

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2005/795

Council Pittwater

Determination
date of determination Approved
19 August 2005

Subject land
Address 6 Monteray Road, Bilgola
Lot No, DP No. Lot 55 DP 28862

Applicant
Name Elliot Ryan
Address 14 Bellevue Avenue, Avalon NSW 2107
Contact No. (phone) 0419 239 624

Owner
Name Elliot Ryan
Address 14 Bellevue Avenue, Avalon NSW 2107
Contact No. (phone) 0419 239 624

Description of Development
Type of Work Alterations & Additions to Existing Dwelling

Builder or Owner/Builder
Name Elliot Martin Ryan
Contractor Licence No/Permit 297772P

Value of Work
Building \$100,000.00

Attachments

1. Pittwater Council receipt no. tba, dated tba, for payment of Long Service Levy

**COUNCIL
COPY**

Plans & Specification**approved**

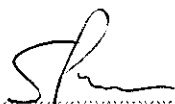
List plans no(s) & specifications
Reference

1. Architectural Plans & Construction Specifications, reference no. CC-018 Sheets 1 of 2 & 2 of 2, dated 7 August 2005, prepared by AH Design
2. Structural Engineers Plans & Details, reference no. 22850-S1, dated 3 August 2005, prepared by Jack Hodgson Consultants Pty Ltd
3. Landscape Plan & endorsement, reference no. L-018 Sheet 1 of 1, prepared by Geoff Burton M.A.I.H
4. Existing Stormwater certification, reference VQ22850A, dated 3 August 2005, prepared by Jack Hodgson Consultants Pty Ltd

Certificate

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the Environmental Planning and Assessment Act 1979.

Signed



19 AUG 2005

**Date of endorsement
Certificate No.**

2005/795

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority

Stephen Pinn
POO40
Dept of Infrastructure, Planning & Natural Resources
(NSW Accreditation Scheme)
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Contact No.
Address

Development Consent

Development Application No.
Date of Determination

NO 887/03
7 July 2005

BCA Classification

1a

DA: NO 887/03.
Long Service Levy Paid:
Pittwater Council

OFFICIAL RECEIPT

18/08/2005 Receipt No 173576

To ELLIOT RYAN

6 MONTEREY ROAD
BILGOLA PLATEAU
2107

Applic	Reference	Amount
GL Re	GLSL-Buil	\$150.00
	NO887/03:6 MONTEREY RD BI	

Total: \$150.00

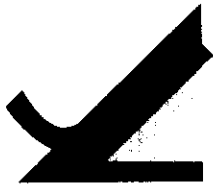
Amounts Tendered

Cash	\$0.00
Cheque	\$0.00
Db/Cr Card	\$150.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$150.00
Rounding	\$0.00
Change	\$0.00
Nett	\$150.00

Printed 18/08/2005 4:07:54

Cashier JBibb

COUNCIL
COPY



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN: 94 053 405 011

VQ 22850A.
3rd August, 2005.
Page 1.

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

Dear Sir,

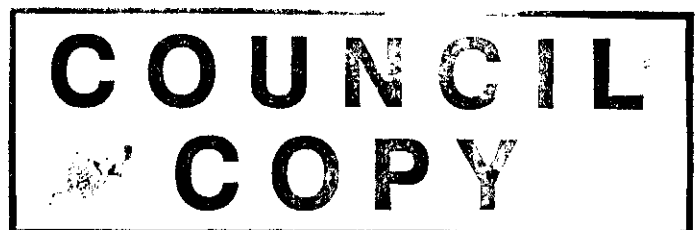
6 MONTEREY ROAD, BILGOLA PLATEAU.

We have inspected the existing storm water system and are satisfied that the down pipes are connected to the pipe in the kerb as a water test caused water to flows into the gutter.

Our Mr Jack Hodgson is appropriately qualified and experienced to issue this certificate.

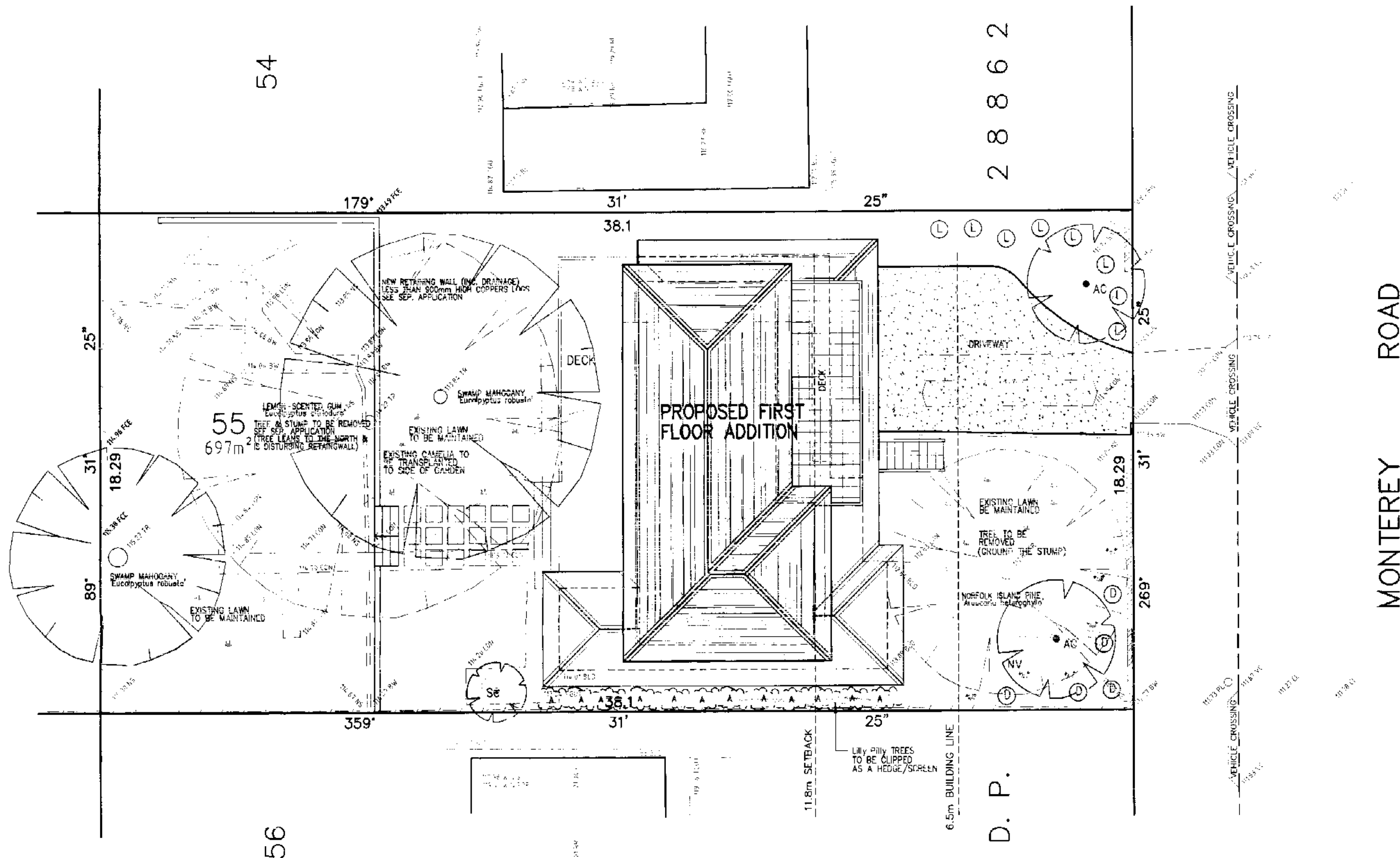
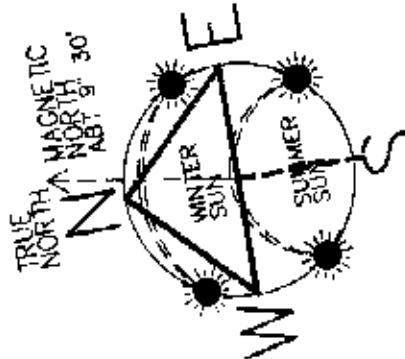
JACK HODGSON CONSULTANTS PTY. LIMITED.

**J.D. Hodgson M.Eng.Sc.,
F.I.E. Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.**

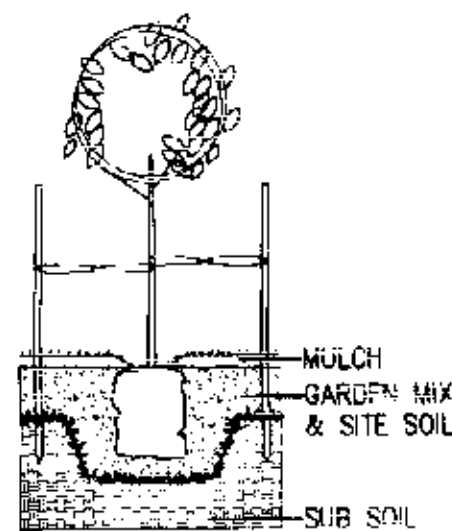


DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E. Aust., Nper3 Struc. Civil 149788

67 Darley Street, Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone: 9979 6733 Facsimile: 9979 6926



PLANTING & STAKING DETAIL



50mm JUTE WEBBING TIED TO 75 LITRE TREE FOUR TIMES AND STABLED TO FOUR 1800x50x50mm HARDWOOD STAKES

MULCH 75mm MOUNDED AROUND EACH PLANT AND THROUGHOUT GARDEN BEDS

IMPORTED 'PREMIUM GARDEN MIX' AVAILABLE FROM AUSTRALIAN NATIVE LANDSCAPES MIXED WITH EXISTING SITE SOIL

FERTILISE WITH OSMOCOTE 8-9 MONTHS

COUNCIL COPY



PLANTING SCHEDULE

TYPE	SYMBOL	No.	SPECIES	COMMON NAME	POT SIZE	WIDTH	HT.
Ground Cover	NV	20	VIOLA Hederaceu	Native Violet	150mm	—	—
Understorey Hedging	B	5	DIANELLA	Golden Streak	150mm	500mm	500mm
Understorey Hedging	L	8	LOMANDRA hystrix	Tropical Lomandra	150mm	1m	1m
Screening Hedge	Se	1	SYZYUM 'CASCADE'	Cascade Weeping Lilly Pilly	300mm	3m	2m
Screening Hedge	A	12	ACMENA Smithii minor	Lilly Pilly	300mm	3m	3m
Canopy Tree	AC	2	ANGOPHORA Costata	Sydney Apple Gum	200mm	4m	10m

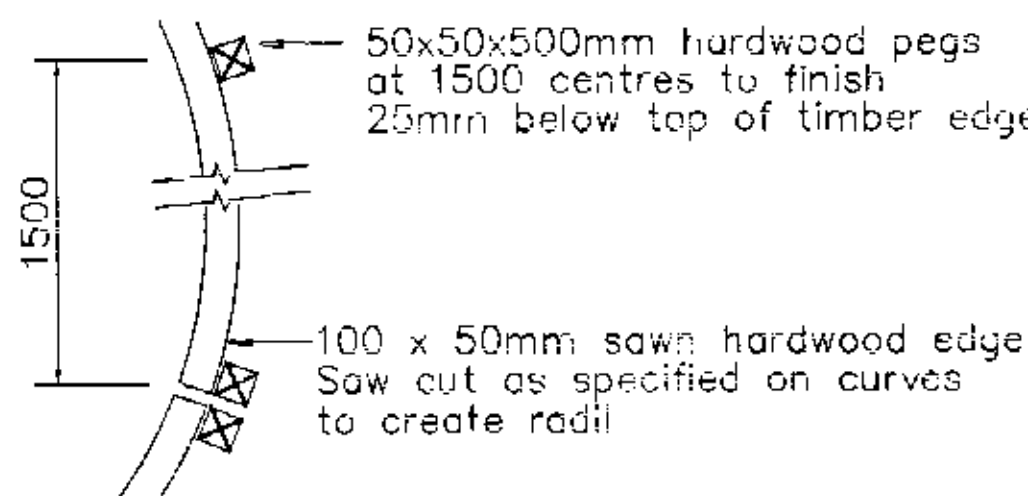
NOTES

- * EXISTING WEEDS TO BE TREATED WITH "RAMDUP"
- * ALL MATERIALS AND PLANTS TO BE BEST OF THEIR RESPECTIVE KINDS & SHALL COMPLY WITH APPROVED SAMPLE TYPES SPECIFIED OR SUBMITTED.
- * FENCE TO BE PAINTED "PINEWOOD GREEN".
- * ALL PLANTS TO BE PLANTED WITH COMPOST MIXED 50/50 WITH EXISTING TOP SOIL
- * ALL PLANTS TO BE FERTILISED WITH DYNAMIC LIFTER AT TIME OF PLANTING AND TWICE YEARLY THEREAFTER.
- * GARDEN AREAS TO BE MULCHED WITH CEDAR COLOUR WOODCHIPS.
- * ALL NEW PLANTING AREAS TO HAVE A MINI DRIP WATER SYSTEM ON A MANUAL 2 HOUR TAP TIMER.
- * GARDEN LIGHTING - LOW VOLTAGE FOOT LIGHTS ALONG DRIVEWAY AND PATH. SPOT LIGHTS UP ON FEATUREL TREES PREFERABLY OPERATED FROM HOUSE.
- * LAWN TO BE AERATED AND FERTILISED WITH SCOTTS LAWN BUILDER.
- * NO BUILDING MATERIAL TO BE STOCKPILED UNDER THE DRIPLINE OF EXISTING TREES.
- * EXISTING TREES TO BE PROTECTED DURING CONSTRUCTION BY CHAINWIRE BARRIER FENCING.

THIS DRAWING WAS TAKEN FROM SURVEY DETAILS SUPPLIED.

ALL TIMBER TO BE H4 TREATED TIMBER

TIMBER EDGE DETAIL



THIS LANDSCAPE DESIGN COMPLIES WITH PITTSWATER 21 DCP, SECTION C 1.1 LANDSCAPING.

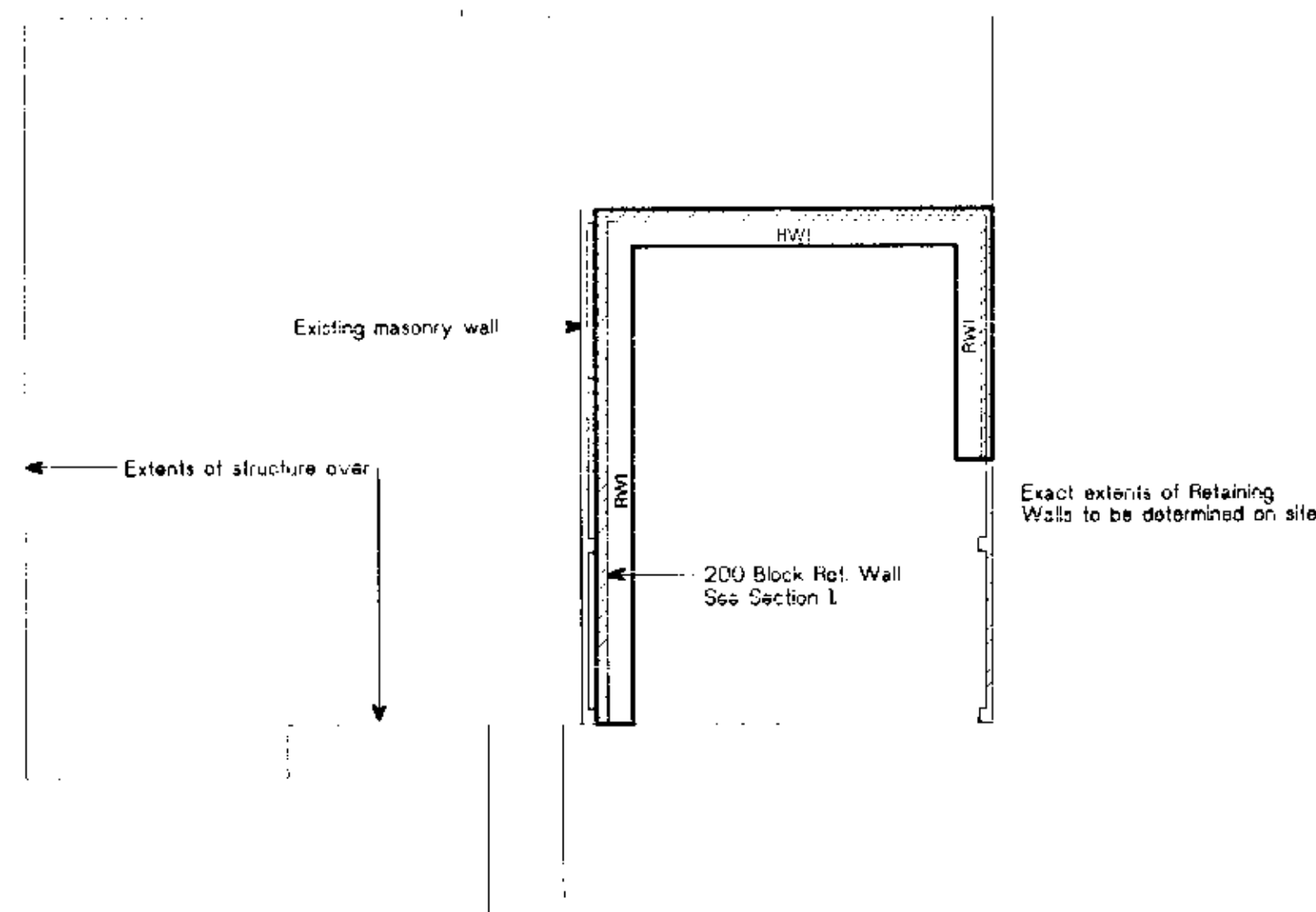
PLAN OR DOCUMENT CERTIFICATION

I am a qualified Horticultural holding an Associate Diploma (Horticulture) from Newcastle Agricultural College NSW & a Diploma in Arboriculture from Ryde TAFE. I am a member of the Australian Institute of Horticulture & The National Association of Australia (pending). Further I am appropriately qualified to certify this component of the project.

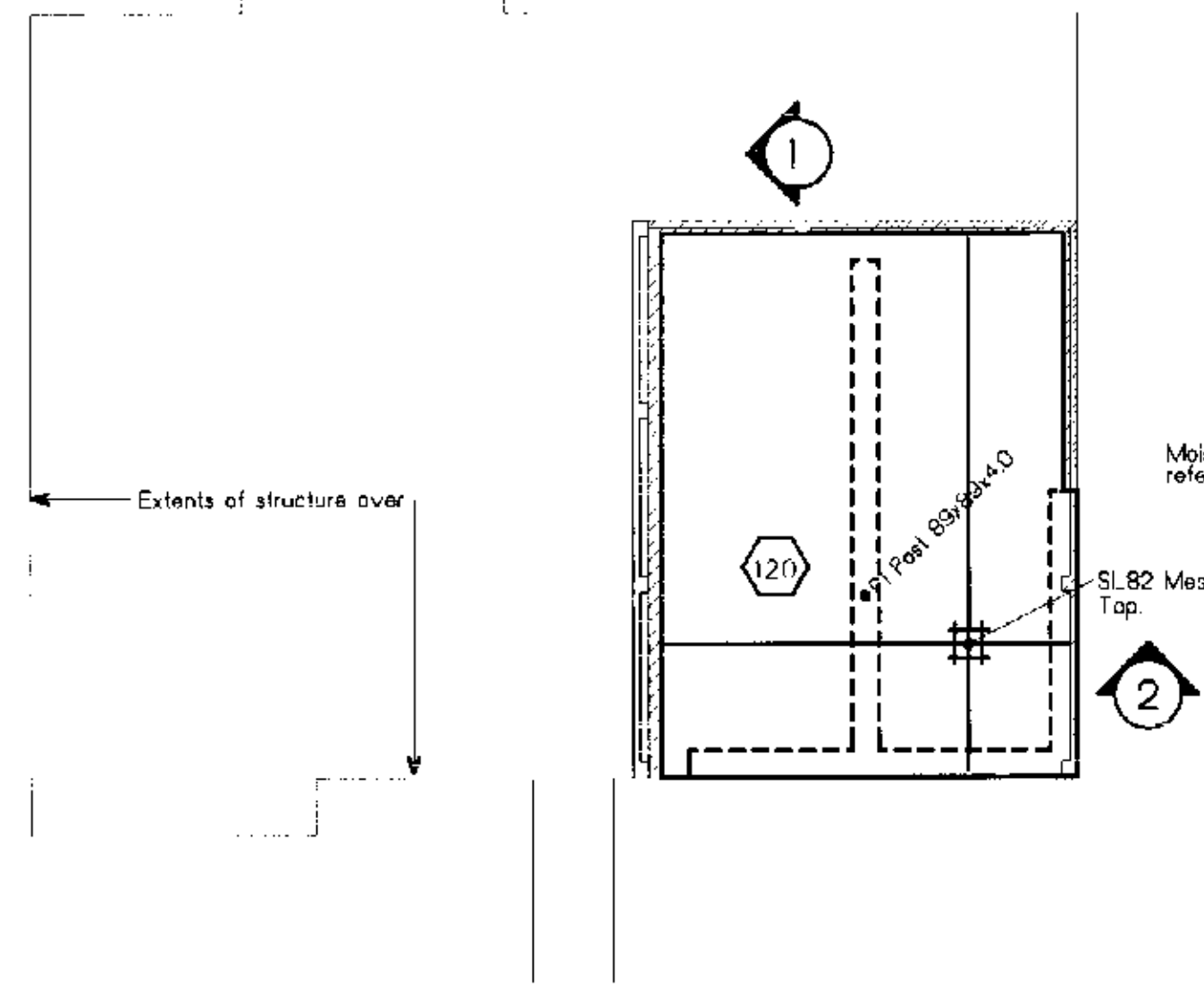
GEOFF BURTON
Name Date

THIS DRAWING
WORKING DRAWING -
LANDSCAPE PLAN

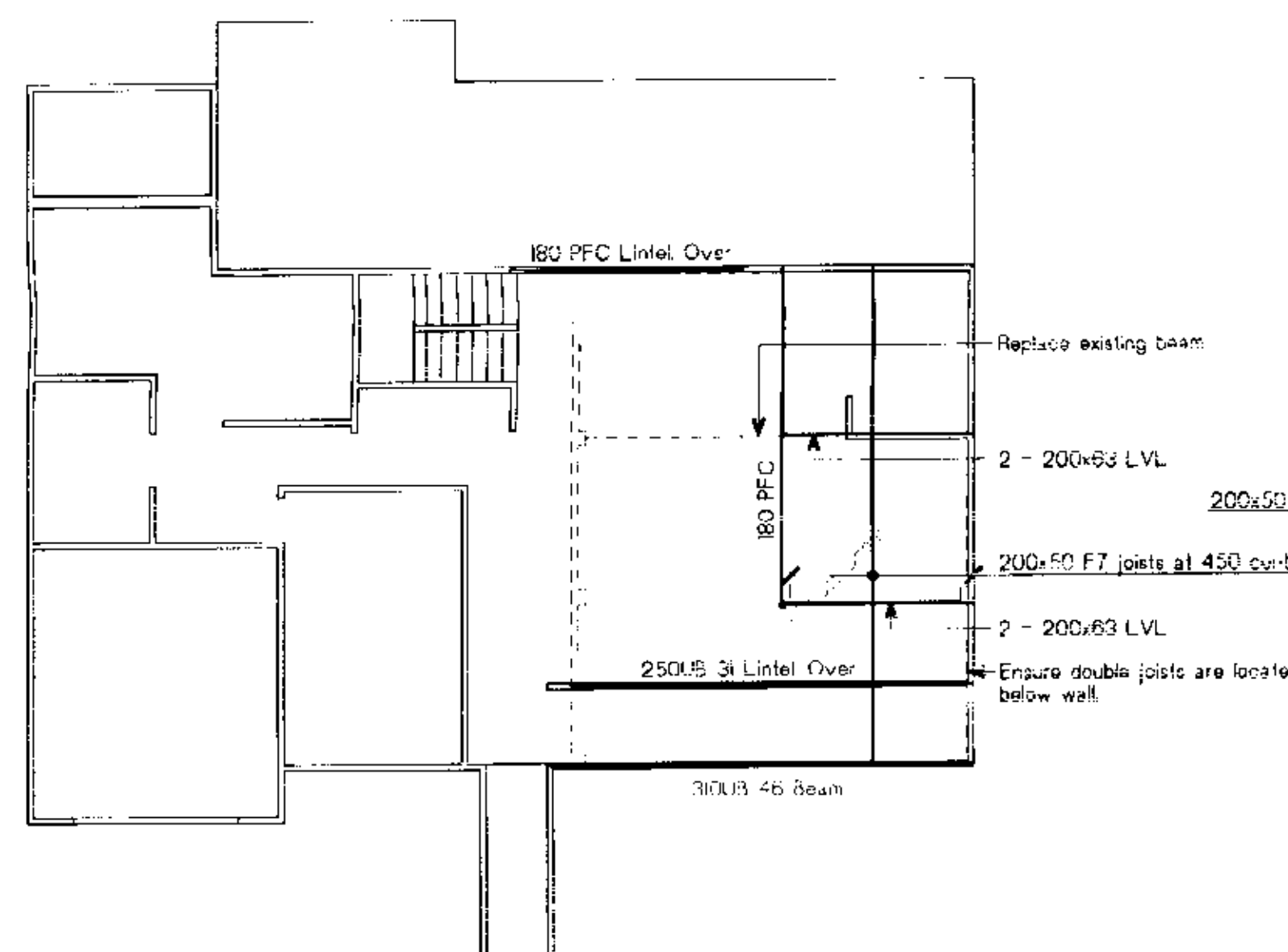
SCALE 1:100	DATE AUG 2005	SHEET No. 1	OF 1
DRAWN A.H.	CHECKED	PROJECT No. L-018	AMENDMENT —



GARAGE FOOTING PLAN
Scale 1:100

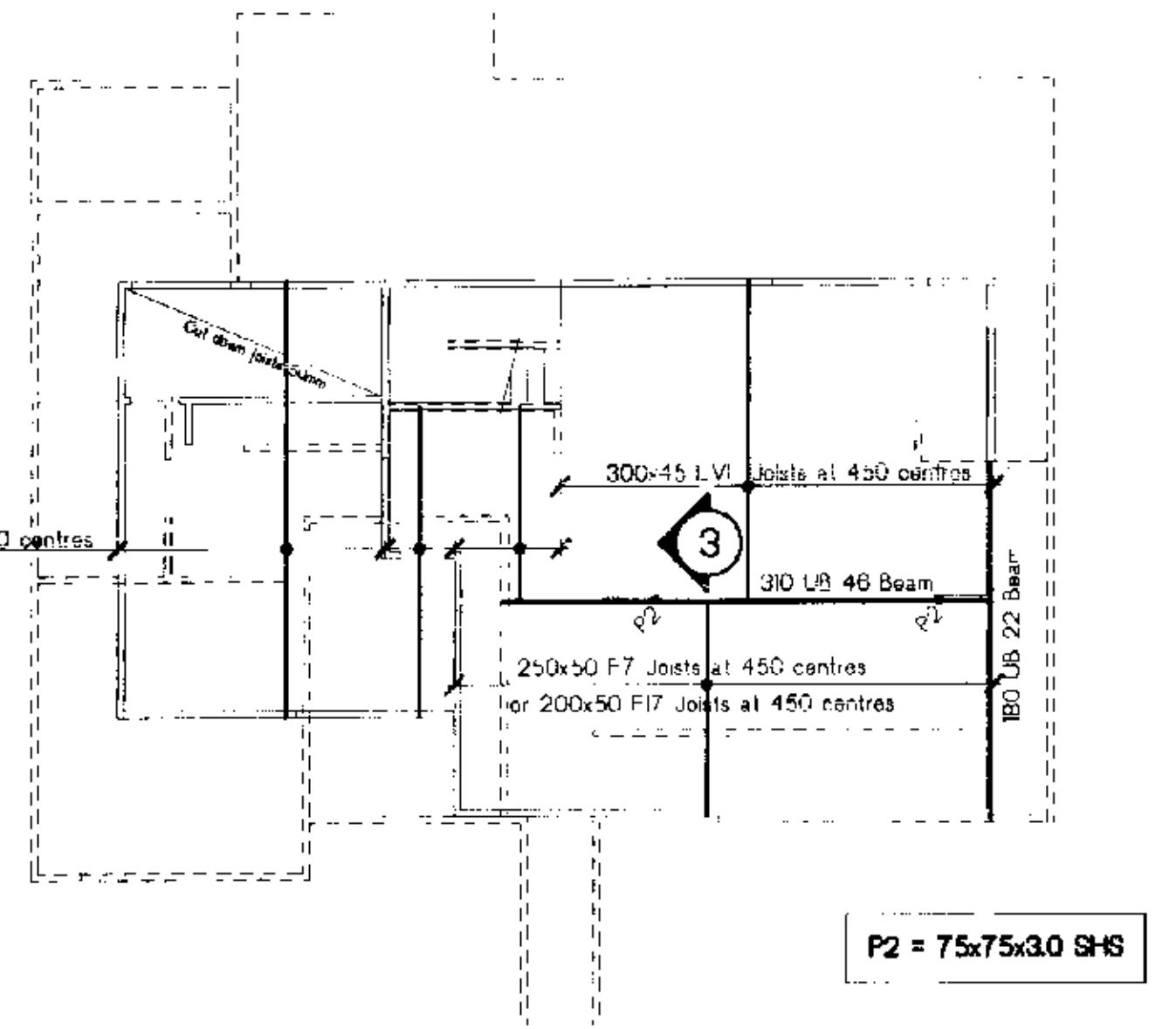


GARAGE SLAB PLAN
Scale 1:100



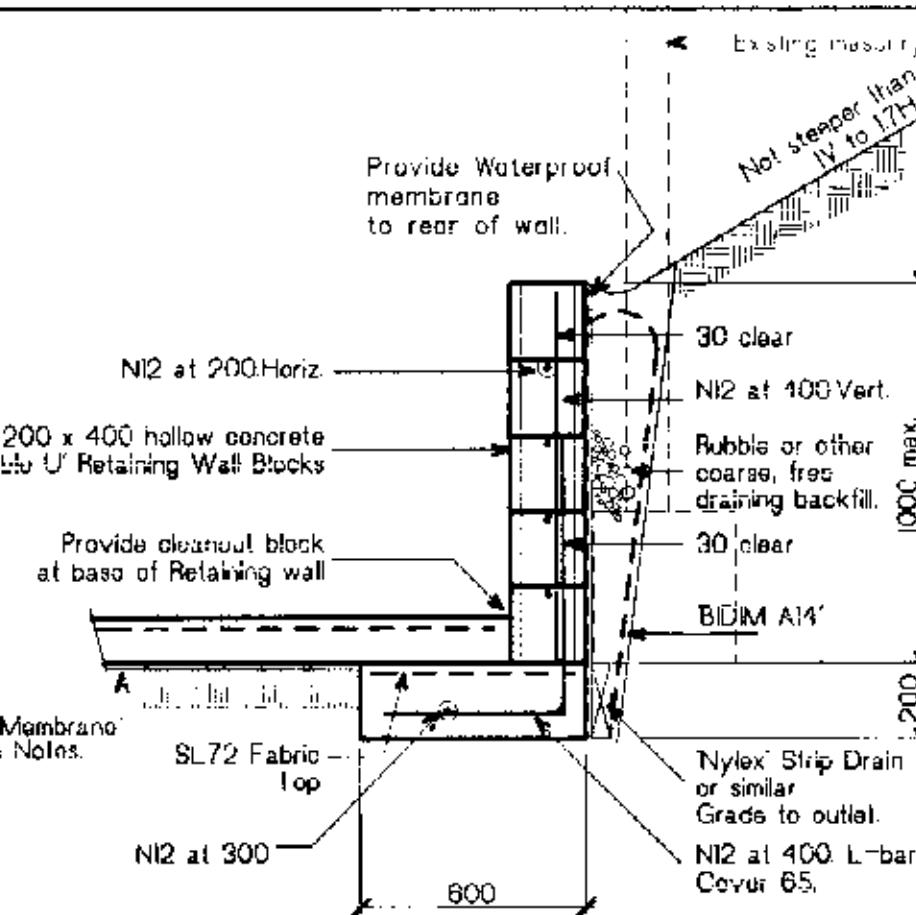
GROUND FLOOR MARKING PLAN & LINTEL PLAN
Scale 1:100

NOTE: ALL Structural Beams to bear on Double Stud Unless Noted Otherwise.



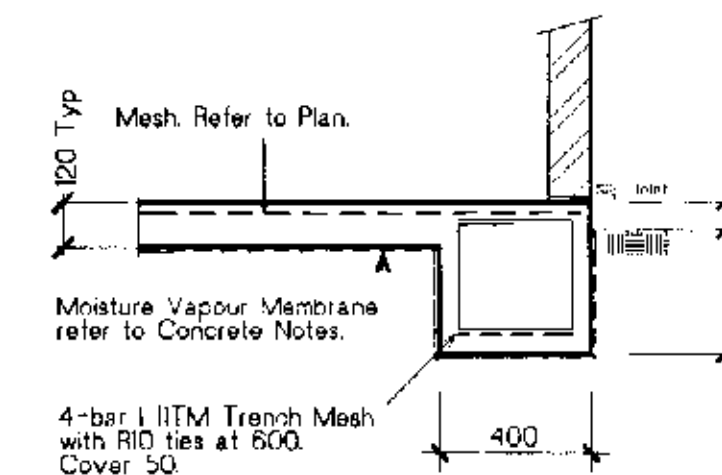
FIRST FLOOR MARKING PLAN
Scale 1:100

NOTE: ALL Structural Beams to bear on Double Stud Unless Noted Otherwise.



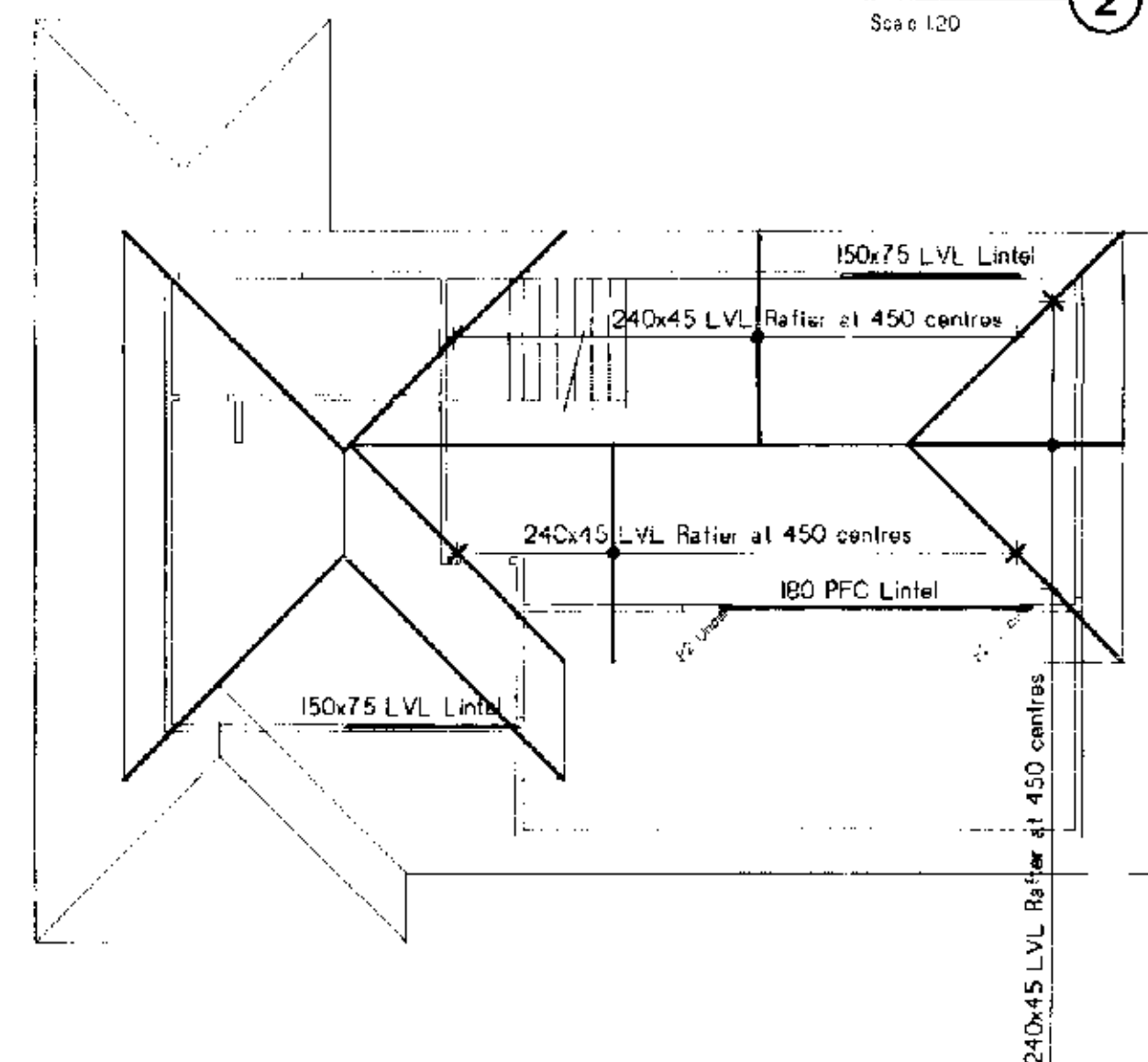
BLOCK RETAINING WALL SECTION 'RW1'
Scale 1:20

SECTION 1
Scale 20



TYPICAL SLAB EDGE DETAIL
Scale 1:20

SECTION 2
Scale 1:20



ROOF MARKING PLAN
Scale 1:100

All Hip Rafter 240x45 LVL

Gasket plate 12mm Ply with a minimum of 150mm clearance from the bottom apex of the rafters.

- CONCRETE & BLOCK NOTES**
- All concrete work to be in accordance with AS 3600.
 - For Refer to table.
 - Maximum aggregate size 20 for footings, slabs & beams.
 - Slump = 80.
 - All concrete, including block filling, to be vibrated.
 - Slabs to be kept damp for at least 14 days after placing.
 - All blockwork to be in accordance with SAA Masonry Code AS 3700.
 - All cavities of block work to be thoroughly cleaned out, using knock out blocks or other suitable means, before filling with grout or concrete.
 - 200 & 300 blocks to be hollow retaining wall blocks with a characteristic strength of 20 MPa.
 - Blocks may be filled with a C 10, 0.5 : 4.5 mortar as the block laying proceeds.
 - Reinforcing Steel to comply with AS/NZS 4671:2001 and to be D500N unless noted otherwise, where 500 = strength grade in megapascals & N = Normal ductility class.
 - Bar Chairs to be no more than 800mm centre to centre spacings.
 - Reinforcement to be tied at every other intersection minimum.
 - Metal roofing being used as formwork (not Benepack or similar). Depth of Slab must be taken from the Top of the Roof Rib. Specified bottom cover must be taken from the Top of the Roof Rib or be protected by an approved curing membrane.
 - Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1996.

- TIMBER NOTES**
- All work including bracing, wind bracing & tie down shall be carried out in accordance with AS 3660.1, AS 1684.2, AS 1720.1 and the specification.
 - Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
 - All timber shall be free of Gum veins, pockets, knots holes or splits within 25mm of any connection.
 - Refer to specification for preservatives and finishes to timbers.
 - All bolts, nuts, washers and timber connectors shall be hot dip galvanized unless noted otherwise.
 - All F7 timber shown are nominal sizes only.

- STEELWORK NOTES**
- Fabricate and erect all structural steelwork in accordance with AS 3660.1, AS 4100, AS 1554 and the Specification.
 - Do not obtain dimensions by scaling the structural elements.
 - Clip all welds free of slag.
 - All steelwork to be Hot Dipped Galvanized Unless Otherwise Noted.
 - Unless otherwise noted use:
a) 6mm continuous fillet weld
b) 10mm thick gusset, fin and end plates, weld all round
c) 16mm dia. 4.6/5 bolts
 - Minimum end bearing 150mm.

Element	Cover (mm)	FC at 28 days
	Protected Exposed	Protected Exposed
Piers		
Footings		25 MPa
Block Filling		25 MPa
Slab on Ground		32 MPa
- Top	30	45
- Bottom	50	50
Beams		
Columns		
Slabs		
Walls		

The minimum clear cover is to reinforcement bars and stirrups.

COUNCIL COPY

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.M.Eng.Sc.
...F.I.E.Aust.Nper3.Struct.Civil.No.149788....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, A.S.1170.1, A.S.1170.2, A.S.1684.1, A.S.2870.1, A.S.3600.1, A.S.3700, A.S.4100 & A.S. 1163
Jack D. Hodgson 1/10/05
Name Date Signature

No. Amendment Drawn Date

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

GARAGE FOOTING PLAN, SLAB PLAN, GROUND FLOOR LINTEL PLAN, FIRST FLOOR MARKING PLAN & ROOF MARKING PLAN

**PROPOSED ALTERATIONS & ADDITIONS
6 MONTEREY ROAD
BILGOLA PLATEAU
RYAN RESIDENCE**

Use drawings are based on the information provided by:-
An (as on plan) No Business name provided
Drawing No. A-018 Date: Nov 2003
Amendments: 1 by ME Date: Jan 2005

The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work NOT in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.

Consulting Civil, Geotechnical, and Structural Engineers.
67 Darcy Street, MONA VALE 2103, P.O. Box 380, Post Code 1660.
Telephone (02) 9979 6733 Facsimile (02) 9979 6926 A.C.N. 051 401 011

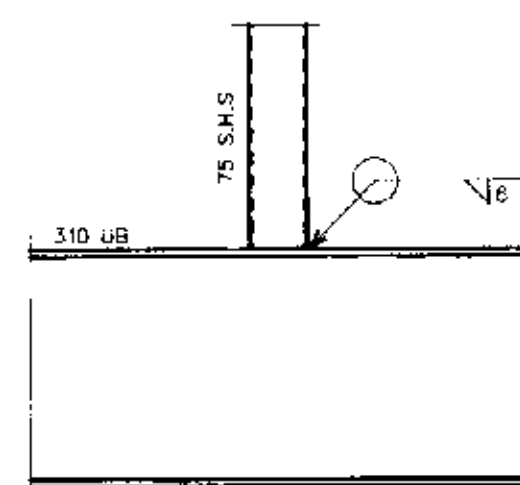
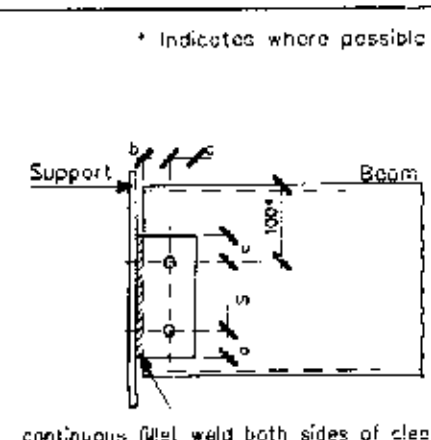
Designer CW Drawn ARC Job No. Drawing No.

Design Check SG Drawn Check

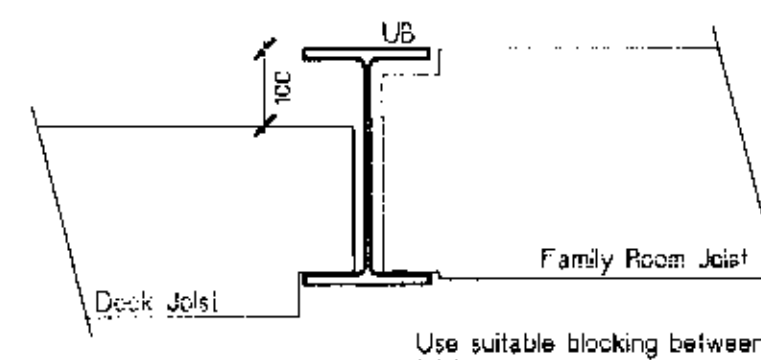
Date 03 AUGUST 2005

22850-S1

WEB SIDE PLATE CONNECTION TABLE											
Beam Size	Depth (mm)	Width (mm)	Thickness (mm)	a	b	c	S	No. of Bolts	Bolt Size	Hole Dia. (mm)	Weld Size
150 UB	120	75	6	25	30	30	70	2	M20	22	8
180 UB	130	75	6	30	30	30	70	2	M20	22	8
200 UB	130	75	6	30	30	30	70	2	M20	22	8
250 UB	140	90	8	35	35	35	70	2	M20	22	8
310 UB	210	90	8	35	35	35	70	3	M21	22	8
360 UB	210	90	8	35	35	35	70	3	M20	22	8
410 UB	250	90	8	35	35	35	90	3	M20	22	8
460 UB	250	90	8	35	35	35	90	3	M20	22	8
150 UC	120	75	6	25	30	30	70	2	M16	18	6
200 UC	140	90	8	35	35	35	70	2	M20	22	8
250 UC	140	90	8	35	35	35	70	2	M20	22	8
150 PFC	130	75	6	30	30	30	70	2	M16	18	6
180 PFC	130	75	6	30	30	30	70	2	M16	18	6
200 PFC	150	75	6	30	30	30	90	2	M16	18	6
210 PFC	160	90	8	35	35	35	90	2	M20	22	8
250 PFC	160	90	8	35	35	35	90	2	M20	22	8
300 PFC	210	90	8	35	35	35	70	3	M20	22	8



POST CONNECTION DETAIL - P1
Scale 1:10

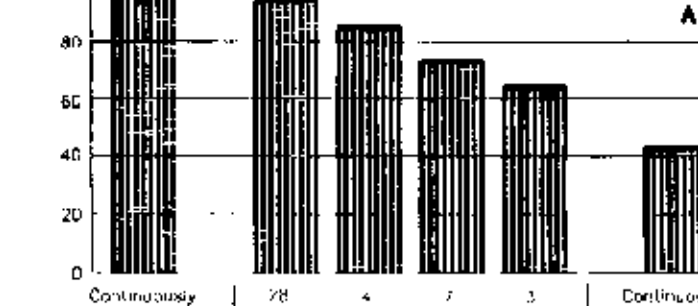


SECTION 3
Scale 1:10

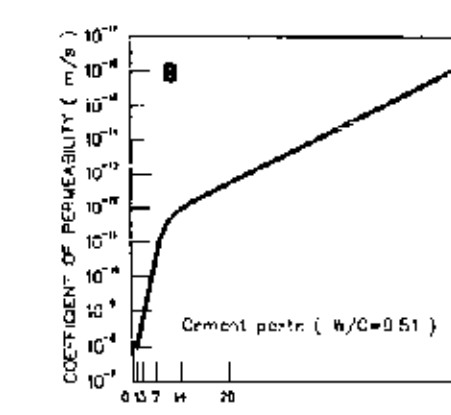
WARNING
The stamping of this plan by Insight Building Centres Pty Ltd does not relieve:
• The applicant's responsibility to obtain approval from Sydney Water or other utilities.
• The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
• The Applicant, Structural Engineer or other professional or their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.

IMPORTANCE OF CURING CONCRETE

COMPRESSIVE STRENGTH AT 180 DAYS AS % OF CONTINUOUSLY MOIST CURED SAMPLE

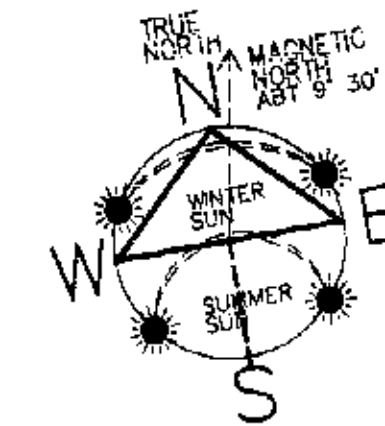
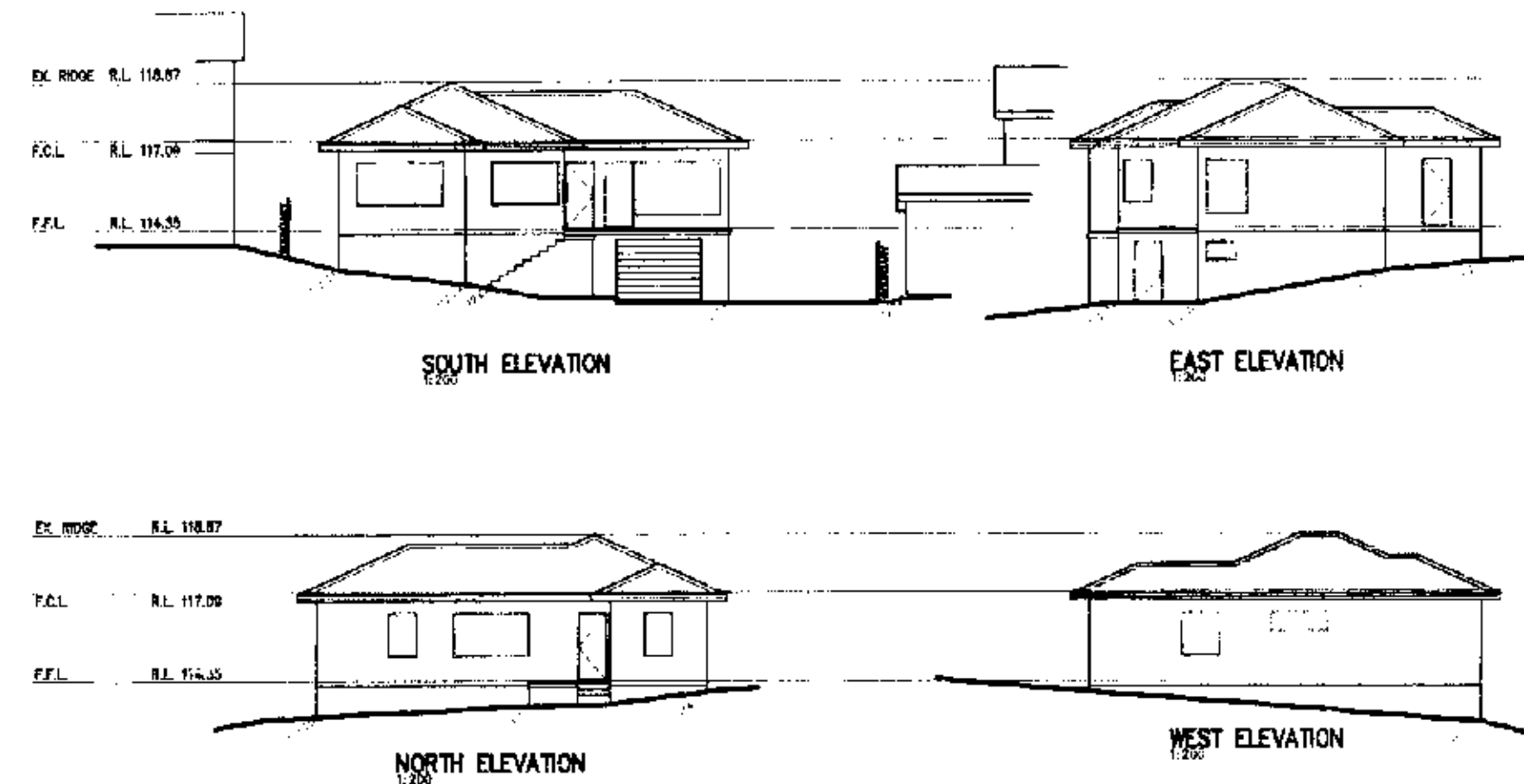


Effect of curing duration on : (A) compressive strength; and (B) concrete permeability
Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/1988:1996)



SURVEY INFORMATION PROVIDED BY:-
C.M.S. SURVEYORS PTY. LTD.
P.O. BOX 463
DIEBOLD, N.S.W. 2099
TEL. 9971-4802 FAX. 9971-4822
REF. 372

EXISTING ELEVATIONS



WARNING
The stamping of this plan by Insight Building Certifiers Pty Ltd does not remove:
• The applicant's responsibility to obtain approval from Sydney Water or other utilities.
• The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
• The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.

Insight building certifiers pty ltd
CONSENT NO. 887/03 DATE 7 July 2005
CONSTRUCTION CERT. NO. 288/05
**CONSTRUCTION
CERTIFICATE PLANS**
S. Finn Accreditation No. 01040

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB. ANY DISCREPANCIES MUST BE RESOLVED PRIOR TO COMMENCEMENT OF WORK.
2. ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT SAA BUILDING CODES AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
4. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE THE LOCATION OF ANY SEWER MAINS OR EASEMENTS OR ANY OTHER CONDITIONS WHICH WILL AFFECT THE BUILDING DESIGN.
5. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
6. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE 'NATIONAL TIMBER FRAMING CODE A.S.1684'.
7. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
8. FINAL POSITION OF ALL DOWNPIPES TO BE DECIDED BY ROOF PLUMBER.
9. ANY STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A STRUCTURAL ENGINEER.
10. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
11. ALL ELECTRICAL, POWER & LIGHT OUTLETS AS DETERMINED BY OWNER.
12. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
13. ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

7/8/2005	ISSUE TO CLIENT FOR C.C.
MARK	DATE
AMENDMENT	

AH Design

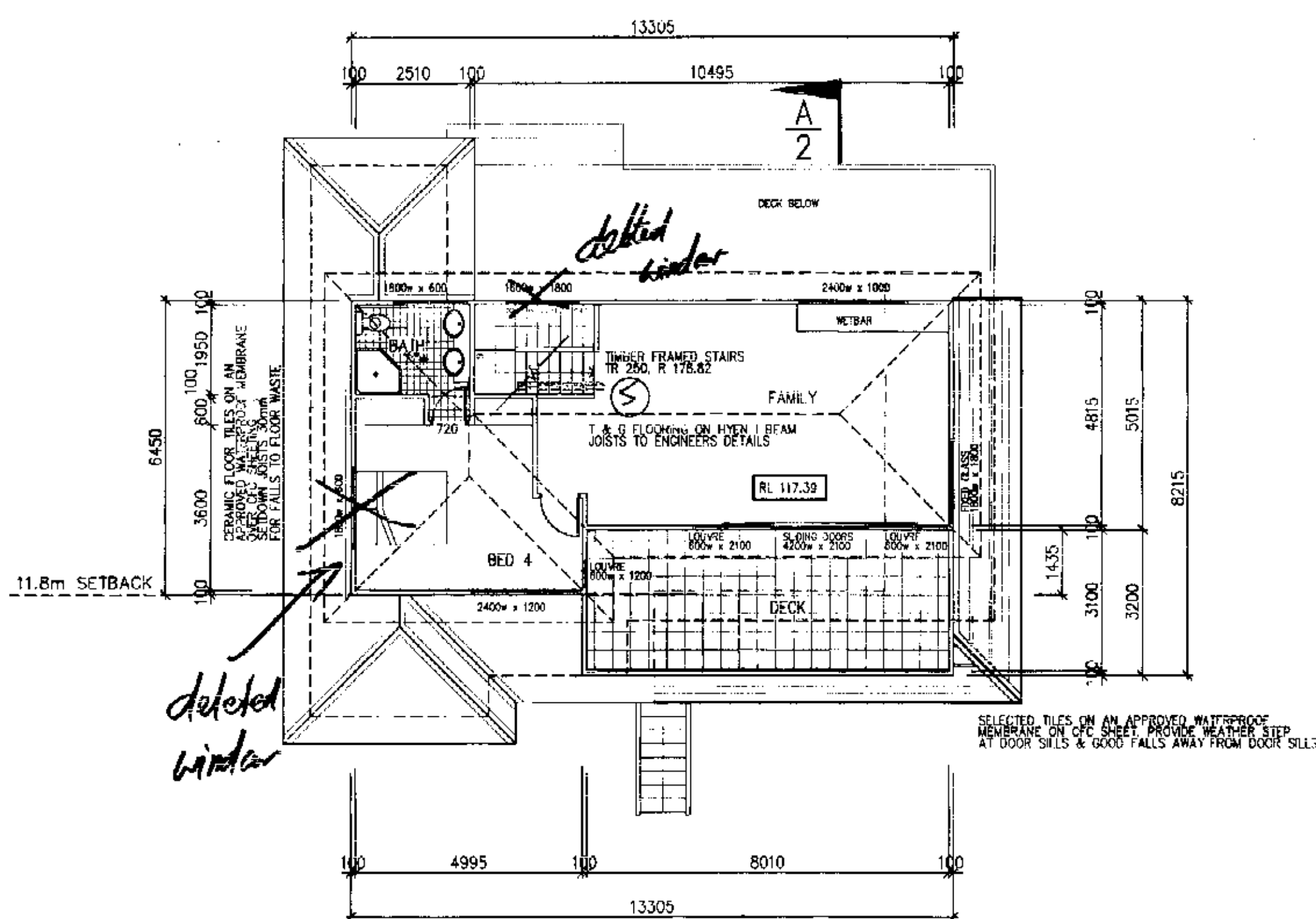
A.B.N. 28 863 393 321
22 WANDEEN ROAD
CLAREVILLE NSW 2107
PHONE 9978-5790

PROJECT
PROPOSED ALTERATIONS AND ADDITIONS AT
6 MONTEREY ROAD, BILGOLA PLATEAU 2107
MR. E. RYAN

THIS DRAWING
**WORKING DRAWINGS -
PROPOSED GROUND- & FIRST
FLOOR PLANS, EX. ELEVATIONS**

SCALE 1:100/1:200	DATE AUG. 2005	SHEET No. 1 OF 2
DRAWN A.H.	CHECKED	PROJECT No. AMENDMENT

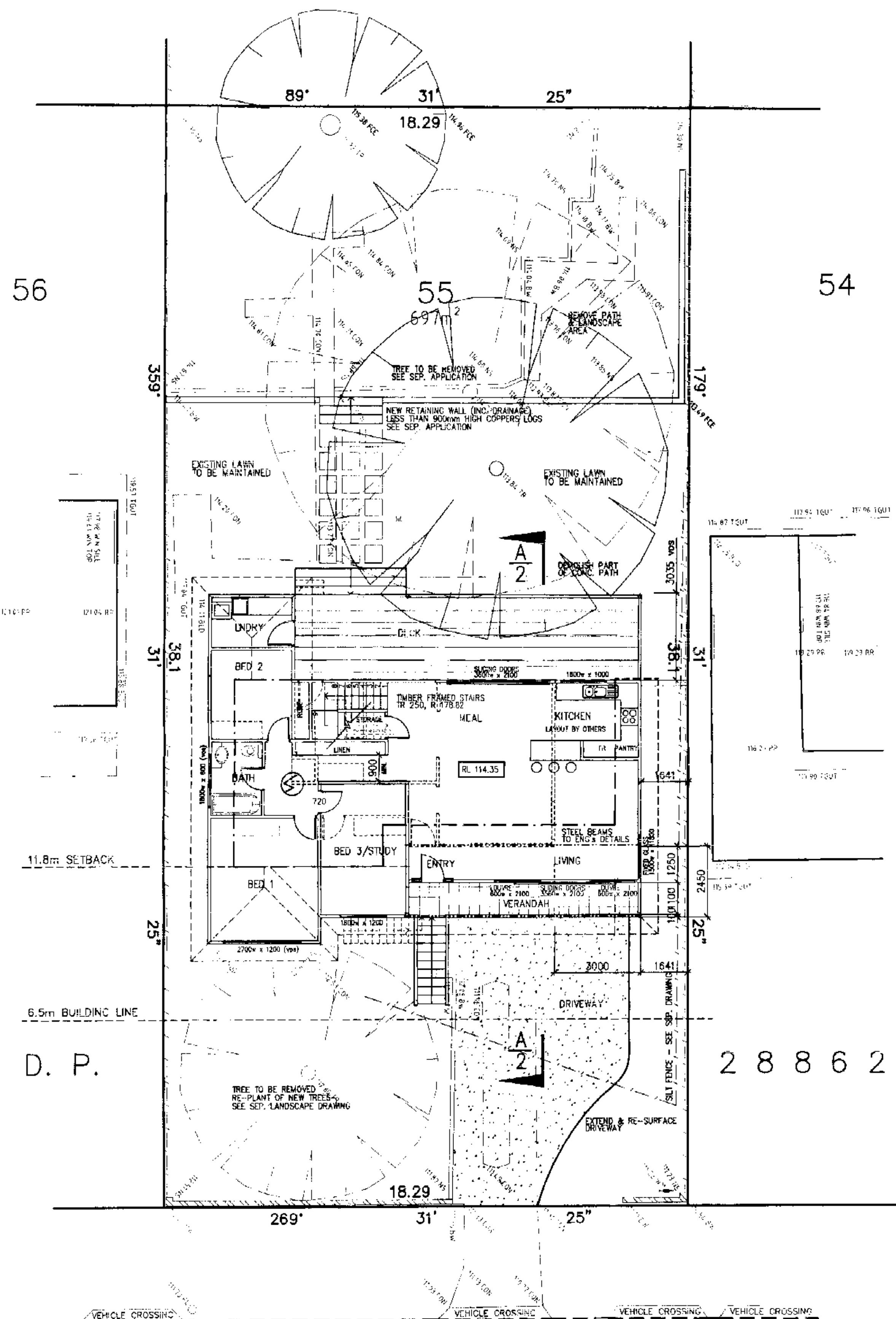
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COPY**



FIRST FLOOR PLAN
1:100

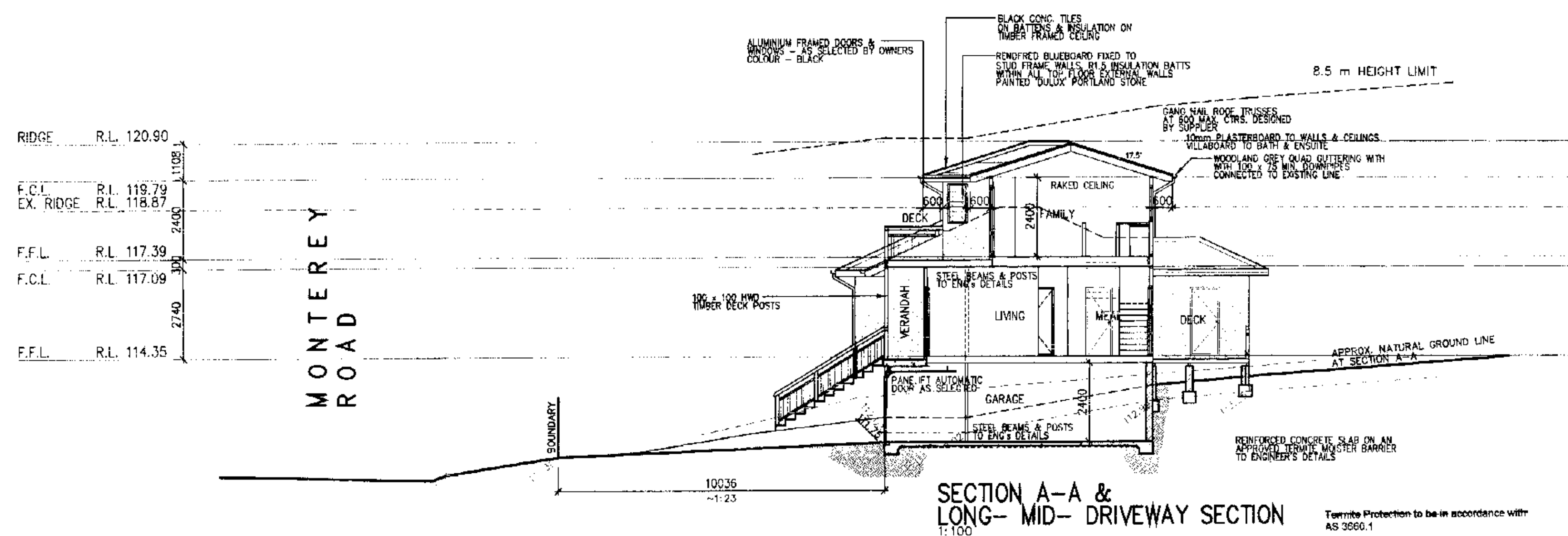
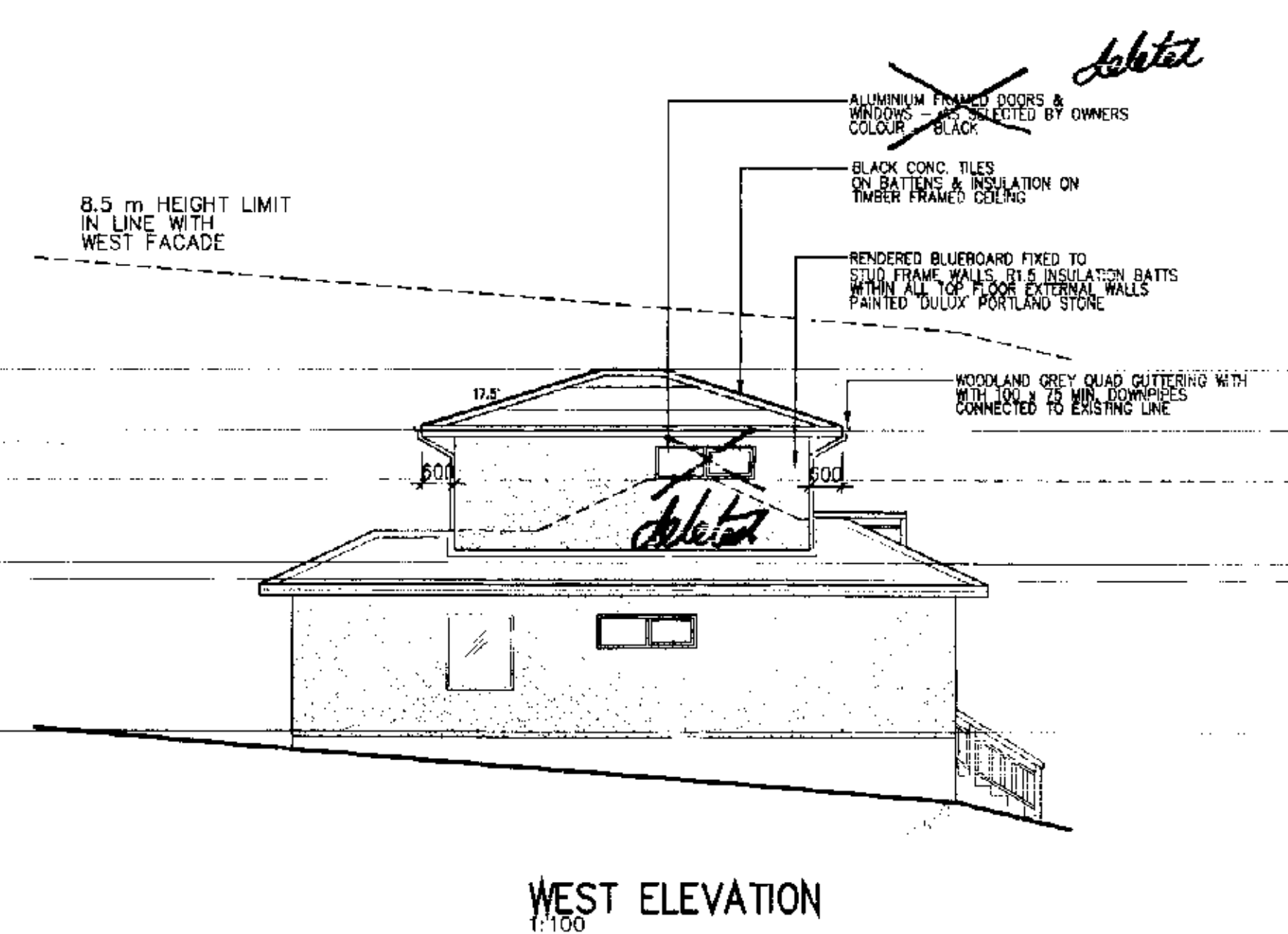
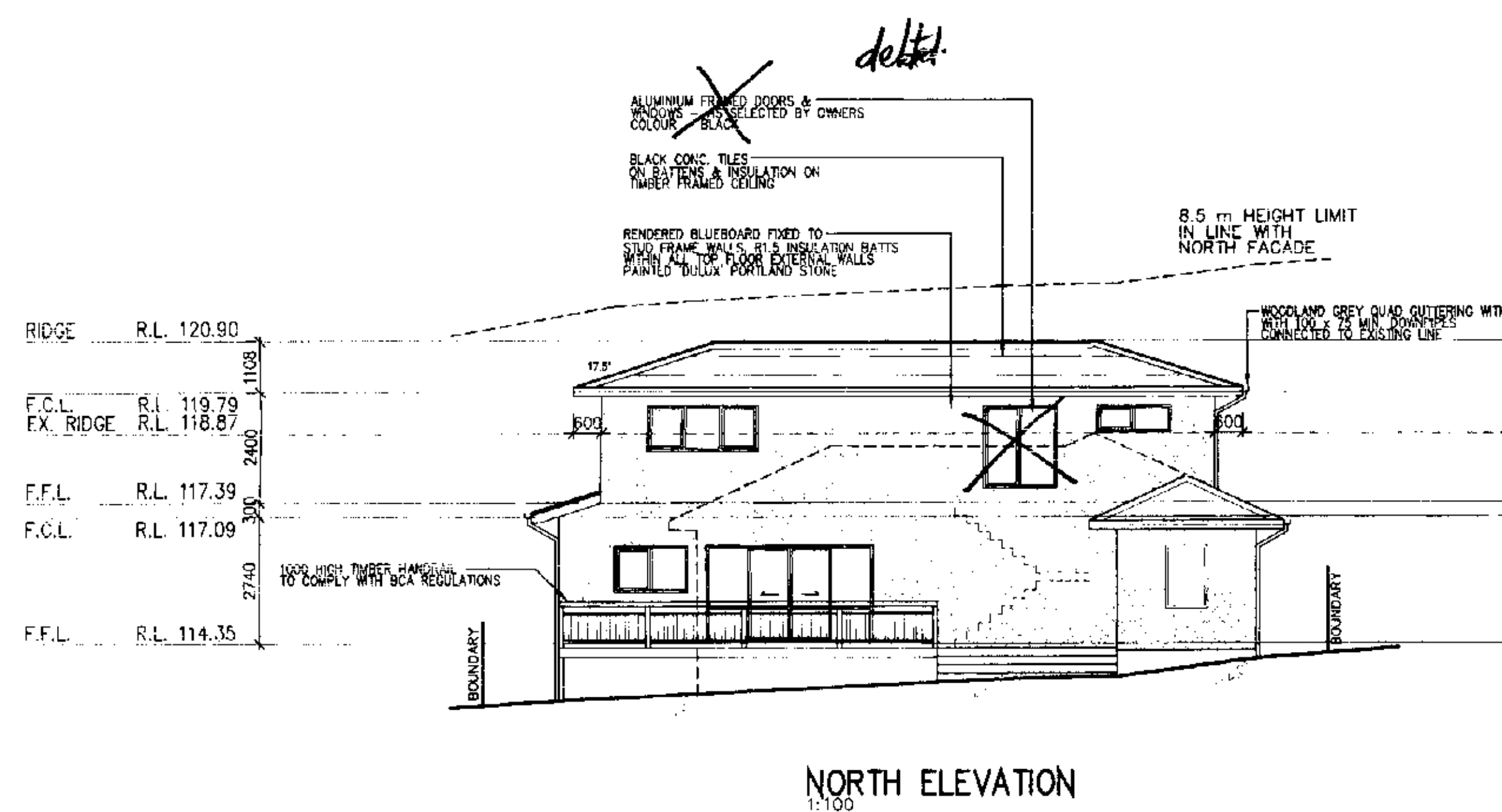
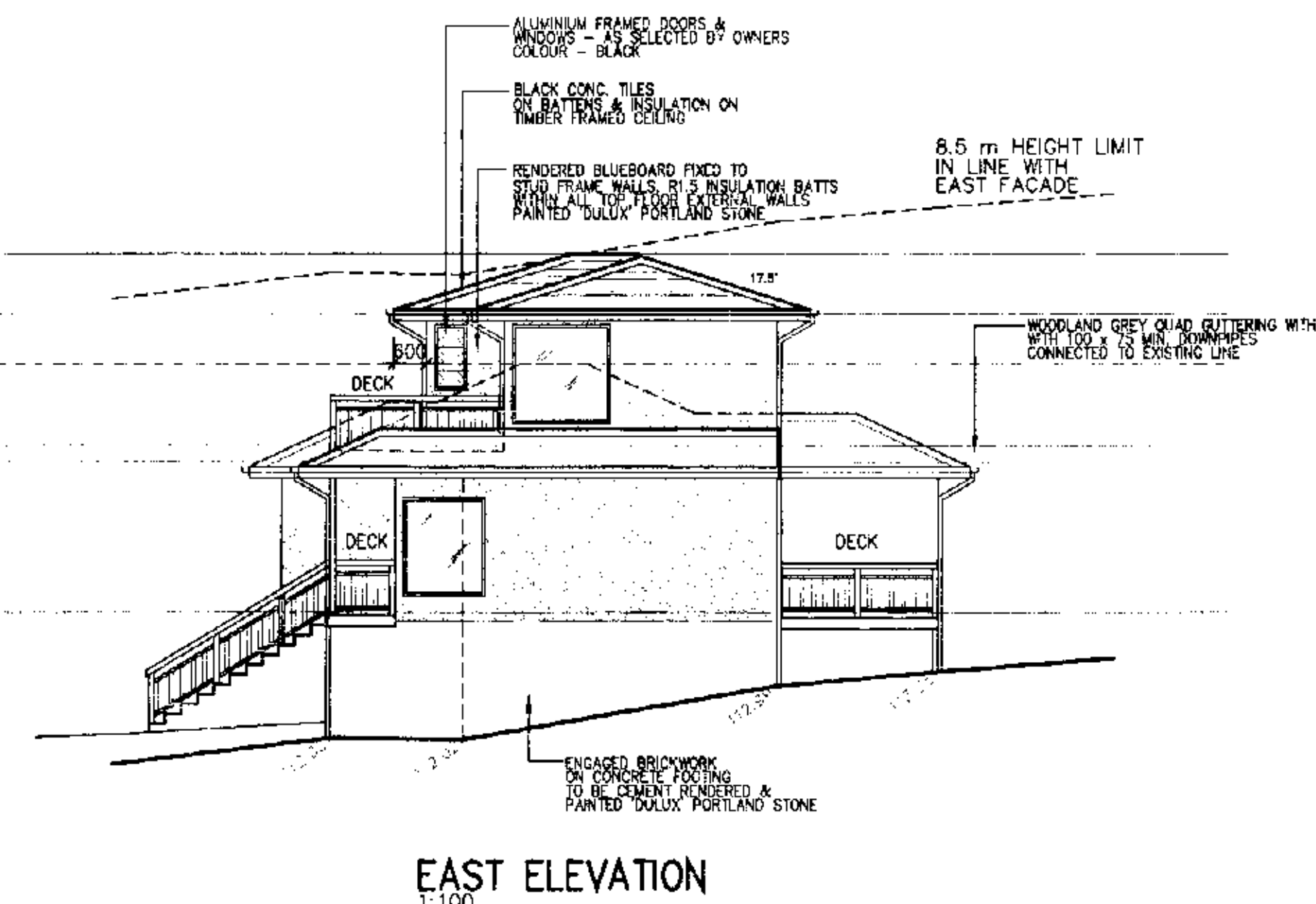
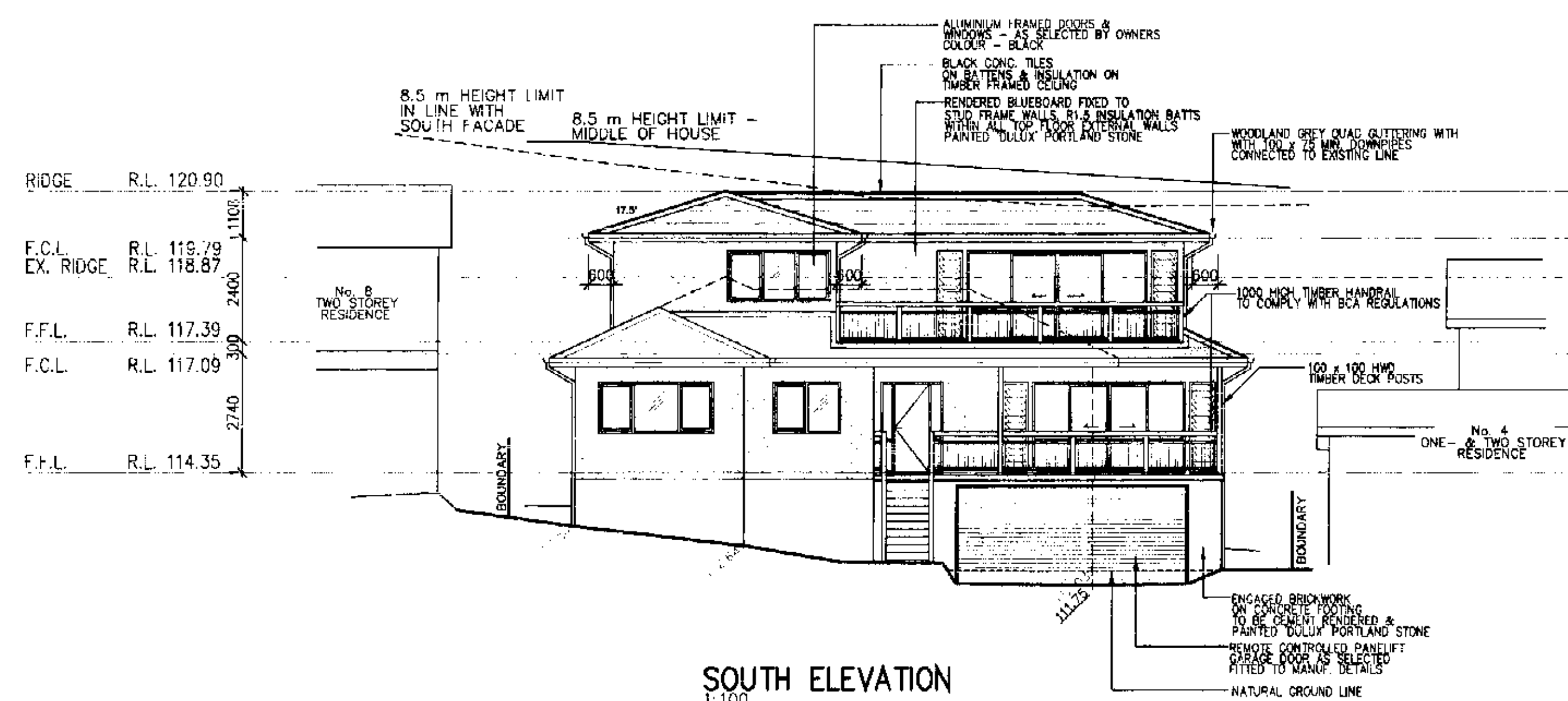
⑤ Smoke Alarms

2000 1000 0
MILLIMETRES
2000 4000 6000 8000
1500 500
SCALE 1:100

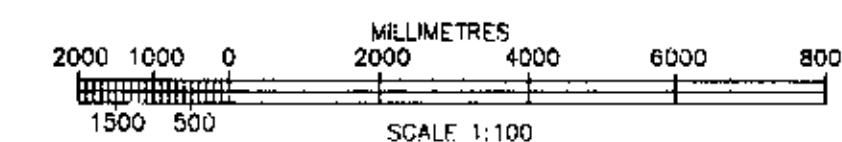


GROUND FLOOR PLAN
1:100

MONTEREY ROAD



STANDARD DOMESTIC DRIVEWAY PROFILE
DESIGNED TO NORMAL TO HIGH
ALL CONSTRUCTION WITHIN THE ROAD RESERVE TO BE IN PLAIN UNCOLOURED
CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 20 MPa.
MINIMUM THICKNESS OF CONCRETE TO BE 130mm.
THE VEHICLE CROSSING AND THE DRIVEWAY TO 2400 BEHIND THE KERBLINE IS
TO BE GRADED PARALLEL WITH THE ROAD CENTRE LINE GRADING.
AT LEAST 24 HOURS NOTICE OF INTENTION TO PLACE CONCRETE WITHIN THE
ROAD RESERVE SHALL BE GIVEN TO COUNCIL AND NO CONCRETE SHALL BE
PLACED UNTIL THE FORMWORK HAS BEEN APPROVED.



-	7/8/2005	ISSUE TO CLIENT FOR C.C.
MARK	DATE	AMENDMENT
AH Design		
A.B.N. 28 863 393 321 22 WANDEN ROAD CLAREVILLE NSW 2107 PHONE 9918-5790		
PROJECT PROPOSED ALTERATIONS AND ADDITIONS AT 6 MONTEREY ROAD, BILGOLA PLATEAU 2107 MR. E. RYAN		
THIS DRAWING WORKING DRAWINGS — PROPOSED ELEVATIONS, SECTION		
SCALE 1:100/1:200	DATE AUG. 2005	SHEET No. 2 OF 2
DRAWN A.H.	CHECKED	PROJECT No. CC-018
		AMENDMENT