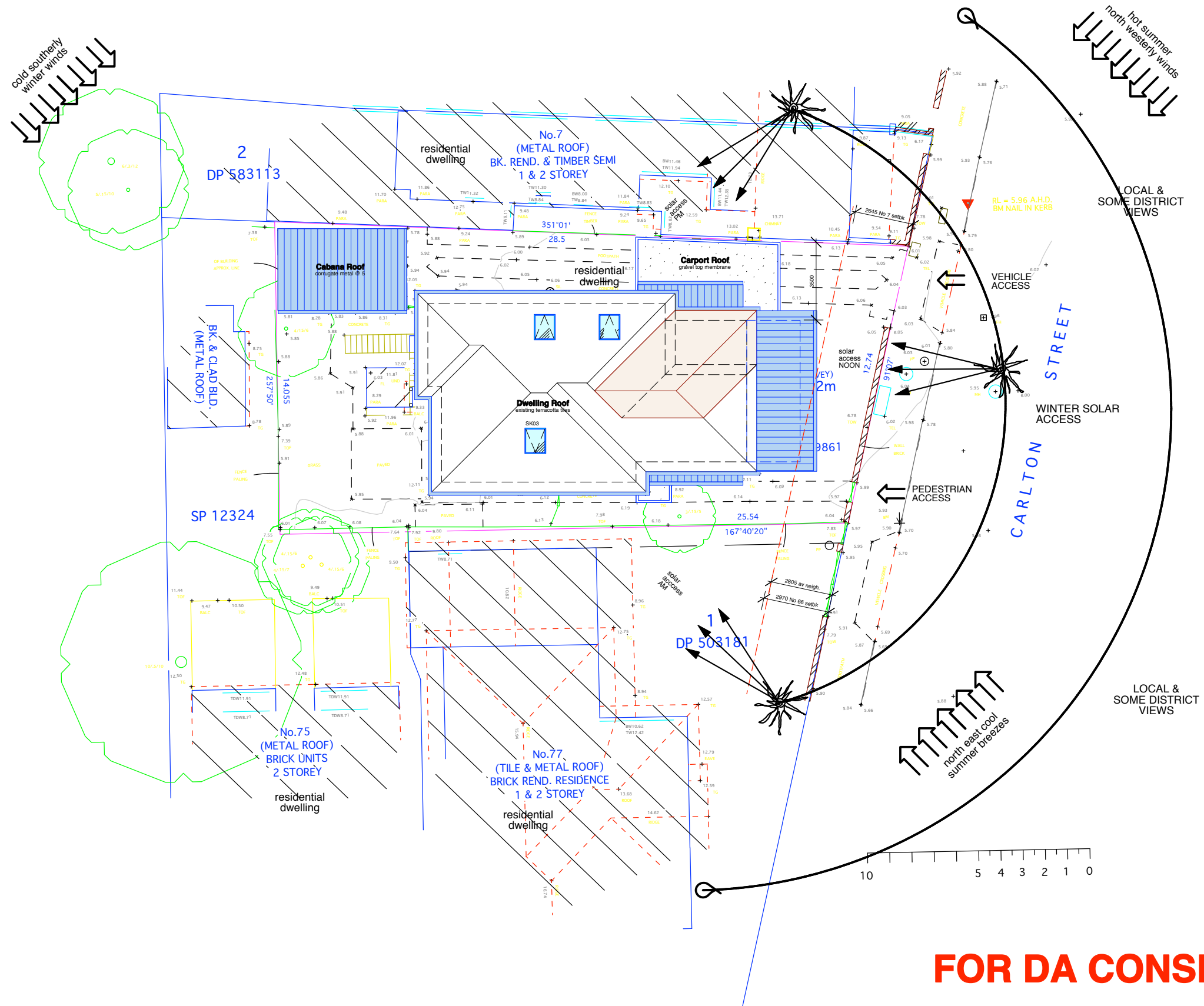




FOR DA CONSENT

Notes

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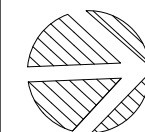
Issue	Amendment	Date
1	Issue for Client approval & Consent	20.12.22

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Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)



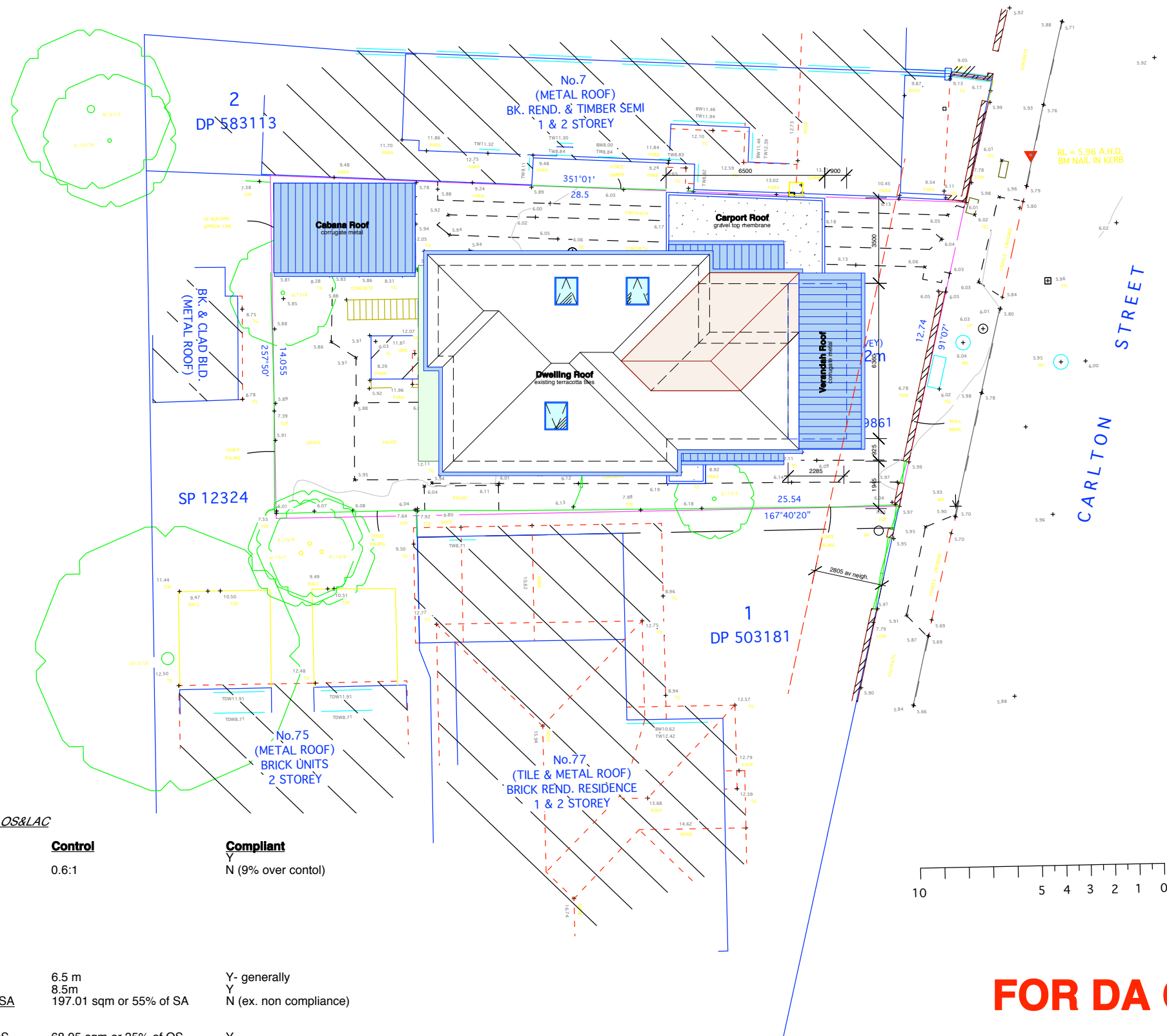
TRUE
NORTH

Site Analysis
Plan

TITLE:	JOB REF:
SCALE: 1:200 @ A3	CARL
DATE: Dec 2022	DRAWING NO:
DRAWN: MTS	ISSUE:

A00

1



COMPLIANCE SCHEDULE- refer also to architectural drawings and OS&LAC

	Existing	Proposed	Control	Compliant
Site Area	358.2 sqm			Y
Floor Space Ratio	0.54:1	0.65:1		N (9% over contol)
Gross Floor Area (Dwelling)	192.48 sqm	217.27 sqm	0.6:1	
existing ground	96.24 sqm	96.24 sqm		
new ground		8.96 sqm		
existing upper	96.24 sqm	96.24 sqm		
new upper		15.83 sqm		
Gross Floor Area (Ancillary)				
ex garage	0 sqm			
convert to cabana		17.16 sqm		
Wall Height	6.035 m	6.035 m	6.5 m	Y- generally
Building Height	8.475 m	8.475 m	8.5m	Y
Open Space	104.48 sqm	153.31 sqm or 43% of SA	197.01 sqm or 55% of SA	N (ex. non compliance)
OS at ground	104.48	133.17		
OS above ground	0	20.14		
Landscaping (planting)	90.14 sqm	99.77 sqm or 50% of OS	68.95 sqm or 35% of OS	Y
Private Open Space	> 18 sqm	> 18 sqm	18 sqm	Y
Car space	1	1	2	N (ex. non compliance)

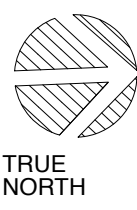
- Notes
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Issue	Amendment	Date
1	Issue for Client approval & Consent	20.12.22
2	Area schedule figures adjusted	06.01.23

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Alterations & Additions
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Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

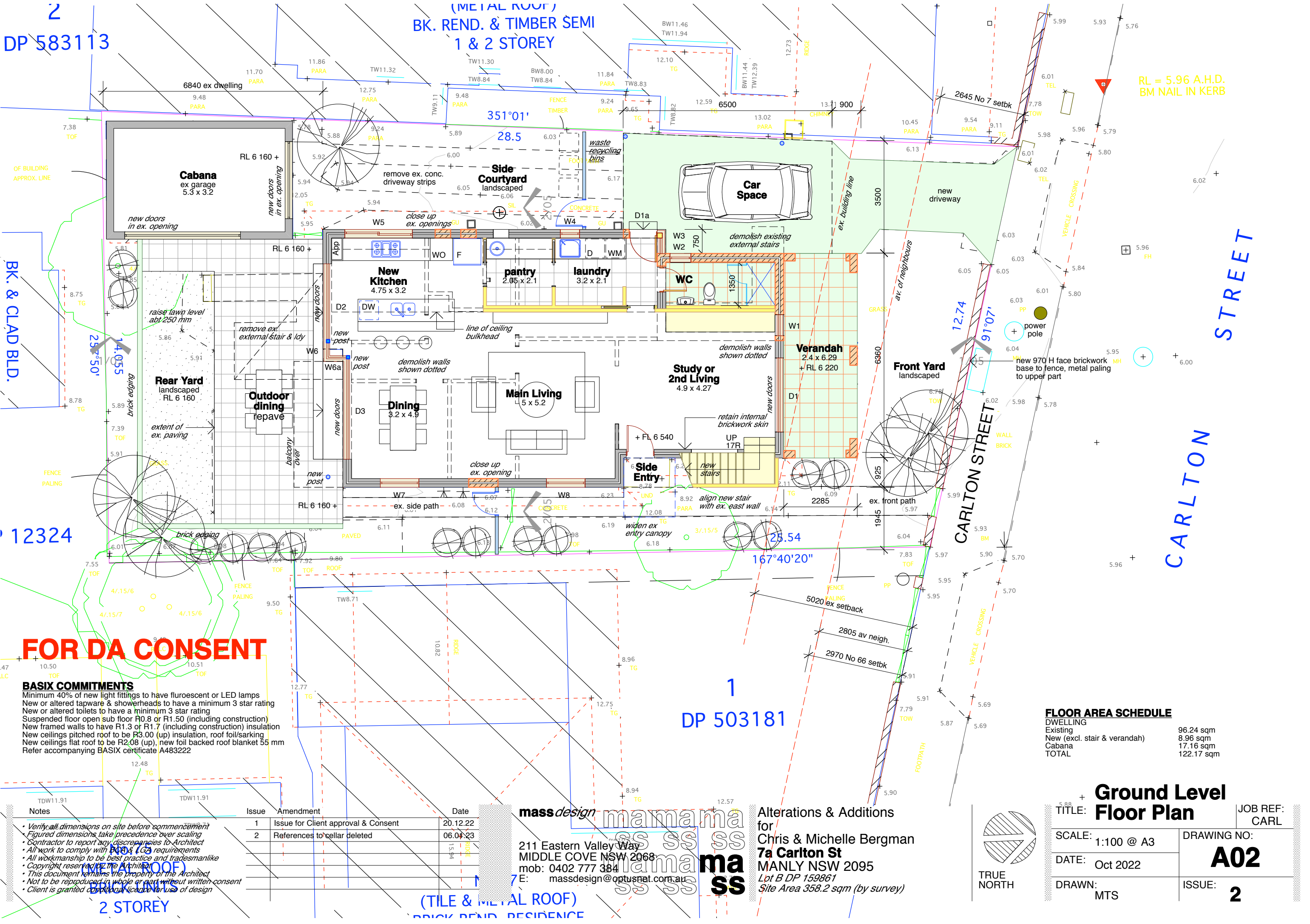


TITLE: Site Plan	JOB REF: CARL
SCALE: 1:200 @ A3	DRAWING NO: A01
DATE: Oct 2022	ISSUE: 2
DRAWN: MTS	

2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

RL = 5.96 A.H.D.
BM NAIL IN KERB



12324

FOR DA CONSENT

BASIX COMMITMENTS
Minimum 40% of new light fittings to have fluorescent or LED lamps
New or altered tapware & showerheads to have a minimum 3 star rating
New or altered toilets to have a minimum 3 star rating
Suspended floor open sub floor R0.8 or R1.50 (including construction)
New framed walls to have R1.3 or R1.7 (including construction) insulation
New ceilings pitched roof to be R3.00 (up) insulation, roof foil/sarking
New ceilings flat roof to be R2.08 (up), new foil backed roof blanket 55 mm
Refer accompanying BASIX certificate A483222

Notes	Issue	Amendment	Date
1	Issue for Client approval & Consent		20.12.22
2	References to cellar deleted		06.04.23

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1
DP 503181

Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

FLOOR AREA SCHEDULE	
DWELLING	
Existing	96.24 sqm
New (excl. stair & verandah)	8.96 sqm
Cabana	17.16 sqm
TOTAL	122.17 sqm

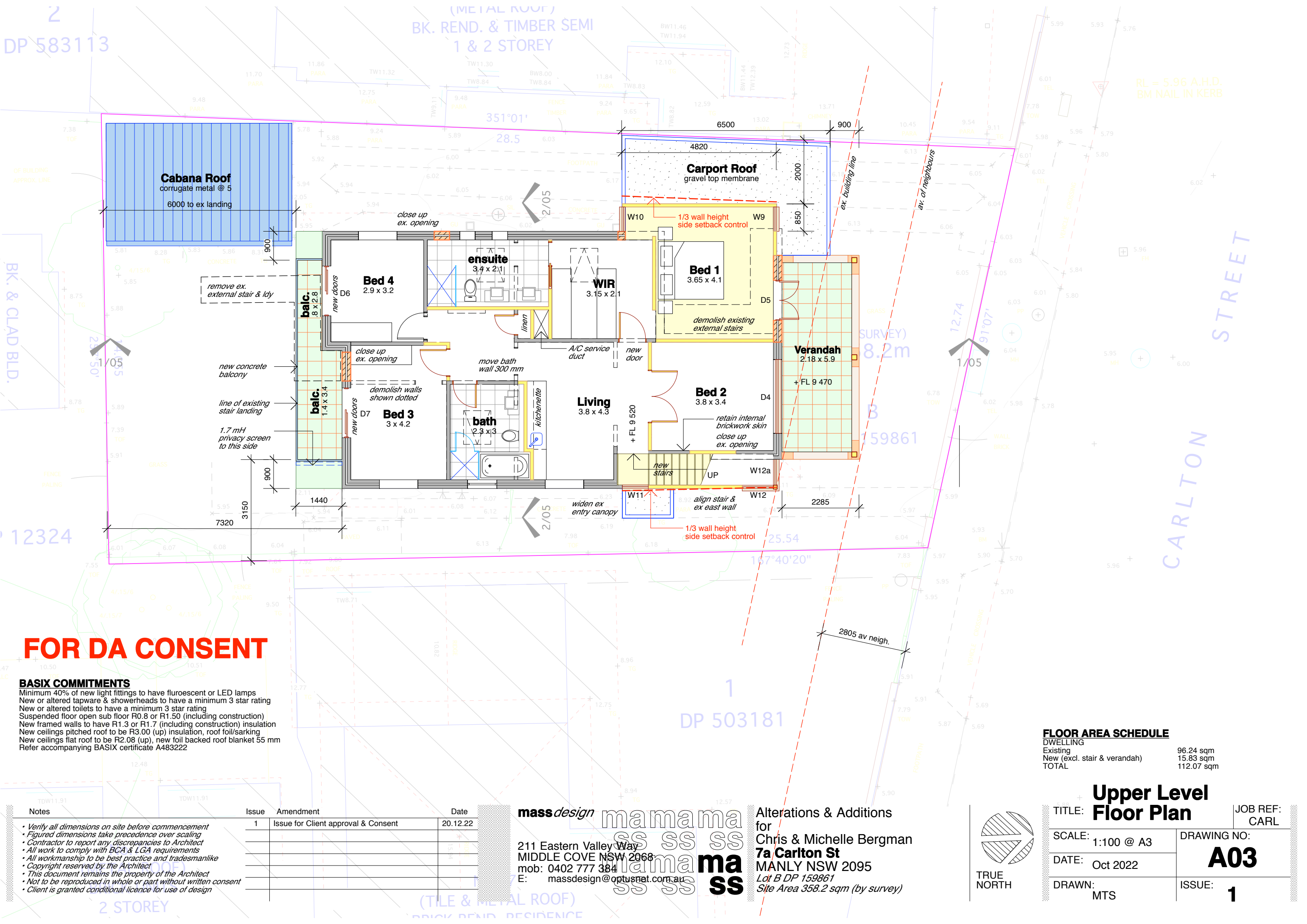


TITLE: Ground Level Floor Plan		JOB REF: CARL
SCALE: 1:100 @ A3	DRAWING NO: A02	
DATE: Oct 2022	ISSUE: 2	
DRAWN: MTS		

2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

RL = 5.96 A.H.D.
BM NAIL IN KERB



FOR DA CONSENT

BASIX COMMITMENTS

Minimum 40% of new light fittings to have fluorescent or LED lamps
New or altered tapware & showerheads to have a minimum 3 star rating
New or altered toilets to have a minimum 3 star rating
Suspended floor open sub floor R0.8 or R1.50 (including construction)
New framed walls to have R1.3 or R1.7 (including construction) insulation
New ceilings pitched roof to be R3.00 (up) insulation, roof foil/sarking
New ceilings flat roof to be R2.08 (up), new foil backed roof blanket 55 mm
Refer accompanying BASIX certificate A483222

Notes	Issue	Amendment	Date
1	Issue for Client approval & Consent		20.12.22

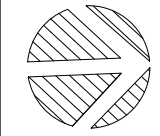
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Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

FLOOR AREA SCHEDULE

DWELLING	96.24 sqm
Existing	15.83 sqm
New (excl. stair & verandah)	112.07 sqm
TOTAL	



TRUE
NORTH

Upper Level Floor Plan

TITLE:	1:100 @ A3	JOB REF:	CARL
SCALE:	1:100 @ A3	DRAWING NO:	A03
DATE:	Oct 2022	ISSUE:	1
DRAWN:	MTS		

2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

RL = 5.96 A.H.D.
BM NAIL IN KERB

(CLAD ROOF)
BRICK GARAGE

No. 7A
(TILE ROOF)
BRICK RESIDENCE
2 STOREY

(BY SURVEY)
358.2m
B
DP 159861

CARLTON STREET

12324

FOR DA CONSENT

1
DP 503181

NOTE
All work to comply with AS/NZ 3500.3
and
Northern Beaches Council
Water Management for Development Policy
2021/154368

Stormwater
Plan

JOB REF:
CARL

SCALE: 1:100 @ A3

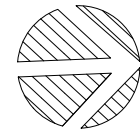
DRAWING NO:

A04

DATE: Nov 2022

DRAWN: MTS

ISSUE: 2



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NORTH

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Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

(TILE & METAL ROOF)
BRICK REND. RESIDENCE

Notes

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Issue

Amendment

Date

1	Issue for Client approval & Consent	20.12.22
2	Cellar deleted	06.04.23

2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

RL = 5.96 A.H.D.
BM NAIL IN KERB

Cabana Roof
corrugate metal @ 5

Carport Roof
gravel top membrane

Dwelling Roof
existing terracotta tiles

FOR DA CONSENT

BASIX COMMITMENTS

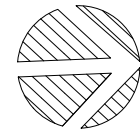
All glazing to modified/new windows
& doors to be single clear
except W5, 9, 11, 12 & 12a to be pyrolytic low E
Skylights to be low E int./argon fill/clear ext.
Refer accompanying BASIX certificate A483222

NOTE
All work to comply with AS/NZ 3500.3
and
Northern Beaches Council
Water Management for Development Policy
2021/154368

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Alterations & Additions
for
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7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)



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TITLE: Roof Plan		JOB REF: CARL
SCALE: 1:100 @ A3	DRAWING NO: A05	
DATE: Oct 2022	ISSUE: 1	
DRAWN: MTS		

CARLTON STREET

FOR DA CONSENT

BASIX COMMITMENTS

Minimum 40% of new light fittings to have fluorescent or LED lamps
New or altered tapware & showerheads to have a minimum 3 star rating
New or altered toilets to have a minimum 3 star rating
Suspended floor open sub floor R0.8 or R1.50 (including construction)
New framed walls to have R1.3 or R1.7 (including construction) insulation
New ceilings pitched roof to be R3.00 (up) insulation, roof foil/sarking
New ceilings flat roof to be R2.08 (up), new foil backed roof blanket 55 mm
Refer accompanying BASIX certificate A483222

2. CROSS SECTION

Notes	Issue	Amendment	Date
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	2	Cellar deleted	06.01.23

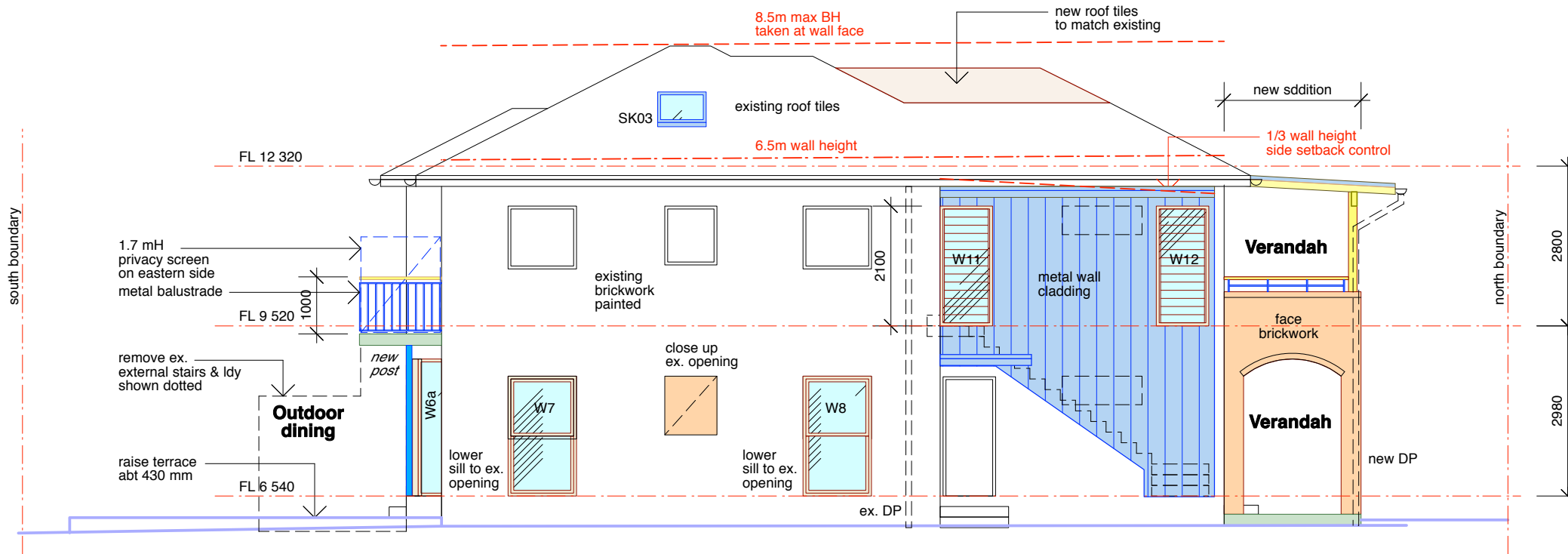
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Alterations & Additions
for
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7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

TITLE: Sections	JOB REF: CARL
SCALE: 1:100 @ A3	DRAWING NO: A06
DATE: Oct 2022	ISSUE: 2
DRAWN: MTS	



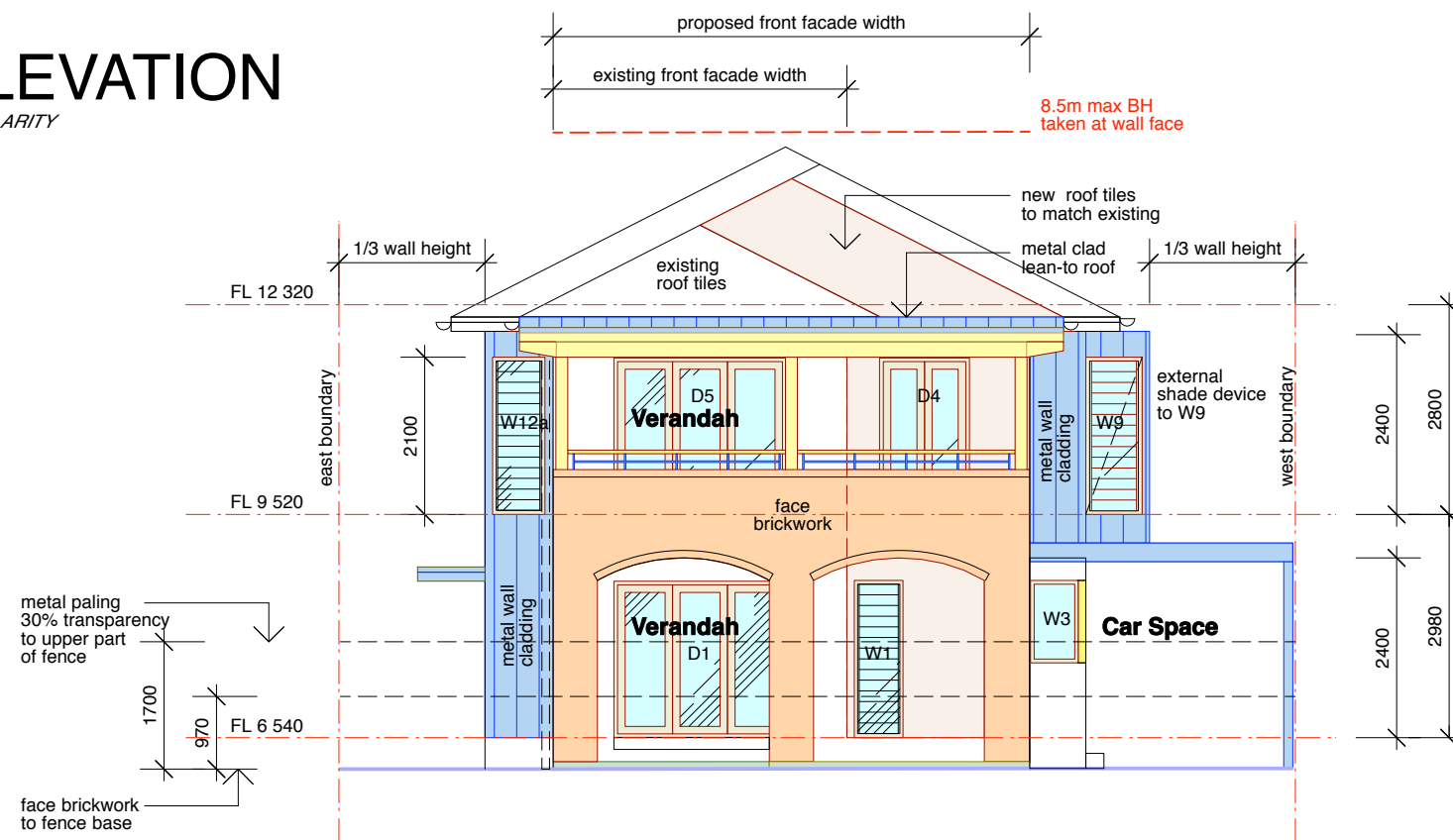
1. EAST ELEVATION

CABANA NOT SHOWN FOR CLARITY

FOR DA CONSENT

BASIX COMMITMENTS

All glazing to modified/new windows & doors to be single clear except W5, 9, 11, 12 & 12a to be pyrolytic low E Skylights to be low E int./argon fill/clear ext. Refer accompanying BASIX certificate A483222



2. NORTH/STREET ELEVATION

CABANA NOT SHOWN FOR CLARITY

Notes	Issue	Amendment	Date
• Verify all dimensions on site before commencement	1	Issue for Client approval & Consent	20.12.22
• Figured dimensions take precedence over scaling			
• Contractor to report any discrepancies to Architect			
• All work to comply with BCA & LGA requirements			
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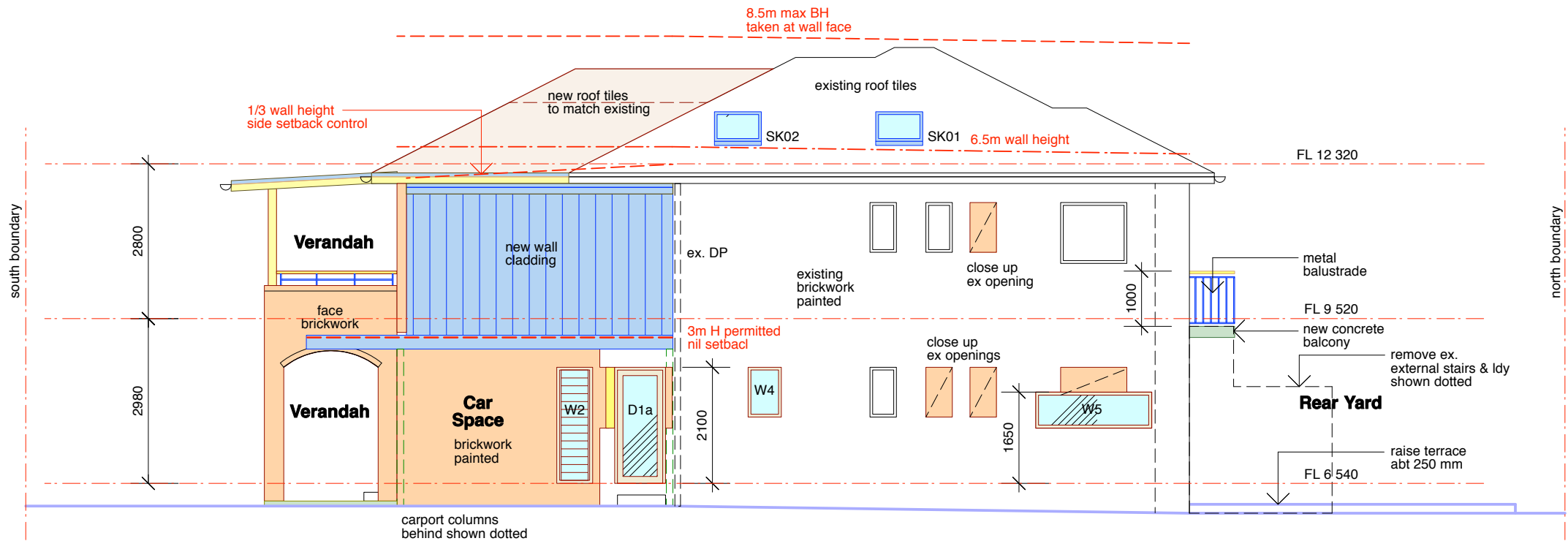
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Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

North & East Elevations

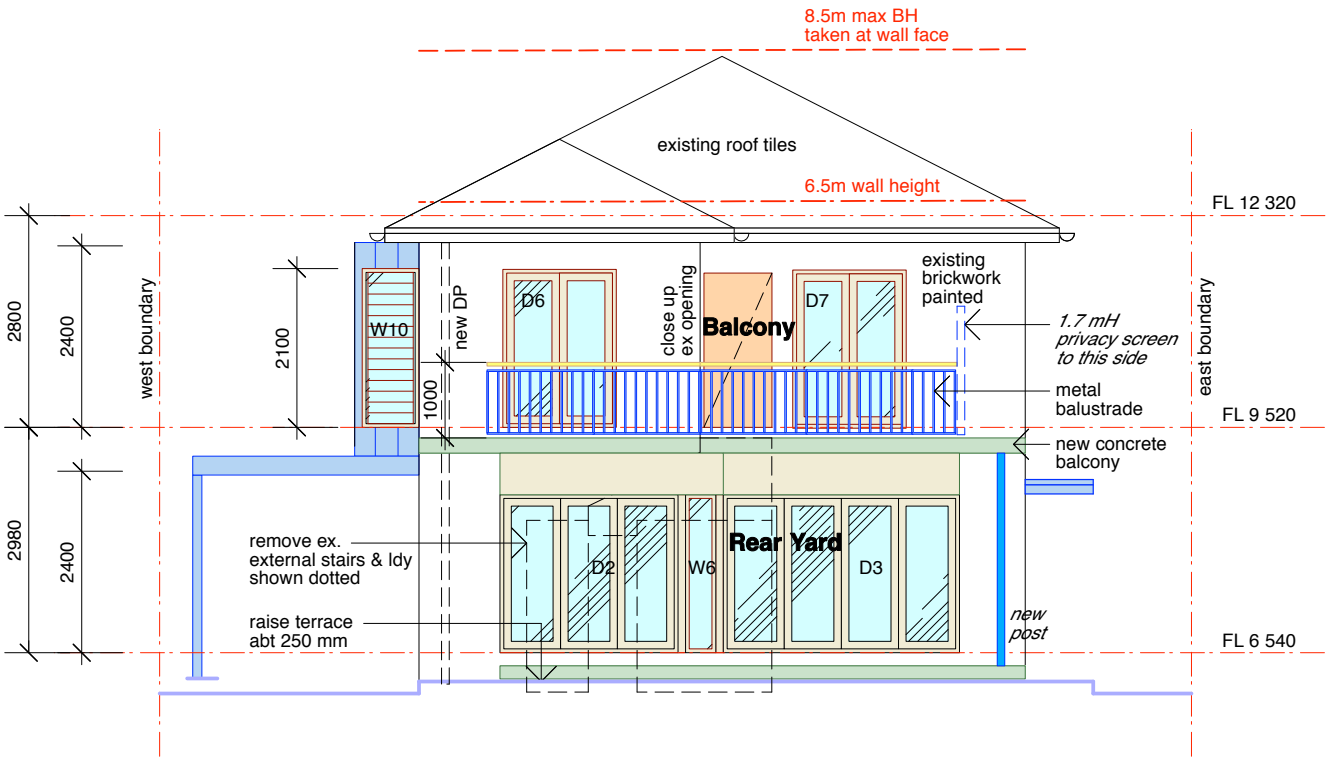
TITLE:	JOB REF: CARL
SCALE: 1:100 @ A3	DRAWING NO: A07
DATE: Oct 2022	ISSUE: 1
DRAWN: MTS	



1. WEST ELEVATION

CABANA NOT SHOWN FOR CLARITY

FOR DA CONSENT



2. SOUTH ELEVATION

CABANA NOT SHOWN FOR CLARITY

BASIX COMMITMENTS
All glazing to modified/new windows
& doors to be single clear
except W5, 9, 11, 12 & 12a to be pyrolytic low E
Skylights to be low E int./argon fill/clear ext.
Refer accompanying BASIX certificate A483222

Notes	Issue	Amendment	Date
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Alterations & Additions
for
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7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

TITLE: South & West Elevations	JOB REF: CARL
SCALE: 1:100 @ A3	DRAWING NO: A08
DATE: Oct 2022	ISSUE: 1
DRAWN: MTS	

2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

(CLAD ROOF)
BRICK GARAGE

No.7A
(TILE ROOF)
BRICK RESIDENCE
2 STOREY

(BY SURVEY)
358.2m
6.18
B
DP 159.86
398.2m

Front Yard
x. Open Space 51.99
Open Space 36.05 sqm
landscaping 31.14 sqm

.70 OS3 OPEN SPACE AREA

required Open Space is 55% of Site Area (358.2) or 197 sqm
required soft landscape area is 35% of Open Space or 69 sqm

<u>Ex Open Space</u>	<u>104.48 sqm or 29% of SA</u>
<i>front</i>	<i>51.99</i>
<i>rear</i>	<i>53.49</i>
<u>Proposed Open Space</u>	<u>153.31 sqm or 42.8% of SA</u>
<i>front</i>	<i>36.05</i>
<i>side</i>	<i>33.38</i>
<i>rear</i>	<i>67.46</i>
<i>upper</i>	<i>20.14</i>

<u>Soft Landscape Area</u>	<u>99.77 sqm or 50% of OS</u>
<i>front</i>	<i>31.14</i>
<i>side</i>	<i>33.38</i>
<i>rear</i>	<i>35.25</i>

Open Space & Landscape Area Calculations

JOB REF:
CARL

SCALE: 1:100 @ A3

DATE: Dec 2022

DRAWN:
MTS

DRAWING NO:
0081 A0

OS&LAC

ISSUE: **1**

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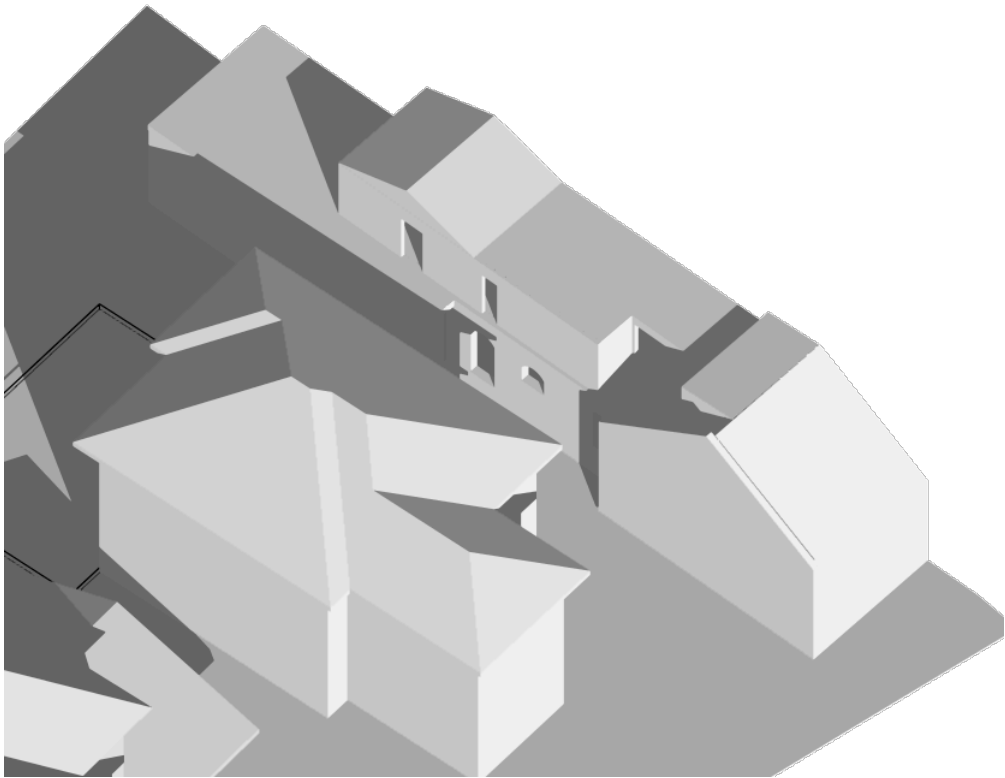
Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)



TRUE
NORTH

Notes	Issue	Amendment	Date
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9.30 AM EXISTING



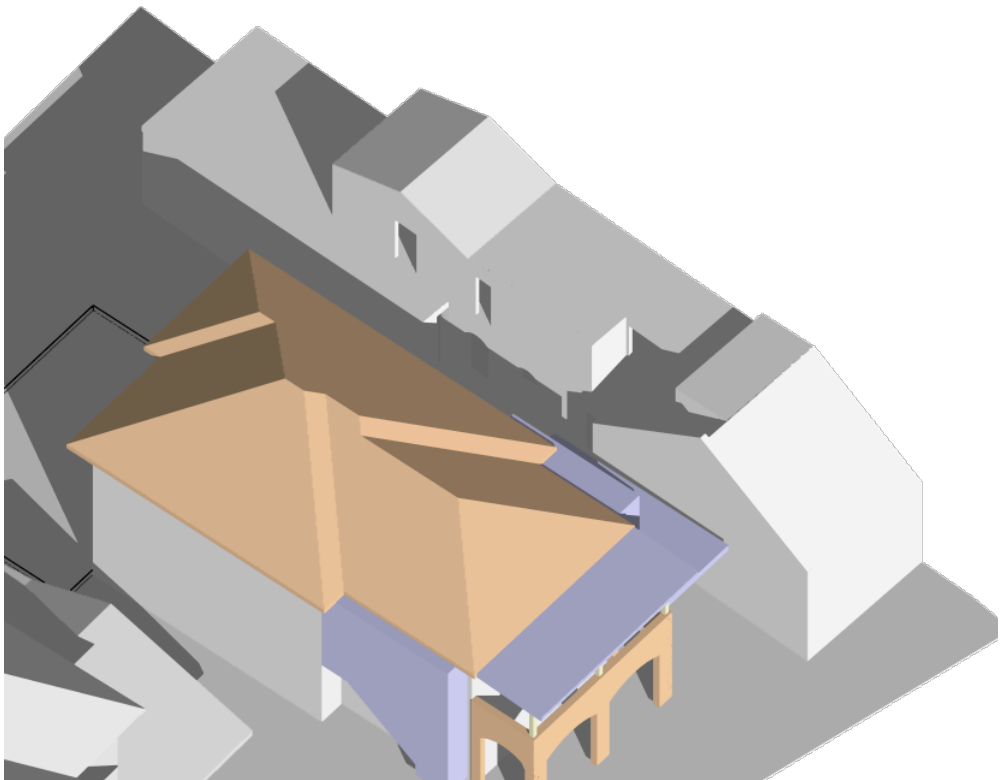
9.45 AM EXISTING



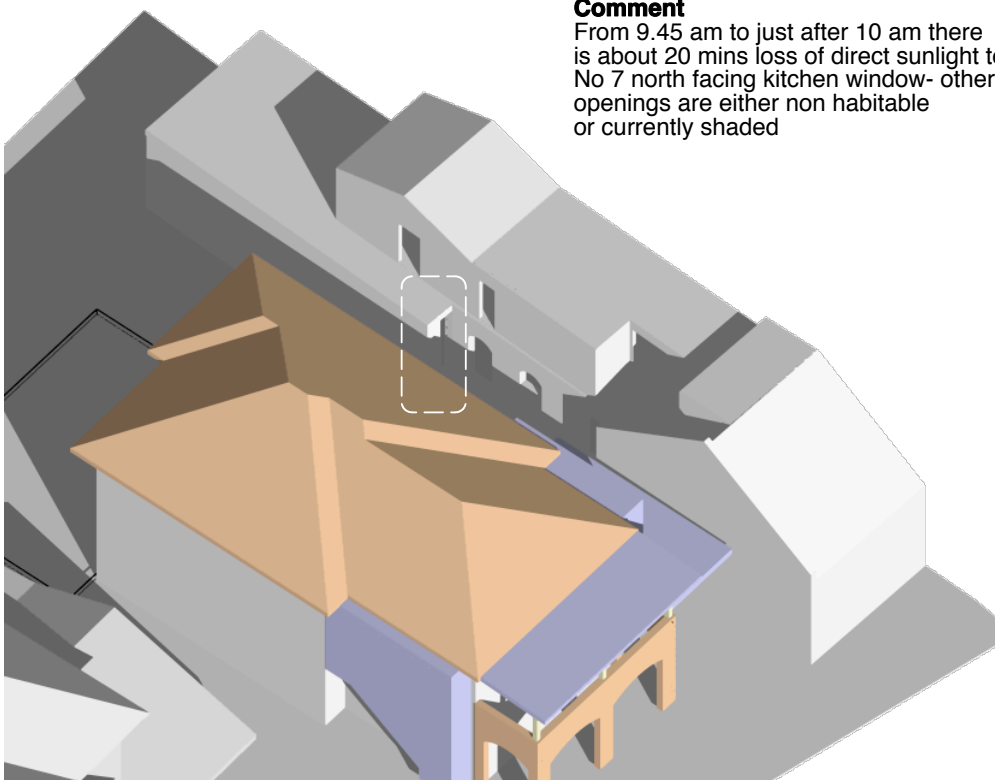
10 AM EXISTING



9.45 AM PROPOSED

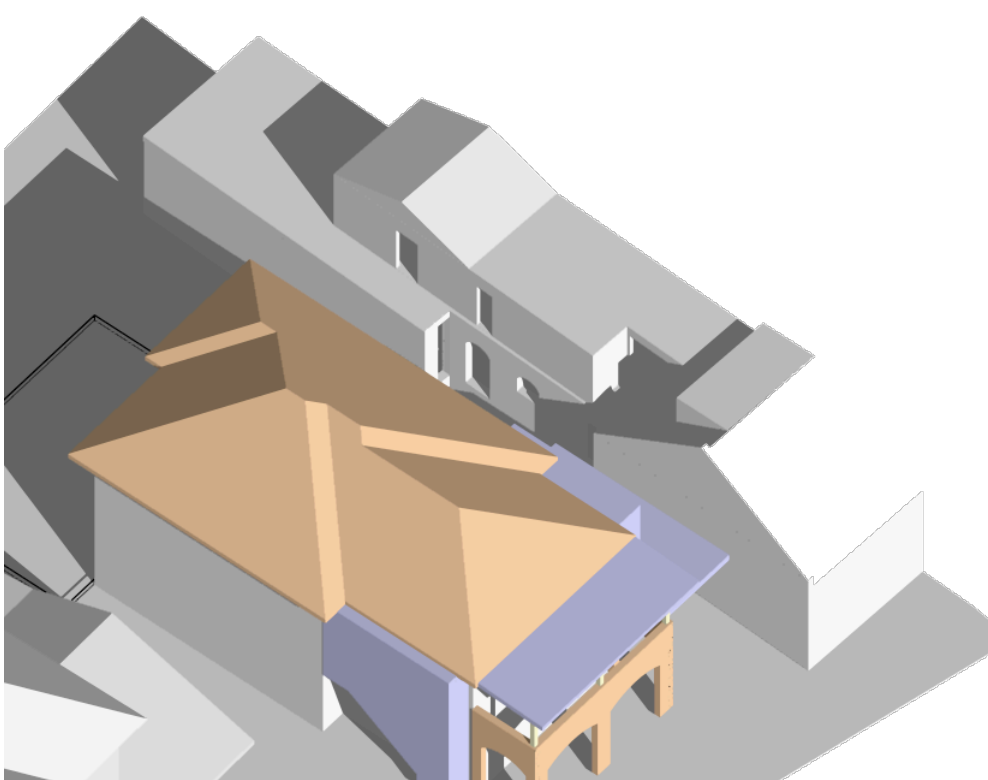


10 AM PROPOSED



Comment
From 9.45 am to just after 10 am there is about 20 mins loss of direct sunlight to No 7 north facing kitchen window- other openings are either non habitable or currently shaded

10.30 AM PROPOSED



Notes	Issue	Amendment	Date
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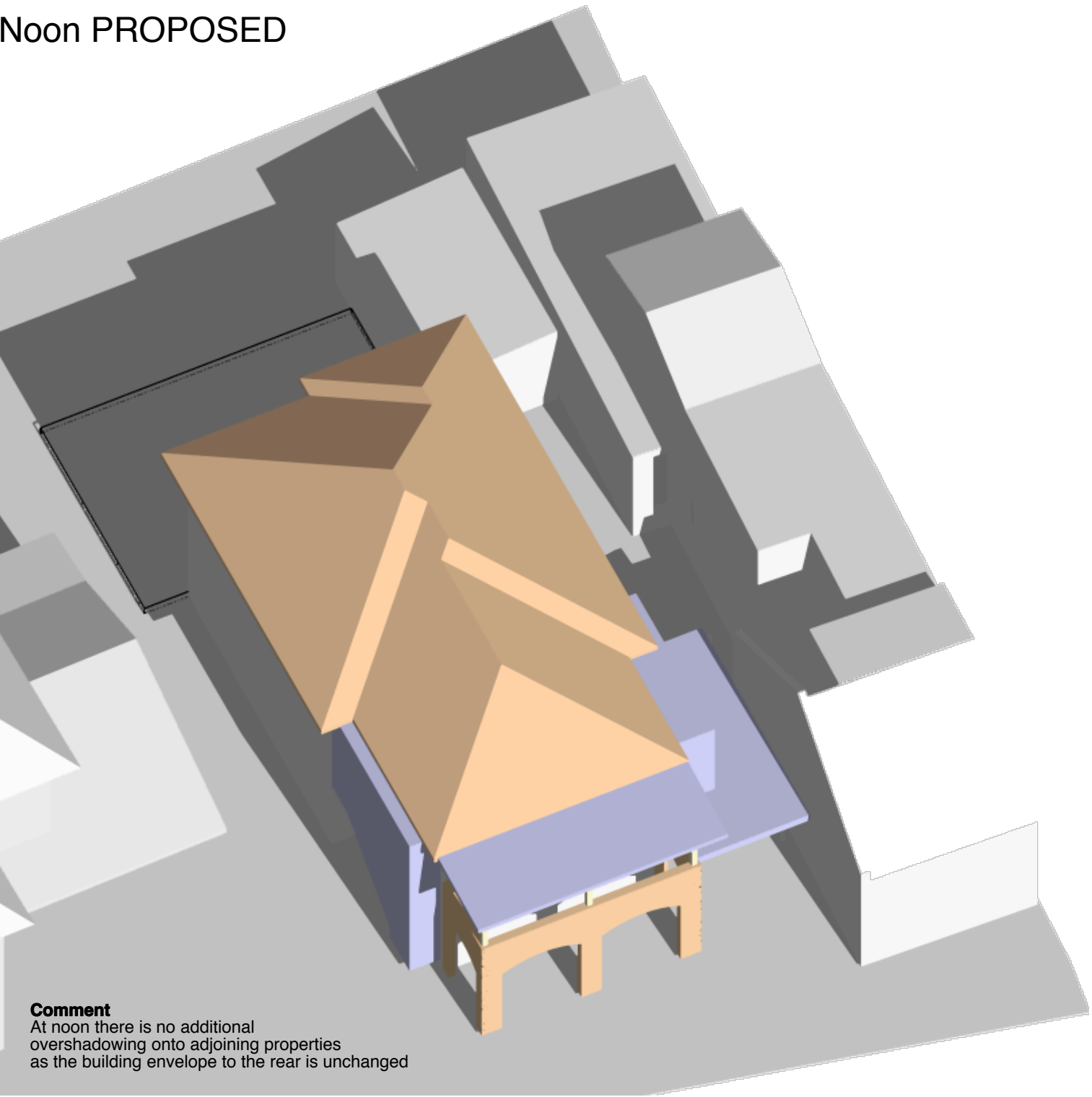
Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

TITLE:	AM 21 June	JOB REF:	CARL
SCALE:	NTS @ A3	DRAWING NO:	SH01
DATE:	Dec 2022	ISSUE:	1
DRAWN:	MTS		

Noon EXISTING



Noon PROPOSED



Comment
At noon there is no additional
overshadowing onto adjoining properties
as the building envelope to the rear is unchanged

Notes	Issue	Amendment	Date
• Verify all dimensions on site before commencement • Figured dimensions take precedence over scaling • Contractor to report any discrepancies to Architect • All work to comply with BCA & LGA requirements • All workmanship to be best practice and tradesmanlike • Copyright reserved by the Architect • This document remains the property of the Architect • Not to be reproduced in whole or part without written consent • Client is granted conditional licence for use of design	1	Issue for Client approval & Consent	21.12.22

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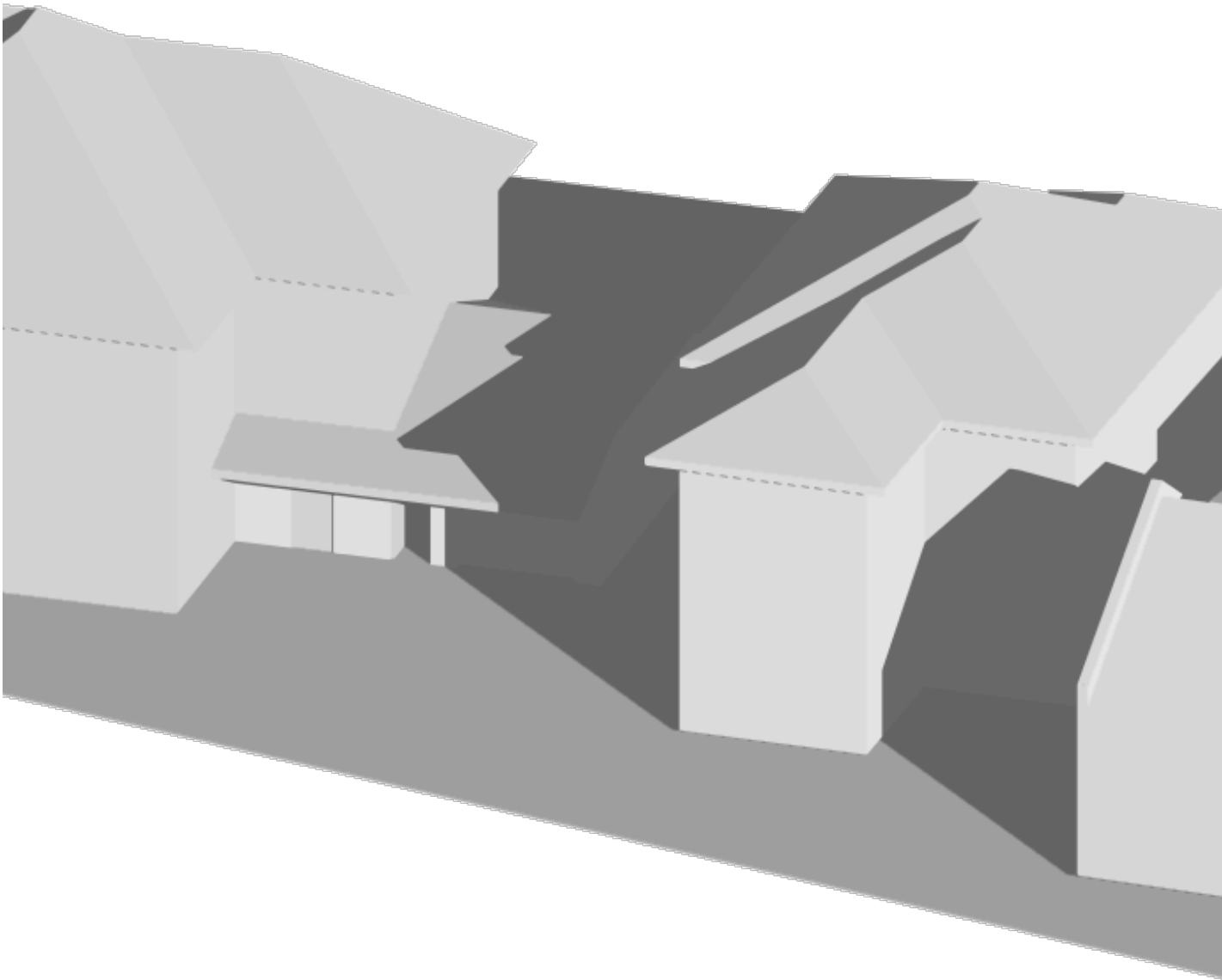
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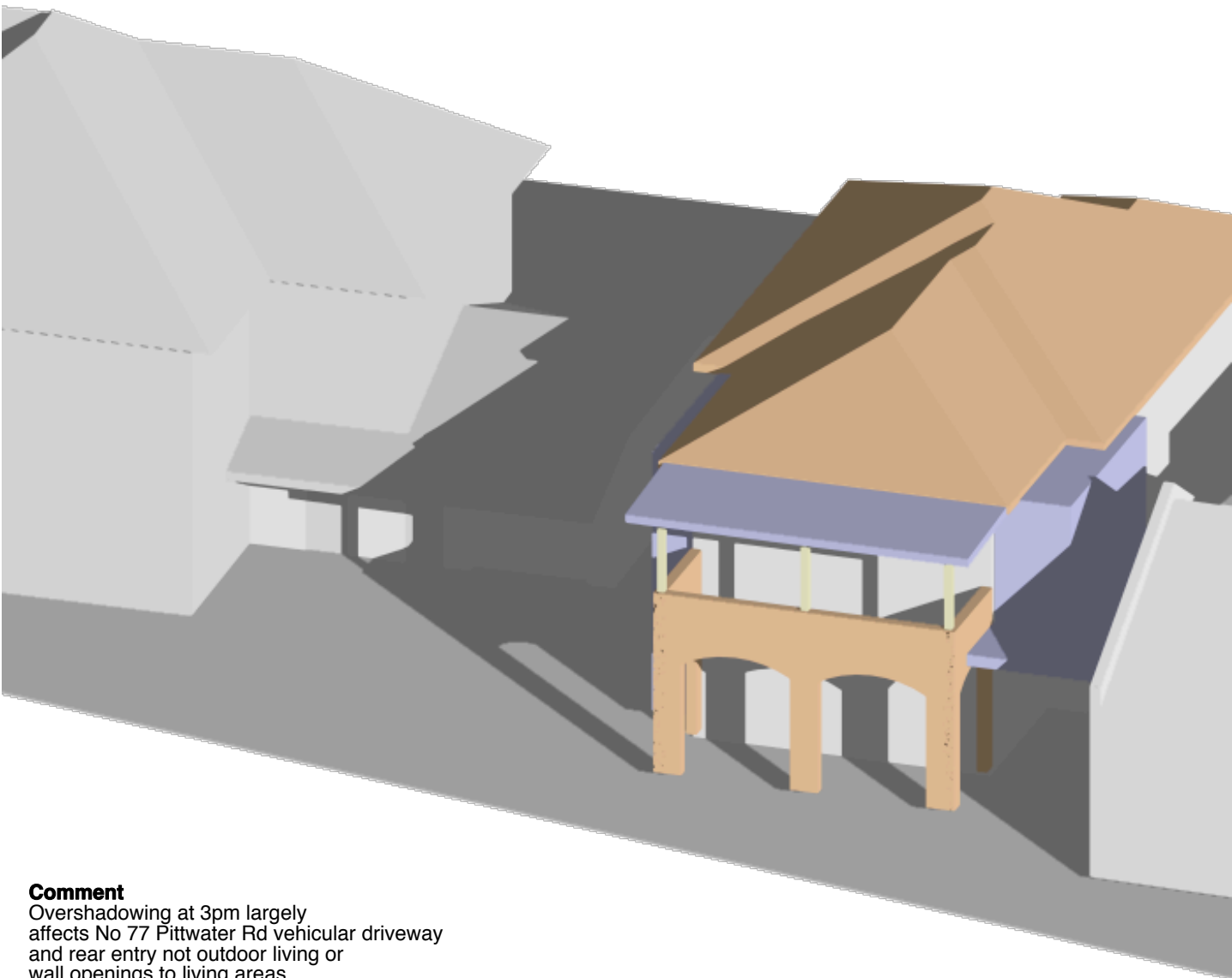
Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

TITLE: Noon 21 June	JOB REF: CARL
SCALE: NTS @ A3	DRAWING NO: SH02
DATE: Dec 2022	ISSUE: 1
DRAWN: MTS	

3 PM EXISTING



3 PM PROPOSED



Comment
Overshadowing at 3pm largely affects No 77 Pittwater Rd vehicular driveway and rear entry not outdoor living or wall openings to living areas

Notes	Issue	Amendment	Date
• Verify all dimensions on site before commencement • Figured dimensions take precedence over scaling • Contractor to report any discrepancies to Architect • All work to comply with BCA & LGA requirements • All workmanship to be best practice and tradesmanlike • Copyright reserved by the Architect • This document remains the property of the Architect • Not to be reproduced in whole or part without written consent • Client is granted conditional licence for use of design	1	Issue for Client approval & Consent	21.12.22

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Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)

TITLE:	3 PM 21 June	JOB REF:	CARL
SCALE:	NTS @ A3	DRAWING NO:	SH03
DATE:	Dec 2022	ISSUE:	
DRAWN:	MTS		1

2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

RL = 5.96 A.H.D.
BM NAIL IN KERB

Cabana Roof
corrugate metal @ 5

Carport Roof
gravel top membrane

SK01

SK02

SK03

existing tiled roof

new roof tiles
to match existing

metal clad roof

continuous sediment
control barrier to
control barrier to
areas involving excavation

hay bale barrier
in kerb gutter

council refuse &
recycling bin
collection point

hay bale barrier
in kerb gutter

CARLTON STREET

BK. & CLAD BLD.

12324

FOR DA CONSENT

1
DP 503181

NOTE
Waste management to be in accordance with
Northern Beaches Council's
Waste Management Policy

NOTE
All work to comply with AS/NZ 3500.3
and
Northern Beaches Council
Water Management for Development Policy
2021/154368

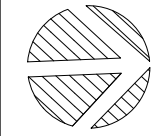
BASIX COMMITMENTS

All glazing to modified/new windows
& doors to be single clear
except W5, 9, 11, 12 & 12a to be pyrolytic low E
Skylights to be low E int./argon fill/clear ext.
Refer accompanying BASIX certificate A483222

mass design

211 Eastern Valley Way
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Alterations & Additions
for
Chris & Michelle Bergman
7a Carlton St
MANLY NSW 2095
Lot B DP 159861
Site Area 358.2 sqm (by survey)



TRUE
NORTH

**Erosion & Sediment
Control Plan**

SCALE: 1:100 @ A3
DATE: Dec 2022
DRAWN: MTS

DRAWING NO:
E&SCP
ISSUE: 1

Notes	Issue	Amendment	Date
• Verify all dimensions on site before commencement • Figured dimensions take precedence over scaling • Contractor to report any discrepancies to Architect • All work to comply with BASIX & LGA requirements • All workmanship to be best practice and tradesmanlike • Copyright reserved by the Architect • This document remains the property of the Architect • Not to be reproduced in whole or part without written consent • Client is granted conditional licence for use of design	1	Issue for Client approval & Consent	20.12.22

2
DP 583113

(METAL ROOF)
BK. REND. & TIMBER SEMI
1 & 2 STOREY

(CLAD ROOF)
BRICK GARAGE

BK. & CLAD BLD.

Magnolia
'Teddy Bear'

'12324

No.75
(METAL ROOF)
BRICK UNITS
2 STOREY

No.77
(TILE & METAL ROOF)
BRICK REND. RESIDENCE

7A CARLTON ST

MANLY

PETRA BUHRICH

RL = 5.96 A.H.D.
B.M. IN KEB

DIPLOMA OF

HORTICULTURE

14th DEC 2022

NOTE NOT TO SCALE

STREET

SURVEY
8.2m

B

159861

-Backhousia
citriodora

-Plumeria

Crassula 'Blue Bird' x 6

Phormium tenax x 3

Alcantarea Silver Plum x 3
Giant Bromeliad

Dracaena draco x 1
'Dragon Tree'

Dracaena marginata x 1

Howea forsteriana x 1
Kentia Palm

Magnolia 'Teddy Bear' x 13

Backhousia citriodora
'Lemon myrtle' x 1

Plumeria species x 2
'Frangipani'

1
DP 503181

(x) Philodendron x 15
'Xanadu'

Alocasia 'Dwarf' x 5
Elephant Ears

Raphiolepis x 9
Snow Maiden

Raphiolepis x 18
Oriental Pearl

Crassula
'Blue Bird'

Phormium
tenax

Alocasia

Xanadu

167°40'20"

167°40'20"

167°40'20"

167°40'20"

167°40'20"

167°40'20"

167°40'20"

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167°40'20"

167°40'20"

Dracaena
marginata
underplanted with
'Xanadu'

Dracaena draco

Dracaena draco

Dracaena draco

Dracaena draco

Dracaena draco

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Dracaena draco

Dracaena draco

Landscape Plan For.
Chris Bergman
7A Carlton Street
Manly
14th DEC 2022.

PETRA BOHRICH
DIPLOMA OF
HORTICULTURE.

- Philodendron 'Xanadu'
Plant every 300mm in clumps
Underplant tall feature plants
500mm high

- Alocasia 'Dwarf'
Elephant Ears
Plant every 400mm
800mm high

- Raphiolepis 'Snow Maiden'
Plant every 500mm
Up to 1m high

- Raphiolepis 'Oriental Pearl'
Plant every 800mm
up to 1m tall

- Crassula 'Blue Bird'
Plant every 300mm
400mm high

- Phormium tenax
'New Zealand Flax'
Plant every 500mm
up to 1.5m high

- Alcantarea 'Silver Plum'
Giant Bromeliad
1m x 1m

- Dracaena draco
'FEATURE'
up to 5m. Very slow

- Howea forsteriana
Kentia Palm.
'FEATURE'
Transplant existing Kentia.
up to 8m. Very slow

- Magnolia 'Teddy Bear'
Plant 1 metre apart
Up to 4 metres tall.

- Dracaena marginata
'FEATURE'
Transplant existing Dracaena.
Up to 3 metres.

- Plumeria sp.
'Frangipani'
Transplant existing trees.
Up to 5m.

- Backhousia citriodora
'Lemon Myrtle' up to 10m.
Council requires 1x native tree.
Other options include
• Elaeocarpus reticulatus - 'Blueberry Ash'
6 metres.
• Elaeocarpus eumundi - up to 10 metres.

* After planting if you think
it needs a ground cover

- Zoysia tenuifolia
- Dichondra 'Silver Falls'
- Pratia pedunculata



Existing terracotta
tile roof

Natural zinc
standing seam cladding,
joinery to match

COLORBOND Shale Grey

DULUX natural white
painted walls & joinery,
including timber trim

metal work
natural galvanised

Face brickwork
AUSTRAL Porcelain

metal paling fence & gates
natural galvanised

Face brickwork
AUSTRAL Porcelain

FINISHES & COLOURS
7a Carlton St MANLY NSW 2095
December 2022



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December 2022