

DEVELOPMENT APPLICATION
62 Birkley Road, MANLY
APRIL 2021
CONTENTS



DRAWING NUMBER	DRAWING NAME	ISSUE DATE
DA01	CONTENTS PAGE	02/04/2021
DA02	CONTEXT PLAN	02/04/2021
DA03	EXISTING SITE/ROOF PLAN	02/04/2021
DA04	PROPOSED ROOF PLAN	02/04/2021
DA05	PROPOSED FLOOR PLAN	02/04/2021
DA06	PROPOSED ELEVATIONS	02/04/2021
DA07	PROPOSED ELEVATIONS	02/04/2021
DA08	PROPOSED SECTIONS	02/04/2021
DA09	SHADOW DIAGRAMS	02/04/2021
DA10	SHADOW ELEVATIONS	02/04/2021
DA11	SITE CALCULATIONS	02/04/2021
DA12	COLOURS AND FINISHES	02/04/2021
DA13	WINDOW SCHDEULE / BASIX	07/04/2021
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EX01	EXISTING FLOOR PLANS	02/04/2021
EX02	EXISTING ELEVATIONS	02/04/2021
EX03	EXISTING ELEVATIONS	02/04/2021
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NP01	NOTIFICATION PLAN	02/04/2021
NP02	NOTIFICATION PLAN	02/04/2021

D	2/4/21	DEVELOPMENT APPLICATION
C	11/2/21	DRAFT DEVELOPMENT APPLICATION
B	19/11/20	ISSUE FOR PRE-LODGEEMENT MEETING
A	11/10/20	PRE-DA TO CONSULTANTS

ISSUE	DATE	REVISION	PROJECT #
PROJECT	62 BIRKELY ROAD, MANLY		2002
CLIENT	ANDREA AND ROLF HORVATH		DWG #
DWG	CONTENTS PAGE	REVISION	D

62 Birkley Road, Manly

Project Summary - Alterations and Attic additions

Address: 62 BIRKLEY ROAD 2095
Council: Northern Beaches Council
Title: Lot 15 DP 667425
Lot Size: 341.81m²

MANLY LEP PLANNING CONTROLS

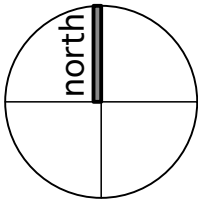
Zoning: R1 General residential
Floor Space Ratio: 0.6:1
Max height of building: 8.5m
Min Lot size: 250m²
Acid Sulfate Levels: Class 5

MANLY DCP planning controls

Wall height: 6.5m
Residential Density: Area D3 - 250 sqm of site area required per dwelling
Roof height: Pitched roof structures must be no higher than 2.5m above the actual wall height @ max 35 degrees pitch
Front Setback: Must relate to the front building line of neighbouring properties and the prevailing building lines in the immediate vicinity. Where building lines are neither consistent nor established, a minimum 6m.
Side Setback: Setbacks between any part of a building and the side boundary must not be less than one third of the height of the adjacent external wall of the proposed building.
Variations to Side setbacks: Council may consider an exception to the side setback control to enable windows at 90 degrees to the boundary to provide some flexibility in the siting and design of building.
Walls located within 0.9m of any one of the side boundaries may be considered but must:

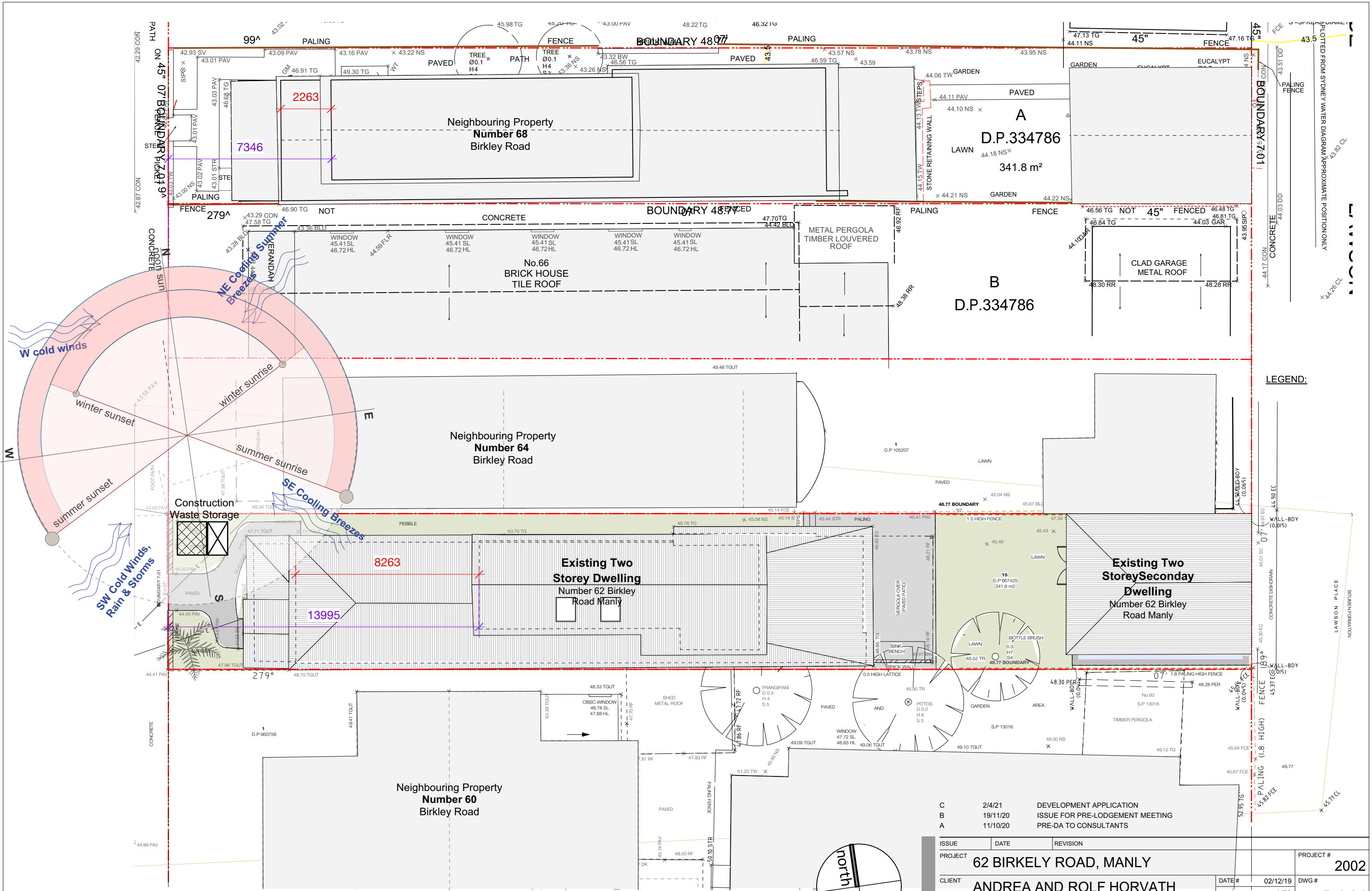
- Contain no windows
- Be constructed to one side boundary only
- Limit height to 3m
- Limit length to 35 percent of the adjoining site boundary

Rear Setback: 8m - Rear setbacks must relate to the prevailing pattern of setbacks in the immediate vicinity to minimise overshadowing, visual privacy and view loss
Total Open Space: At least 55% of the site area
Landscape Area: At least 35% of open space
Above Ground Open Space: Max 25% of total open space
Private Open Space : 18m²

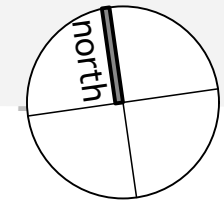


C	2/4/21	DEVELOPMENT APPLICATION
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ISSUE	DATE	REVISION	PROJECT #
PROJECT	62 BIRKELY ROAD, MANLY		2002
CLIENT	ANDREA AND ROLF HORVATH	DATE # 02/12/19 SCALE @ A3 NTS	DWG # DA02
DWG	CONTEXT PLAN	DRAWN AC CHKD AC	REVISION C

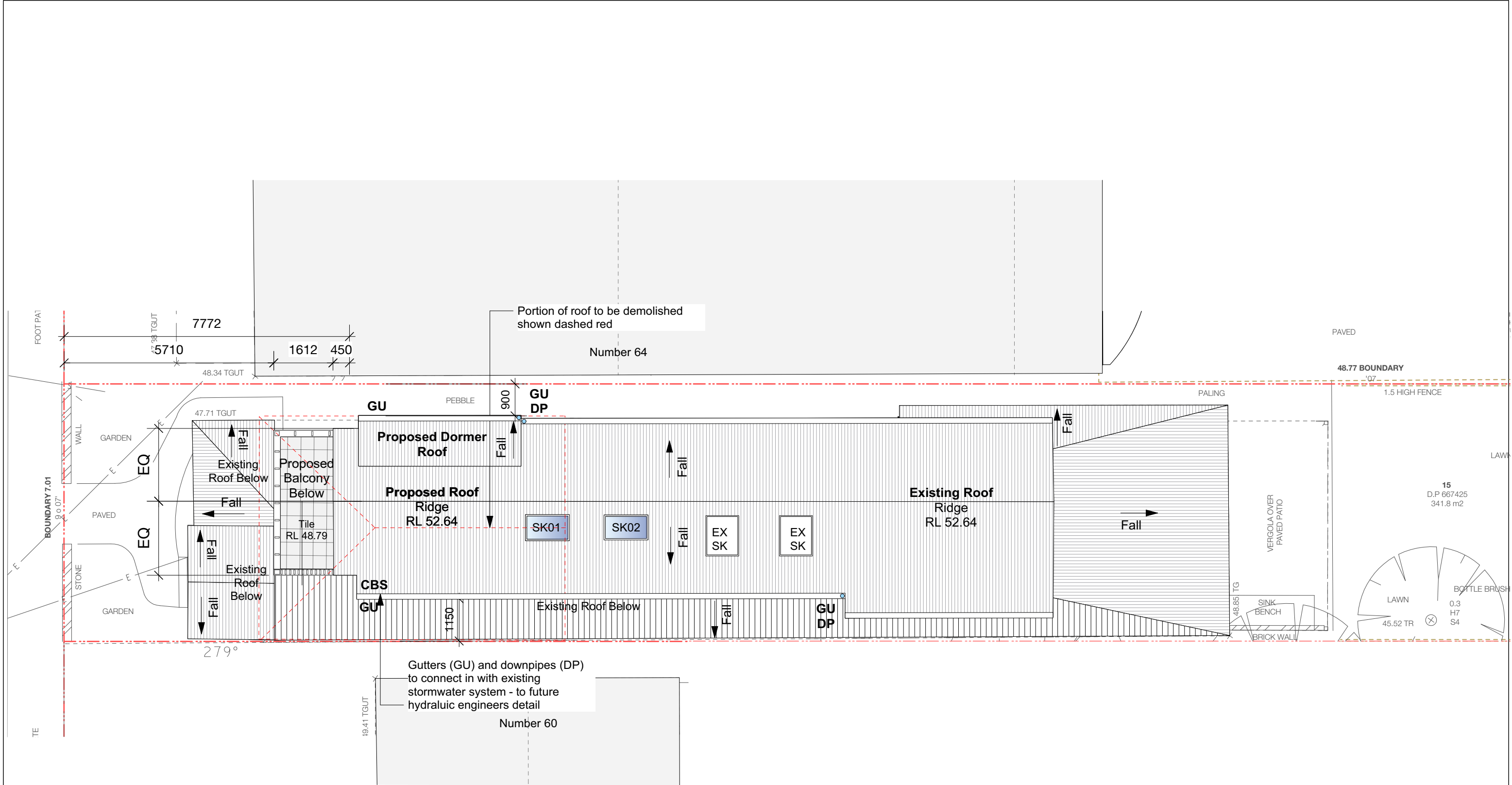


01 Existing roof & Site analysis plan
Scale: 1:150

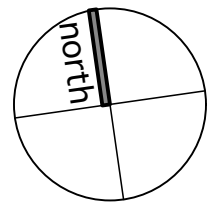


C	2/4/21	DEVELOPMENT APPLICATION
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ISSUE	DATE	REVISION
PROJECT	62 BIRKELY ROAD, MANLY	
CLIENT	ANDREA AND ROLF HORVATH	
DWG	EXTSTING SITE PLAN	
PROJECT #	2002	
DATE #	02/12/19	DWG #
SCALE @ A3	NTS	DA03
DRAWN	AC	
CHKD	AC	REVISION
		C

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01 Proposed Roof Plan
Scale: 1:100

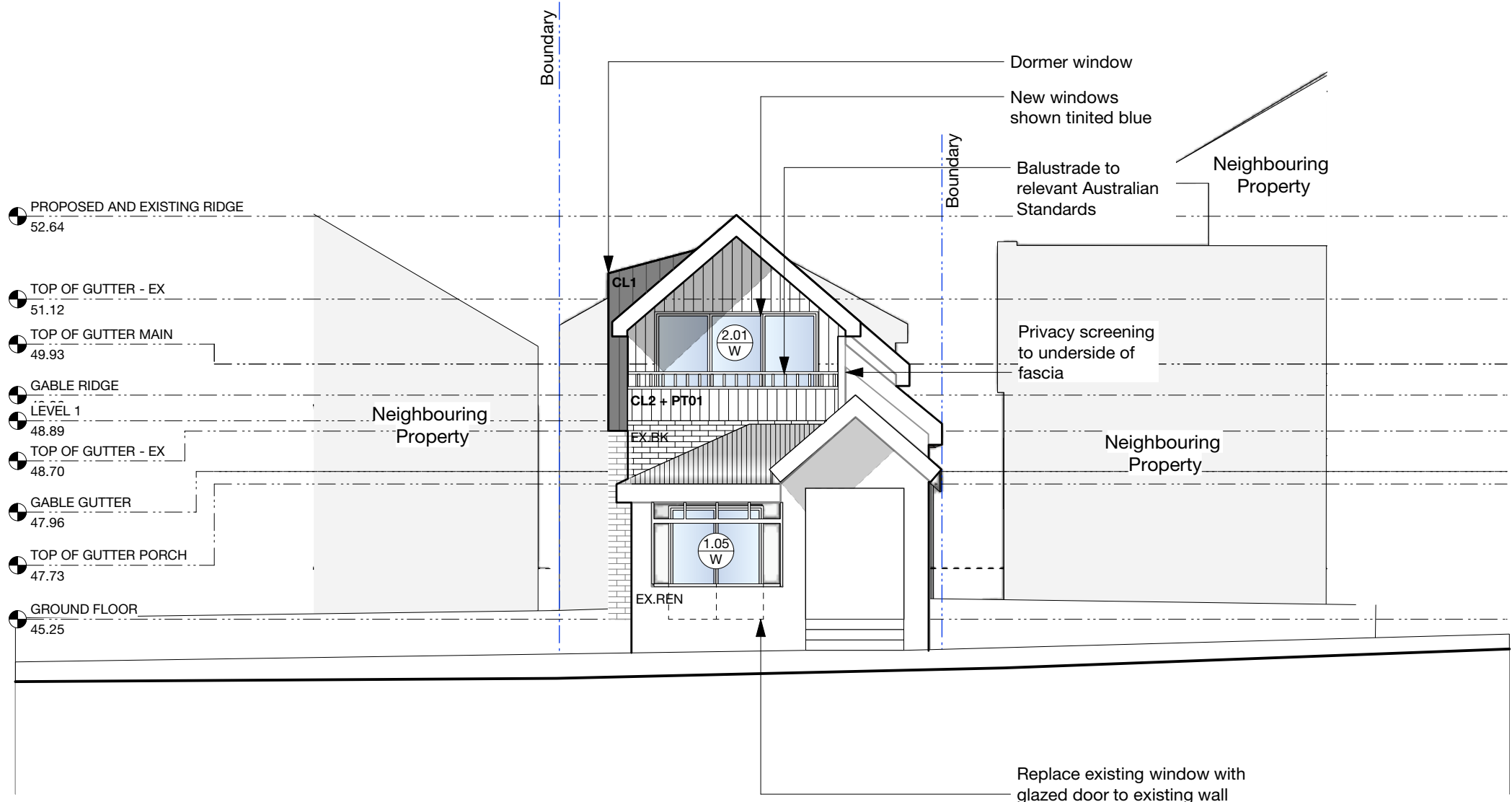


D	2/4/21	DEVELOPMENT APPLICATION
C	8/1/21	ISSUE FOR CLIENT REVIEW
B	19/11/20	ISSUE FOR PRE-LODGEEMENT MEETING
A	11/10/20	PRE-DA TO CONSULTANTS

ISSUE	DATE	REVISION	PROJECT #
PROJECT	62 BIRKELY ROAD, MANLY		2002
CLIENT	ANDREA AND ROLF HORVATH		DWG #
DWG	PROPOSED ROOF PLAN		DA04
DATE #	02/12/19	SCALE @ A3 1:50 @ TS	REVISION
DRAWN	AC	CHKD	AC

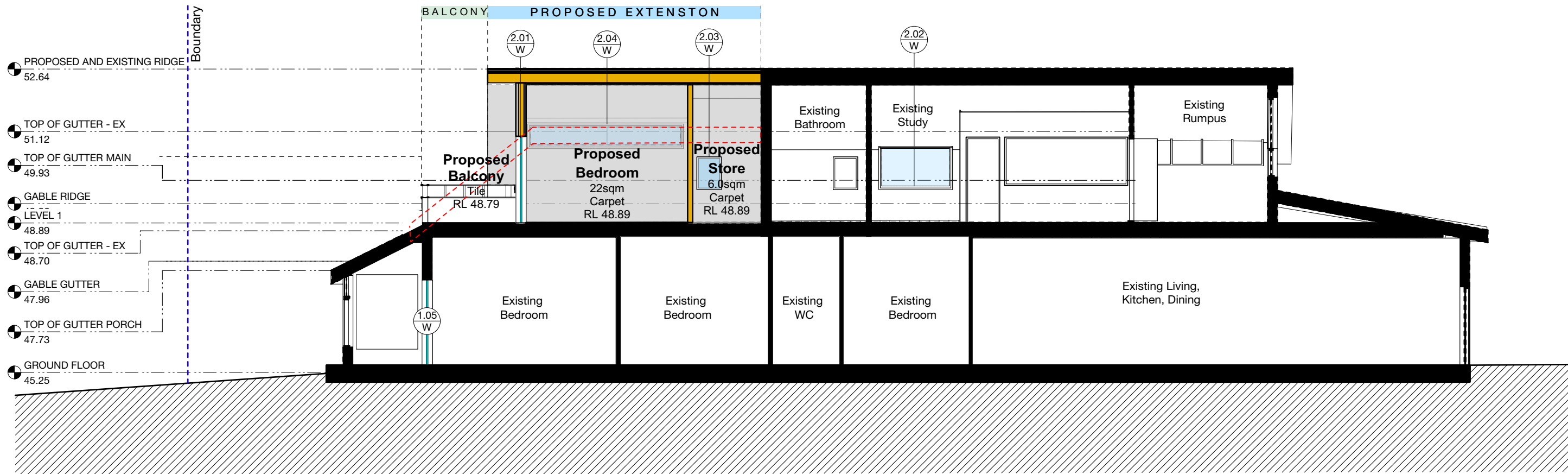
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CODE	MATERIAL
CL1	Weatherboard
CL2	Timber Batten
PT01	Dulux White
PT02	Charcol or Natural
BK	Brick
EX	Existing
REN	Render
CBS	Colorbond Sheeting
DP	Downpipe
GU	Gutter

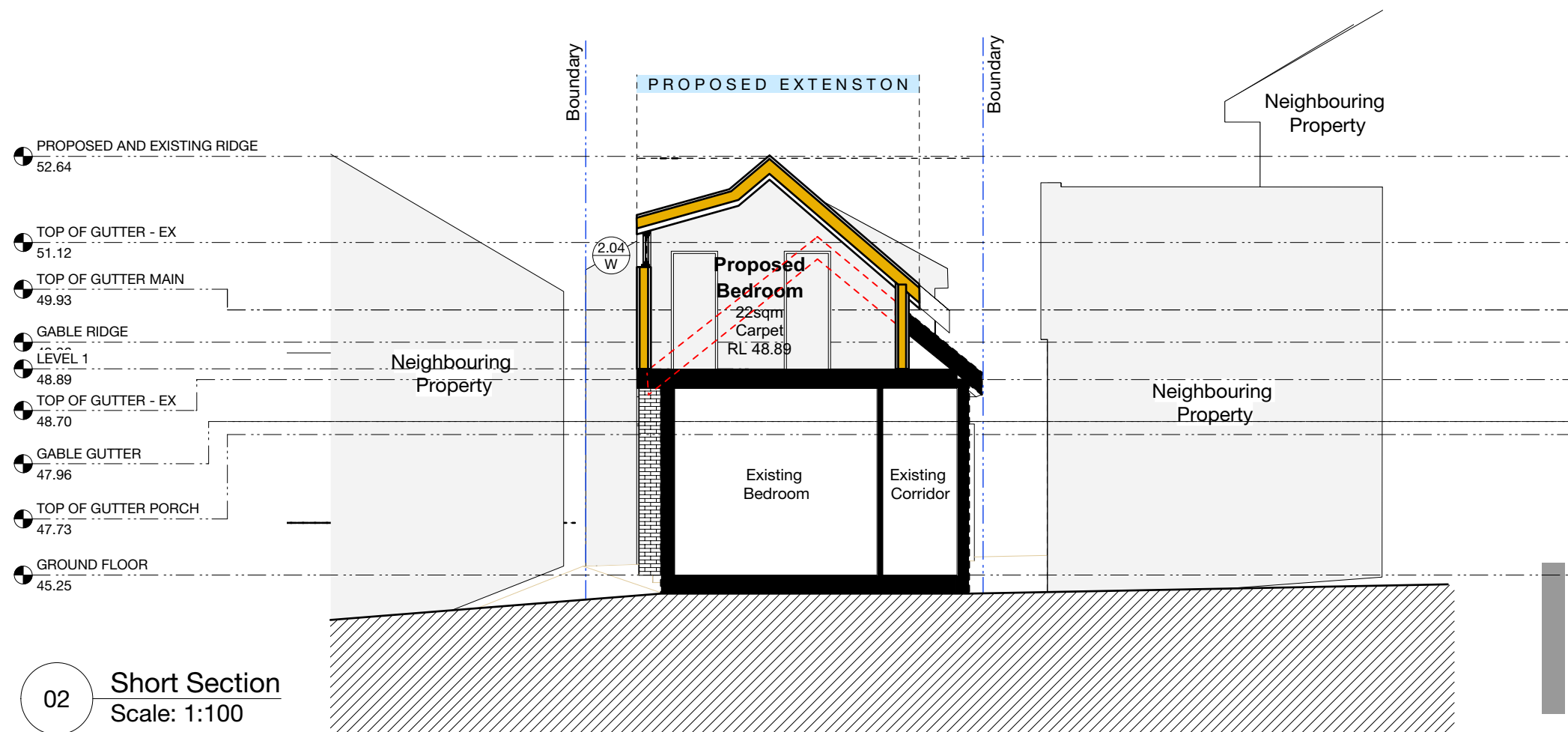


01 WESTERN ELEVATION
Scale: 1:100

C	2/4/21	DEVELOPMENT APPLICATION
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ISSUE	DATE	REVISION
PROJECT	62 BIRKELY ROAD, MANLY	
CLIENT	ANDREA AND ROLF HORVATH	
DWG	PROPOSED WEST ELEVATION	
DATE #	02/12/19	DWG #
SCALE @ A31:100 @ A3		DA06
DRAWN	AC	REVISION
CHKD	AC	C



01 Long Section
Scale: 1:100



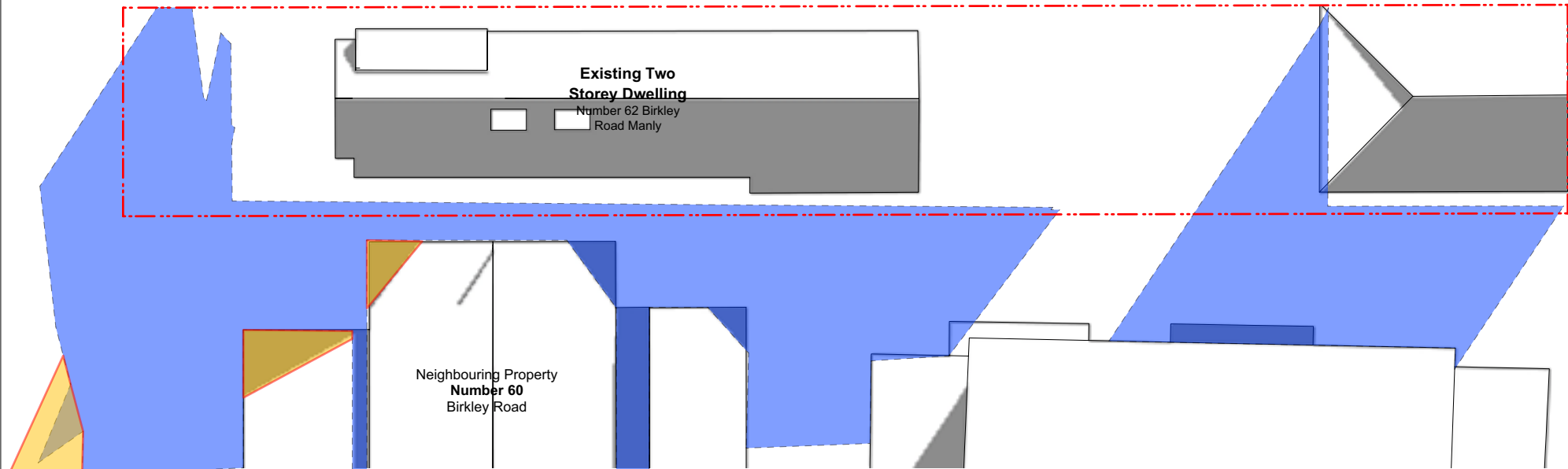
02 Short Section
Scale: 1:100

CODE	MATERIAL
CL1	Weatherboard
CL2	Timber Batten
PT01	Dulux White
PT02	Charcol or Natural
BK	Brick
EX	Existing
REN	Render
CBS	Colorbond Sheetting
DP	Downpipe
GU	Gutter

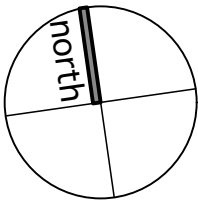
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PROJECT	62 BIRKELY ROAD, MANLY		2002
CLIENT	ANDREA AND ROLF HORVATH		DWG #
DWG	PROPOSED SECTIONS		DA08
CHKD	AC	REVISION	C

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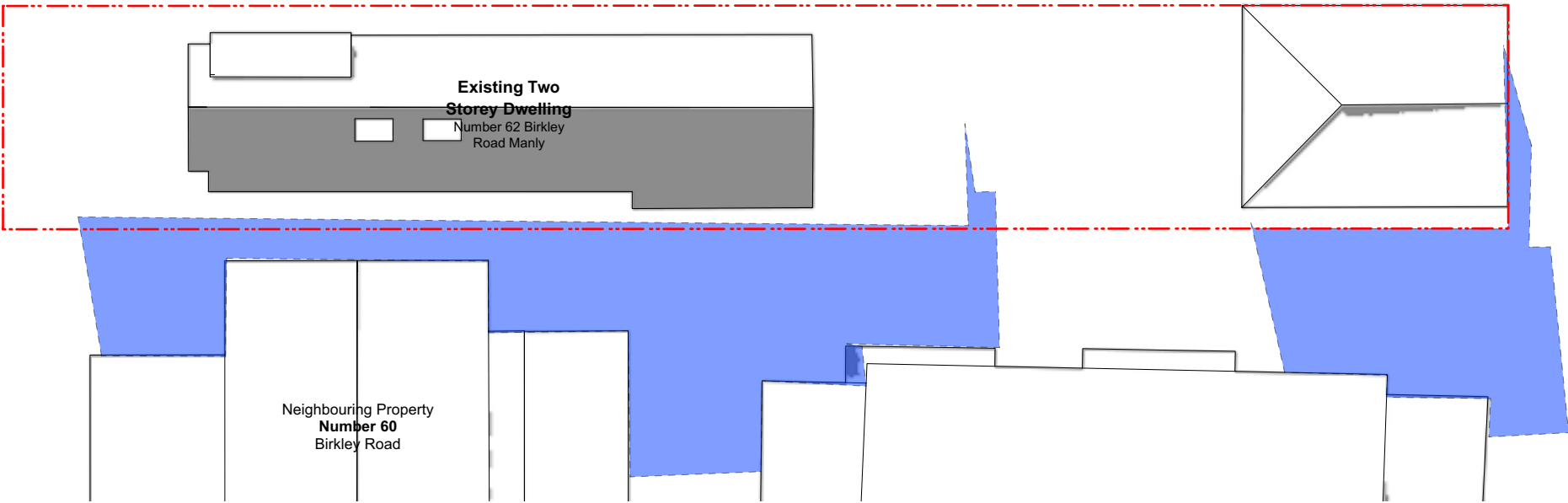
SHADOW DIAGRAMS 9AM JUNE 21ST



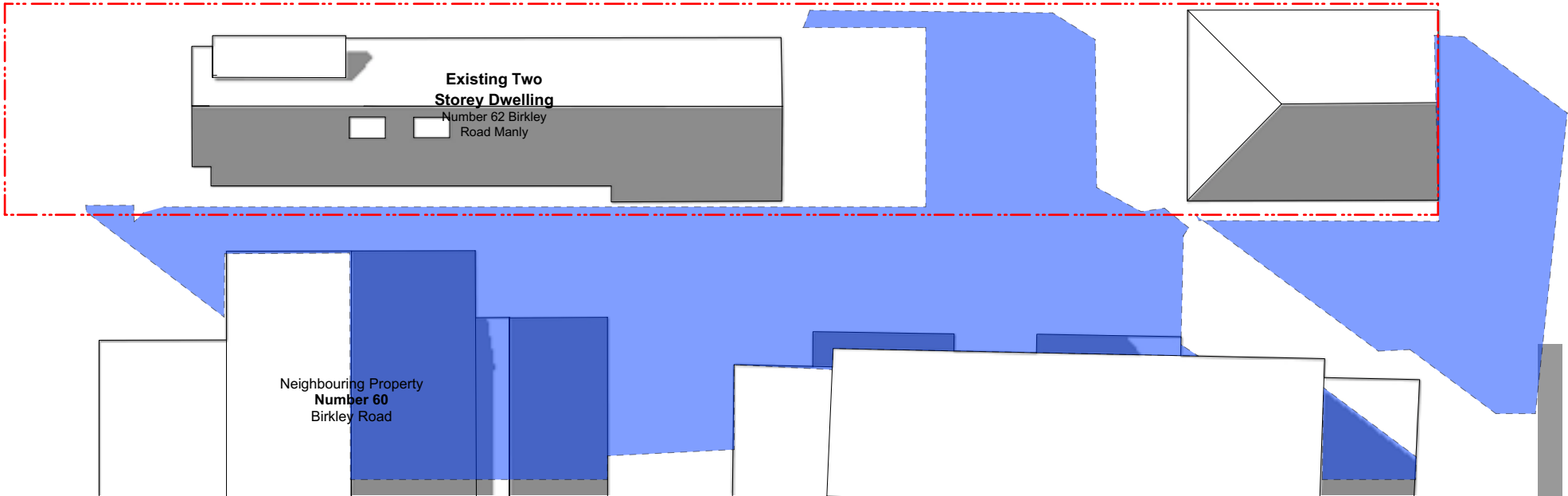
LEGEND

EXISTING SHADOW

ADDITIONAL SHADOW



SHADOW DIAGRAMS 12PM JUNE 21ST



SHADOW DIAGRAMS 3PM JUNE 21ST

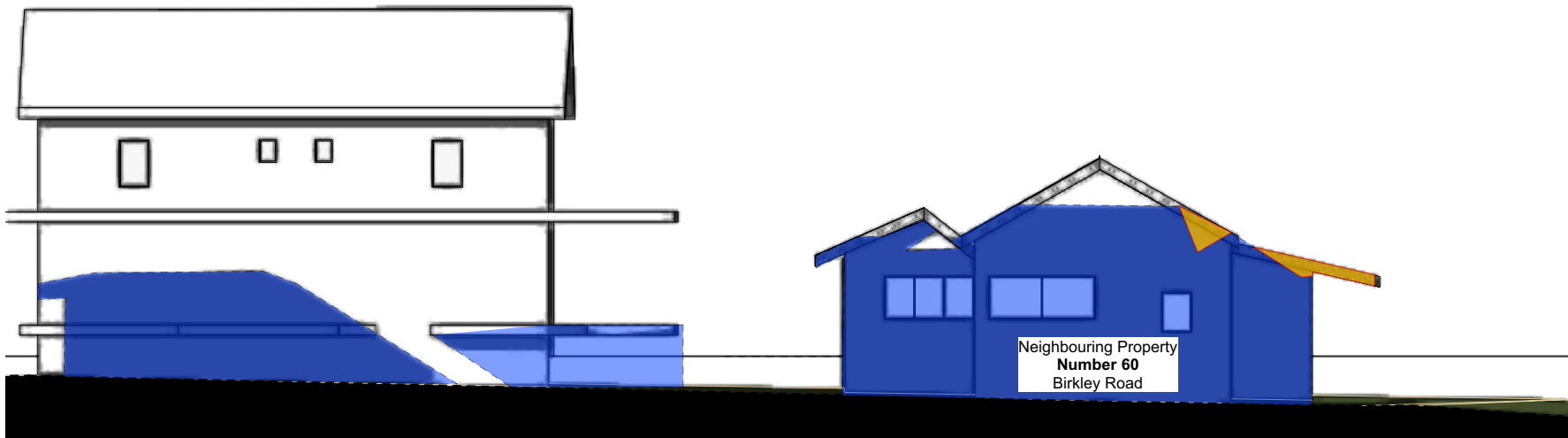
C	2/4/21	DEVELOPMENT APPLICATION
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ISSUE	DATE	REVISION	PROJECT #
PROJECT	62 BIRKELY ROAD, MANLY		2002
CLIENT	ANDREA AND ROLF HORVATH		DWG #
DWG	SHADOW DIAGRAMS		DA09
CHKD	AC	REVISION	C

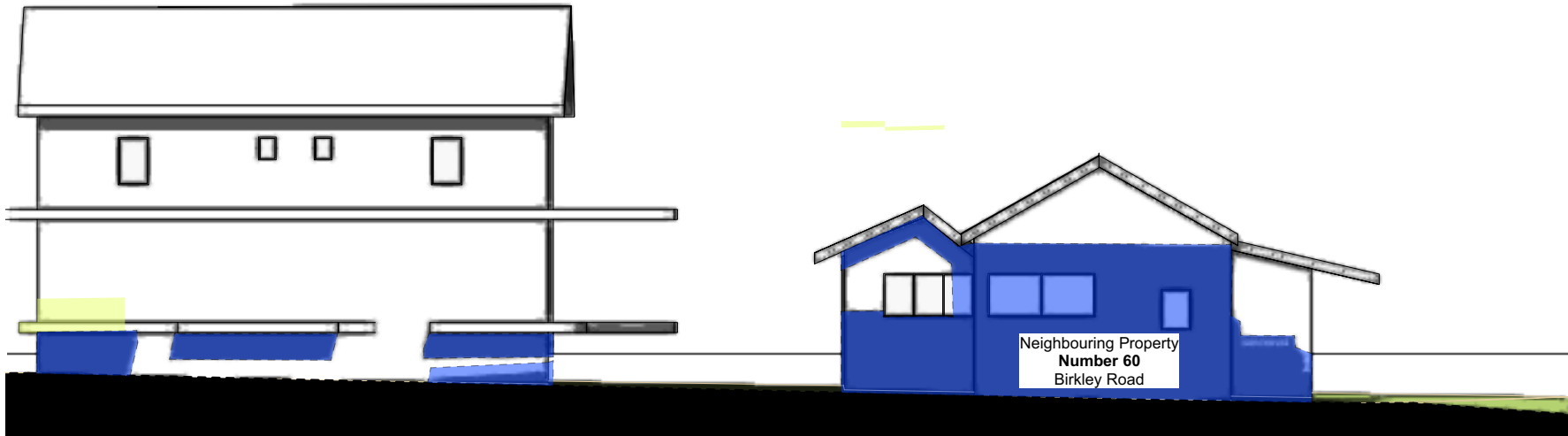
LEGEND

EXISTING SHADOW

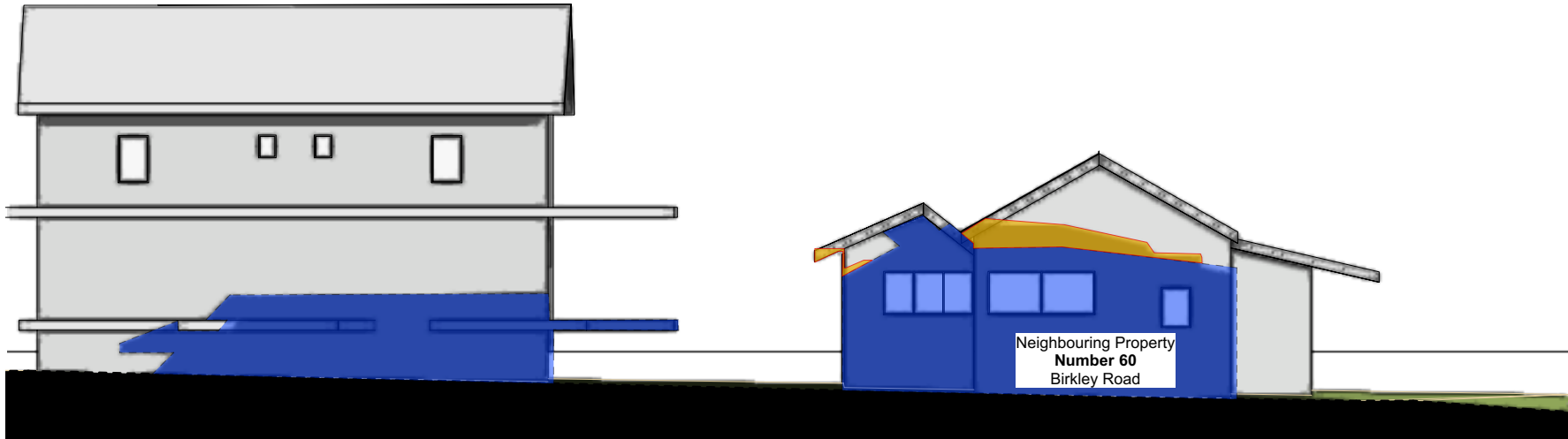
ADDITONAL SHADOW



01 SHADOW ELEVATION 9AM 21ST JUNE
Scale: 1:200



02 SHADOW ELEVATION 12PM 21ST JUNE
Scale: 1:200



03 SHADOW ELEVATION 3PM JUNE
Scale: 1:200

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ISSUE	DATE	REVISION	PROJECT #
PROJECT	62 BIRKELY ROAD, MANLY		2002
CLIENT	ANDREA AND ROLF HORVATH		DWG #
DWG	SHADOW ELEVATIONS		DA10
	DATE #	02/12/19	
	SCALE @ A3	1:100 @A3	
	DRAWN	AC	
	CHKD	AC	REVISION C

PROPOSED FLOOR	
EXISTING GF 1	125.0m2
EXISTING LEVEL 1	38.7m2
GRANNY FLAT LEVEL 1	32m2
TOTAL	195.7 m2
EXISTING GROUND FLOOR	125.0m2
EXISTING LEVEL 1	38.7m2
PROPOSED LEVEL 1 (ADDITIONAL)	22m2
EXISTING GRANNY FLAT LEVEL 1	32m2
TOTAL	217.7m2
FSR 0:6 = MAXIMUM	205.08m2

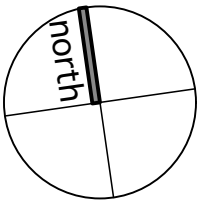
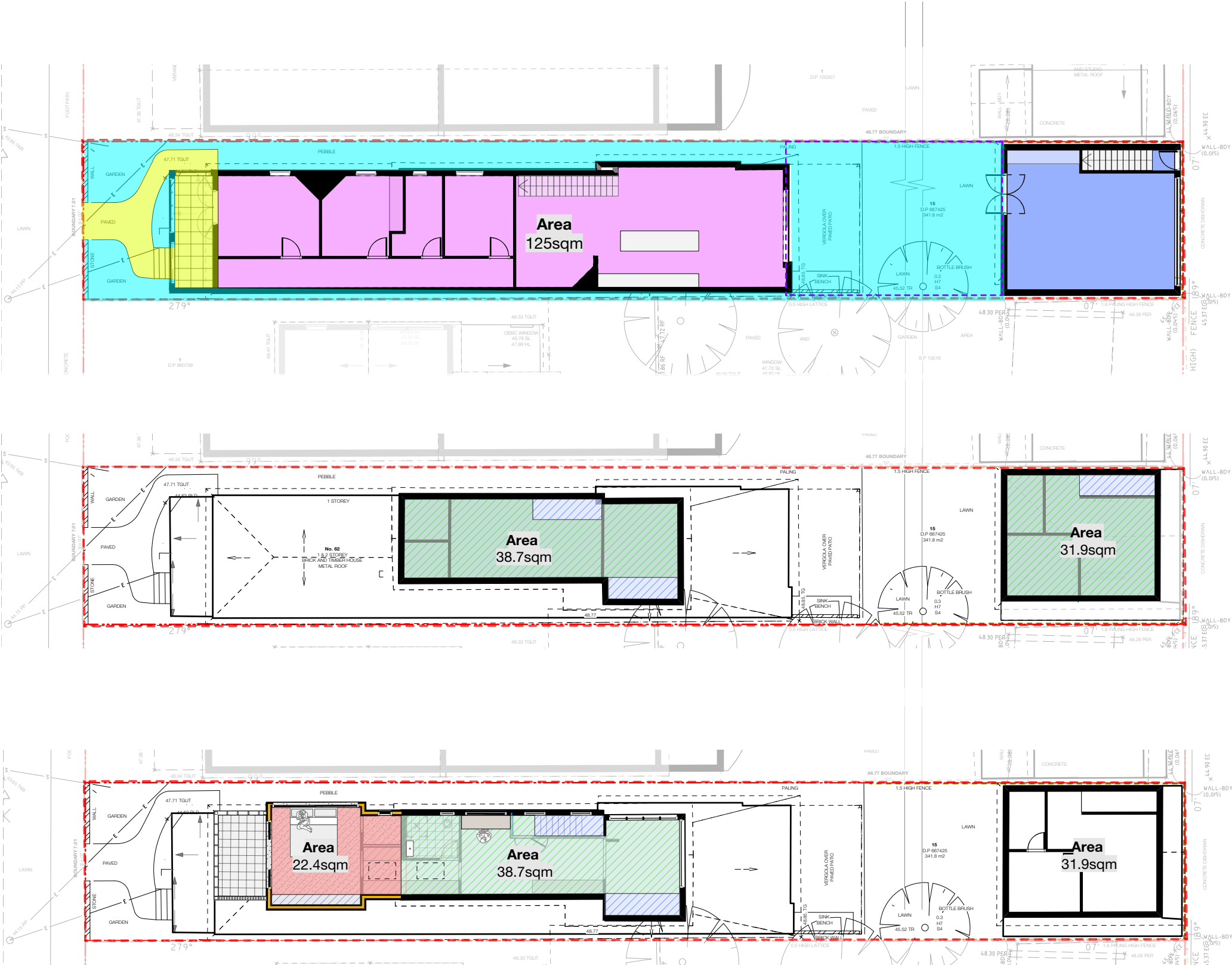
NOTE:
EXISTING SITE AREA: 341.81
FLOOR SPACE RATIO REQUIREMENT 0.6:1

EXISTING FSR 0.571 (189.9M2) - COMPLIES
PROPOSED FRS 0.63:1 (217.7M2) - DOES NOT COMPLY

- PROPOSED FLOOR AREA
- EXISTING FLOOR AREA L2
- EXISTING FLOOR AREA GF
- FLOOR AREA ECLUDED -
CEILING HEIGHT UNDER
1.4M/VERTICAL
CIRULATION/GARAGE

- OPEN SPACE
- LANDSCAPED OPEN SPACE
- PRIVATE OPEN SPACE

EX AND PROP OPEN SPACE	150m2
EX AND PROP HARDSTAND	23m2
EX AND PROP SOFTSCAPE	127m2
EX AND PROP PRIVATE OPEN SPACE	32m2



A

11/10/20

PRE-DA TO CONSULTANTS

ISSUE	DATE	REVISION		
PROJECT	62 BIRKELY ROAD, MANLY			PROJECT # 2002
CLIENT	ANDREA AND ROLF HORVATH		DATE # 02/12/19	DWG # DA11
DWG	SITE CALCULATIONS		SCALE @ A3 NTS	
			DRAWN AC	
			CHKD AC	REVISION A

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EXISTING BRICK



TIMBER OR SIMIAR

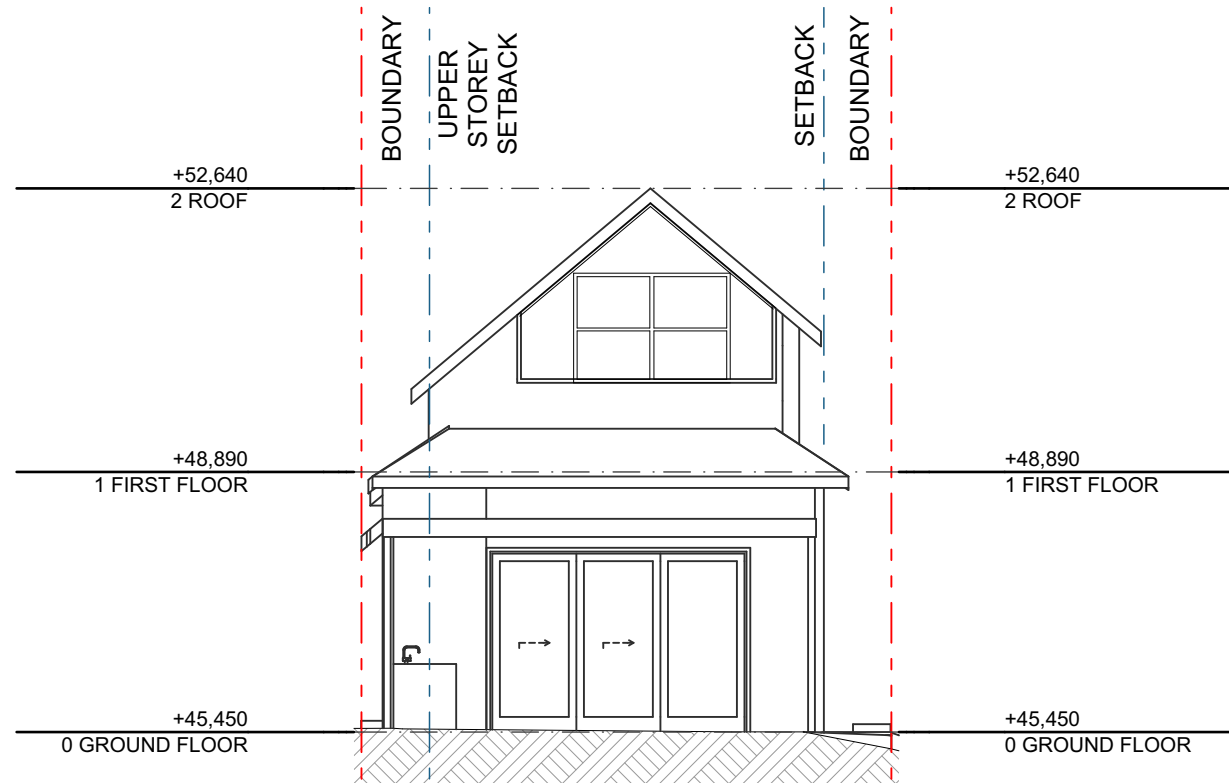


WEATHERBOARD PAINTED WHITE

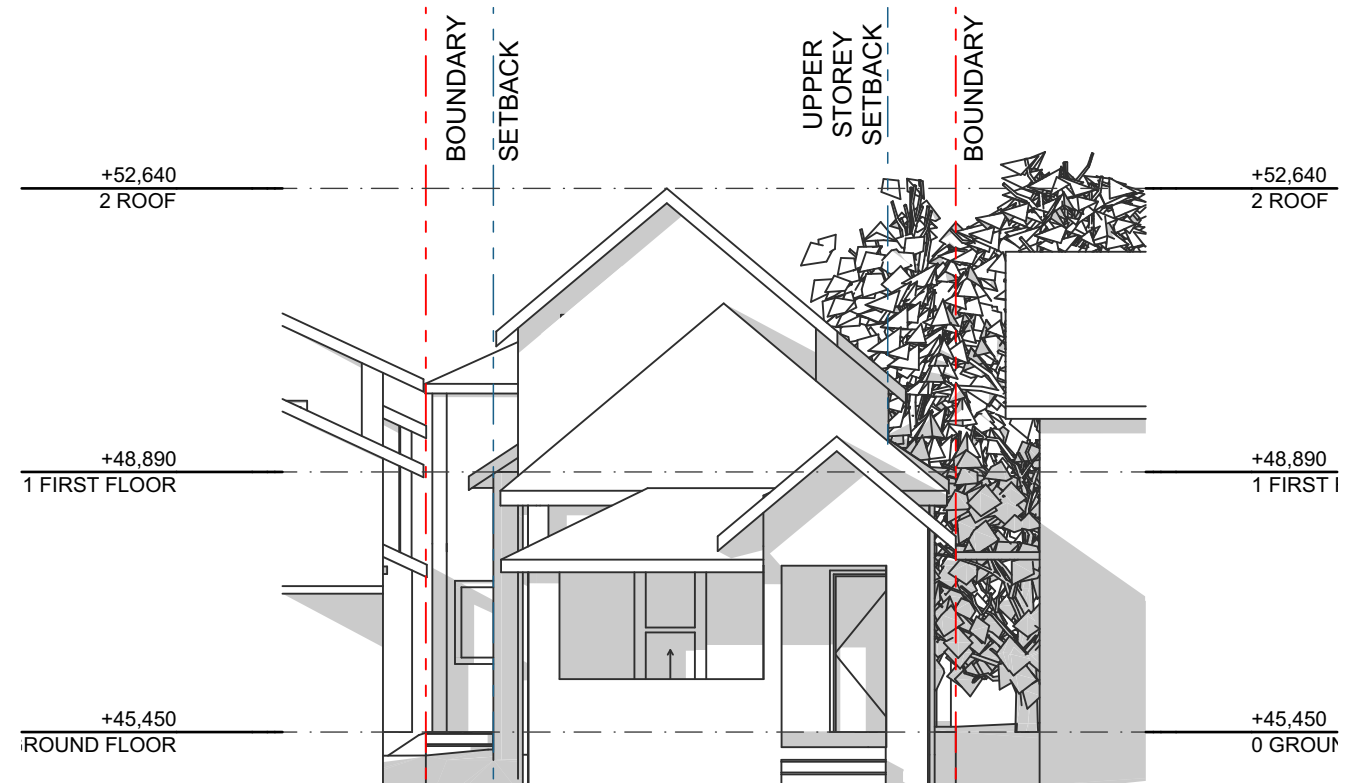
B 2/4/21 DEVELOPMENT APPLICATION
A 11/10/20 PRE-DA TO CONSULTANTS

ISSUE		DATE	REVISION
PROJECT		62 BIRKELY ROAD, MANLY	
CLIENT		ANDREA AND ROLF HORVATH	2002
DWG		COLOURS AND FINISHES	DA12
		DATE # 02/12/19	DWG #
		SCALE @ A3 NTS	
		DRAWN AC	
		CHKD AC	REVISION B

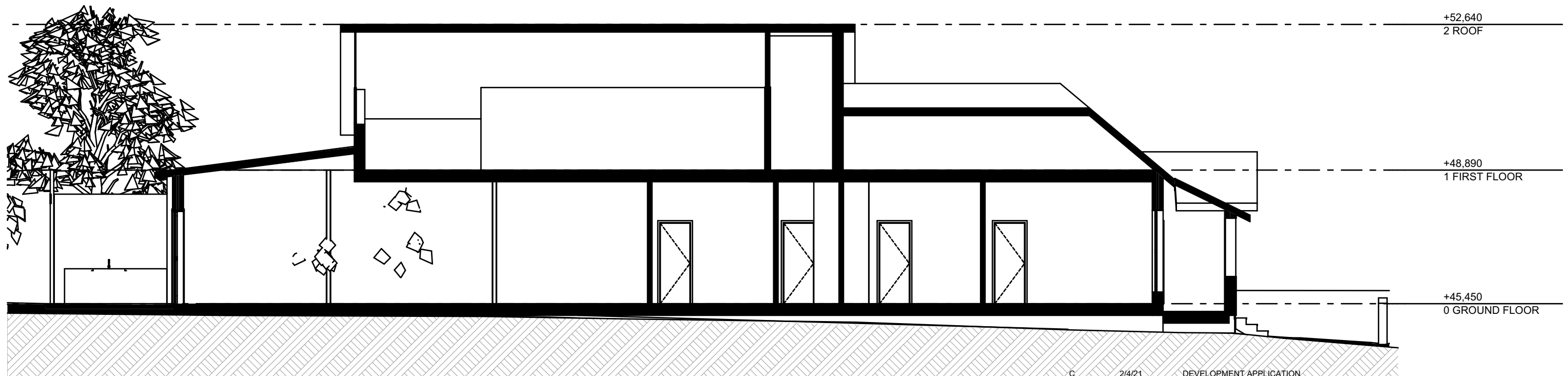
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01 EXISTING EAST ELEVATION
1:100



02 EXISTING WEST ELEVATION
1:100

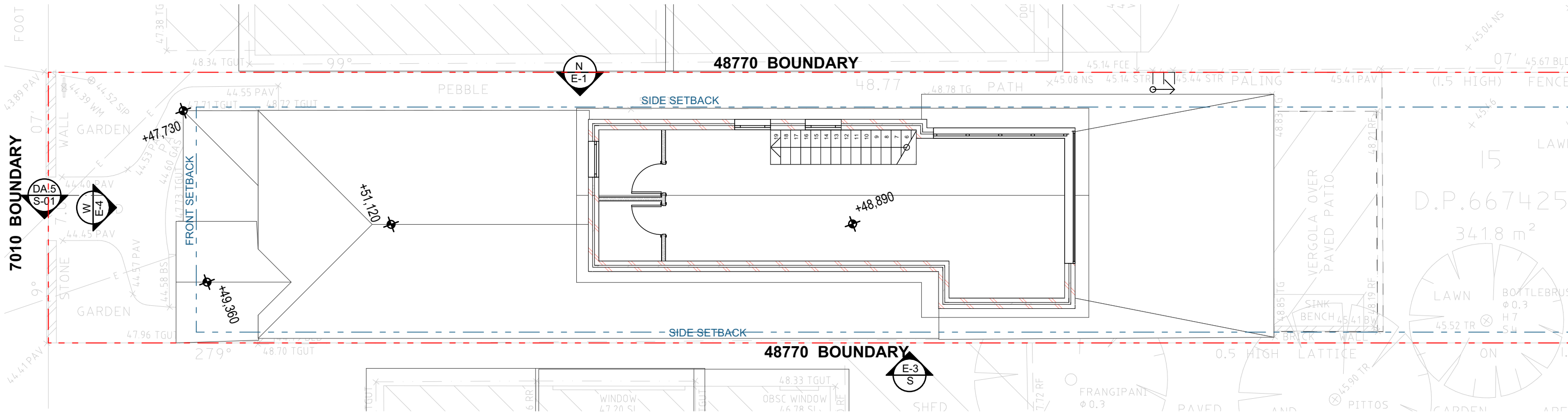


03 EXISTING LONG SECTION
1:100

C 2/4/21 DEVELOPMENT APPLICATION
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ISSUE	DATE	REVISION	PROJECT #
PROJECT	62 BIRKELY ROAD, MANLY		1:100 2002
CLIENT	ANDREA AND ROLF HORVATH	DATE # 02/12/19 SCALE @ A3:1:100 @ A3	DWG # EX01
DWG	EXISTING ELEVATIONS	DRAWN AC CHKD AC	REVISION C

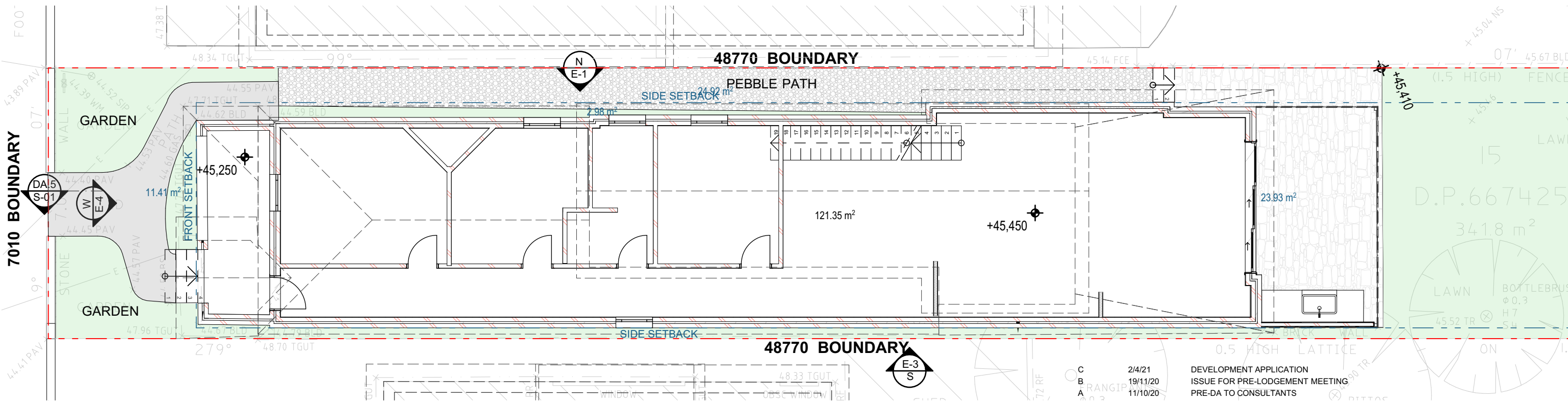
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1.

FIRST FLOOR EXISTING

1:100

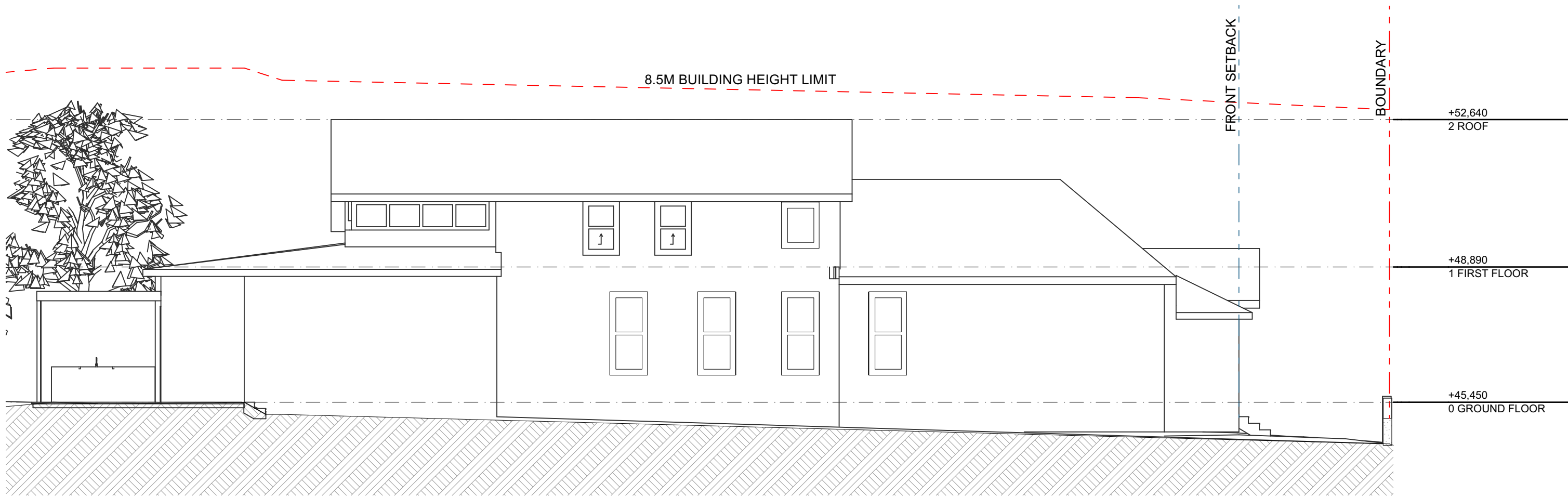


0.

GROUND FLOOR EXISTING

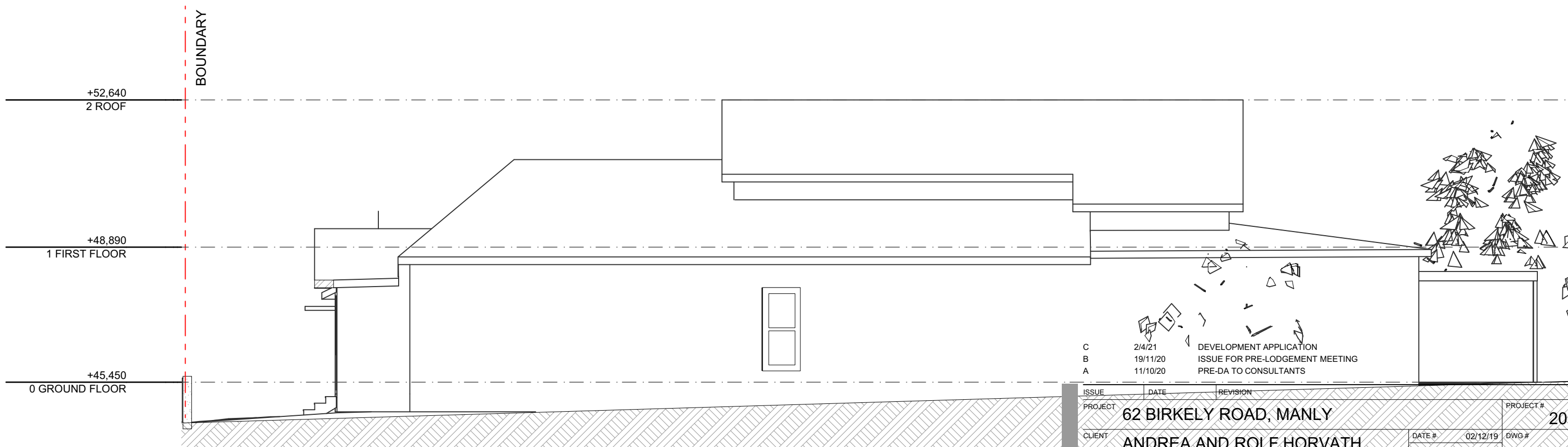
C	2/4/21	DEVELOPMENT APPLICATION	PROJECT #
B	19/11/20	ISSUE FOR PRE-LODGEEMENT MEETING	2002
A	11/10/20	PRE-DA TO CONSULTANTS	1:100
ISSUE	DATE	REVISION	PROJECT #
PROJECT	62 BIRKELY ROAD, MANLY		2002
CLIENT	ANDREA AND ROLF HORVATH		DWG #
DWG	EXISTING FLOOR PLANS		EX02
DATE #	02/12/19	SCALE @ A31:100 @ A3	REVISION
DRAWN	AC	CHKD	AC
REVISION	C		

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01

EXISTING NORTH ELEVATION
1:100



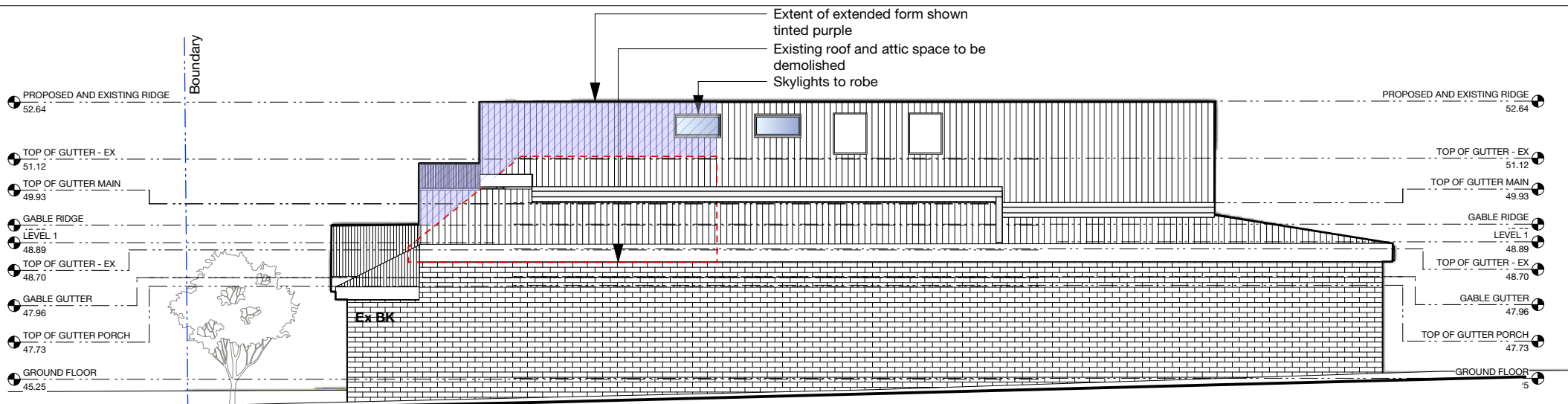
02

EXISTING SOUTH ELEVATION
1:100

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PROJECT	62 BIRKELY ROAD, MANLY		2002
CLIENT	ANDREA AND ROLF HORVATH	DATE # 02/12/19 SCALE @ A31:100 @ A3	DWG # EX03
DWG	EXISTING ELEVATIONS	DRAWN AC CHKD AC	REVISION C

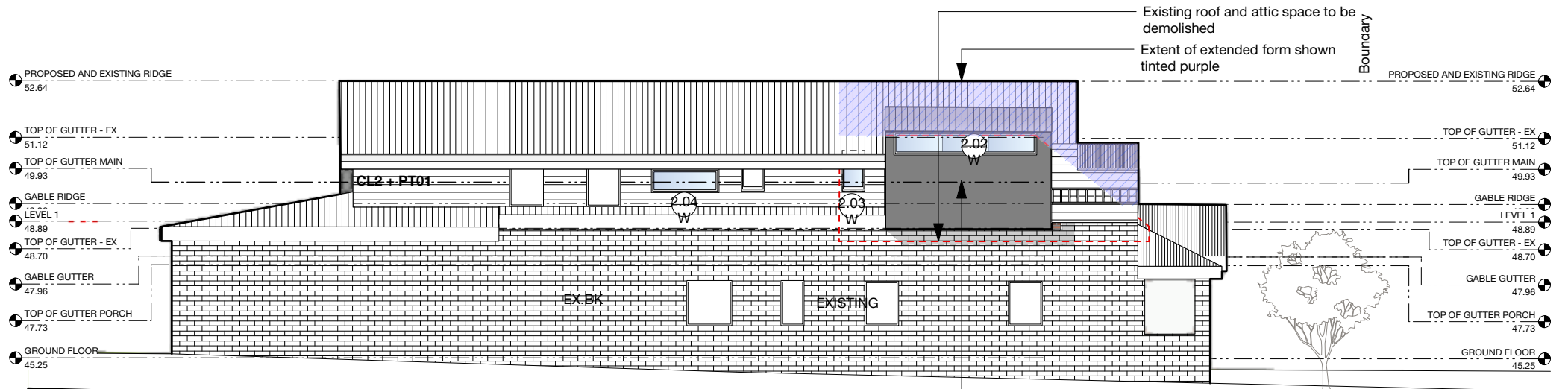
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02

SOUTH ELEVATION

Scale: 1:150



01

WESTERN ELEVATION

Scale: 1:150

ISSUE	DATE	REVISION	PROJECT #
PROJECT	62 BIRKELY ROAD, MANLY	Expressed dormer window	2002
CLIENT	ANDREA AND ROLF HORVATH	DATE # 02/12/19	DWG #
DWG	NOTIFICATION PLAN	SCALE @ A31:100 @ A3	NP02
		DRAWN AC	REVISION
		CHKD AC	

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