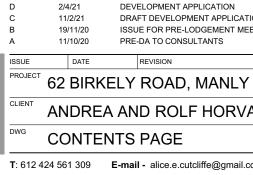
DEVELOPMENT APPLICATION 62 Birkley Road, MANLY APRIL 2021 CONTENTS



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DA02	CONTEXT PLAN	02/04/2021
DA03	EXISTING SITE/ROOF PLAN	02/04/2021
DA04	PROPOSED ROOF PLAN	02/04/2021
DA05	PROPOSED FLOOR PLAN	02/04/2021
DA06	PROPOSED ELEVATIONS	02/04/2021
DA07	PROPOSED ELEVATIONS	02/04/2021
DA08	PROPOSED SECTIONS	02/04/2021
DA09	SHADOW DIAGRAMS	02/04/2021
DA10	SHADOW ELEVATIONS	02/04/2021
DA11	SITE CALCULATIONS	02/04/2021
DA12	COLOURS AND FINISHES	02/04/2021
DA13	WINDOW SCHDEULE / BASIX	07/04/2021
EX01	EXISTING FLOOR PLANS	02/04/2021
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EX03	EXISTING ELEVATIONS	02/04/2021
NP01	NOTIFICATION PLAN	02/04/2021
NP02	NOTIFICATION PLAN	02/04/2021



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PROJECT #

2002

DA01

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REVISION

DEVELOPMENT APPLICATION DRAFT DEVELOPMENT APPLICATION ISSUE FOR PRE-LODGEMENT MEETING PRE-DA TO CONSULTANTS

62 Birkley Road, Manly

Project Summary - Alterations and Attic additions

Address: 62 BIRKLEY ROAD 2095 Council: Northern Beaches Council Title: Lot 15 DP 667425 Lot Size: 341.81m²

MANLY LEP PLANNING CONTROLS

Zoning: R1 General residential Floor Space Ratio: 0.6:1 Max height of building: 8.5m Min Lot size: 250m² Acid Sulfate Levels: Class 5

MANLY DCP planning controls

Wall height: 6.5m

Residential Density: Area D3 - 250 sqm of site area required per dwelling

Roof height: Pitched roof structures must be no higher than 2.5m above the actual wall height @ max 35 degrees pitch Front Setback: Must relate to the front building line of neighbouring properties and the prevailing building lines in the immediate vicinity. Where building lines are neither consistent nor established, a minimum 6m.

Side Setback: Setbacks between any part of a building and the side boundary must not be less than one third of the height of the adjacent external wall of the proposed building.

Variations to Side setbacks: Council may consider an exception to the side setback control to enable windows at 90 degrees to the boundary to provide some flexibility in the siting and design of building.

Walls located within 0.9m of any one of the side boundaries may be considered but must:

- Contain no windows .
- Be constructed to one side boundary only .
- . Limit height to 3m
- Limit length to 35 percent of the adjoining site boundary

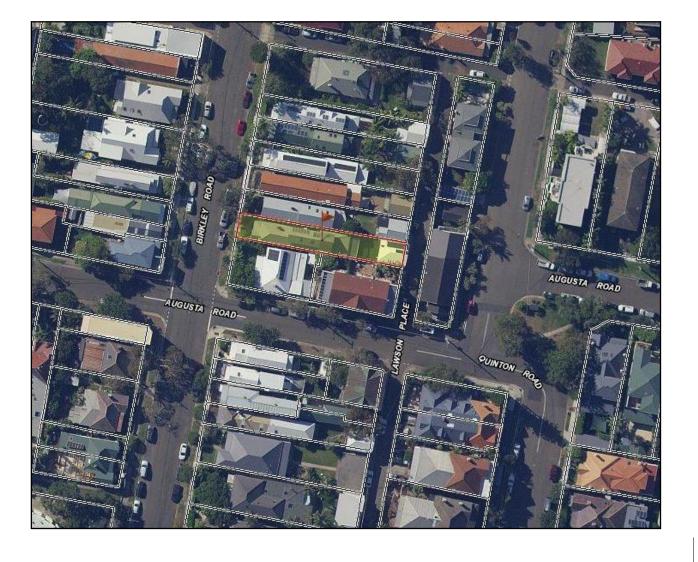
Rear Setback: 8m - Rear setbacks must relate to the prevailing pattern of setbacks in the immediate vicinity to

minimise overshadowing, visual privacy and view loss

Total Open Space: At least 55% of the site area

Landscape Area: At least 35% of open space

Above Ground Open Space: Max 25% of total open space Private Open Space : 18m²

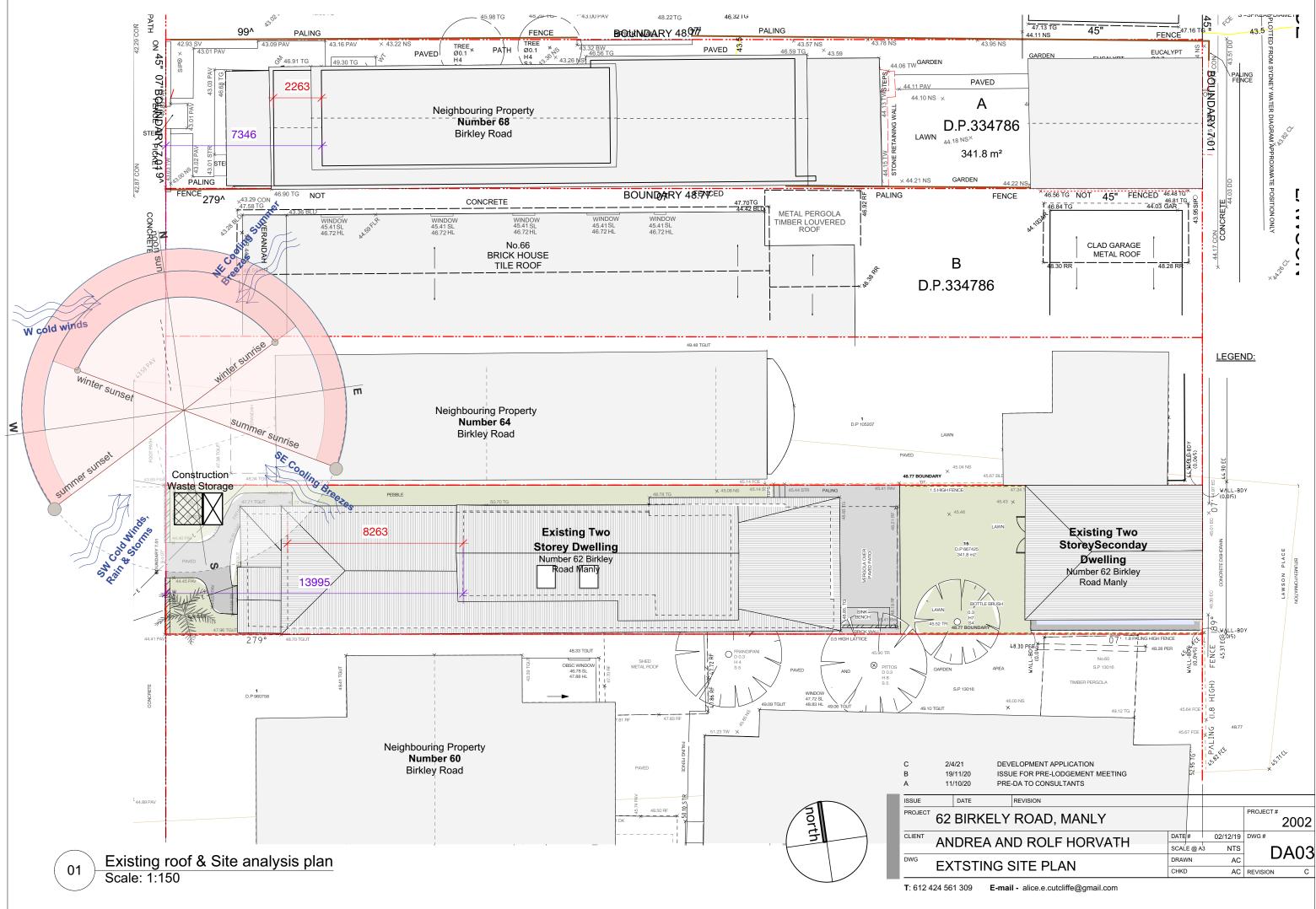


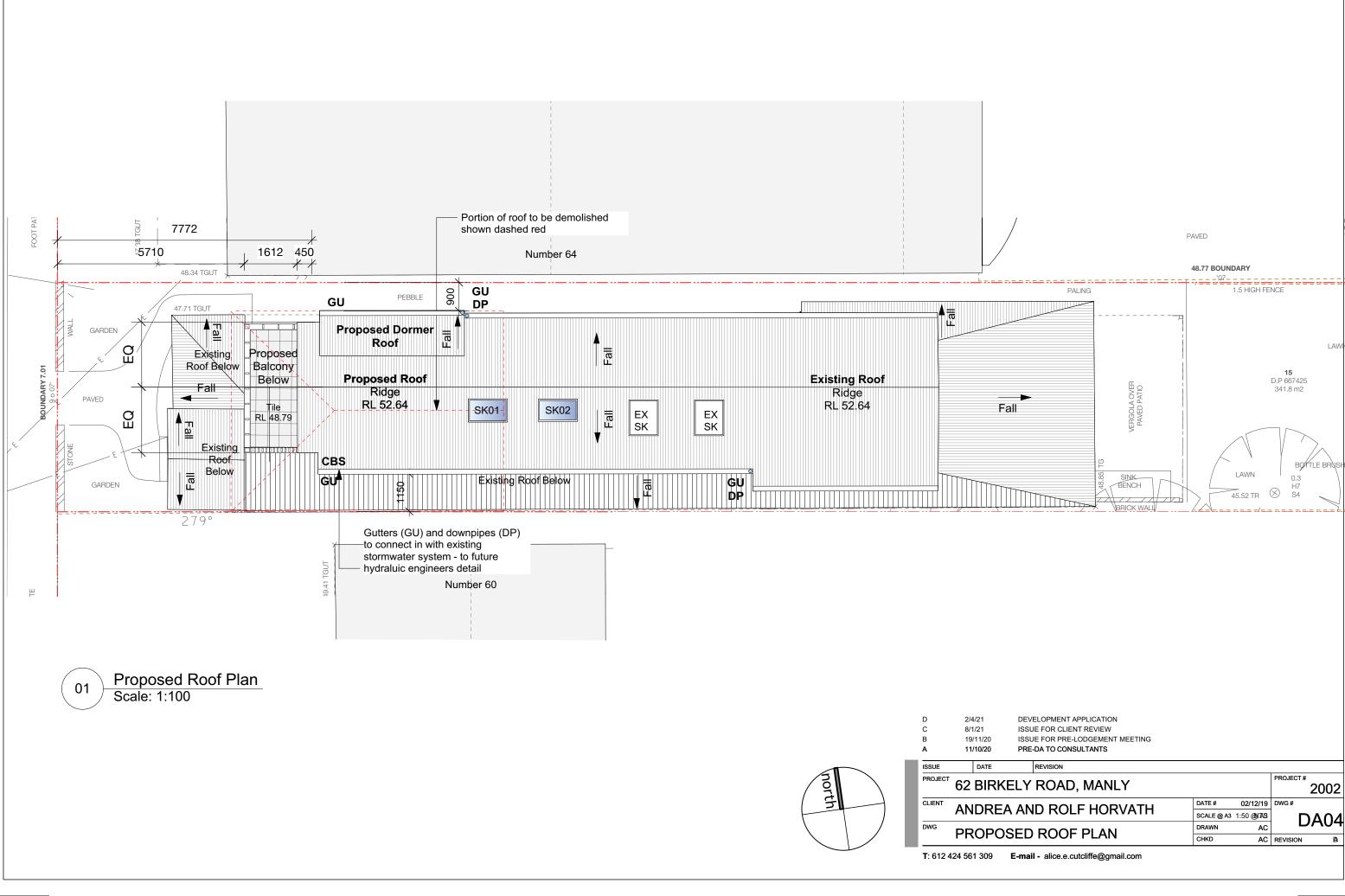


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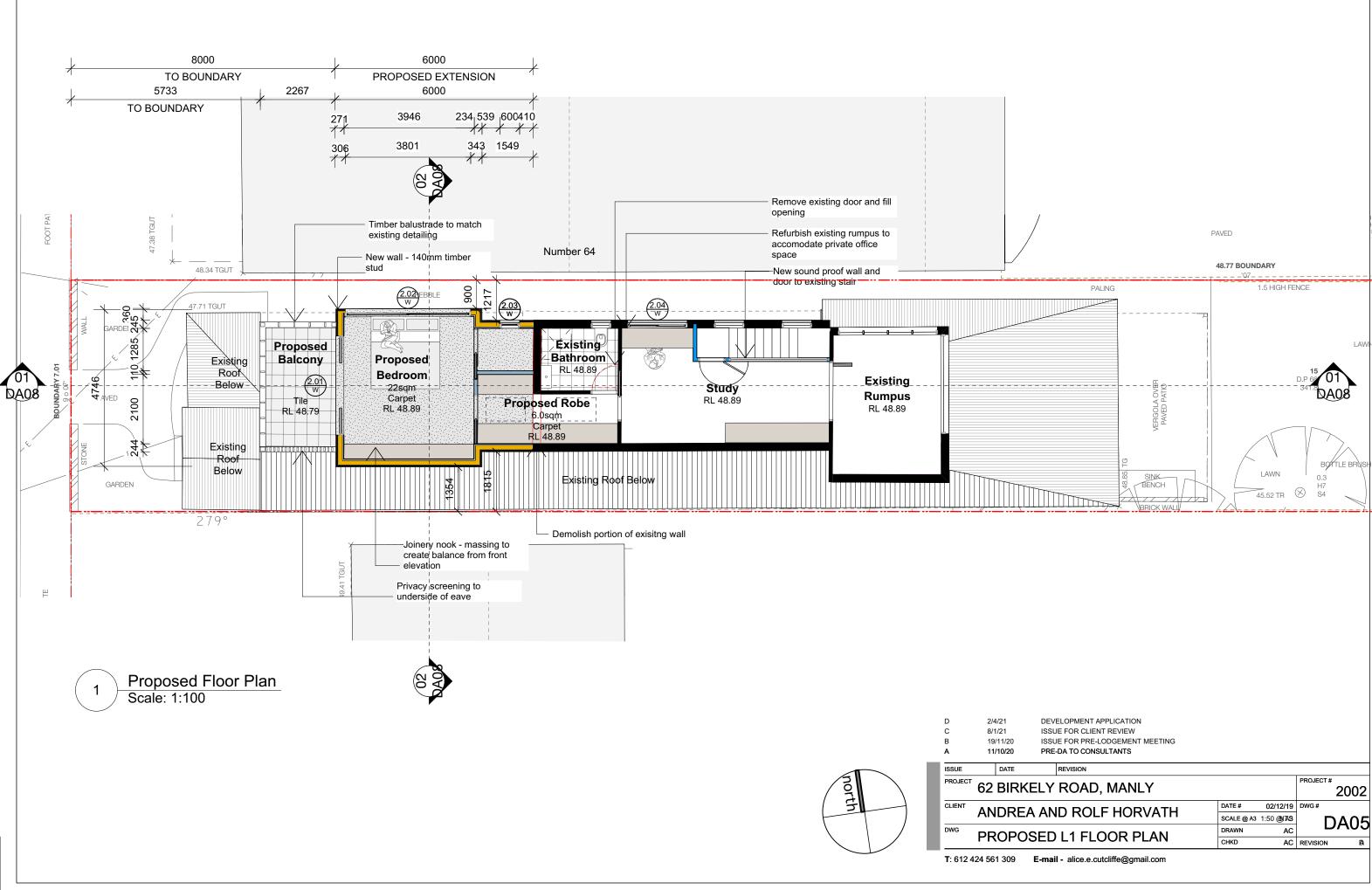
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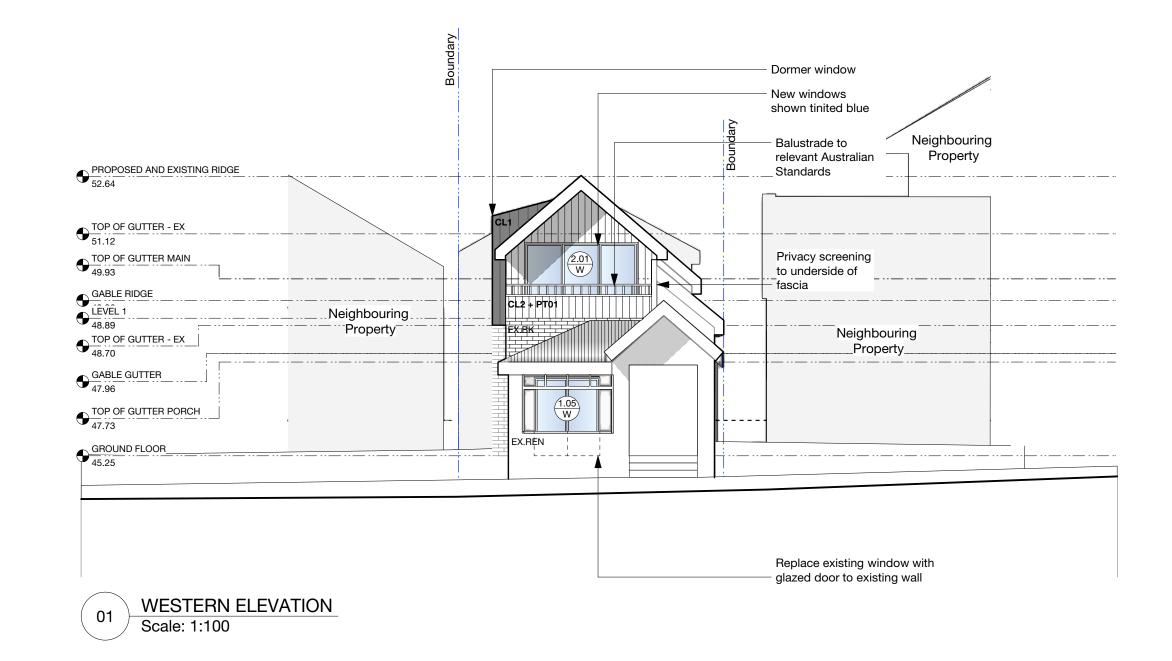


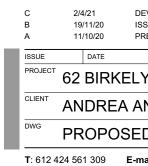
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CODE	MATERIAL
CL1	Weatherboard
CL2	Timber Batten
PT01	Dulux White
PT02	Charcol or Natural
вк	Brick
EX	Existing
REN	Render
CBS	Colorbond Sheeting
DP	Downpipe
GU	Gutter



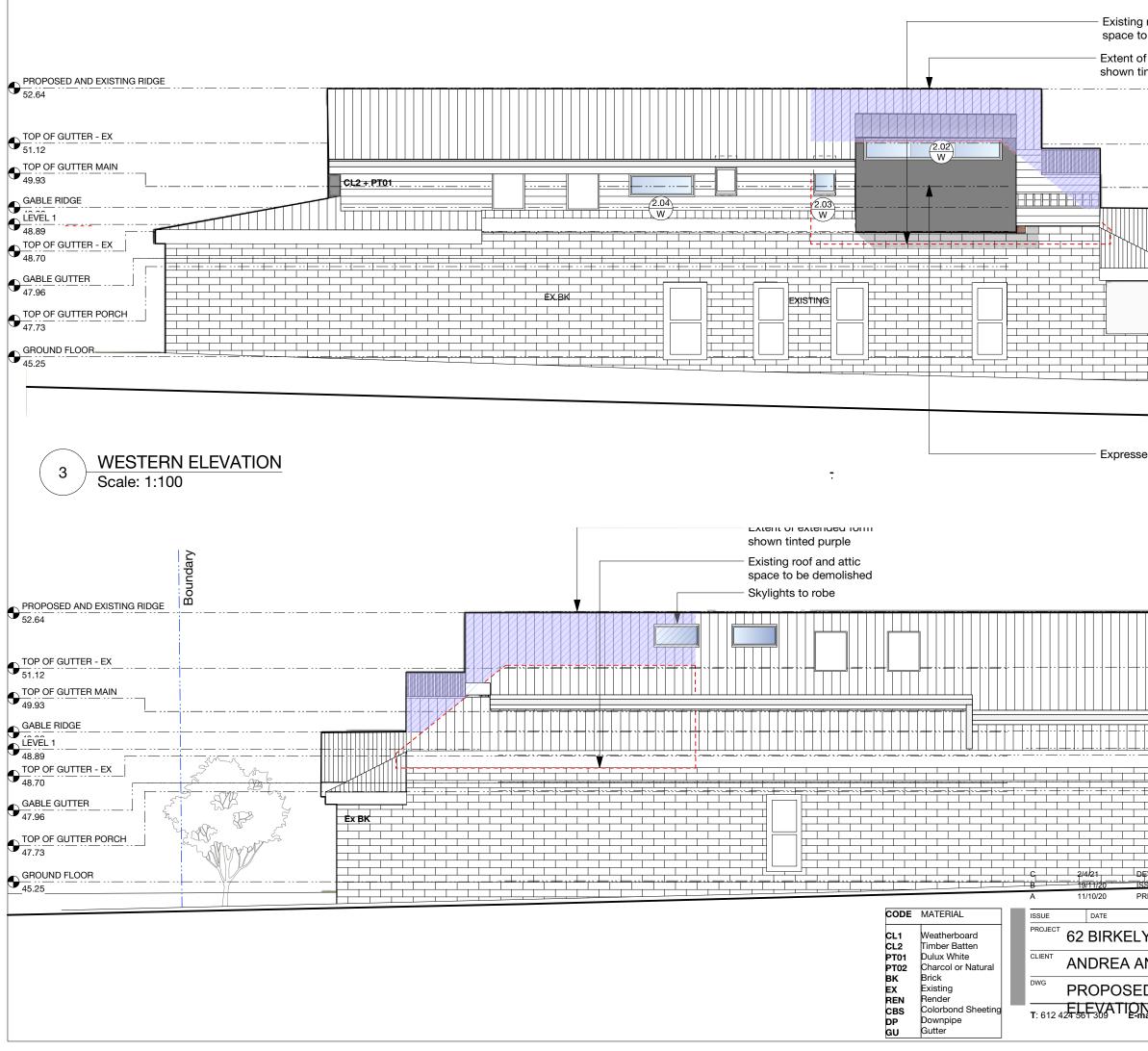


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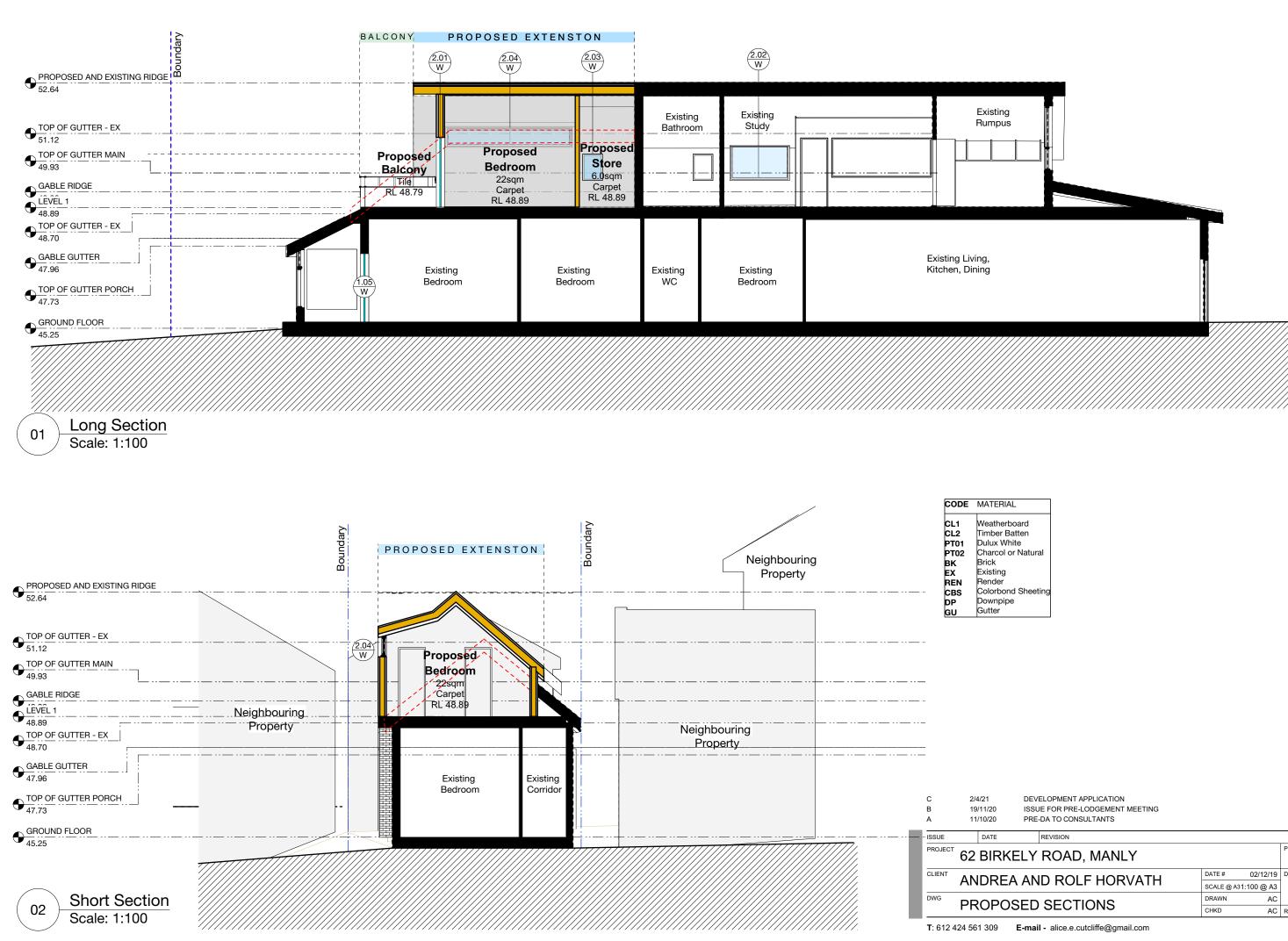
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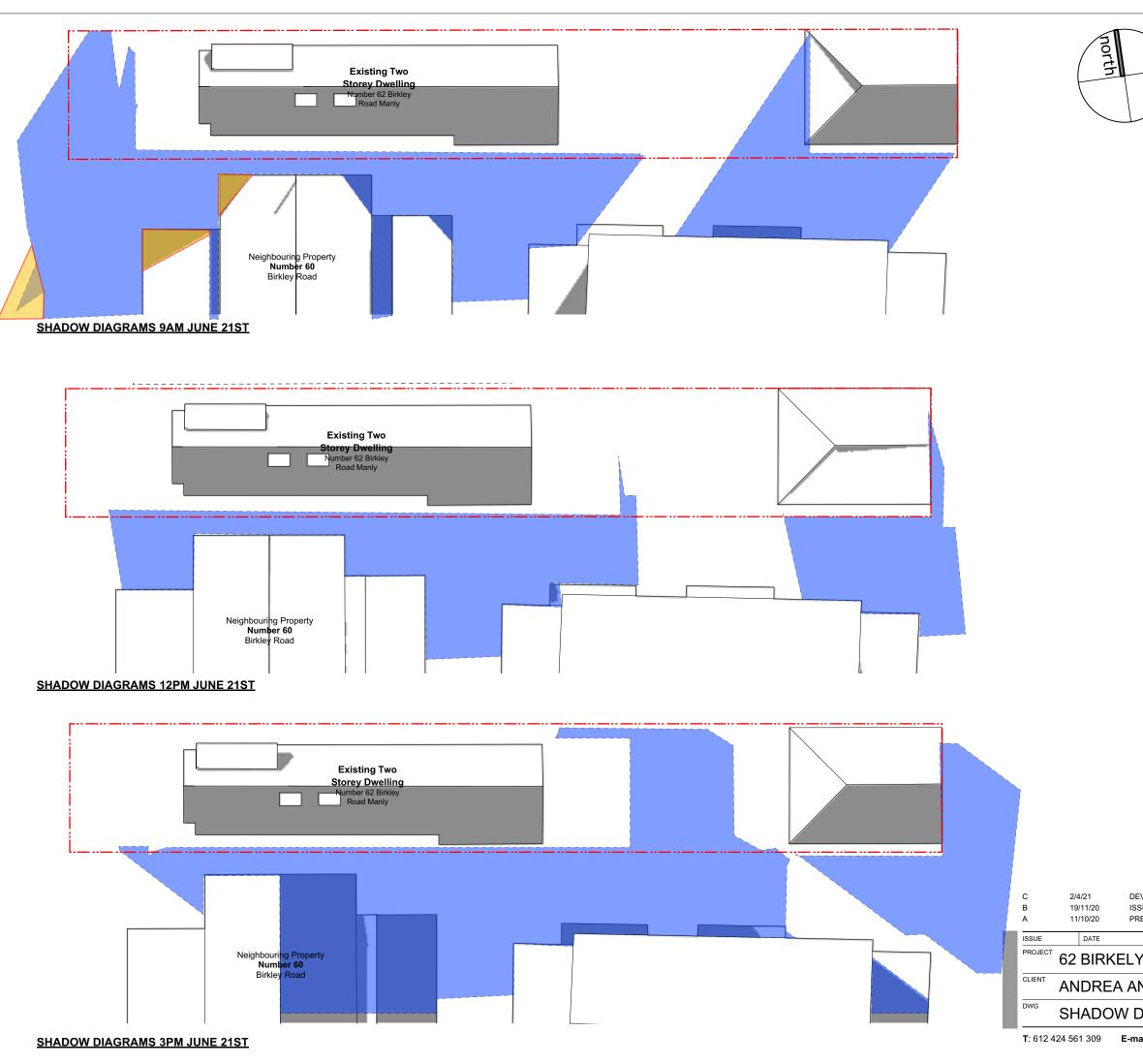


roof and attic be demolished f extended form inted purple	PROPOSED AND EXISTING RIDGE 52.64
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ed dormer window	PROPOSED AND EXISTING RIDGE
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RE-DA TO CONSULTANTS REVISION Y ROAD, MANLY	PROJECT # 2002
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DEVELOPMENT APPLICATION ISSUE FOR PRE-LODGEMENT MEETING PRE-DA TO CONSULTANTS

LEGEND

EXISTING SHADOW

ADDITONAL SHADOW



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DEVELOPMENT APPLICATION ISSUE FOR PRE-LODGEMENT MEETING PRE-DA TO CONSULTANTS

PROPOSED FLOOR

FSR 0:6 = MAXIMUM	205.08m2
TOTAL	217.7m2
EXISTING GRANNY FLAT LEVEL 1	32m2
PROPOSED LEVEL 1 (ADDITIONAL)	22m2
EXISTING LEVEL 1	38.7m2
EXISTING GROUND FLOOR	125.0m2
TOTAL	195.7 m2
GRANNY FLAT LEVEL 1	32m2
EXISTING LEVEL 1	38.7m2
EXISTING GF 1	125.0m2

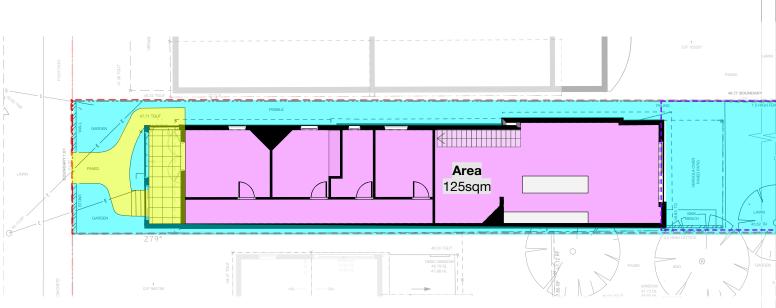
NOTE: EXISITNG SITE AREA: 341.81 FLOOR SPACE RATIO REQUIRMENT 0.6:1

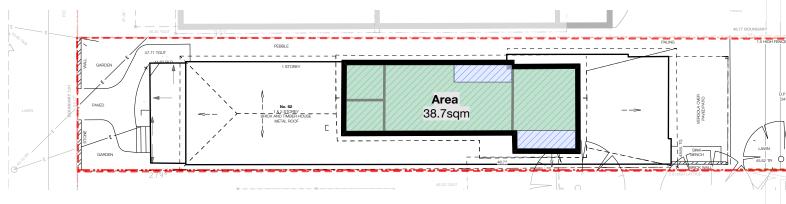
EXISTING FSR 0.571 (189.9M2) - COMPLIES PROPOSED FRS 0.63:1 (217.7M2) - DOES NOT COMPLY

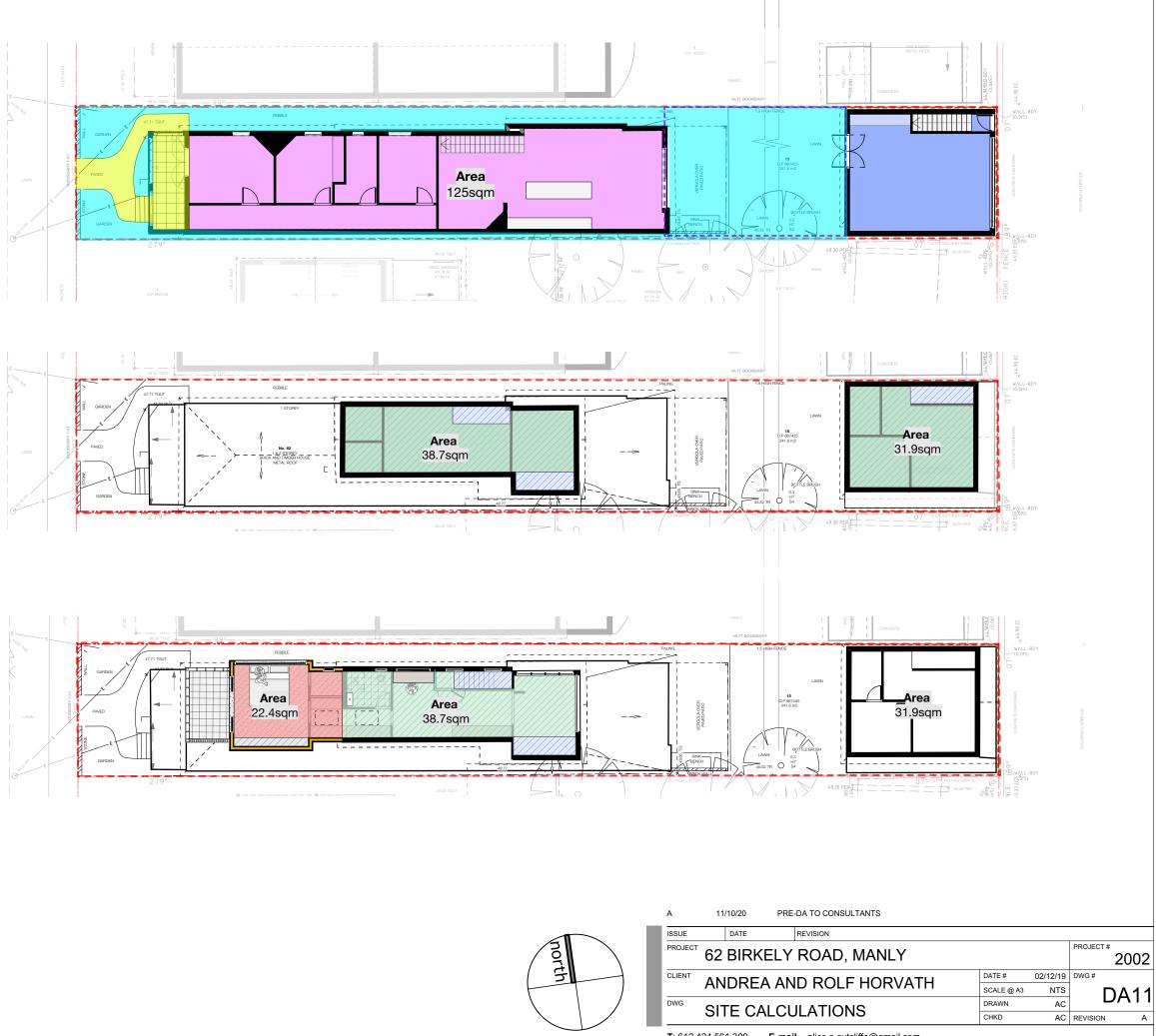


EX AND PROP PRIVATE OPEN SPACE

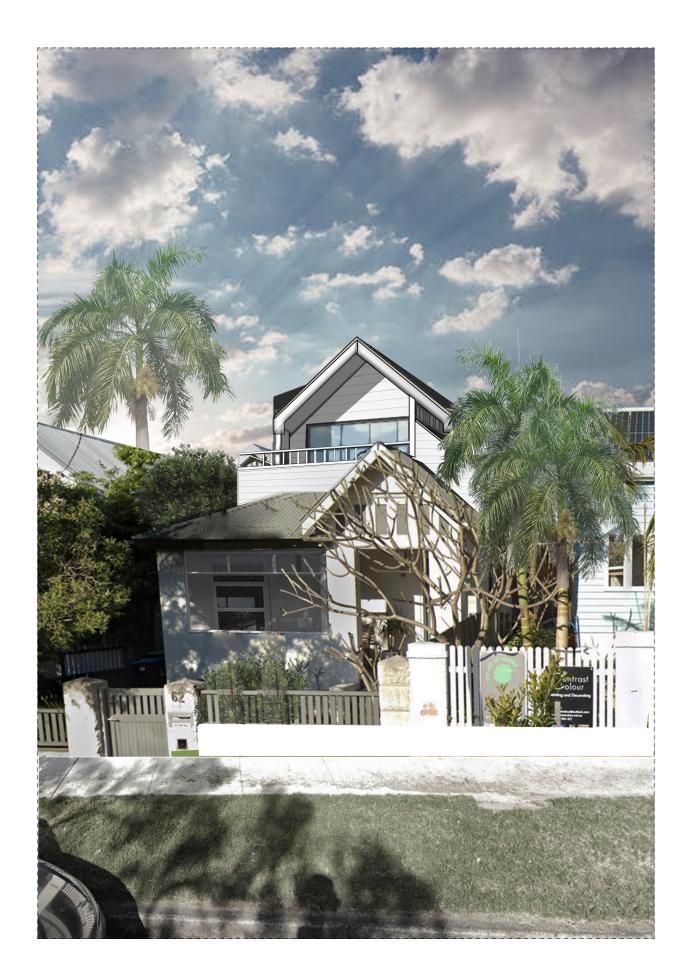
32m2















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DEVELOPMENT APPLICATION PRE-DA TO CONSULTANTS

			WINDOWS
	Alterations and Additions Articlate number: Additions Certificate number: Additions This certificate confirms that the proposed development will meet the NSW goormments's requirements for sustainability, if it is built in accordance with the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions additions" date (66/10/2017 published by the Department. This document is available at www.basix.new.gov.au Secretary Date of issue: Wednesday, 07, April 2021 To be valid, the certificate within a months of the date of issue: Environment Planning, Industry & Environment Industry & Environment	Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. ✓	
Let atom () A minor () <tr< td=""><td>Fixtures and systems Show on DA Plans Show on CCCDC Plans & specs Show on Check Plans & specs Lighting The apolicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or</td><td>Glazing requirements Show on DA Plans Show on CCCDC Plans & specs Show on CCCDC Plans & specs Show on CCCDC Plans & specs Certifier Check Window / door Orientation Area of plass rame (m) Overshadowing (m) Shading device Frame and glass type Image: Complexity of the specs Image: Complexity of the specs Window / door Orientation Area of plass Overshadowing (m) Shading device Frame and glass type Image: Complexity of the specs Image: Complexity of the specs Window / door Orientation Area of plass Image: Complexity of the specs Image: Complexity of the s</td><td></td></tr<>	Fixtures and systems Show on DA Plans Show on CCCDC Plans & specs Show on Check Plans & specs Lighting The apolicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or	Glazing requirements Show on DA Plans Show on CCCDC Plans & specs Show on CCCDC Plans & specs Show on CCCDC Plans & specs Certifier Check Window / door Orientation Area of plass rame (m) Overshadowing (m) Shading device Frame and glass type Image: Complexity of the specs Image: Complexity of the specs Window / door Orientation Area of plass Overshadowing (m) Shading device Frame and glass type Image: Complexity of the specs Image: Complexity of the specs Window / door Orientation Area of plass Image: Complexity of the specs Image: Complexity of the s	
Planning, Industry & Environment Building Sustainability Index www.basik.nsw.gov.au Planning. Industry & Environment Building Sustainability Index www.basik.nsw.gov.au	BASIX Certificate number: A406235 page 3 /6 Construction Show on DA Plans Show on DA Plans Certifier Check Insulation requirements Insulation required construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the tap below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation in and required (R-value) Other specifications Insulation required for parts of altered construction insulation in not required (R-value) Other specifications Image: Construction floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the tap below, except that a) additional insulation aready exists. Image: Construction floor altered construction where insulation aready exists. Image: Construction floor altered construction where insulation construction is less than 2m2, b) insulation specified is not required (R-value) Image: Construction floor altered construction (floor (S), construction is less than 2m2, b) insulation specified is not required (R-value) Image: Construction floor altered construction (floor (S), construction (S), construction is less than 2m2, b) insulation specified is not required (R-value) Image: Construction floor altered construction (floor (S), construction (floor altered construction (floor (floor male)) Image: Construction floor (floor male) Image: Construction floor (floor male) Image: Construction (floor male) If at ceiling, pitched r	BASIX Certificate number: A406295 page 6 / 6 Legend In these commitments, "applicant" means the person carrying out the development. Commitments identified with a "\s" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development). Commitments identified with a "\s" in the "Show on OC/CDC plans & spece" column must be shown in the plans and specifications accompanying the application for a construction certificate for the proposed development. Commitments identified with a "\s" in the "Show on OC/CDC plans & spece" column must be shown in the plans and specifications accompanying the application for a construction certificate for the proposed development. Commitments identified with a "\s" in the "Certifier check" column must be certified by a certifying authority as having been fulfiled, before a final occupation certificate for the	ISSUE DATE PROJECT 62 BIRKELY
	Planning, Industry & Environment Bulding Sustainability Index www.basik.naw.gov.au	Planning, Industry & Environment Building Sustainability Index www.basix.nsw.gov.au	

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ID	Туре	Height	Width	Height above FFL
1.05	Hinged Right Door	2100	1500	0
2.01	Sliding Right Door	2100	3000	0
2.02	ashless Sliding Windo	600	3800	1800
2.03	Awning Hung Window		600	800
2.04	ashless Sliding Windo	1300	1800	800

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T: 612 424 561 309 E-mail - alice.e.cutcliffe@gmail.com

