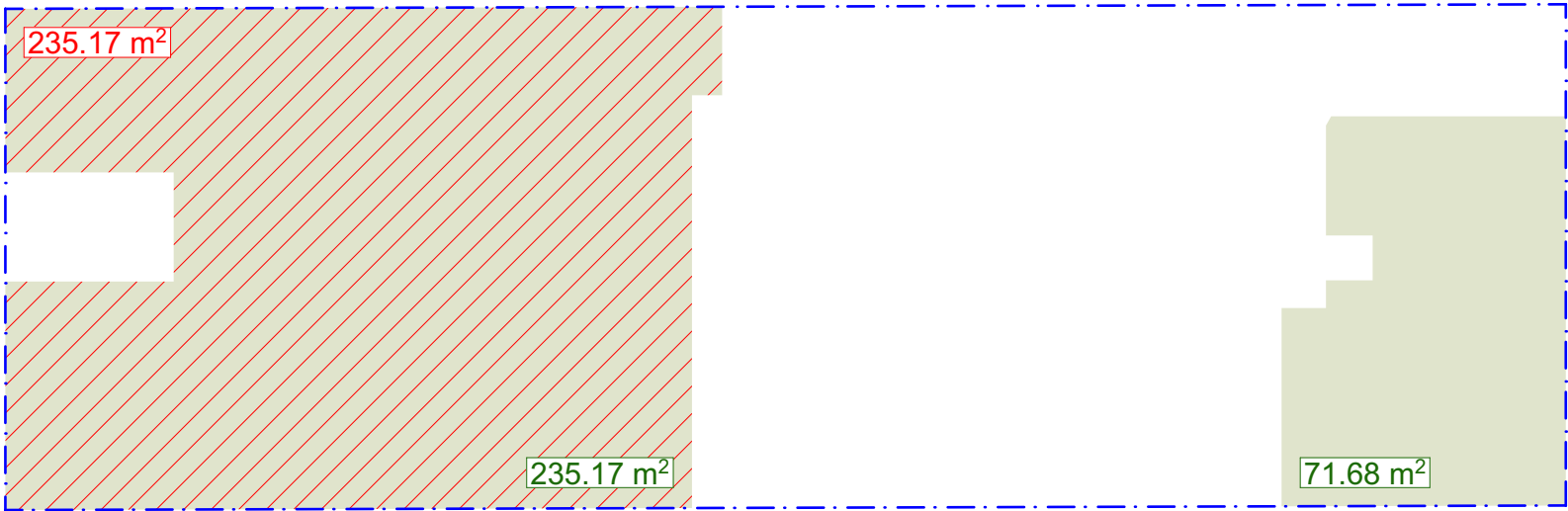
METAL ROOF TO MATCH EXISTING




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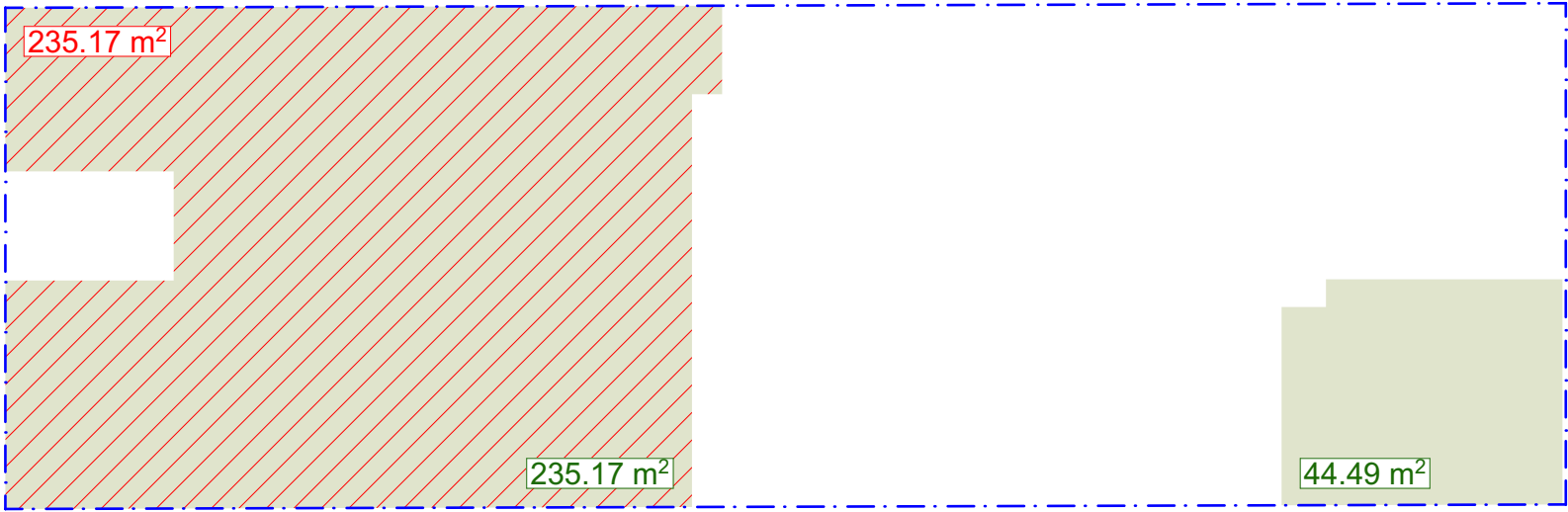


EXISTING AREA CALCULATIONS  
1:200


- 


LANDSCAPED AREA: 306.85m² (54.79%)
- 

PRIVATE OPEN SPACE: 235.17m²



PROPOSED AREA CALCULATIONS  
1:200

- 

LANDSCAPED AREA: 279.66m² (49.93%)
- 

PRIVATE OPEN SPACE: 235.17m²



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LEGEND

**CLIENT**  
Barry & Jenny Morgan

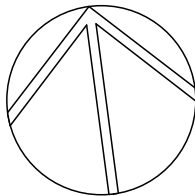
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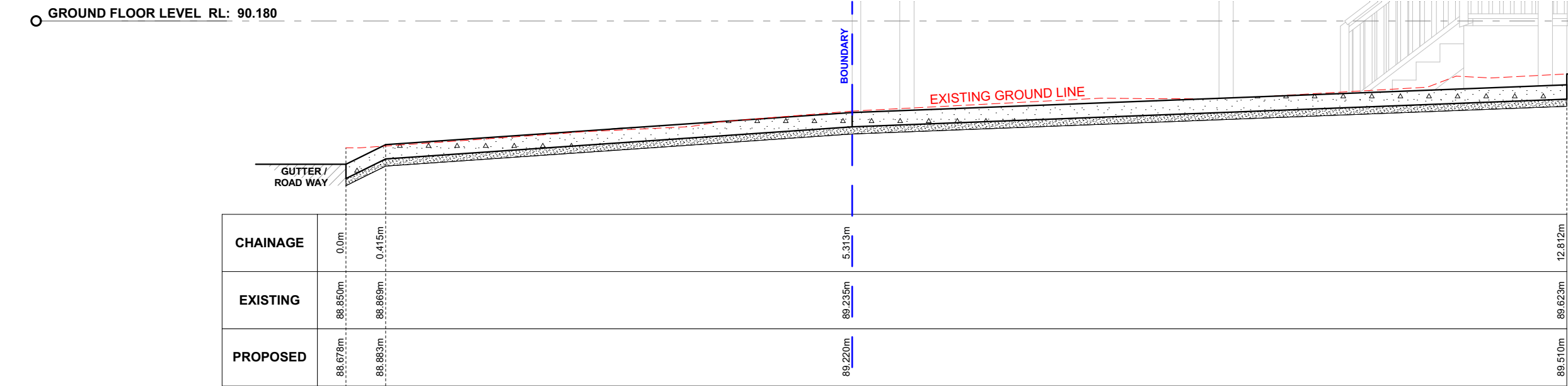
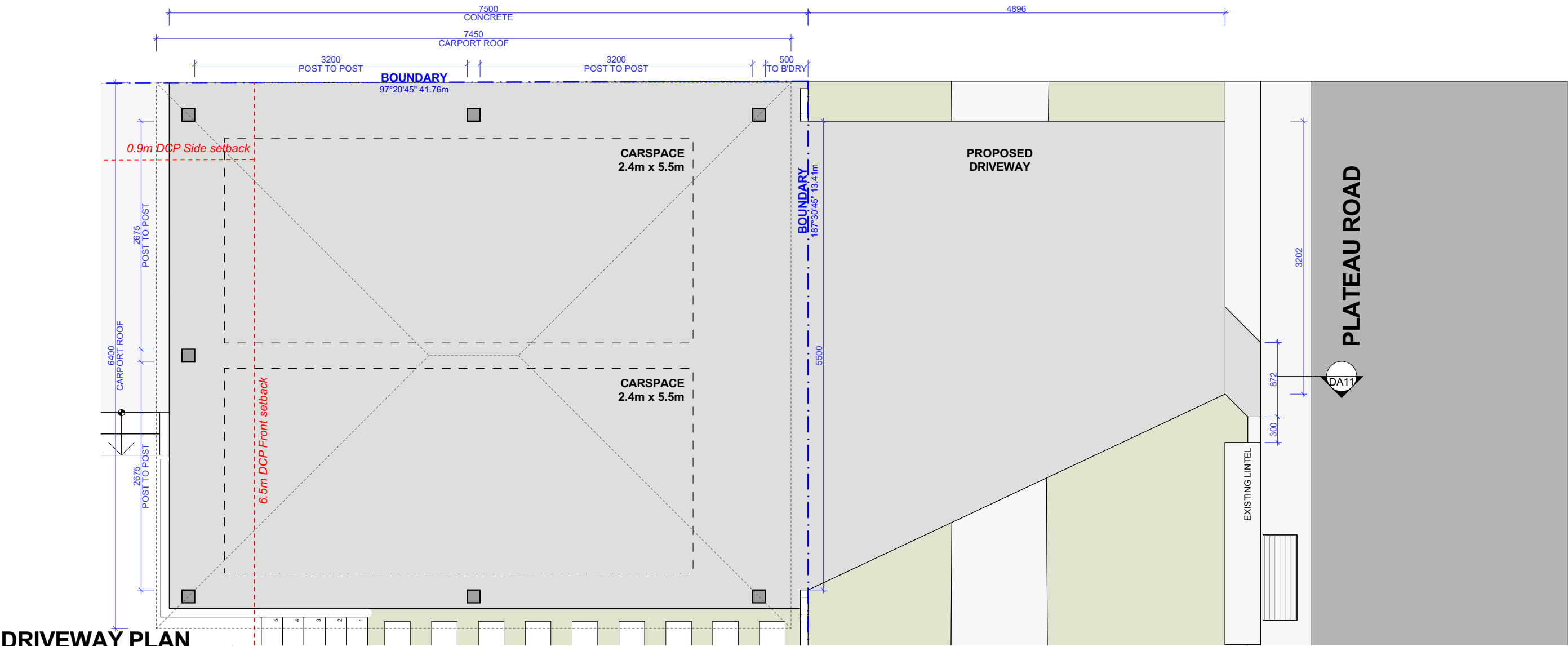
**DRAWING NO.**  
DA07

**DATE**  
Wednesday, 29  
January 2020

**DRAWING NAME**  
AREA CALCULATIONS /  
SAMPLE BOARD

**SCALE**  
1:200 @A3





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