

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2020/0161

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

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ACCREDITED BUILDING DESIGNER

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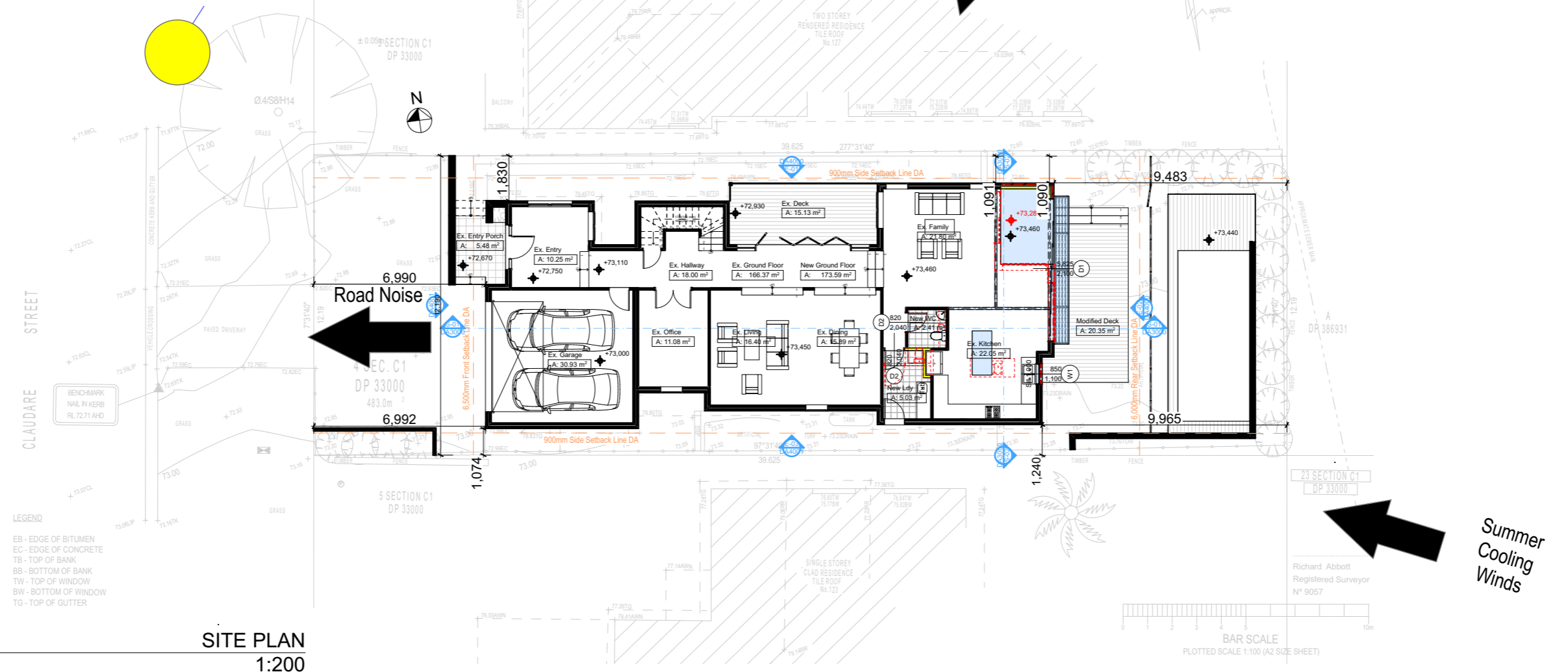
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
125 Claudare Street, Collaroy Plateau is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basic Certificate 125 Claudare Street, Collaroy Plateau is not considered a heritage item.
New Works to be constructed shown in ShadedBlue

Construction
Timber Frame Floor, Brick Veneer Walls
Timber Floor Frame to have R1.30 Insulation
Insulation to External Brick Veneer Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1788-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a certified Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A368330
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2000 mm above the top of the window or glazed door.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



2 SITE PLAN 1:200

BASIX Certificate number: A368330

page 3 / 5

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
external wall: brick veneer	R1.16 (or R1.70 including construction)		

NO EXCAVATION AND FILL PLAN DUE TO NO PROPOSED CUT OR FILL

DA APPLICATION ONLY NOT FOR CONSTRUCTION

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Site Information	Prop.	Comp.
Site Area	483m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	5m@45Deg	Yes
% of landscape open space (40% min)	24%	Variable
Impervious area (m ²)	76%	Variable
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 13/02/2020
Project NO.: RSP012020UI
Project Status DA

Client Sam Quinlan

Site: 125 Claudare Street, Collaroy Plateau

DRAWING TITLE: **SITE AND LOCATION SITE PLAN**

PROJECT NAME: **Alterations & Additions**

REVISION NO.

DRAWING NO. **DA1003**

Plot Date: 13/02/2020
Sheet Size: A3

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0161



Denotes New Works

Wall Legend

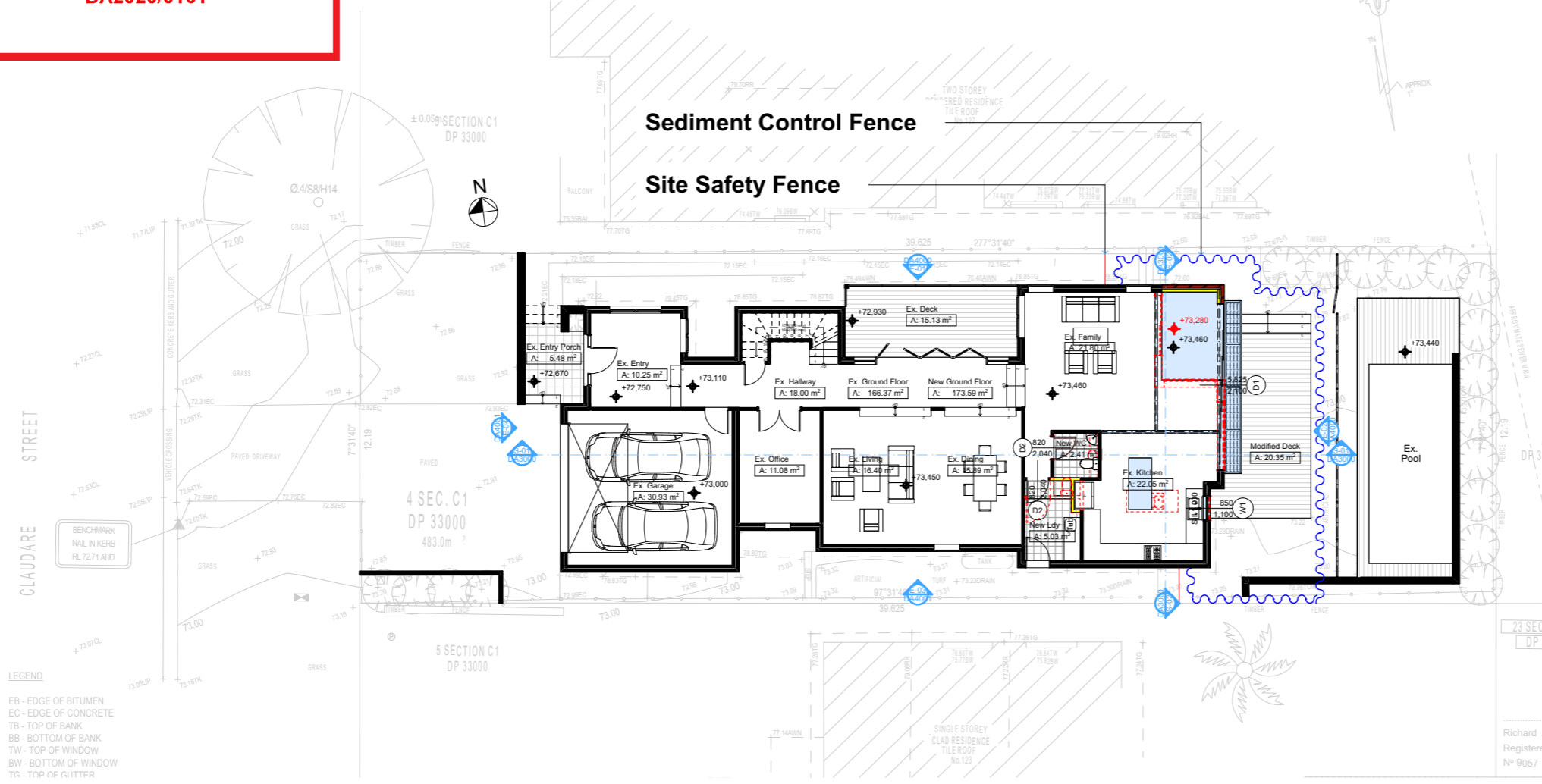
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- Denotes Demolished Item

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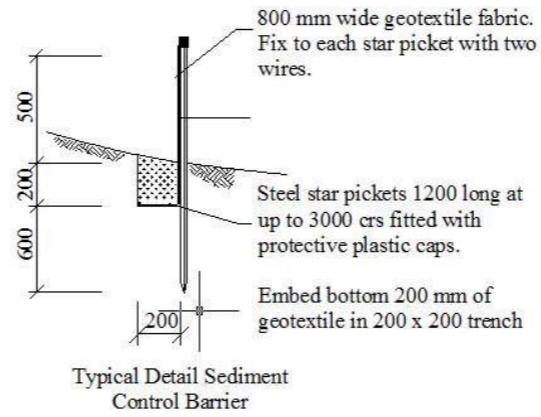
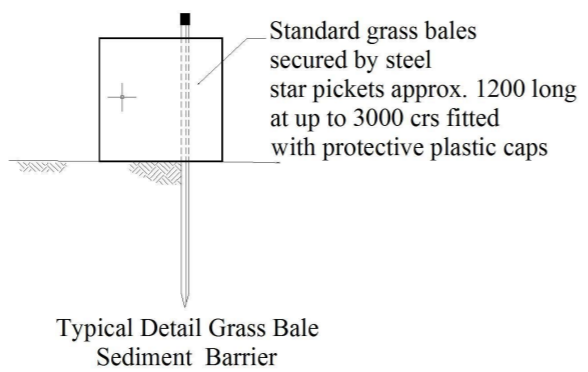
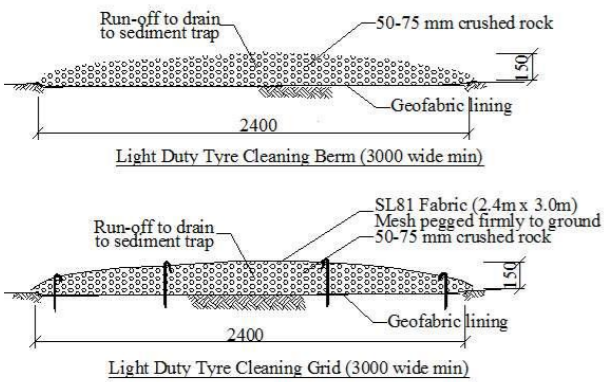
bdaa
ACCREDITED BUILDING DESIGNER



LEGEND

- EB - EDGE OF BITUMEN
- EC - EDGE OF CONCRETE
- TB - TOP OF BANK
- BB - BOTTOM OF BANK
- TW - TOP OF WINDOW
- BW - BOTTOM OF WINDOW
- TG - TOP OF GLITTER

Richard /
Registere
N° 9057



SEDIMENT & EROSION CONTROL PLAN

2

1:200

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DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	483m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	6m@45Deg	Yes
% of landscape open space (40% min)	24%	Variable
Impervious area (m ²)	76%	Variable
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

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Project North

Drawn | Checked GBJ
Plot Date: 13/02/2020
Project No.: RPD12020UI
Project Status DA

Client Sam Quinlan

Site: 125 Claudare Street, Collaroy Plateau

DRAWING TITLE: **Sediment & Erosion Plan**

PROJECT NAME: **Alterations & Additions**

REVISION NO.

DRAWING NO. **DA1011**

Plot Date: 13/02/2020
Sheet Size: A3

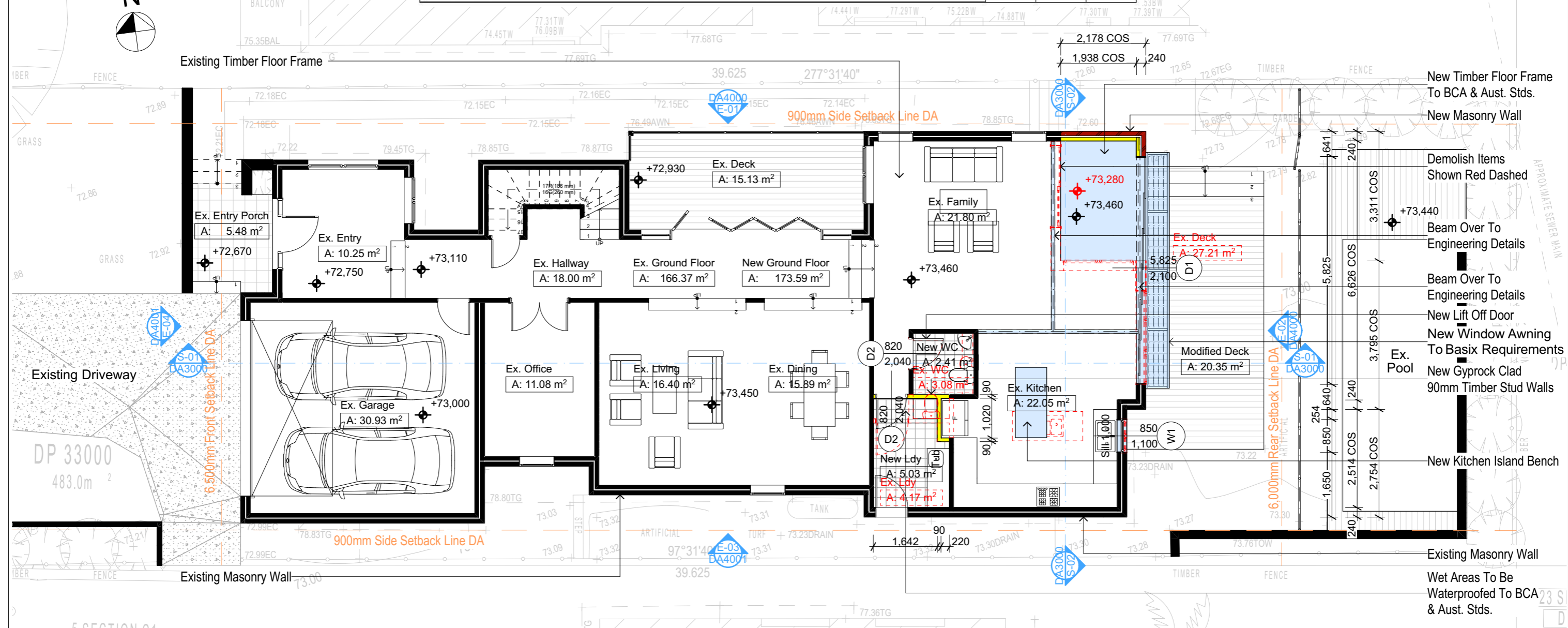
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2020/0161

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction			
suspended floor with enclosed subfloor: framed (R0.7).			
external wall: brick veneer			
Additional insulation required (R-value)			
R0.60 (down) (or R1.30 including construction)			
Other specifications			

Denotes New Works

Wall Legend

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- Denotes Demolished Item



GROUND FLOOR
1:100

NOTES
125 Claudare Street, Collaroy Plateau is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A368330
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	483m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	24%	Variable
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	76%	Variable
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

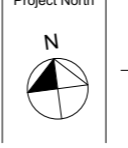


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 13/02/2020
Project NO: RPO120QUI
Project Status: DA
Client: Sam Quinlan
Site: 125 Claudare Street, Collaroy Plateau
Sheet Size: A3

DRAWING TITLE :
PLANS
GROUND FLOOR
Alterations & Additions

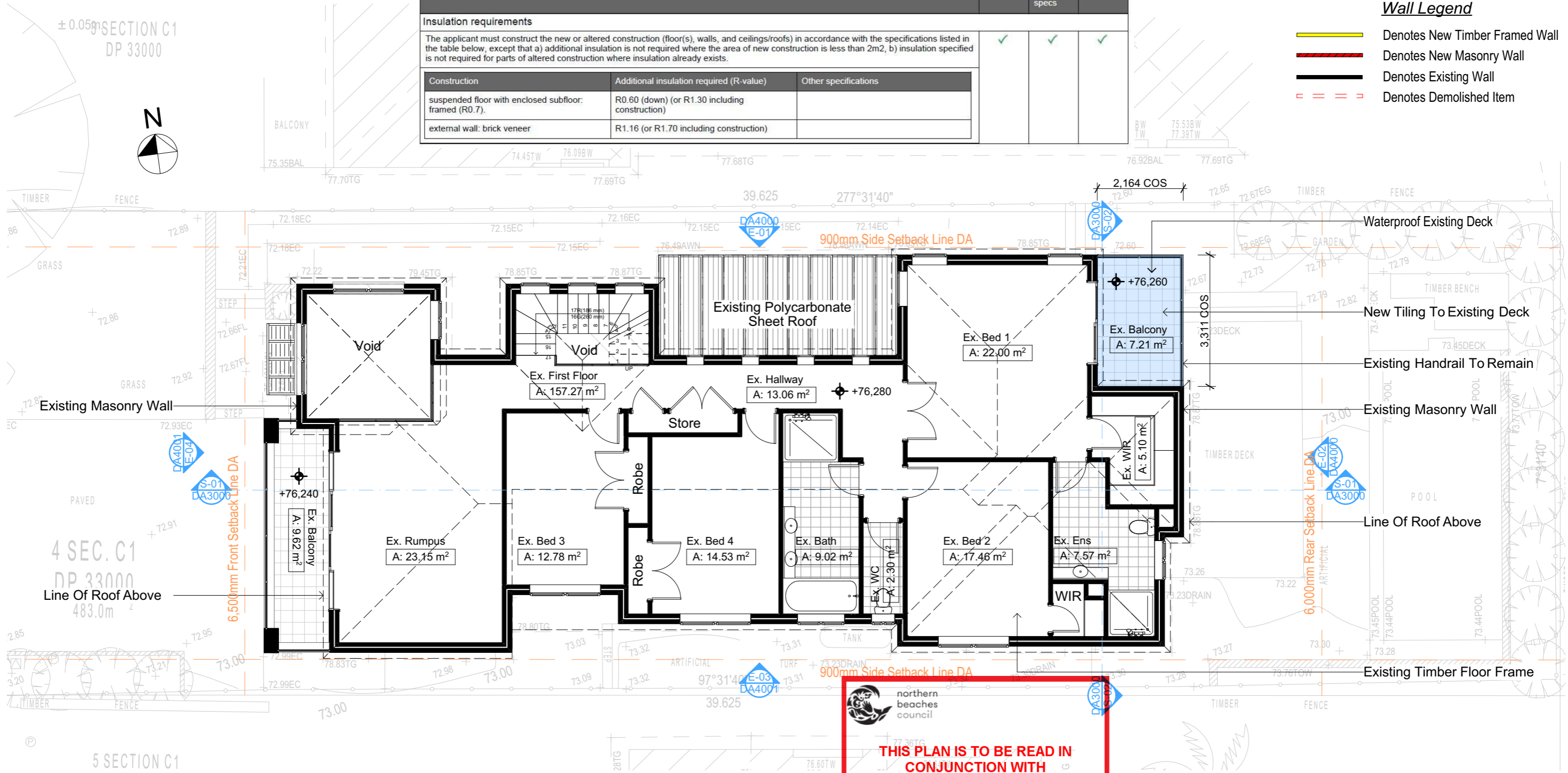
REVISION NO.
DRAWING NO.
DA2001

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
suspended floor with enclosed subfloor: framed (R0.7).	✓	✓	✓
external wall: brick veneer			

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0161

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	483m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	24%	Variable
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	76%	Variable
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
125 Claudare Street, Collaroy Plateau is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
125 Claudare Street, Collaroy Plateau is not considered a heritage item
Certifying
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Construction
Timber Frame Floor, Brick Veneer Walls
Timber Floor Frame to have R1.30 Insulation
Insulation to External Brick Veneer Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A368330
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Checked Plot Date: GBJ 13/02/2020
Project NO: RP0120QUI
Project Status: DA
Client Site: Sam Quinlan 125 Claudare Street, Collaroy Plateau
Sheet Size: A3

DRAWING TITLE :
PLANS FIRST FLOOR
Alterations & Additions

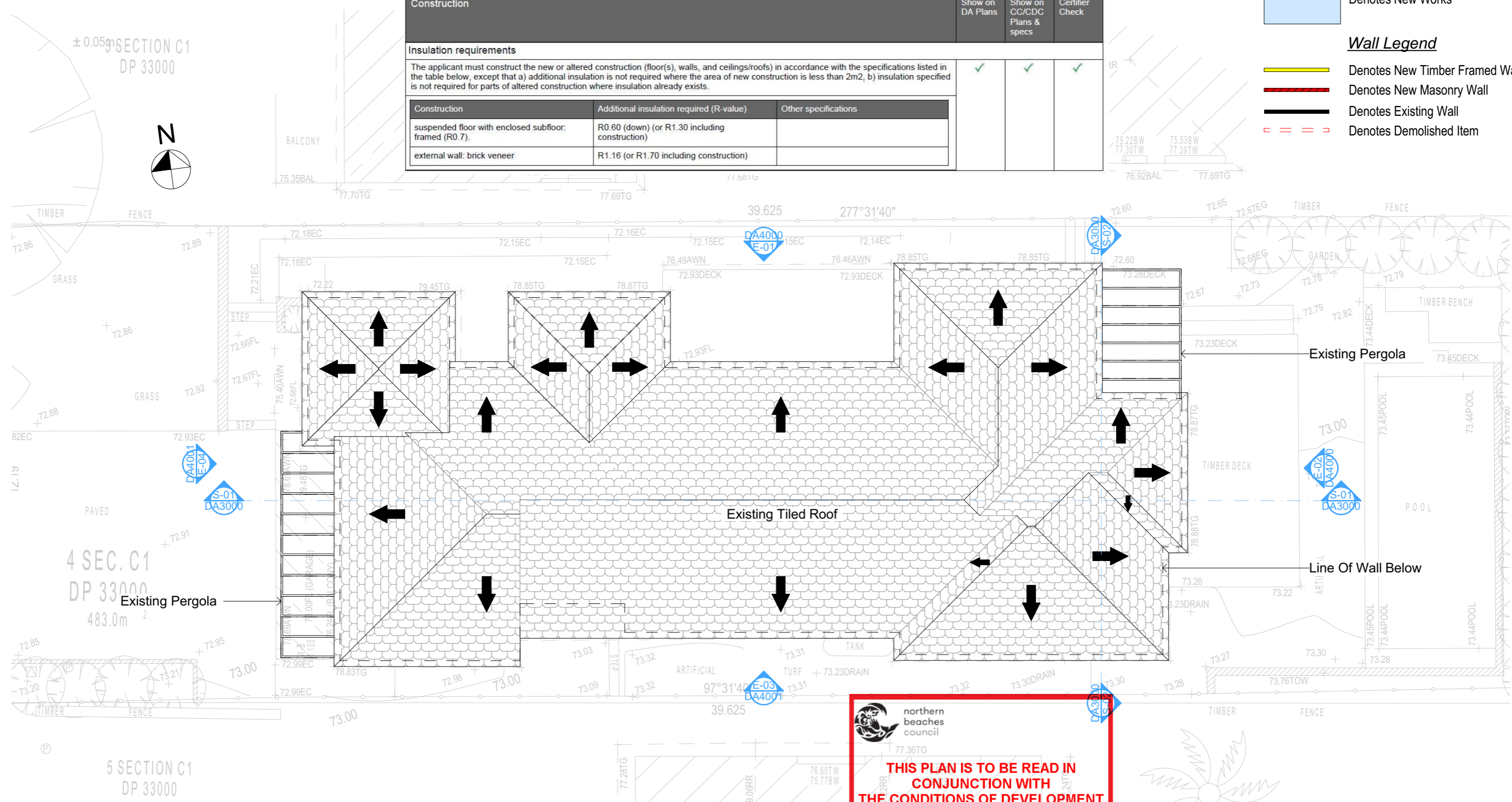
REVISION NO.
DRAWING NO.
DA2002


Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
external wall: brick veneer	R1.16 (or R1.70 including construction)		

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item




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DA2020/0161

4 **ROOF PLAN**
1:100

NOTES
125 Claudare Street, Collaroy Plateau is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
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Construction
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A368330
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	483m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	24%	Variable
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	76%	Variable
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

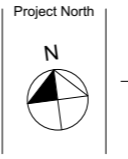


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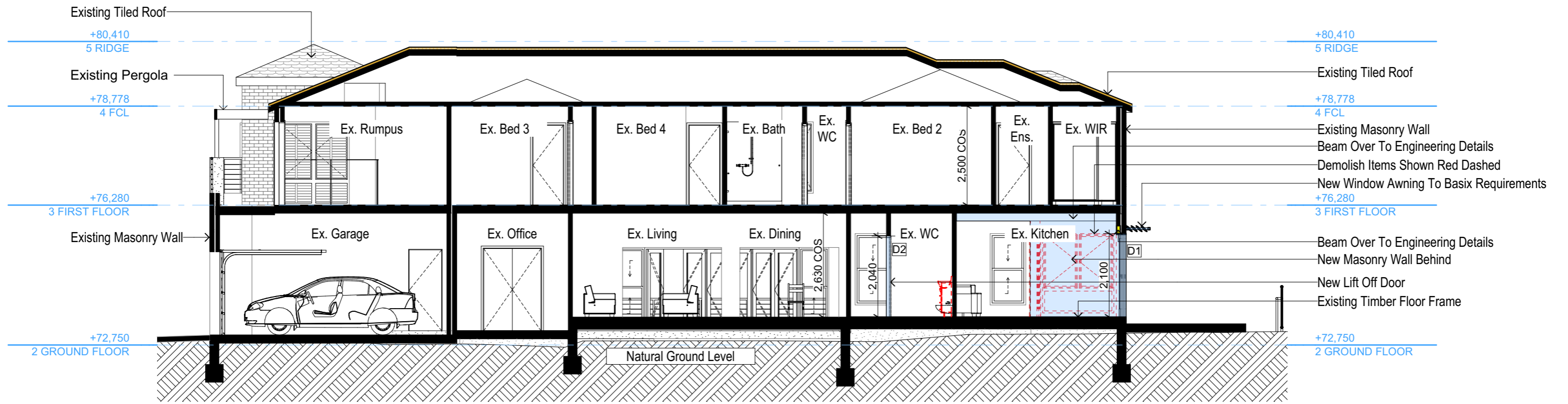
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Checked Plot Date: GBJ 13/02/2020
Project NO: RP0120QUI
Project Status: DA
Client: Sam Quinlan
Site: 125 Claudare Street, Collaroy Plateau
Sheet Size: A3

DRAWING TITLE :
PLANS ROOF
Alterations & Additions

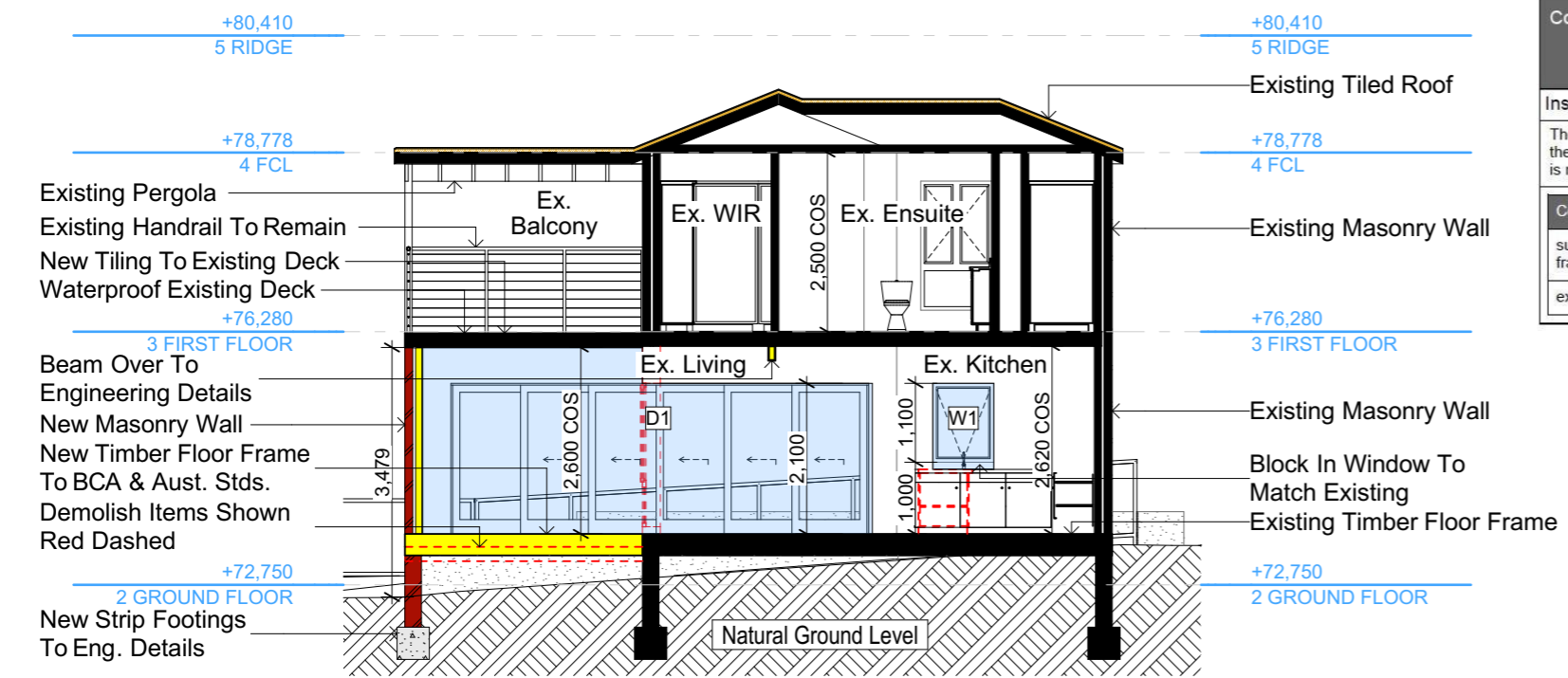
REVISION NO.
DRAWING NO.
DA2003



S-01 SECTION 1
1:100


BASIX Certificate number: A368330

page 3 / 5



S-02 SECTION 2
1:100

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check									
Insulation requirements												
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<table border="1"> <thead> <tr> <th>Construction</th> <th>Additional insulation required (R-value)</th> <th>Other specifications</th> </tr> </thead> <tbody> <tr> <td>suspended floor with enclosed subfloor: framed (R0.7).</td> <td>R0.60 (down) (or R1.30 including construction)</td> <td></td> </tr> <tr> <td>external wall: brick veneer</td> <td>R1.16 (or R1.70 including construction)</td> <td></td> </tr> </tbody> </table>				Construction	Additional insulation required (R-value)	Other specifications	suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		external wall: brick veneer	R1.16 (or R1.70 including construction)	
Construction	Additional insulation required (R-value)	Other specifications										
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external wall: brick veneer	R1.16 (or R1.70 including construction)											
	✓	✓	✓									

 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0161

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall/Floor
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NOTES
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Min. side bdy setback (Min.)	0.9m	Yes			

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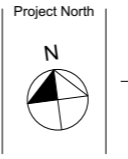


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 13/02/2020
Project NO: RP0120QUI
Project Status: DA

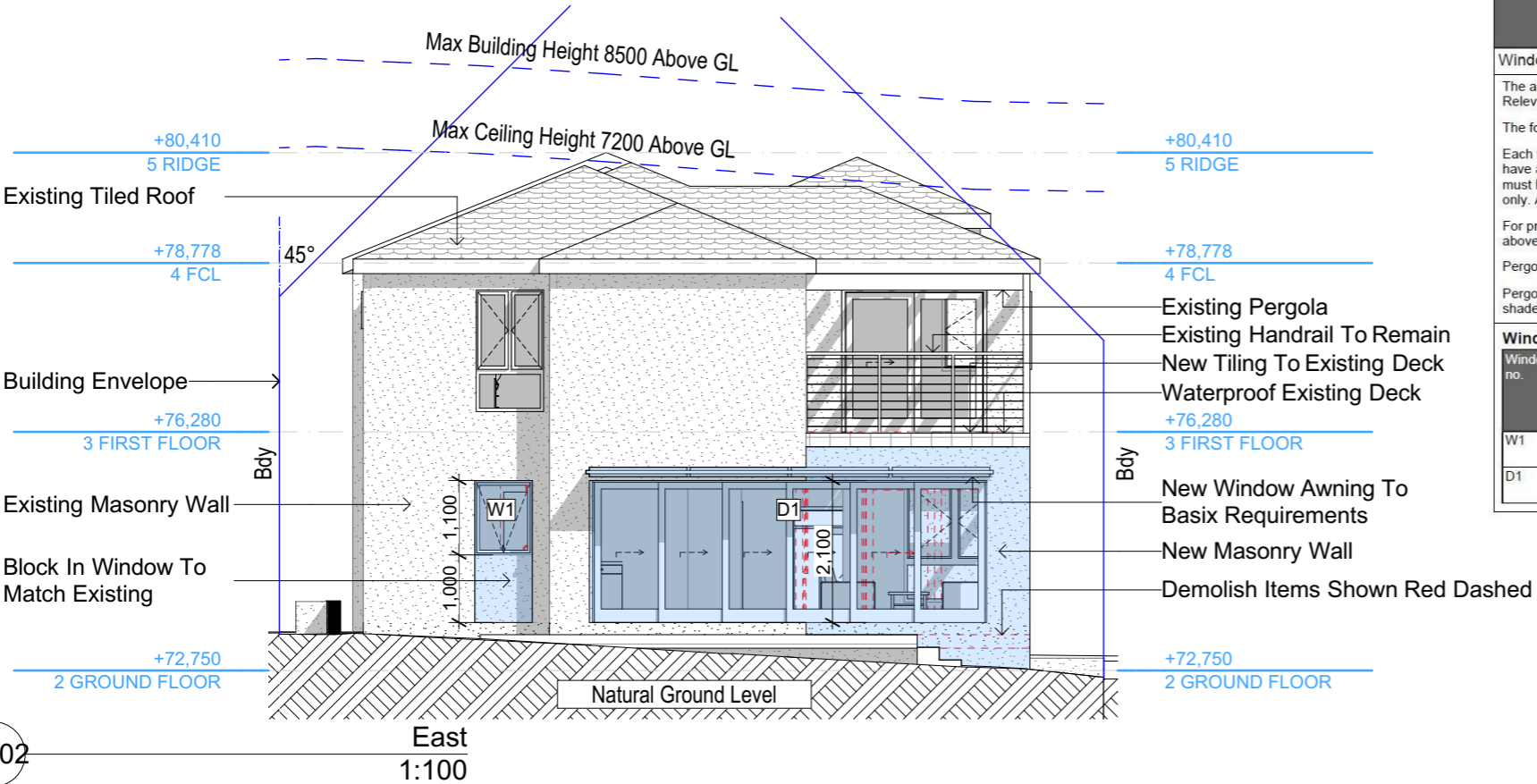
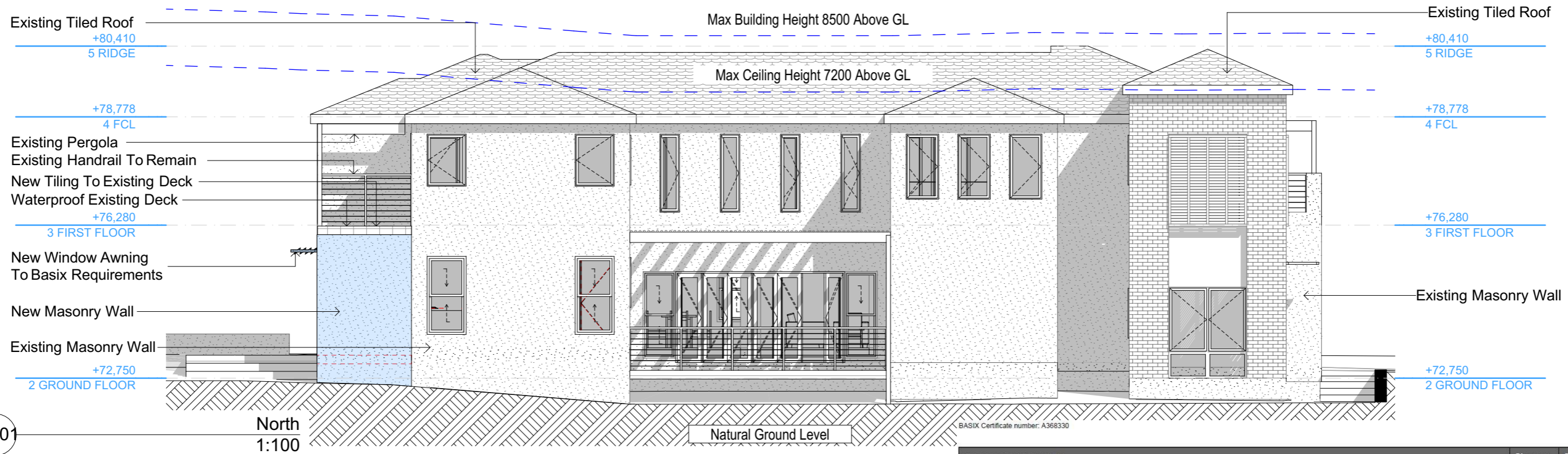
Client: Sam Quinlan
Site: 125 Claudare Street, Collaroy Plateau

Sheet Size: A3


DRAWING TITLE : **SECTIONS SECTION 1 Alterations & Additions**

PROJECT NAME :

REVISION NO.
DRAWING NO. **DA3000**



Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing, must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	✓	✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	✓	✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	E	0.94	0	0	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D1	E	12.23	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0161

Denotes New Works

Wall Legend

 Denotes Existing Wall

 Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	483m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	24%	Variable
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	76%	Variable
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

NOTES
 125 Claudare Street, Collaroy Plateau is zoned R2 - Low Density Residential
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 125 Claudare Street, Collaroy Plateau is not considered a heritage item
Certifying
 The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
 Timber Frame Floor, Brick Veneer Walls
 Timber Floor Frame to have R1.30 Insulation
 Insulation to External Brick Veneer Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix
 Basix Certificate Number A368330
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
 a) additional insulation is not required where the area of new construction is less than 2m².
 b) insulation specified is not required for parts of altered construction where insulation already exists.
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 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA APPLICATION ONLY
 NOT FOR CONSTRUCTION

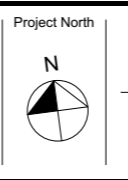


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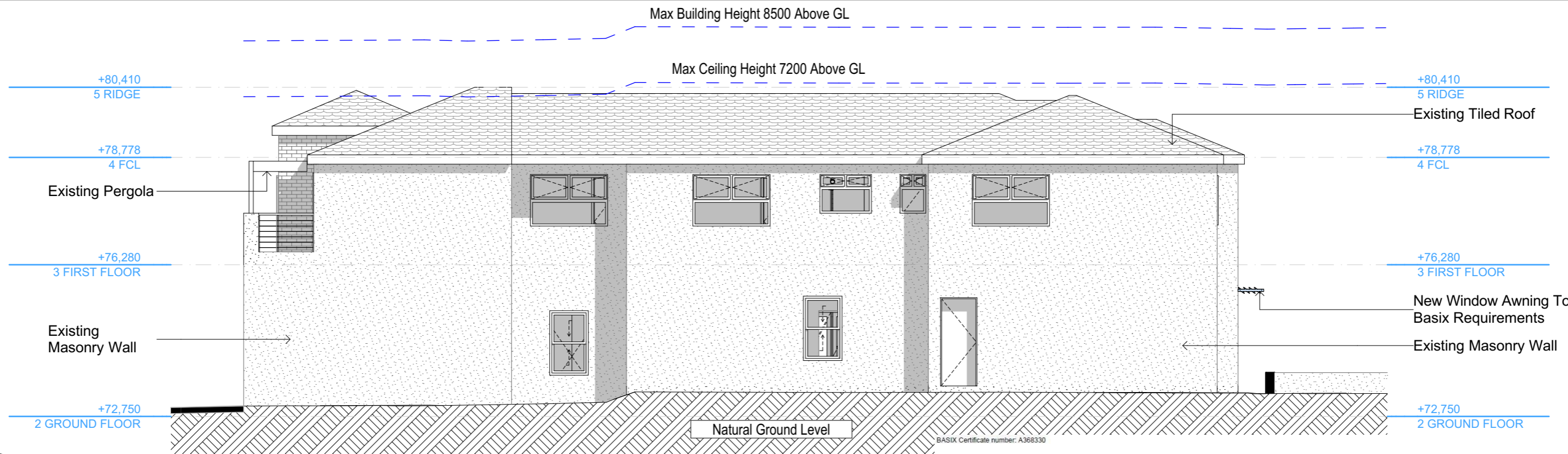
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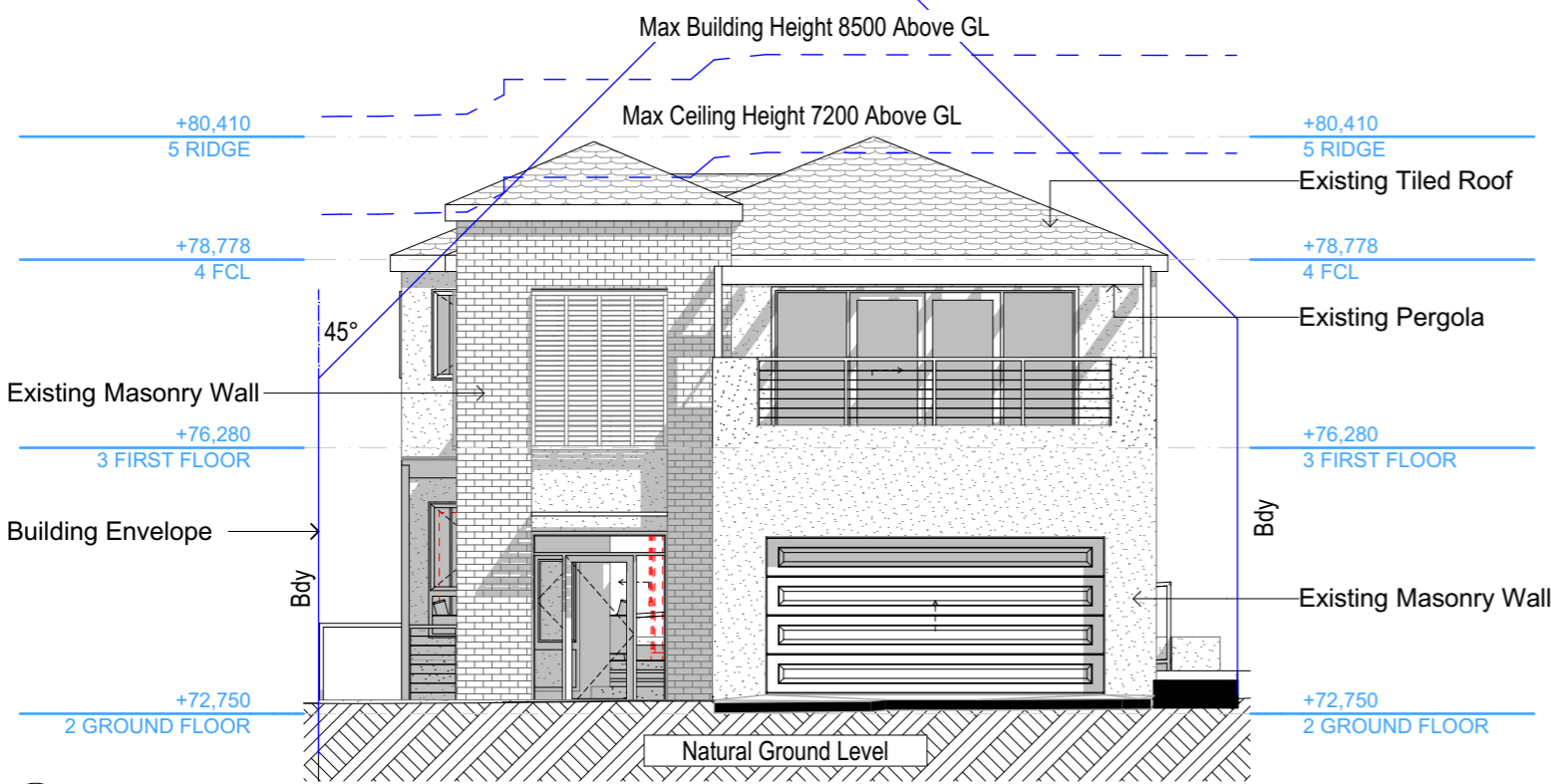
Checked: GBJ
 Plot Date: 13/02/2020
 Project NO: RP0120QUI
 Project Status: DA
 Client: Sam Quinlan
 Site: 125 Claudare Street, Collaroy Plateau
 Sheet Size: A3

DRAWING TITLE :
 ELEVATIONS
ELEVATIONS 1
PROJECT NAME :
Alterations & Additions

REVISION NO.
 DRAWING NO.
DA4000



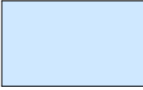


E-03 South 1:100



E-04 West 1:100

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																												
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DA2020/0161

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Wall Legend
 Denotes Existing Wall/Driveway
 Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	483m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	24%	Variable
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	76%	Variable
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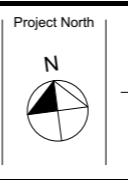


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Checked Plot Date: GBJ 13/02/2020
 Project NO: RP0120QUI
 Project Status: DA
 Client: Sam Quinlan
 Site: 125 Claudare Street, Collaroy Plateau
 Sheet Size: A3

DRAWING TITLE : ELEVATIONS 2
 PROJECT NAME : Alterations & Additions

REVISION NO.
 DRAWING NO. DA4001