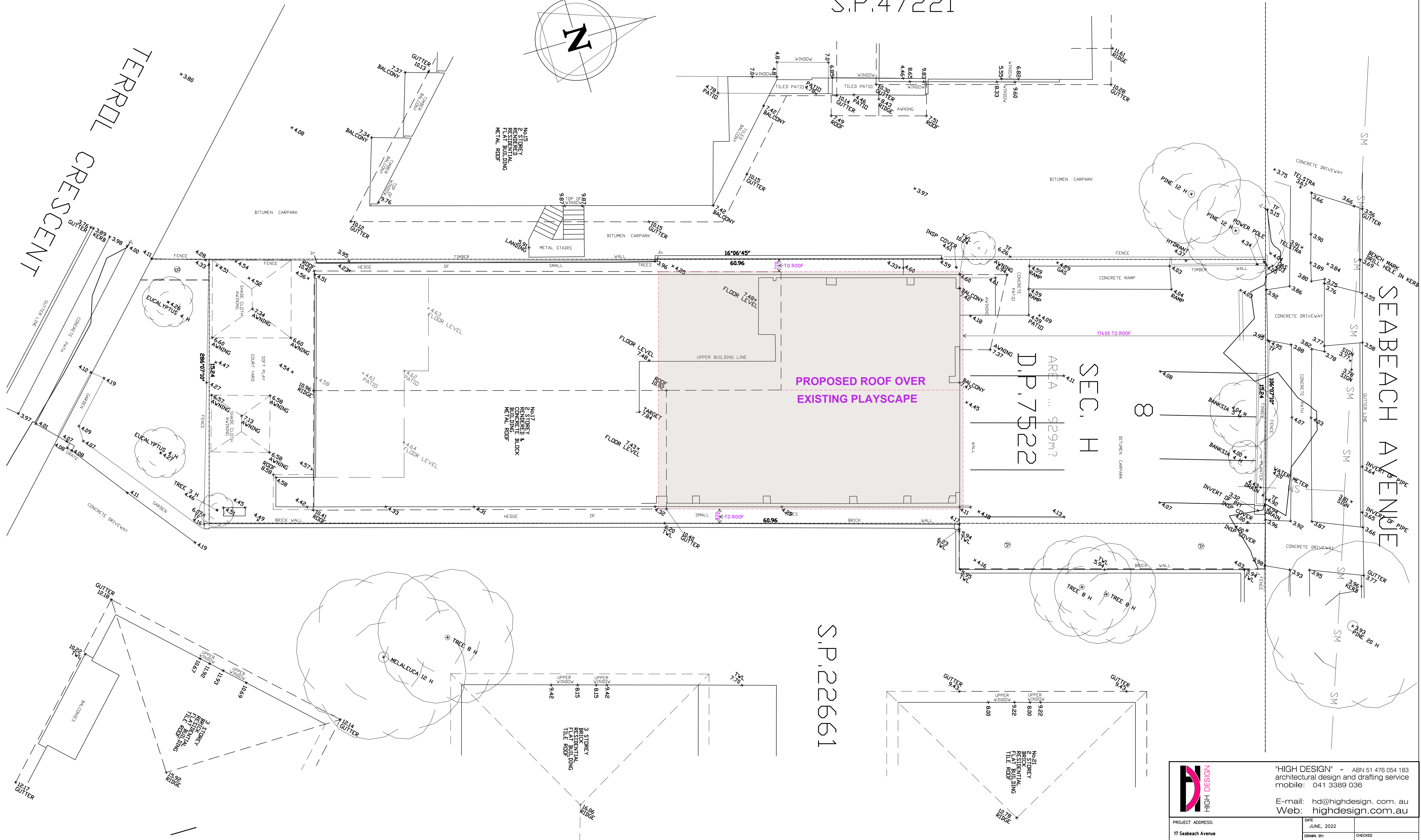
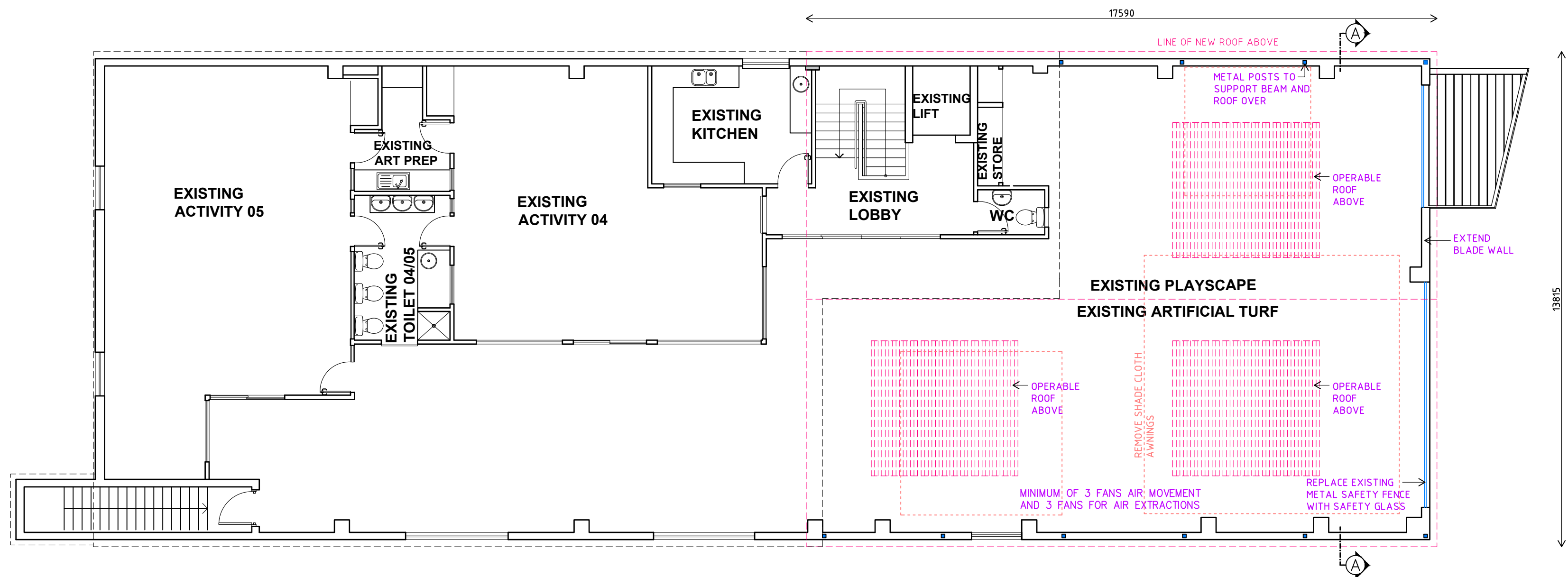


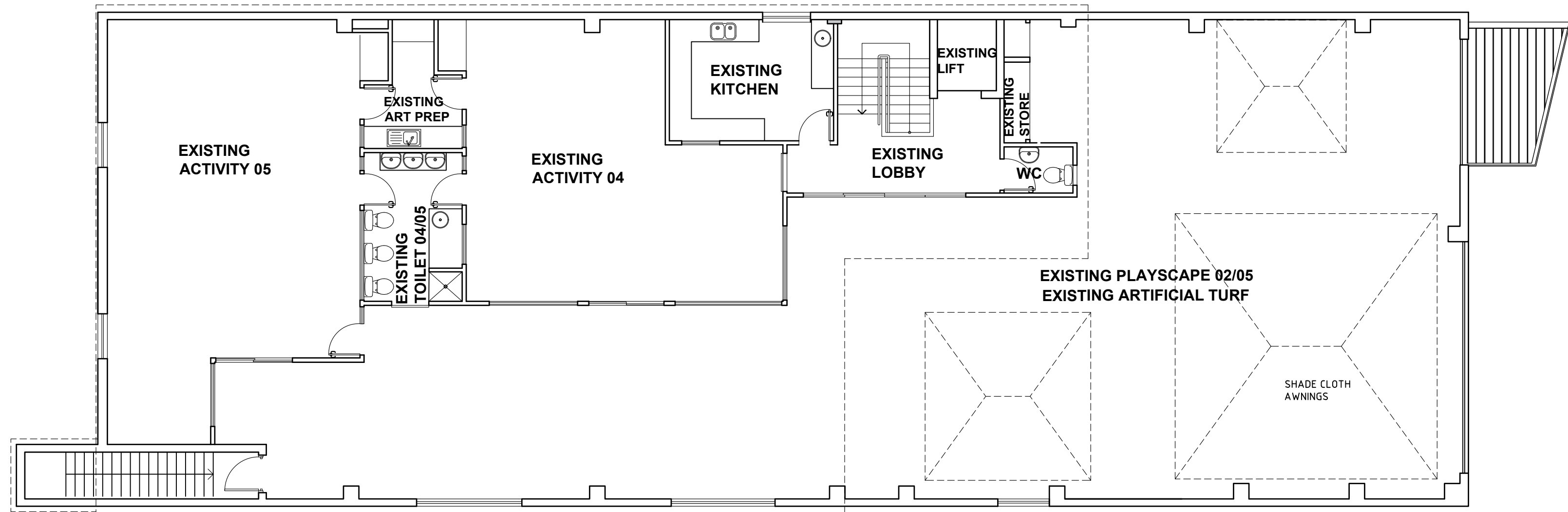


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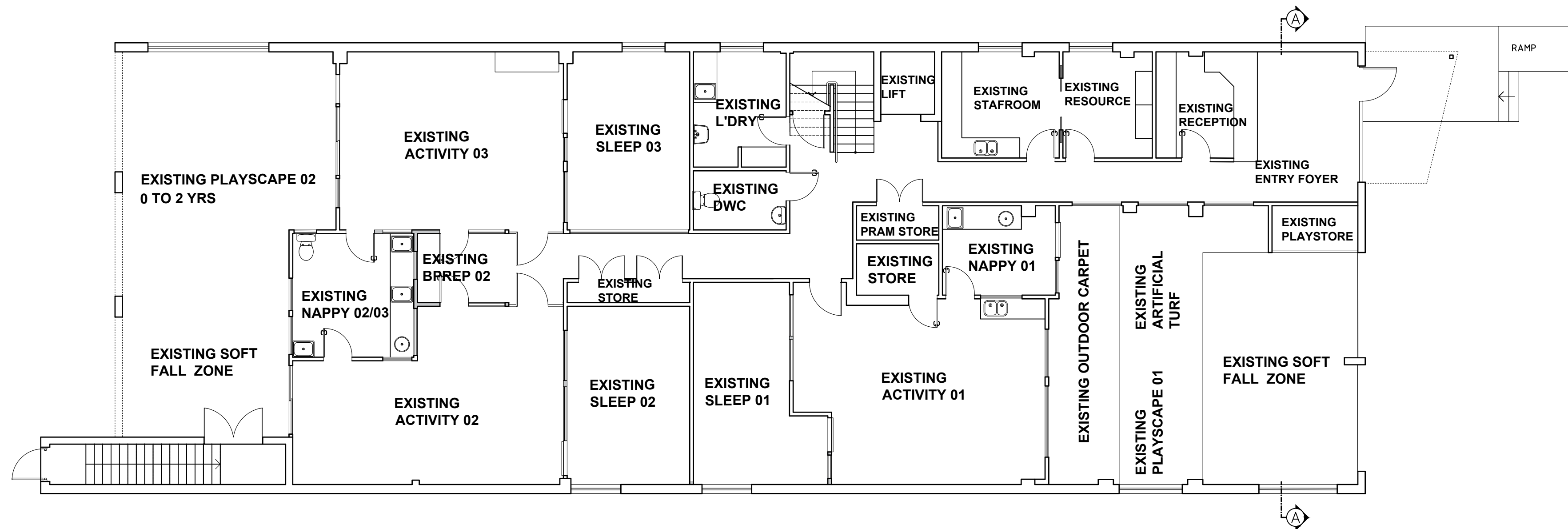
	"HIGH DESIGN" - ABN 51 476 054 183 architectural design and drafting service mobile: 041 3389 036	
	E-mail: hd@highdesign.com.au Web: highdesign.com.au	
PROJECT ADDRESS: 17 Seabeach Avenue Mona Vale		DATE JUNE, 2022
CLIENT: Mena		DRAWN BY: CHECKED B. V. DRAWING No. ISSUE 1-3 996 22 II-17.6.22
1. BUILDER TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWING. 2. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES, SETBACKS AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY. 3. ALL WORK TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & THE SCHEDULE OF LOCAL COUNCIL REQUIREMENTS. 4. ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE TO TIMBER FRAMING CODE. 5. ROOF WATER & SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS A DIRECTED BY LOCAL COUNCIL. 6. ALL ELECTRICAL POWER & LIGHT OUTLETS TO BE DETERMINED BY OWNER. 7. MAKE GOOD AND REPAIR ALL EXISTING FINISHES DAMAGED BY NEW WORK. REUSE EXISTING MATERIAL WHERE POSSIBLE. 8. ALL NEW DOWN PIPES ARE TO BE CONNECTED TO THE EXISTING 500MM WATER SYSTEM. 9. COPYRIGHT OF ALL PLANS BELONGS TO 'HIGH DESIGN' - Architectural Design		



PROPOSED FIRST FLOOR PLAN
SCALE 1:100

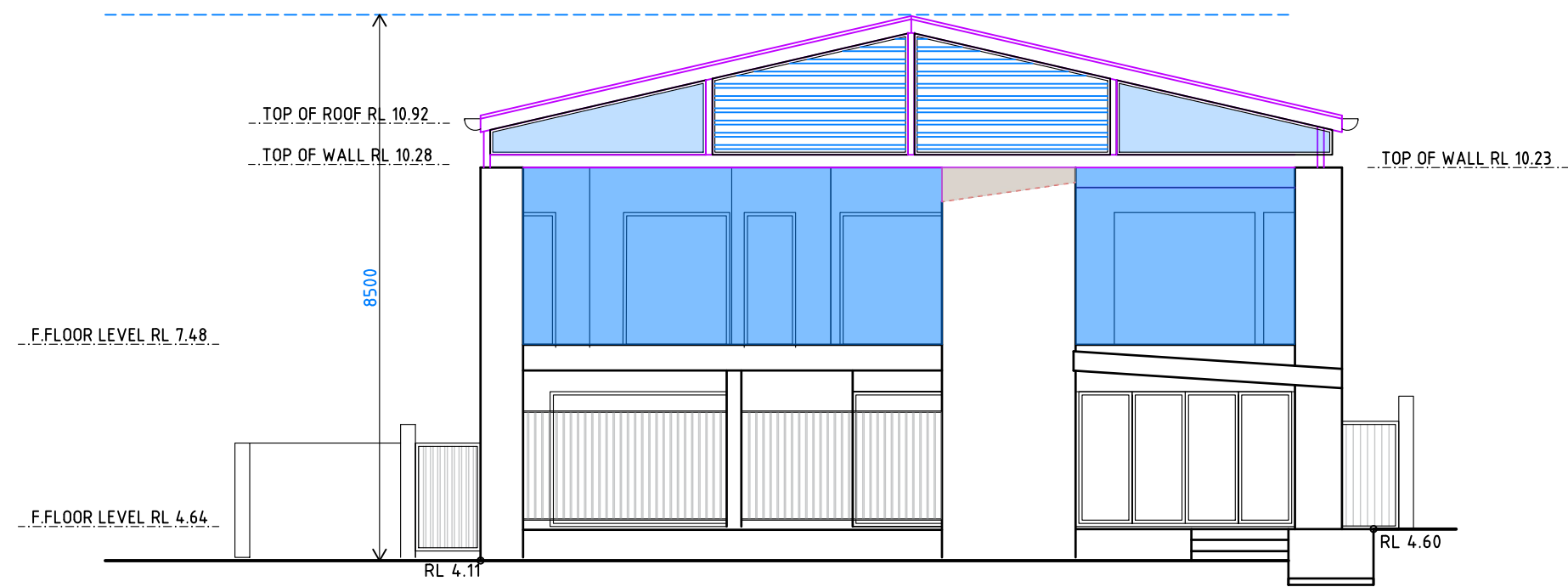


EXISTING FIRST FLOOR PLAN
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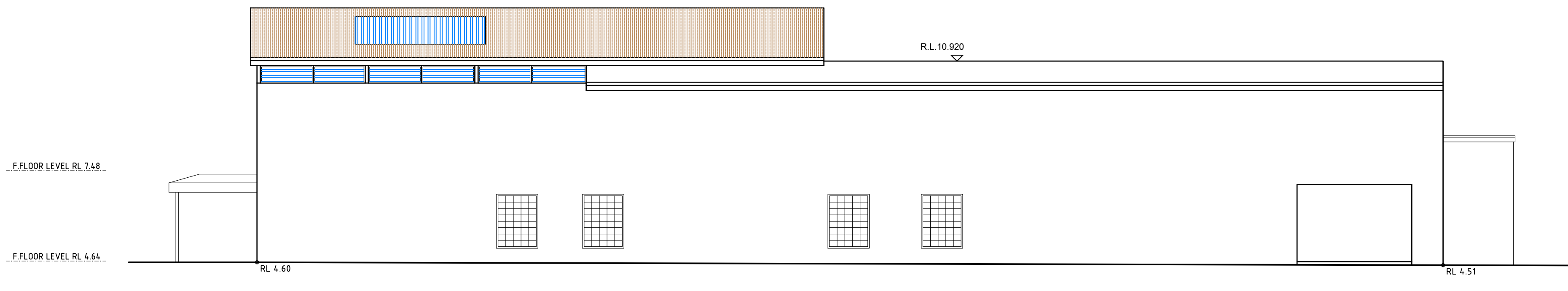


EXISTING GROUND FLOOR PLAN
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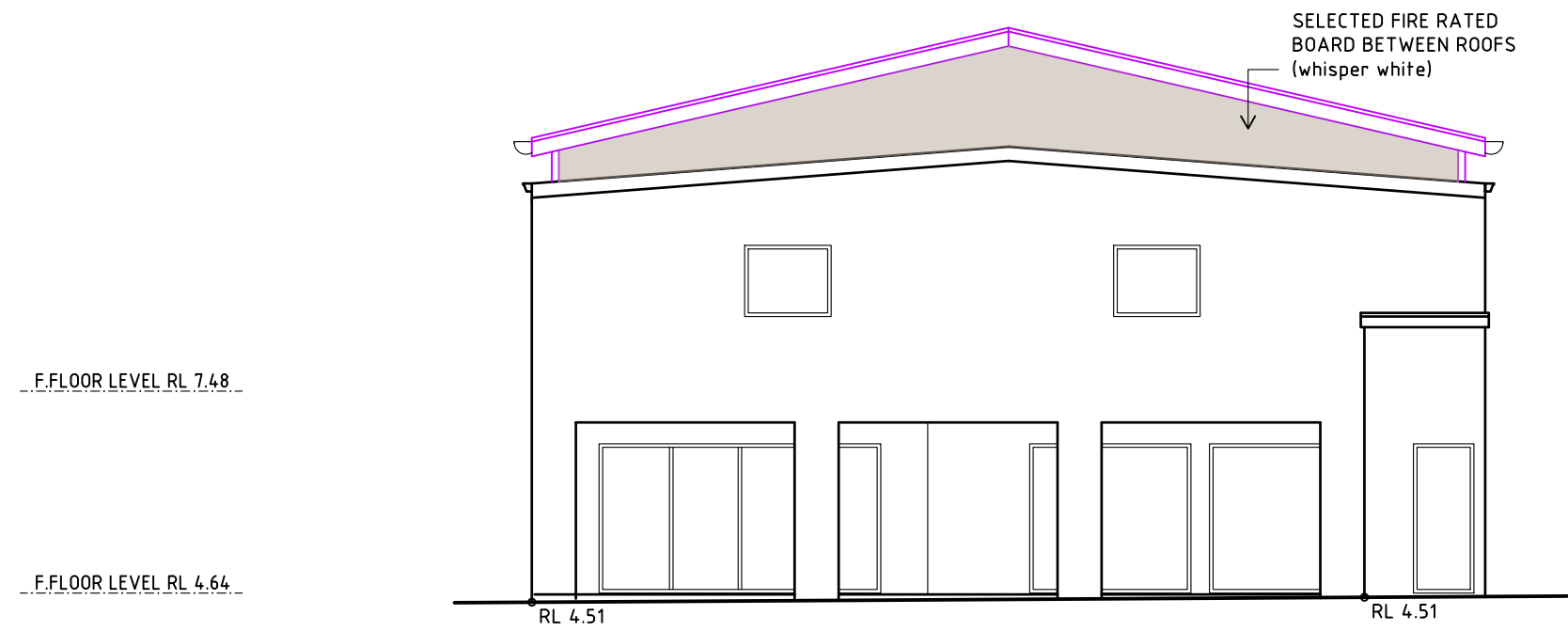
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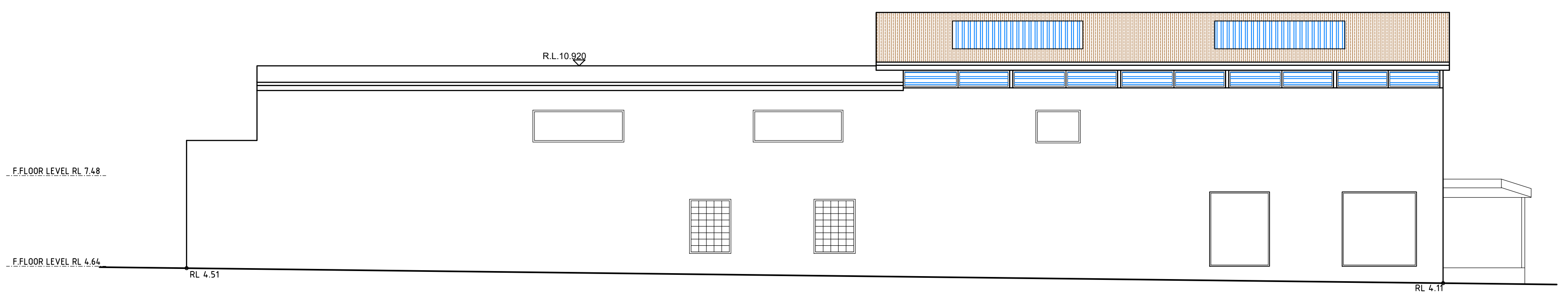
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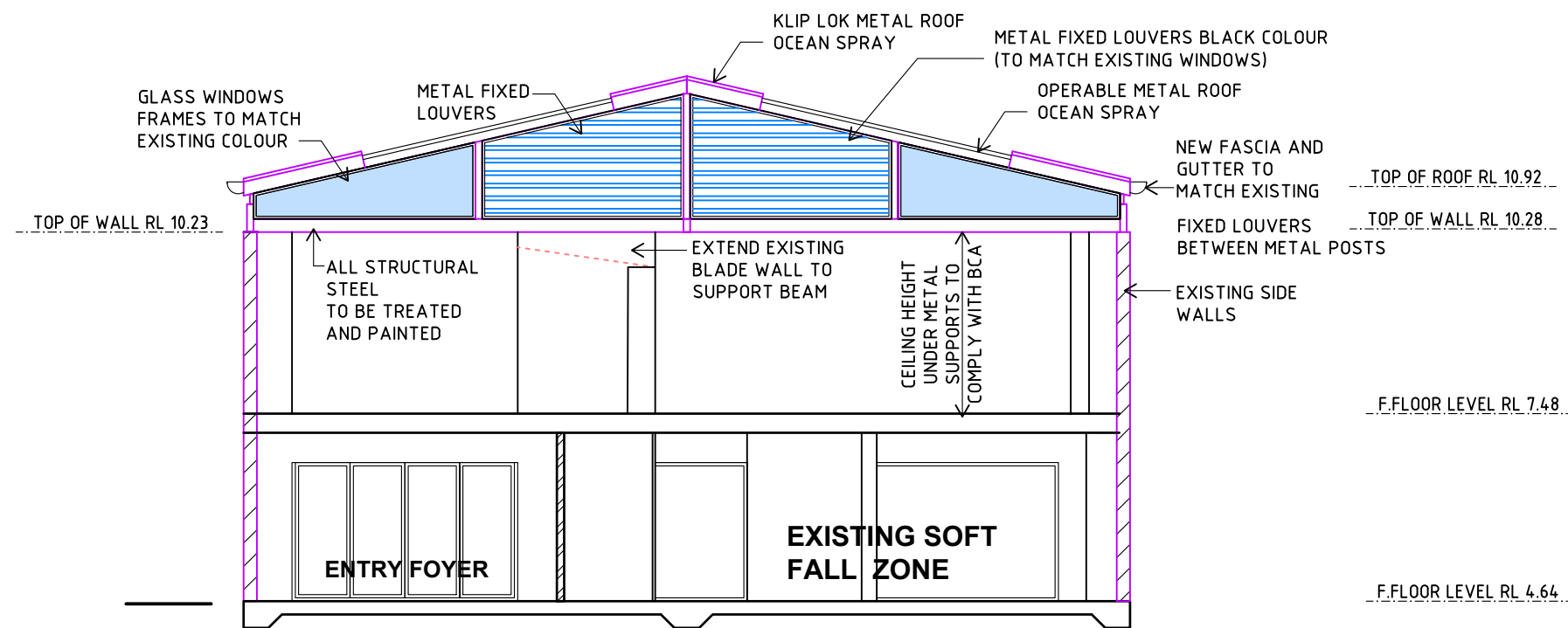
WEST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

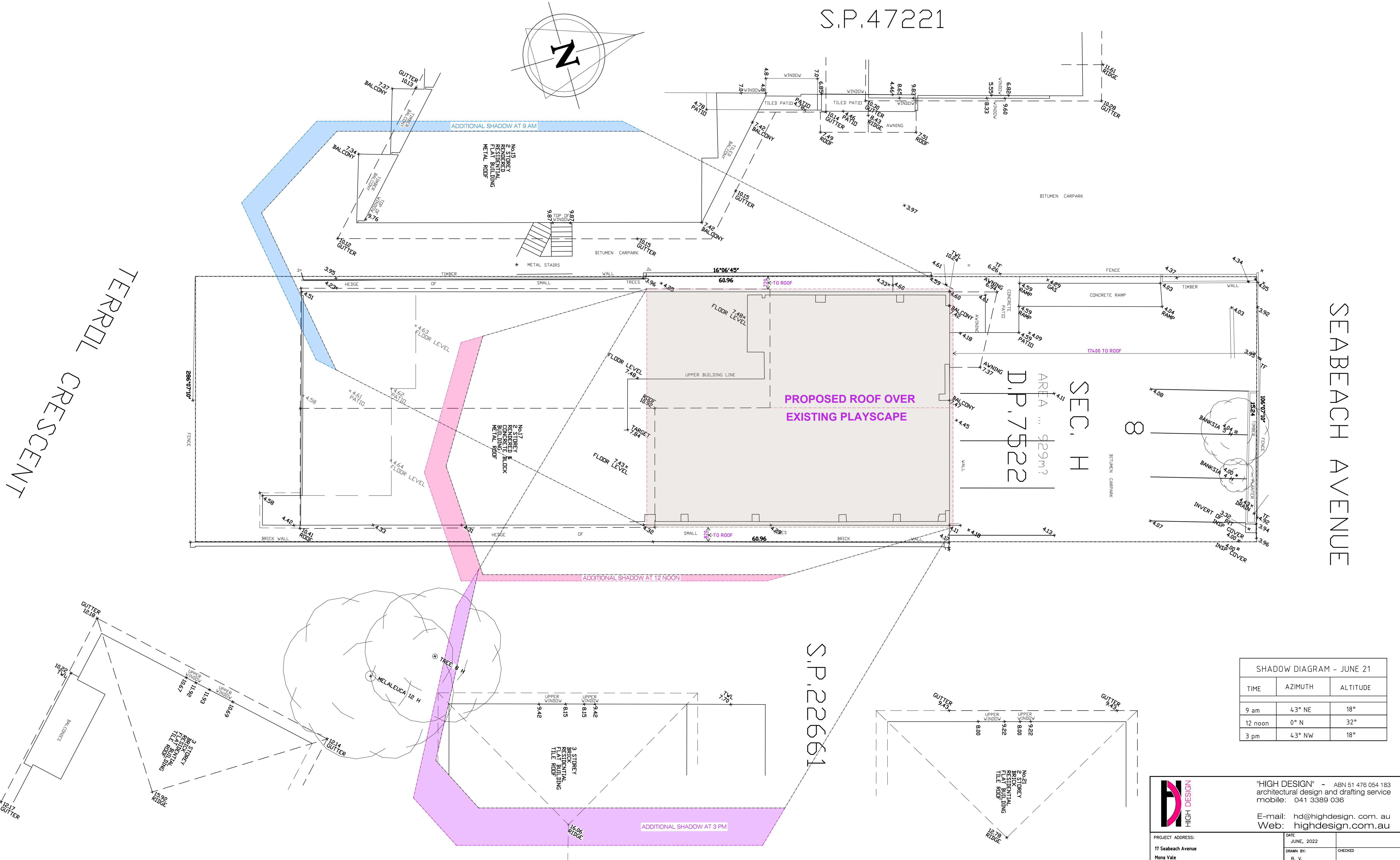


EAST ELEVATION
SCALE 1:100



SECTION A-A
SCALE 1:100

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SHADOW DIAGRAM
SCALE 1:100



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