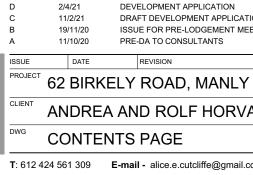
# **DEVELOPMENT APPLICATION** 62 Birkley Road, MANLY APRIL 2021 CONTENTS



DRAWING NUMBER	DRAWING NAME	ISSUE DATE
DA01	CONTENTS PAGE	02/04/2021
DA02	CONTEXT PLAN	02/04/2021
DA03	EXISTING SITE/ROOF PLAN	02/04/2021
DA04	PROPOSED ROOF PLAN	02/04/2021
DA05	PROPOSED FLOOR PLAN	02/04/2021
DA06	PROPOSED ELEVATIONS	02/04/2021
DA07	PROPOSED ELEVATIONS	02/04/2021
DA08	PROPOSED SECTIONS	02/04/2021
DA09	SHADOW DIAGRAMS	02/04/2021
DA10	SHADOW ELEVATIONS	02/04/2021
DA11	SITE CALCULATIONS	02/04/2021
DA12	COLOURS AND FINISHES	02/04/2021
DA13	WINDOW SCHDEULE / BASIX	07/04/2021
EX01	EXISTING FLOOR PLANS	02/04/2021
EX02	EXISTING ELEVATIONS	02/04/2021
EX03	EXISTING ELEVATIONS	02/04/2021
NP01	NOTIFICATION PLAN	02/04/2021
NP02	NOTIFICATION PLAN	02/04/2021



	DATE #	02/12/19	DWG #
ND ROLF HORVATH	SCALE @ A3	NTS	П
S PAGE	DRAWN	AC	D
FAGE	CHKD	AC	REVISION
ail - alice.e.cutcliffe@gmail.com			

PROJECT #

2002

DA01

D

REVISION

DEVELOPMENT APPLICATION DRAFT DEVELOPMENT APPLICATION ISSUE FOR PRE-LODGEMENT MEETING PRE-DA TO CONSULTANTS

# 62 Birkley Road, Manly

Project Summary - Alterations and Attic additions

Address: 62 BIRKLEY ROAD 2095 Council: Northern Beaches Council Title: Lot 15 DP 667425 Lot Size: 341.81m<sup>2</sup>

#### MANLY LEP PLANNING CONTROLS

Zoning: R1 General residential Floor Space Ratio: 0.6:1 Max height of building: 8.5m Min Lot size: 250m<sup>2</sup> Acid Sulfate Levels: Class 5

## MANLY DCP planning controls

Wall height: 6.5m

Residential Density: Area D3 - 250 sqm of site area required per dwelling

Roof height: Pitched roof structures must be no higher than 2.5m above the actual wall height @ max 35 degrees pitch Front Setback: Must relate to the front building line of neighbouring properties and the prevailing building lines in the immediate vicinity. Where building lines are neither consistent nor established, a minimum 6m.

Side Setback: Setbacks between any part of a building and the side boundary must not be less than one third of the height of the adjacent external wall of the proposed building.

Variations to Side setbacks: Council may consider an exception to the side setback control to enable windows at 90 degrees to the boundary to provide some flexibility in the siting and design of building.

Walls located within 0.9m of any one of the side boundaries may be considered but must:

- Contain no windows .
- Be constructed to one side boundary only .
- . Limit height to 3m
- Limit length to 35 percent of the adjoining site boundary

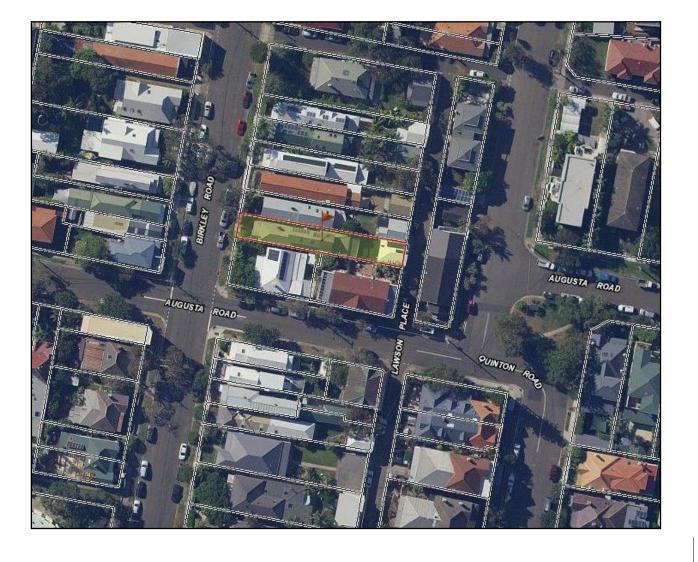
Rear Setback: 8m - Rear setbacks must relate to the prevailing pattern of setbacks in the immediate vicinity to

minimise overshadowing, visual privacy and view loss

Total Open Space: At least 55% of the site area

Landscape Area: At least 35% of open space

Above Ground Open Space: Max 25% of total open space Private Open Space : 18m<sup>2</sup>

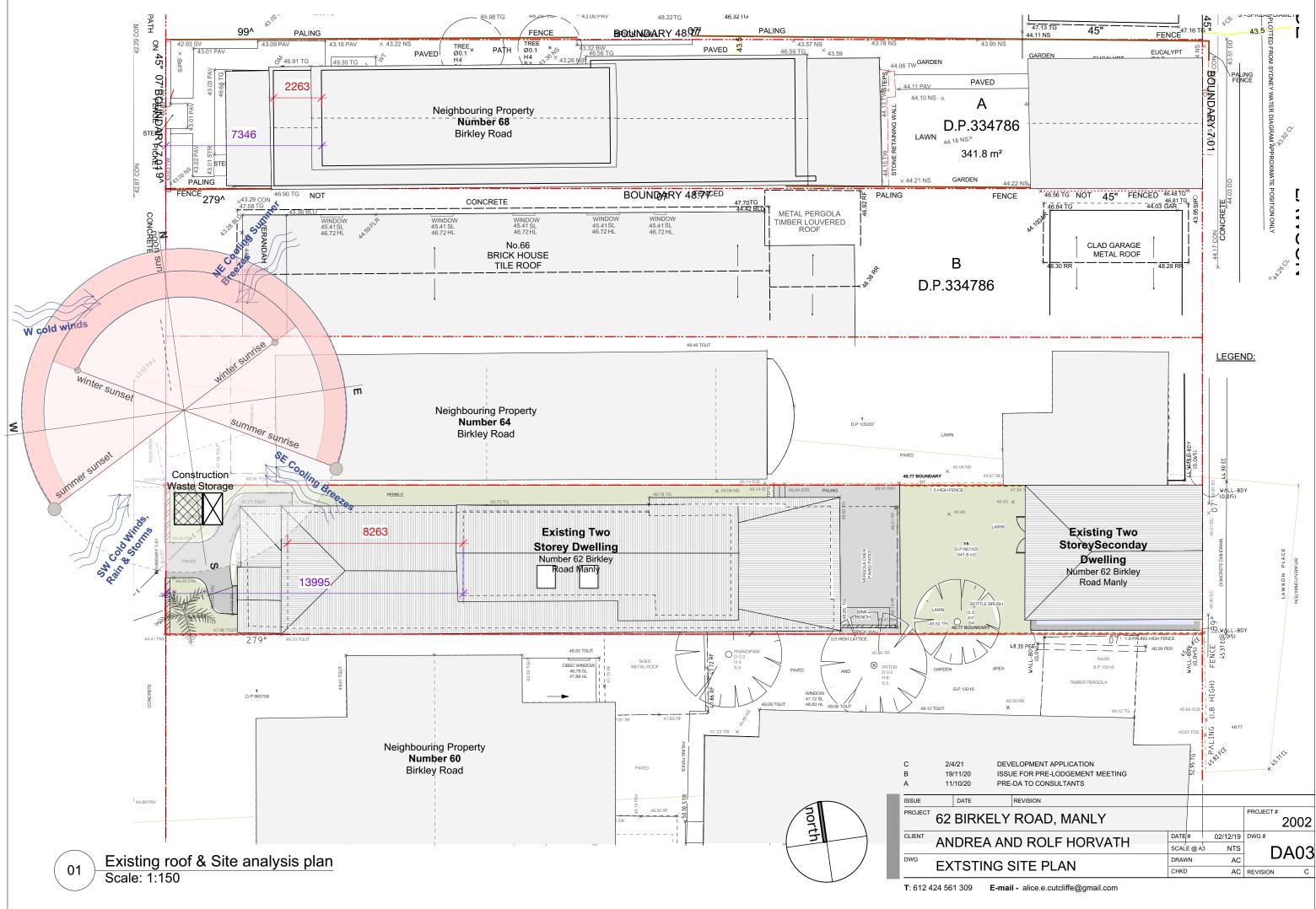


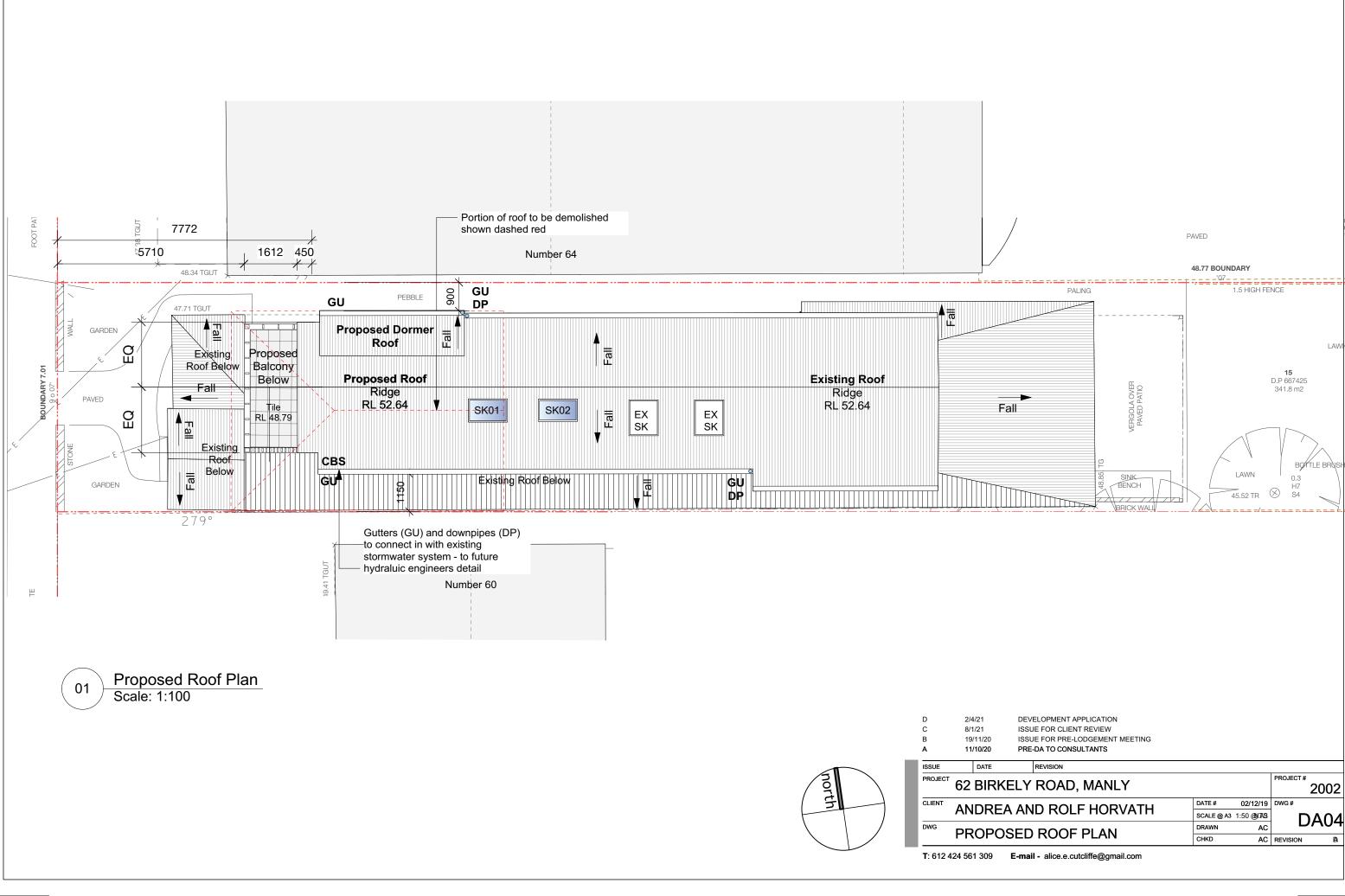


ē

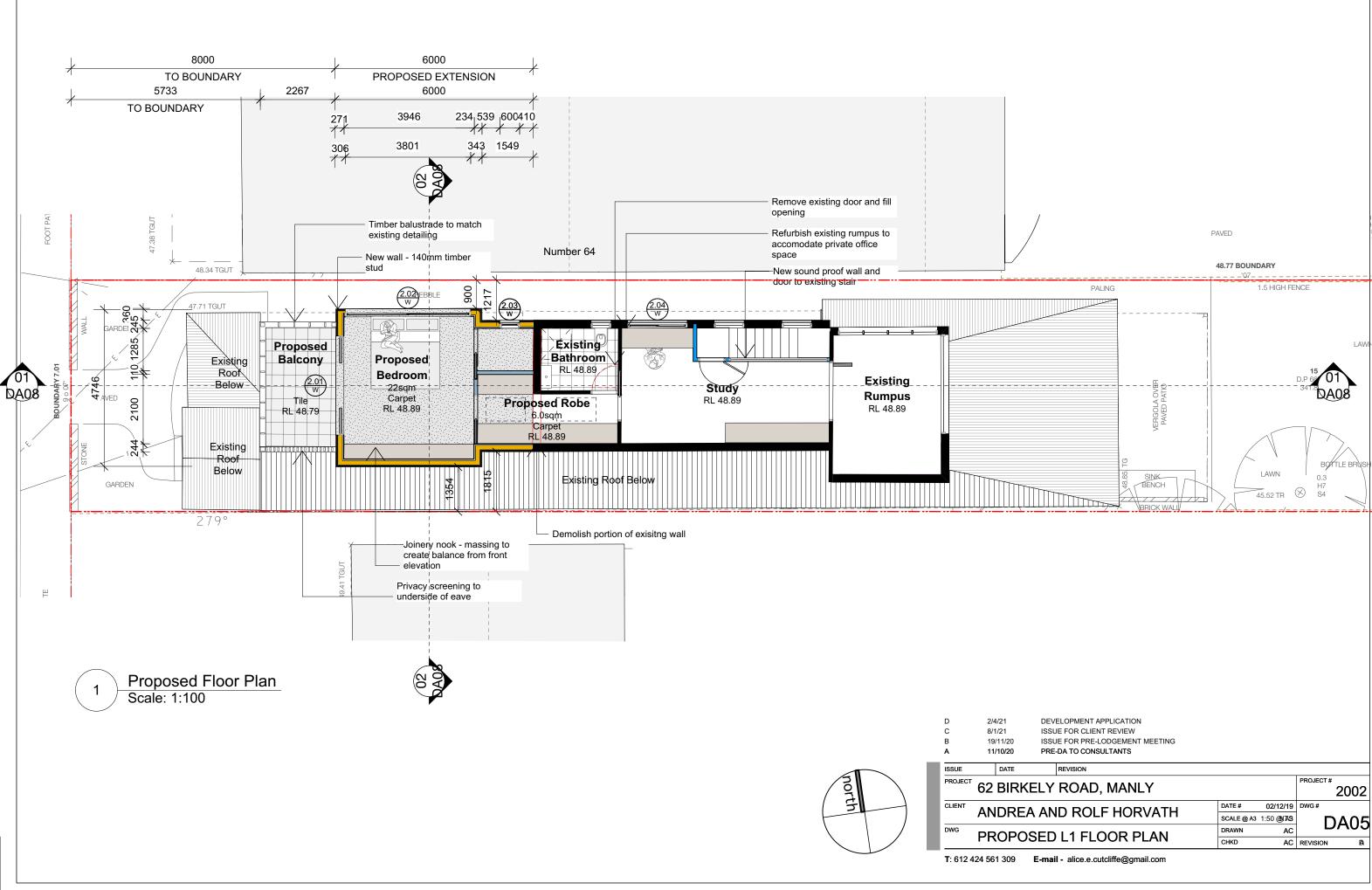
	REVISION			
Y ROAD, MANLY				PROJECT # 2002
	D ROLF HORVATH	DATE #	02/12/19	DWG #
111	D ROLF HORVAIN	SCALE @ A3	NTS	DA02
PLAN		DRAWN	AC	
۲		CHKD	AC	REVISION C

DEVELOPMENT APPLICATION ISSUE FOR PRE-LODGEMENT MEETING PRE-DA TO CONSULTANTS



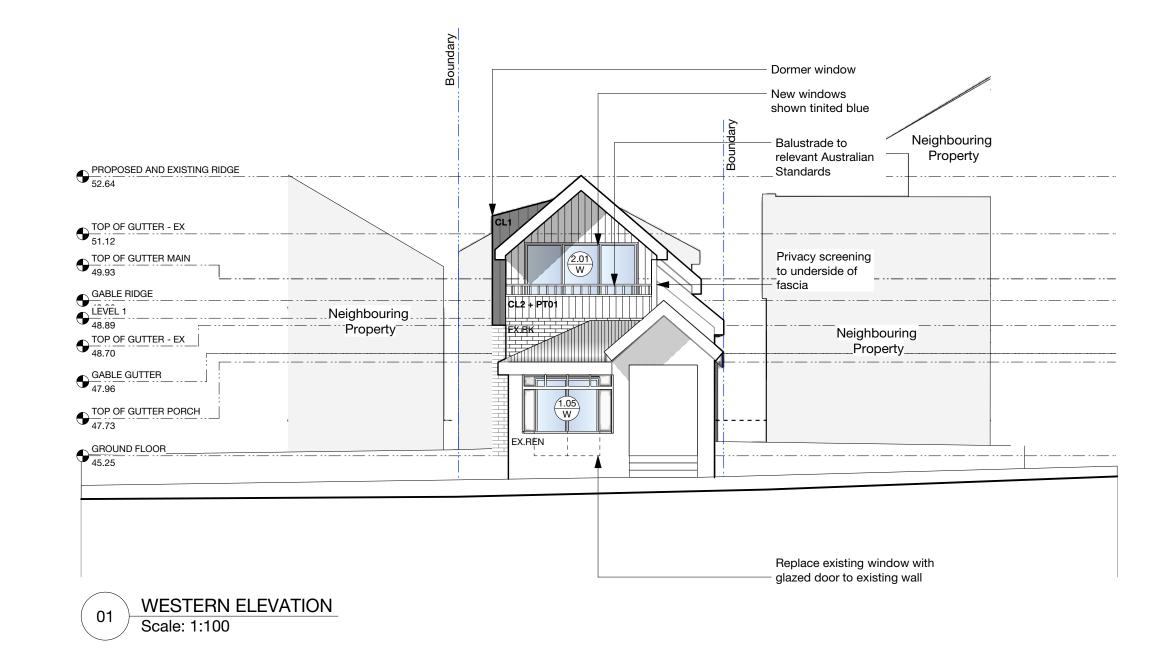


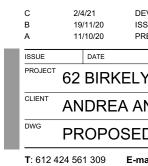
DEVELOPMENT APPLICATION SSUE FOR CLIENT REVIEW SSUE FOR PRE-LODGEMENT MEETING PRE-DA TO CONSULTANTS			
REVISION			
Y ROAD, MANLY		PROJECT # 2002	
AND ROLF HORVATH	DATE # 02/12/19	DWG #	
	SCALE @ A3         1:50         @ IAS           DRAWN         AC	DA04	
D ROOF PLAN	СНКД АС	REVISION D	
nail - alice.e.cutcliffe@gmail.com	1		



DEVELOPMENT APPLICATION SSUE FOR CLIENT REVIEW SSUE FOR PRE-LODGEMENT MEETING PRE-DA TO CONSULTANTS		
REVISION		
Y ROAD, MANLY		PROJECT # 2002
AND ROLF HORVATH	DATE # 02/12/19	DWG #
	SCALE @ A3 1:50 @JAS DRAWN AC	DA05
ED L1 FLOOR PLAN	CHKD AC	REVISION A
mail - alice.e.cutcliffe@gmail.com		

CODE	MATERIAL
CL1	Weatherboard
CL2	Timber Batten
PT01	Dulux White
PT02	Charcol or Natural
вк	Brick
EX	Existing
REN	Render
CBS	Colorbond Sheeting
DP	Downpipe
GU	Gutter



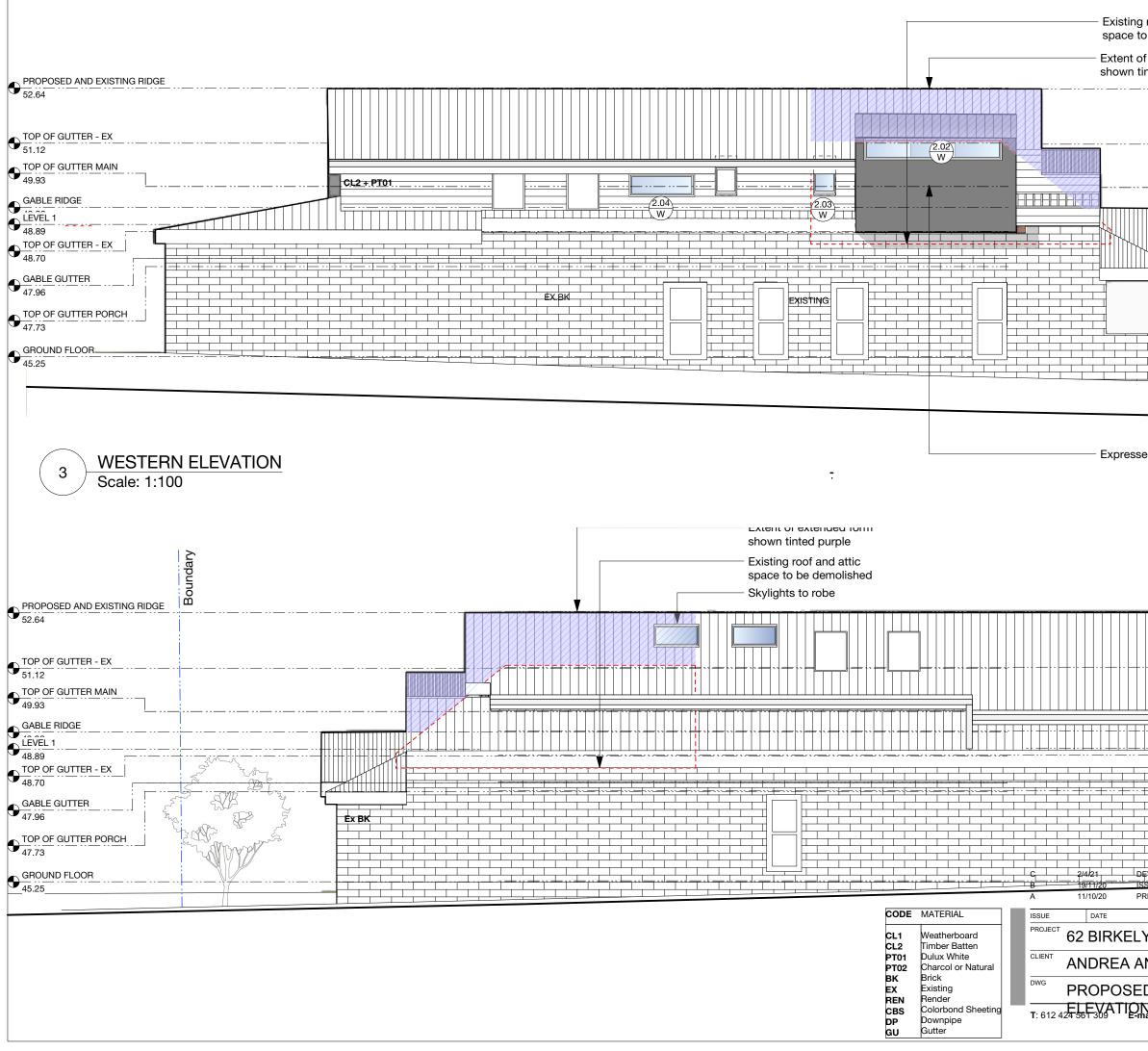


nail -	alice.e.cutcliffe@gmail.com
iun -	anoc.c.cutonne@gman.com

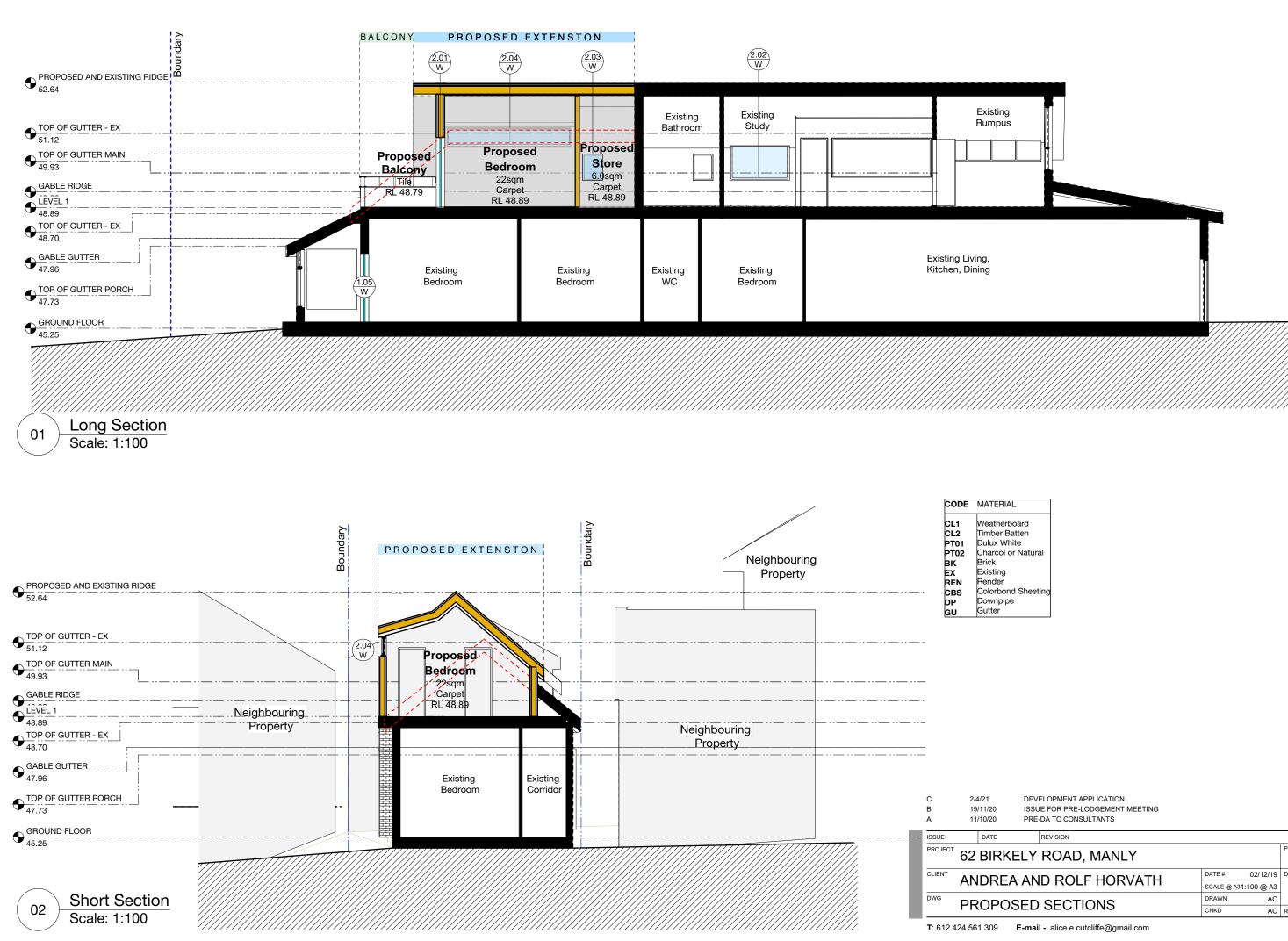
MANLY         PROJECT # 2002           AND ROLF HORVATH         DATE # 02/12/19 SCALE @ A31:100 @ A3         DWG # DA06           ED WEST ELEVATION         DRAWN AC         DA06			
AND ROLF HORVATH SCALE @ A31:100 @ A3 D WEST ELEVATION AC DA06	Y ROAD, MANLY		
	AND ROLF HORVATH		
CHKD AC REVISION C		DRAWN AC	DAUO
		СНКД АС	REVISION C

REVISION

DEVELOPMENT APPLICATION ISSUE FOR PRE-LODGEMENT MEETING PRE-DA TO CONSULTANTS

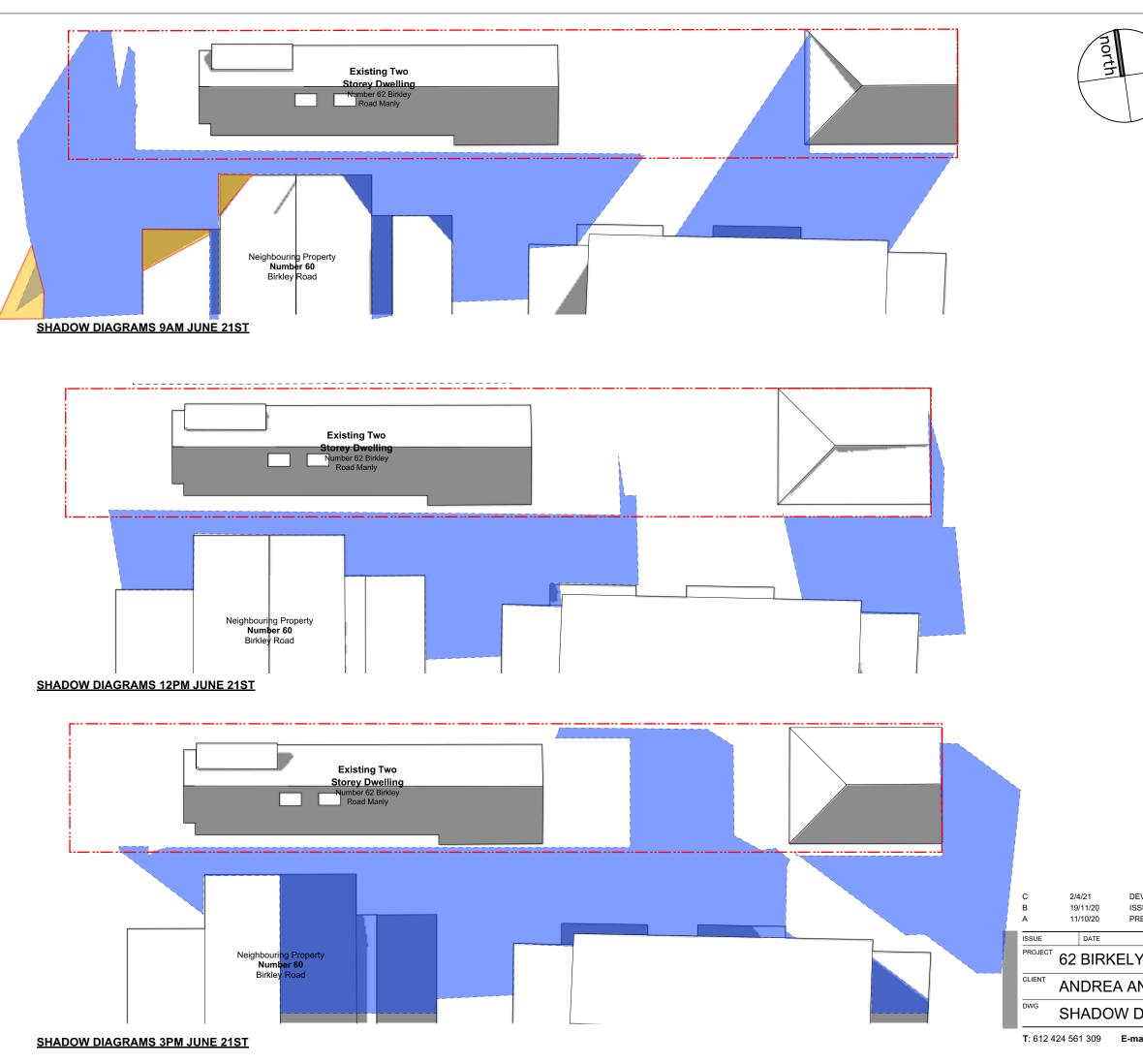


roof and attic be demolished f extended form inted purple	PROPOSED AND EXISTING RIDGE 52.64
	TOP OF GUTTER - EX 51.12 TOP OF GUTTER MAIN 49.93 GABLE RIDGE LEVEL 1 48.89 TOP OF GUTTER - EX 48.70 GABLE GUTTER 47.96 TOP OF GUTTER PORCH 47.73 GROUND FLOOR 45.25
ed dormer window	PROPOSED AND EXISTING RIDGE
	52.64 TOP OF GUTTER - EX 51.12 TOP OF GUTTER MAIN 49.93 GABLE RIDGE LEVÊL Î 48.89 TOP OF GUTTER - EX 48.70 GABLE GUTTER 47.96 TOP OF GUTTER PORCH 47.73 GROUND FLOOR '5
RE-DA TO CONSULTANTS REVISION Y ROAD, MANLY	PROJECT # 2002
ND ROLF HORVATH D NORTH/SOUTH Nail - alice.e.cutcliffe@gmail.com	DATE #         02/12/19         DWG #           SCALE @ A31:100 @ A3         DA07           DRAWN         AC           CHKD         AC



ail -	alice.e.cutcliffe@gmail.com
-------	-----------------------------

Y ROAD, MANLY		PROJECT # 2002
AND ROLF HORVATH	DATE # 02/12/19 SCALE @ A31:100 @ A3	-
DSECTIONS	DRAWN AC	
	СНКД АС	REVISION C



all - allce.e.cutchile@gmail.com	ail -	alice.e.cutcliffe@gmail.com	
----------------------------------	-------	-----------------------------	--

Y ROAD, MANLY		PROJECT # 2002
ND ROLF HORVATH	DATE # 02/12/1	DWG #
	SCALE @ A3 1:200 @A	<b>DA09</b>
DIAGRAMS	DRAWN A	
DIAGRANIS	СНКД А	C REVISION C

REVISION

DEVELOPMENT APPLICATION ISSUE FOR PRE-LODGEMENT MEETING PRE-DA TO CONSULTANTS

LEGEND

EXISTING SHADOW

ADDITONAL SHADOW



ail - alice.e.cutclif	ife@gmail.com
-----------------------	---------------

Y ROAD, MANLY			PROJECT #	)2
	DATE # 02/	/12/19	DWG #	_
ND ROLF HORVATH	SCALE @ A3 1:100	@A3	DA1	$\cap$
ELEVATIONS	DRAWN	AC	DAI	U
	CHKD	AC	REVISION	С

REVISION

DEVELOPMENT APPLICATION ISSUE FOR PRE-LODGEMENT MEETING PRE-DA TO CONSULTANTS

## PROPOSED FLOOR

FSR 0:6 = MAXIMUM	205.08m2
TOTAL	217.7m2
EXISTING GRANNY FLAT LEVEL 1	32m2
PROPOSED LEVEL 1 (ADDITIONAL)	22m2
EXISTING LEVEL 1	38.7m2
EXISTING GROUND FLOOR	125.0m2
TOTAL	195.7 m2
GRANNY FLAT LEVEL 1	32m2
EXISTING LEVEL 1	38.7m2
EXISTING GF 1	125.0m2

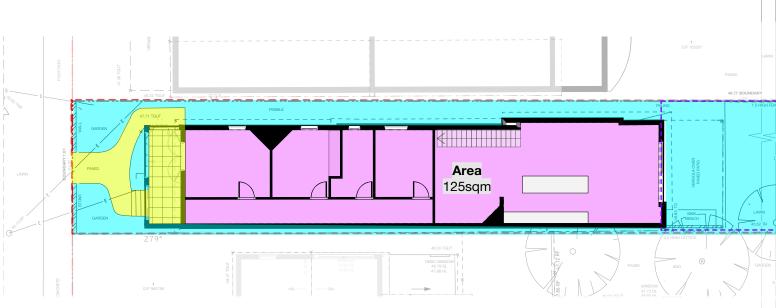
NOTE: EXISITNG SITE AREA: 341.81 FLOOR SPACE RATIO REQUIRMENT 0.6:1

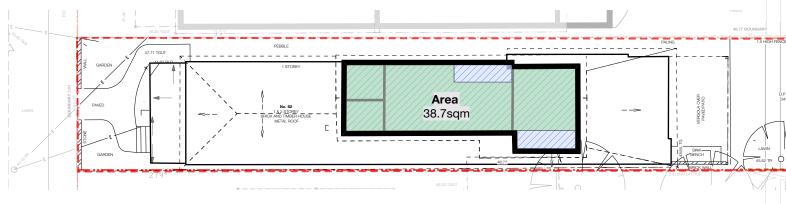
EXISTING FSR 0.571 (189.9M2) - COMPLIES PROPOSED FRS 0.63:1 (217.7M2) - DOES NOT COMPLY

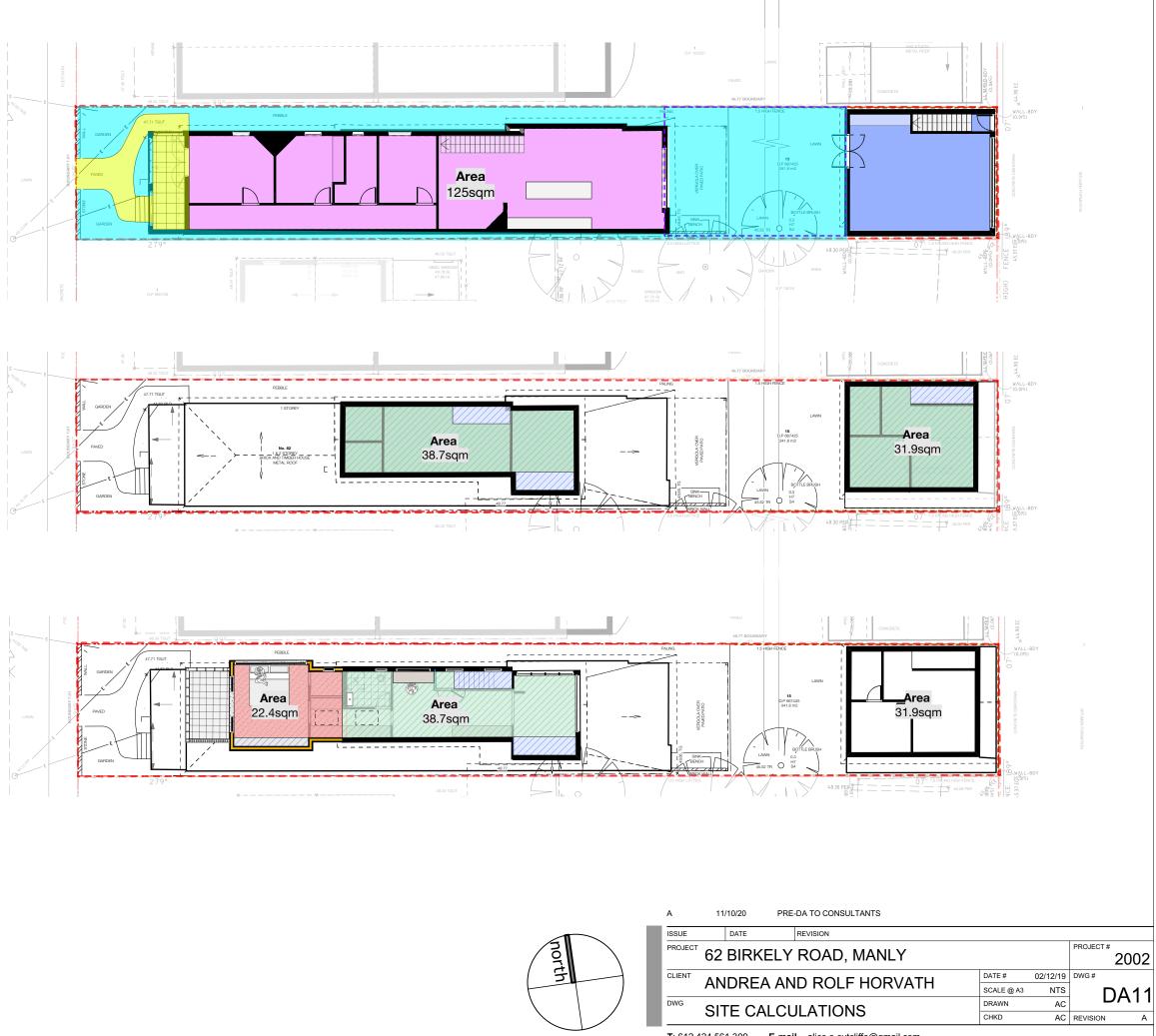


EX AND PROP PRIVATE OPEN SPACE

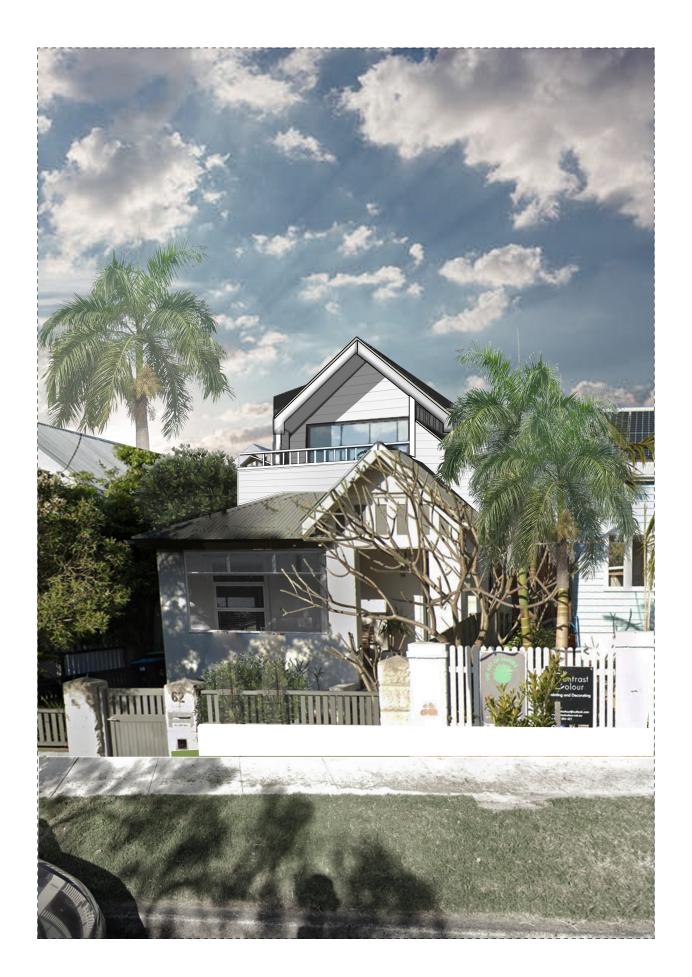
32m2















ail -	alice.e.o	utcliffe@gmail.com
-------	-----------	--------------------

	REVISION				
Y	ROAD, MANLY			PROJECT # 2002	
N	D ROLF HORVATH	DATE #	02/12/19	DWG #	1
IND ROLF HORVATH	SCALE @ A3	NTS	DA12	,	
		DRAWN	AC		•
AND FINISHES	СНКД	AC	REVISION B		
					п.

DEVELOPMENT APPLICATION PRE-DA TO CONSULTANTS

			WINDOWS
	Alterations and Additions         Articlate number: Additions         Certificate number: Additions         This certificate confirms that the proposed development will meet the NSW goormments's requirements for sustainability, if it is built in accordance with the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions additions" date (66/10/2017 published by the Department. This document is available at www.basix.new.gov.au         Secretary         Date of issue: Wednesday, 07, April 2021         To be valid, the certificate within a months of the date of issue:         Environment         Planning, Industry & Environment         Industry & Environment	Windows and glazed doors         The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.       ✓	
Let atom ()   A minor () <tr< td=""><td>Fixtures and systems     Show on DA Plans     Show on CCCDC Plans &amp; specs     Show on Check Plans &amp; specs       Lighting       The apolicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or</td><td>Glazing requirements       Show on DA Plans       Show on CCCDC Plans &amp; specs       Show on CCCDC Plans &amp; specs       Show on CCCDC Plans &amp; specs       Certifier Check         Window / door       Orientation       Area of plass rame (m)       Overshadowing (m)       Shading device       Frame and glass type       Image: Complexity of the specs       Image: Complexity of the specs         Window / door       Orientation       Area of plass       Overshadowing (m)       Shading device       Frame and glass type       Image: Complexity of the specs       Image: Complexity of the specs         Window / door       Orientation       Area of plass       Image: Complexity of the specs       Image: Complexity of the s</td><td></td></tr<>	Fixtures and systems     Show on DA Plans     Show on CCCDC Plans & specs     Show on Check Plans & specs       Lighting       The apolicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or	Glazing requirements       Show on DA Plans       Show on CCCDC Plans & specs       Show on CCCDC Plans & specs       Show on CCCDC Plans & specs       Certifier Check         Window / door       Orientation       Area of plass rame (m)       Overshadowing (m)       Shading device       Frame and glass type       Image: Complexity of the specs       Image: Complexity of the specs         Window / door       Orientation       Area of plass       Overshadowing (m)       Shading device       Frame and glass type       Image: Complexity of the specs       Image: Complexity of the specs         Window / door       Orientation       Area of plass       Image: Complexity of the specs       Image: Complexity of the s	
Planning, Industry & Environment Building Sustainability Index www.basik.nsw.gov.au Planning. Industry & Environment Building Sustainability Index www.basik.nsw.gov.au	BASIX Certificate number: A406235       page 3 /6       Construction     Show on DA Plans     Show on DA Plans     Certifier Check       Insulation requirements       Insulation required construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the tap below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation in and required (R-value)     Other specifications       Insulation required for parts of altered construction insulation in not required (R-value)     Other specifications     Image: Construction floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the tap below, except that a) additional insulation aready exists.     Image: Construction floor altered construction where insulation aready exists.     Image: Construction floor altered construction where insulation construction is less than 2m2, b) insulation specified is not required (R-value)     Image: Construction floor altered construction (floor (S), construction is less than 2m2, b) insulation specified is not required (R-value)     Image: Construction floor altered construction (floor (S), construction (S), construction is less than 2m2, b) insulation specified is not required (R-value)     Image: Construction floor altered construction (floor (S), construction (floor altered construction (floor (floor male))     Image: Construction floor (floor male)     Image: Construction floor (floor male)     Image: Construction (floor male)       If at ceiling, pitched r	BASIX Certificate number: A406295       page 6 / 6         Legend       In these commitments, "applicant" means the person carrying out the development.         Commitments identified with a "\s" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development).         Commitments identified with a "\s" in the "Show on OC/CDC plans & spece" column must be shown in the plans and specifications accompanying the application for a construction certificate for the proposed development.         Commitments identified with a "\s" in the "Show on OC/CDC plans & spece" column must be shown in the plans and specifications accompanying the application for a construction certificate for the proposed development.         Commitments identified with a "\s" in the "Certifier check" column must be certified by a certifying authority as having been fulfiled, before a final occupation certificate for the	ISSUE DATE PROJECT 62 BIRKELY
	Planning, Industry & Environment Bulding Sustainability Index www.basik.naw.gov.au	Planning, Industry & Environment Building Sustainability Index www.basix.nsw.gov.au	

	1			
ID	Туре	Height	Width	Height above FFL
1.05	Hinged Right Door	2100	1500	0
2.01	Sliding Right Door	2100	3000	0
2.02	ashless Sliding Windo	600	3800	1800
2.03	Awning Hung Window		600	800
2.04	ashless Sliding Windo	1300	1800	800

0/20 PRE-DA TO CONSULTANTS

	REVISION				
Y	ROAD, MANLY			PROJECT # 2002	2
<u> </u>		DATE #	02/12/19	DWG #	
AND ROLF HORVATH	SCALE @ A3	NTS	DA1	2	
		DRAWN	AC		J
NDOW SCHEDULE	CHKD	AC	REVISION	A	

T: 612 424 561 309 E-mail - alice.e.cutcliffe@gmail.com

