25 ALLEYNE AVE, NORTH NARRABEEN

TROY CARTER

PROPOSED NEW DWELLING HOUSE & ASSOCIATED LANDSCAPING

25 ALLEYNE AVE, NORTH NARRABEEN

DA DOCUMENTATION SCHEDULE

DWG NO.	TITLE	SCALE	REV.	DATE:	DESCRIPTION:
DA_000	Cover Page & Drawing Schedule	NTS	-	21.10.21	DA
DA_001	Site Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_100	Lower Ground General Arrangement Floor Plan	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_101	Ground Floor General Arrangement Floor Plan	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_102	First Floor General Arrangement Floor Plan	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_300	Elevations Sheet 01	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_301	Elevations Sheet 02	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_302	Elevations Sheet 03	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_303	Elevations Sheet 04	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_400	Section Sheet 01	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_401	Section Sheet 02	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_500	Landscape Concept Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_501	Site Analysis Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_502	Waste Management, Sediment Control & Erosion Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_503	Vehicle Crossing & Driveway gradient	1:50 @ A1 / 1:100 @ A3	-	21.10.21	DA
DA_900	9am Shadow Diagram Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_901	12pm Shadow Diagram Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA
DA_902	3pm Shadow Diagram Plan	1:100 @ A1 / 1:200 @ A3	-	21.10.21	DA

EXTERNAL FINISHES SCHEDULE

1. Monument painted James Hardies - Axon Verticle cladding
2. Monument roof sheeting
3. Concrete Eaves & White Aluminium Doors
4. Black Aluminium Windows and Doors (GF & FF)
5. Hardwood timber batten privacy screens and fence

6. Tallow wood timber deking boards to allow to silver naturally
7. External outdoor limestone pavers
8. Recycled brickwork
9. White Timber Windows and Doors (LG)
10. Glass Balustrade and swimming pool

EXTERNAL MATERIALS BOARD

NEW RESIDENTIAL DWELLING INCL. NEW SWIMMING POOL
25 ALLEYNE AVENUE, NORTH NARRABEEN, NSW

SCHEDULE OF BASIX COMMITTMENTS

Project name - Carter House - Main dwelling
Street address - 25 Alleyne Avenue North Narrabeen 2101
Local Government Area
Plan type Deposited Plan 7593 Lot no.52
Northern Beaches Council
Project type - separate dwelling house
No. of bedrooms - 5
Site details
Site area (m2) 558
Roof area (m2) 199
Conditioned floor area (m2) 318.3
Unconditioned floor area (m2) 15.0
Total area of garden and lawn (m2) 228

Water Commitments

Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 80 square metres of the site.

Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development. The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Swimming pool
The swimming pool must not have a volume greater than 18 kilolitres. The swimming pool must be outdoors.

Thermal Comfort Commitments

Minimum R2.5 insulation to all external walls
R5.0 insulation to ceilings
R2.5 insulation to walls between house & subfloor/earth
Weatherseals to all external doors & windows
Foil + R1.0 insulation blanket underside of roof
Medium/dark walls & medium roof colours
Default floor covering used in NatHERS rating
Insulation must be installed in accordance with NCC and relevant Australian Standards.
Recessed downlights have been included in the NatHERS rating(to be sealed LED downlights)
All windows & glazed doors to have a U value less than or = to 4.90 & with 10% of SHGC 0.33(primary)
All windows & glazed doors to be single glazed clear with aluminium frame(Less than or = to U 6.70, within 10% of SHGC 0.70)(secondary)
Ceiling fan to dining & bed 1 (primary)

Energy Commitments

Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous.

Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a

Heating system
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.

Ventilation
The applicant must install the following exhaust systems in the development:
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a

Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:
- at least 5 of the bedrooms / study;
- at least 2 of the living / dining rooms;

Natural lighting
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.

Swimming pool
The development must not incorporate any heating system for the swimming pool. The applicant must install a timer for the swimming pool pump in the development.

Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 3 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.

Project name - Carter House - Secondary dwelling
Street address - 25 Alleyne Avenue North Narrabeen 2101
Local Government Area
Plan type Deposited Plan 7593 Lot no.52
Northern Beaches Council
Project type - separate dwelling house
No. of bedrooms - 2
Site details
Site area (m2) 558
Roof area (m2) 60
Conditioned floor area (m2) 48
Unconditioned floor area (m2) 12.0
Total area of garden and lawn (m2) 35

Water Commitments

Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 80 square metres of the site.

Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development. The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

Thermal Comfort Commitments

Minimum R2.5 insulation to all external walls
R5.0 insulation to ceilings
R2.5 insulation to walls between house & subfloor/earth
Weatherseals to all external doors & windows
Foil + R1.0 insulation blanket underside of roof
Medium/dark walls & medium roof colours
Default floor covering used in NatHERS rating
Insulation must be installed in accordance with NCC and relevant Australian Standards.
Recessed downlights have been included in the NatHERS rating(to be sealed LED downlights)
All windows & glazed doors to have a U value less than or = to 4.90 & with 10% of SHGC 0.33(primary)
All windows & glazed doors to be single glazed clear with aluminium frame(Less than or = to U 6.70, within 10% of SHGC 0.70)(secondary)
Ceiling fan to dining & bed 1 (primary)

Energy Commitments

Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous.

Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a

Heating system
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.

Ventilation
The applicant must install the following exhaust systems in the development:
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:
- at least 2 of the bedrooms / study;
- at least 1 of the living / dining rooms;
- all hallways; dedicated

Natural lighting
The applicant must install a window and/or skylight in the Kitchen in the development for natural lighting.
The applicant must install a window and/or skylight in 1 bathroom(s)/toilets(s) in the development for natural light.

Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.

0006960540 22 Dec 2021
NATIONWIDE HOUSE ENERGY RATING SCHEME
Assessor Scott Douglass
Accreditation No. 13/1547
Address
25 Alleyne Avenue , Noth Narrabeen , NSW , 2101
hstar.com.au

LEGEND:

- 7.03 — DENOTES EXISTING SPOT LEVEL
- RL 7.10 — DENOTES PROPOSED LEVEL
- DENOTES PROPOSED WALLS
- DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

- DENOTES PROPOSED STRUCTURES
- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
- DENOTES AREA OF SOFT LANDSCAPING

PROJECT:
PROPOSED NEW DWELLING HOUSE

CLIENT:
TROY CARTER

LOCATION:
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
COVER PAGE

SCALE:
NTS

DATE OF ISSUE:
14.10.2021

DRAWING NO.
DA-000

REVISION:
-

daniel raymond
architect
nsw reg. #9788

Shop 6/20 Avalon Parade,
AVALON. NSW. 2107

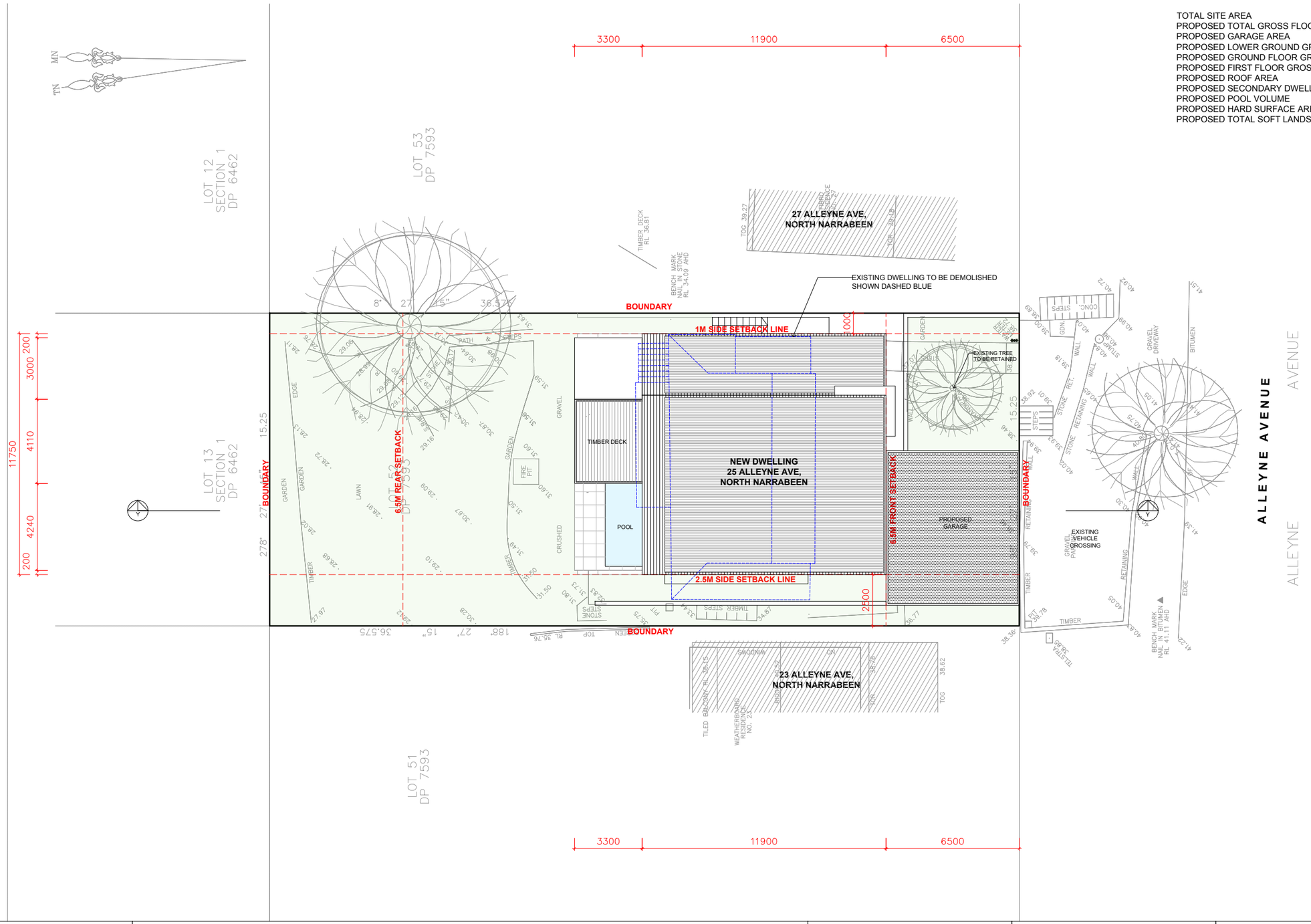
e. dan@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

SITE CALCULATIONS

TOTAL SITE AREA	557.8m²
PROPOSED TOTAL GROSS FLOOR AREA INC. SECONDARY DWELLING	317m²
PROPOSED GARAGE AREA	37m²
PROPOSED LOWER GROUND GROSS FLOOR AREA	70m²
PROPOSED GROUND FLOOR GROSS FLOOR AREA	120m²
PROPOSED FIRST FLOOR GROSS FLOOR AREA	67m²
PROPOSED ROOF AREA	199m²
PROPOSED SECONDARY DWELLING	60m²
PROPOSED POOL VOLUME	18m³
PROPOSED HARD SURFACE AREA	245.7m² (44%)
PROPOSED TOTAL SOFT LANDSCAPE AREA	312.1m² (56%)



NORTH

LEGEND:

7.03 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

DENOTES PROPOSED WALLS

DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

DENOTES PROPOSED STRUCTURES

DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED

DENOTES AREA OF SOFT LANDSCAPING

PROJECT:
PROPOSED NEW DWELLING HOUSE

CLIENT:
TROY CARTER

LOCATION:
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
SITE PLAN

SCALE:
1:200 @ A3

DATE OF ISSUE:
14.10.2021

DRAWING NO.
DA-001

REVISION:
-

daniel raymond
architect
nsw reg. #9788

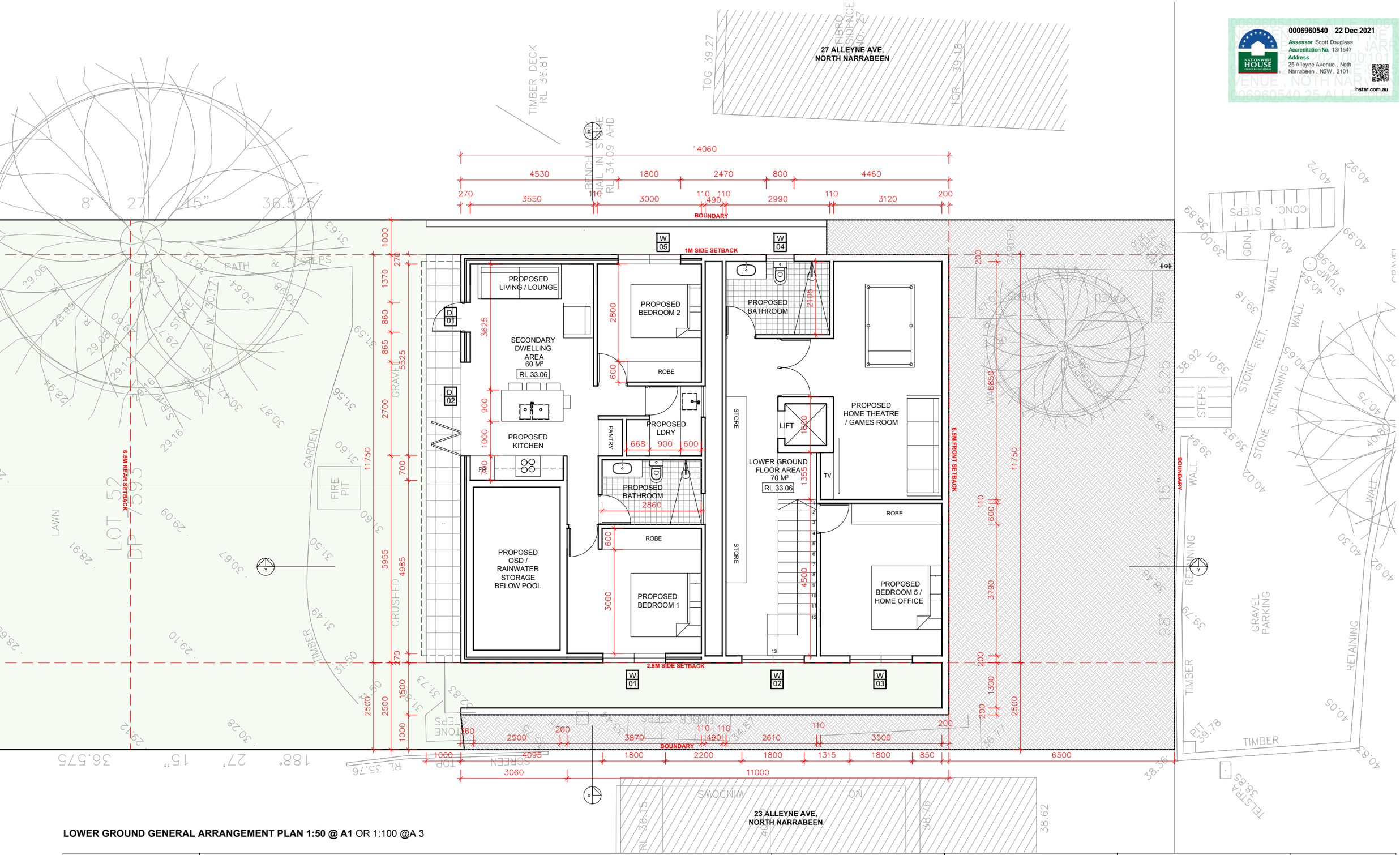
Shop 6/20 Avalon Parade,
AVALON, NSW. 2107

www.ramaarchitects.com

e. dan@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING



LOWER GROUND GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @A 3

NORTH

LEGEND:

7.03 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

DENOTES PROPOSED WALLS

DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

DENOTES PROPOSED STRUCTURES

DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED

DENOTES AREA OF SOFT LANDSCAPING

PROJECT:
PROPOSED NEW DWELLING HOUSE

CLIENT:
TROY CARTER

LOCATION:
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
LOWER GROUND GENERAL ARRANGEMENT PLAN

SCALE:
1:100 @ A3

DATE OF ISSUE:
14.10.2021

DRAWING NO.
DA-100

REVISION:
-

daniel raymond
architect
nsw reg. #9788

Shop 6/20 Avalon Parade,
AVALON. NSW. 2107

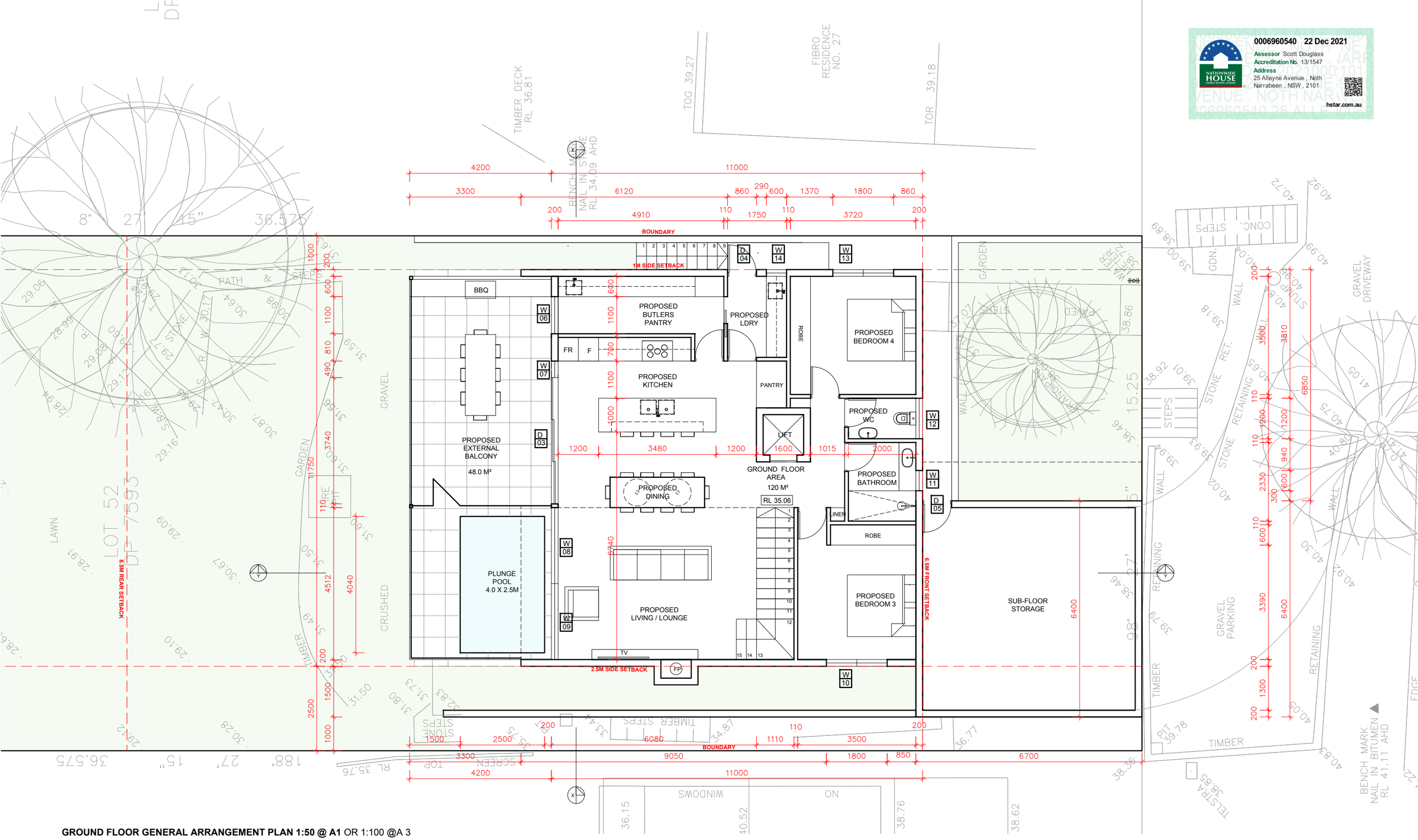
www.ramaarchitects.com

e. dan@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

0006960540 22 Dec 2021
Assessor Scott Douglass
Accreditation No. 13/1547
Address
25 Alleyne Avenue , Noth
Narrabeen , NSW , 2101
hstar.com.au



GROUND FLOOR GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @A 3

NORTH

LEGEND:

- 7.03 — DENOTES EXISTING SPOT LEVEL
- RL 7.10 — DENOTES PROPOSED LEVEL
- DENOTES PROPOSED WALLS
- DENOTES OUTLINE OF EXISTING TO BE DEMOLISHED

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

- DENOTES PROPOSED STRUCTURES
- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
- DENOTES AREA OF SOFT LANDSCAPING

PROJECT:
PROPOSED NEW DWELLING HOUSE

CLIENT:
TROY CARTER

LOCATION:
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
GROUND FLOOR GENERAL ARRANGEMENT PLAN

SCALE:
1:100 @ A3

DATE OF ISSUE:
14.10.2021

DRAWING NO.
DA-101

REVISION:
-

daniel raymond
architect
nsw reg. #9788

Shop 6/20 Avalon Parade,
AVALON. NSW. 2107

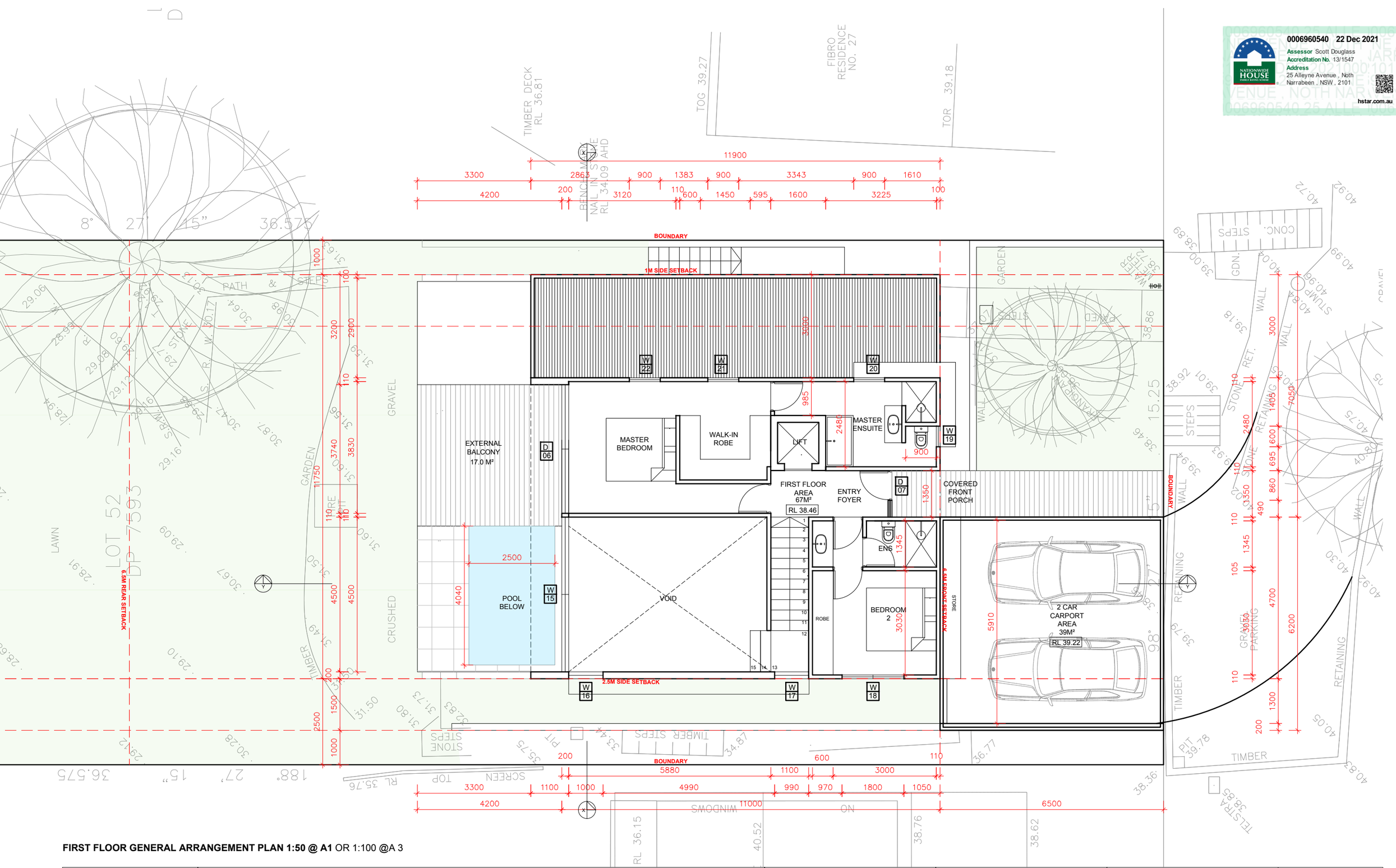
www.ramaarchitects.com

e. dan@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

0006960540 22 Dec 2021
Assessor Scott Douglass
Accreditation No. 13/1547
Address
25 Alleyne Avenue , Noth
Narrabeen , NSW , 2101
hstar.com.au



FIRST FLOOR GENERAL ARRANGEMENT PLAN 1:50 @ A1 OR 1:100 @A 3

NORTH

LEGEND:

7.10 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

KEY:

DENOTES PROPOSED STRUCTURES

DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED

DENOTES AREA OF SOFT LANDSCAPING

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

PROJECT:
PROPOSED NEW DWELLING HOUSE

CLIENT:
TROY CARTER

LOCATION:
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
FIRST FLOOR GENERAL ARRANGEMENT PLAN

SCALE:

DATE OF ISSUE:
14.10.2021

DRAWING NO.
DA-102

REVISION:
-

daniel raymond
architect
nsw reg. #9788

Shop 6/20 Avalon Parade,
AVALON. NSW. 2107

www.ramaarchitects.com

e. dan@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

0006960540 22 Dec 2021
Assessor Scott Douglass
Accreditation No. 13/1547
Address
25 Alleyne Avenue , Noth
Narrabeen , NSW , 2101
hstar.com.au

SCHEDULE OF FINISHES

MT - METAL
FC - SHEETING
D - DOOR
AL - ALUMINIUM
W - WINDOW
T - TIMBER
SS - SANDSTONE
BWK - BRICKWORK
GL - GLASS BALUSTRADE

EAST ELEVATION 1:50 @ A1 OR 1:100 @ A3

LEGEND:

7.10 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELAVANT STANDARDS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

DENOTES PROPOSED STRUCTURES
DENOTES EXISTING STRUCTURES TO REMAIN
DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
DENOTES AREA OF SOFT LANDSCAPING

PROJECT
PROPOSED NEW DWELLING HOUSE

CLIENT
TROY CARTER

LOCATION
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE
DA

DRAWING TITLE
ELEVATION SHEET 01

SCALE
1:100 @ A3

DATE
18.10.2021

DRAWING NO.
DA-300

REVISION
-

daniel raymond
architect
new reg. #9788

Shop 6/20 Avalon Parade,
AVALON, NSW. 2107

www.ramaarchitects.com

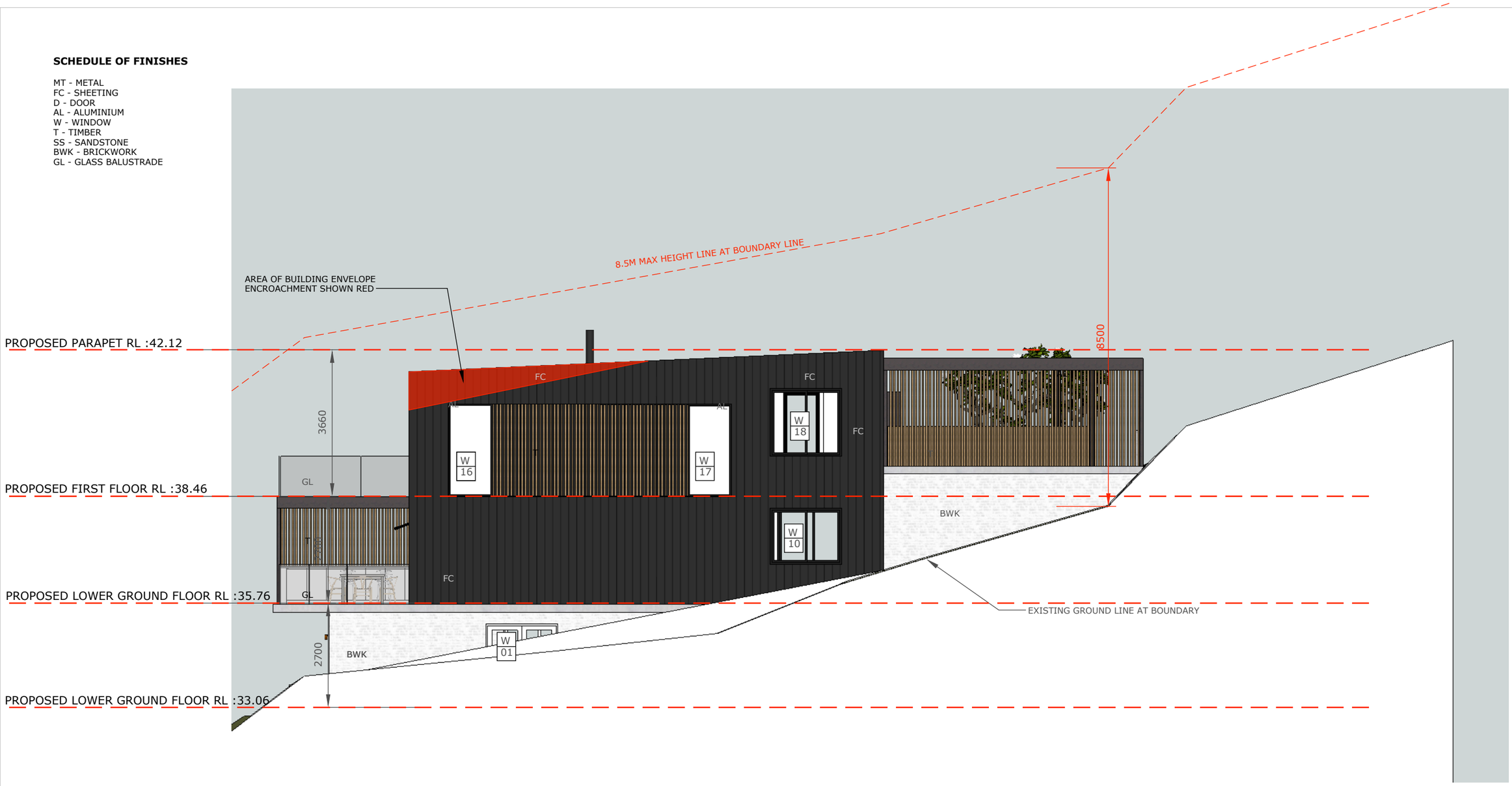
e. dan@ramaarchitects.com

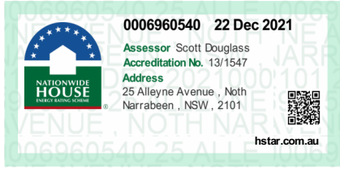
ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

SCHEDULE OF FINISHES

MT - METAL
FC - SHEETING
D - DOOR
AL - ALUMINIUM
W - WINDOW
T - TIMBER
SS - SANDSTONE
BWK - BRICKWORK
GL - GLASS BALUSTRADE





WEST ELEVATION 1:50 @ A1 OR 1:100 @ A3

LEGEND:

7.10 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

KEY:

DENOTES PROPOSED STRUCTURES

DENOTES EXISTING STRUCTURES TO REMAIN

DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED

DENOTES AREA OF SOFT LANDSCAPING

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELAVANT STANDARDS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

PROJECT
PROPOSED NEW DWELLING HOUSE

CLIENT
TROY CARTER

LOCATION
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE
DA

DRAWING TITLE
ELEVATION SHEET 02

SCALE
1:100 @ A3

DATE
18.10.2021

DRAWING NO.
DA-301

REVISION
-

daniel raymond
architect
new reg.#9788

Shop 6/20 Avalon Parade,
AVALON. NSW. 2107

www.ramaarchitects.com

e. dan@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

SCHEDULE OF FINISHES

MT - METAL
FC - SHEETING
D - DOOR
AL - ALUMINIUM
W - WINDOW
T - TIMBER
SS - SANDSTONE
BWK - BRICKWORK
GL - GLASS BALUSTRADE

NORTH ELEVATION 1:50 @ A1 OR 1:100 @ A3

0006960540 22 Dec 2021
Assessor Scott Douglass
Accreditation No. 13/1547
Address
25 Alleyne Avenue , Noth Narrabeen , NSW , 2101
hstar.com.au

LEGEND:

7.10 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELAVANT STANDARDS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

DENOTES PROPOSED STRUCTURES
DENOTES EXISTING STRUCTURES TO REMAIN
DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
DENOTES AREA OF SOFT LANDSCAPING

PROJECT
PROPOSED NEW DWELLING HOUSE

CLIENT
TROY CARTER

LOCATION
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE
DA

DRAWING TITLE
ELEVATION SHEET 03

SCALE
1:100 @ A3

DATE
18.10.2021

DRAWING NO.
DA-302

REVISION
-

daniel raymond
architect
new reg. #9788

Shop 6/20 Avalon Parade,
AVALON. NSW. 2107

www.ramaarchitects.com

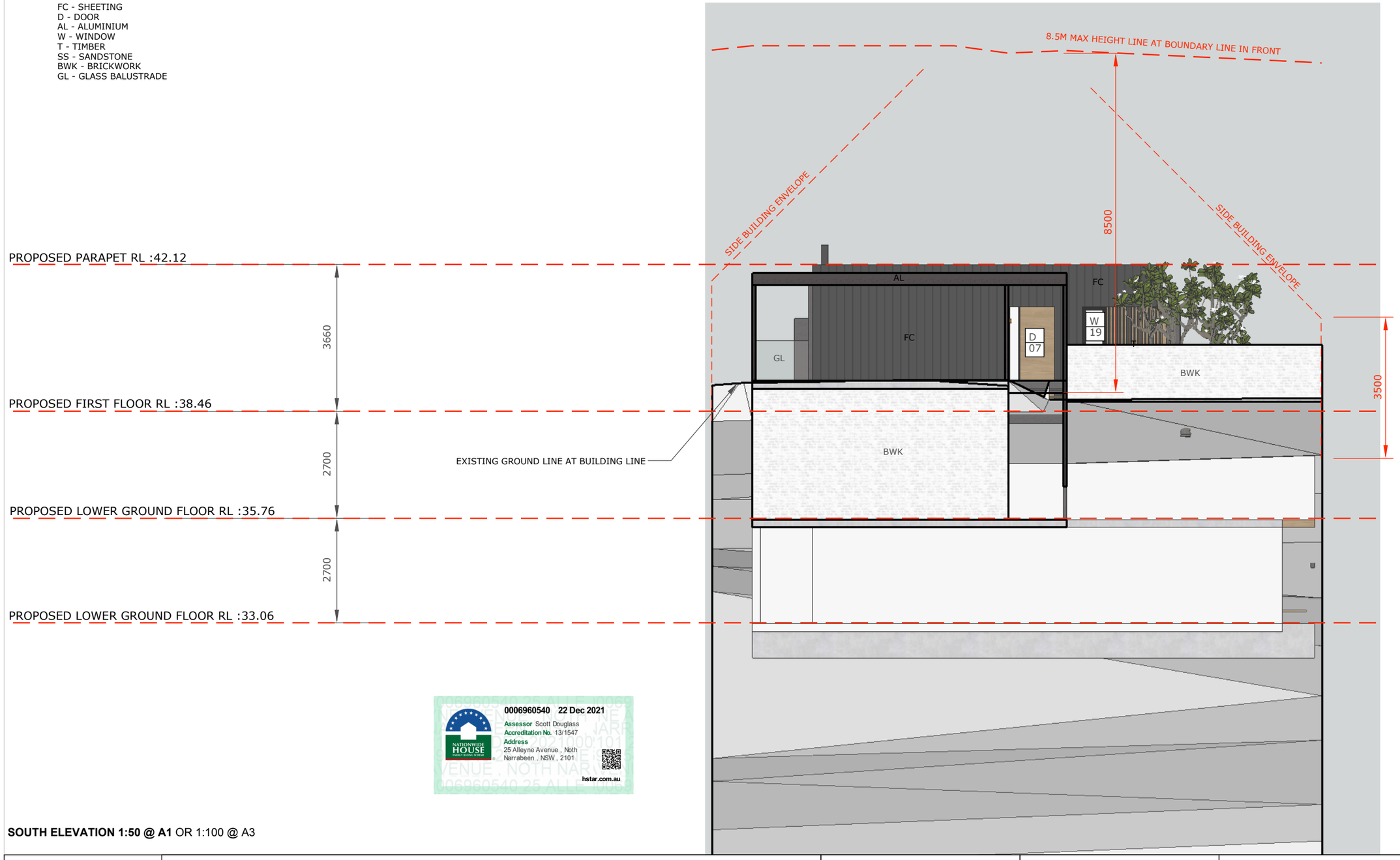
e. dan@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

SCHEDULE OF FINISHES

MT - METAL
FC - SHEETING
D - DOOR
AL - ALUMINIUM
W - WINDOW
T - TIMBER
SS - SANDSTONE
BWK - BRICKWORK
GL - GLASS BALUSTRADE



SOUTH ELEVATION 1:50 @ A1 OR 1:100 @ A3

LEGEND:

7.10 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELAVANT STANDARDS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

DENOTES PROPOSED STRUCTURES
DENOTES EXISTING STRUCTURES TO REMAIN
DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
DENOTES AREA OF SOFT LANDSCAPING

PROJECT
PROPOSED NEW DWELLING HOUSE

CLIENT
TROY CARTER

LOCATION
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE
DA

DRAWING TITLE
ELEVATION SHEET 04

SCALE
1:100 @ A3

DATE
18.10.2021

DRAWING NO.
DA-303

REVISION
-

daniel raymond
architect
new reg. #9788

Shop 6/20 Avalon Parade,
AVALON, NSW. 2107

www.ramaarchitects.com

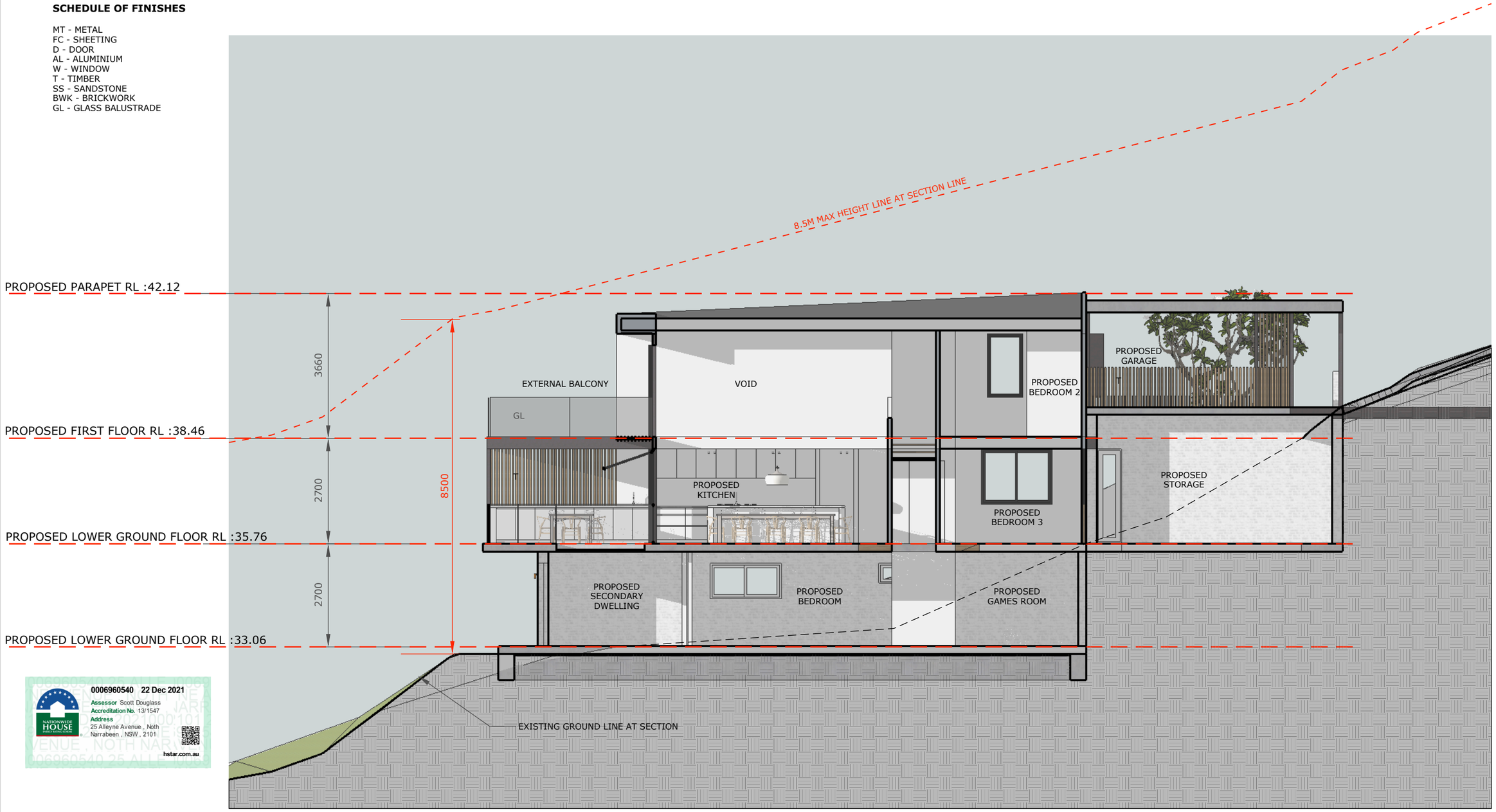
e. dan@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

SCHEDULE OF FINISHES

MT - METAL
FC - SHEETING
D - DOOR
AL - ALUMINIUM
W - WINDOW
T - TIMBER
SS - SANDSTONE
BWK - BRICKWORK
GL - GLASS BALUSTRADE



0006960540 22 Dec 2021
Assessor Scott Douglass
Accreditation No. 13/1547
Address
25 Alleyne Avenue , Noth Narrabeen , NSW , 2101
hstar.com.au

SECTION Y 1:50 @ A1 OR 1:100 @ A3

LEGEND:

7.10 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELAVANT STANDARDS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

DENOTES PROPOSED STRUCTURES
DENOTES EXISTING STRUCTURES TO REMAIN
DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
DENOTES AREA OF SOFT LANDSCAPING

PROJECT
PROPOSED NEW DWELLING HOUSE

CLIENT
TROY CARTER

LOCATION
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE
DA

DRAWING TITLE
SECTION SHEET 01

SCALE
1:100 @ A3

DATE
18.10.2021

DRAWING NO.
DA-400

REVISION
-

daniel raymond
architect
new reg. #9788

Shop 6/20 Avalon Parade,
AVALON. NSW. 2107

www.ramaarchitects.com

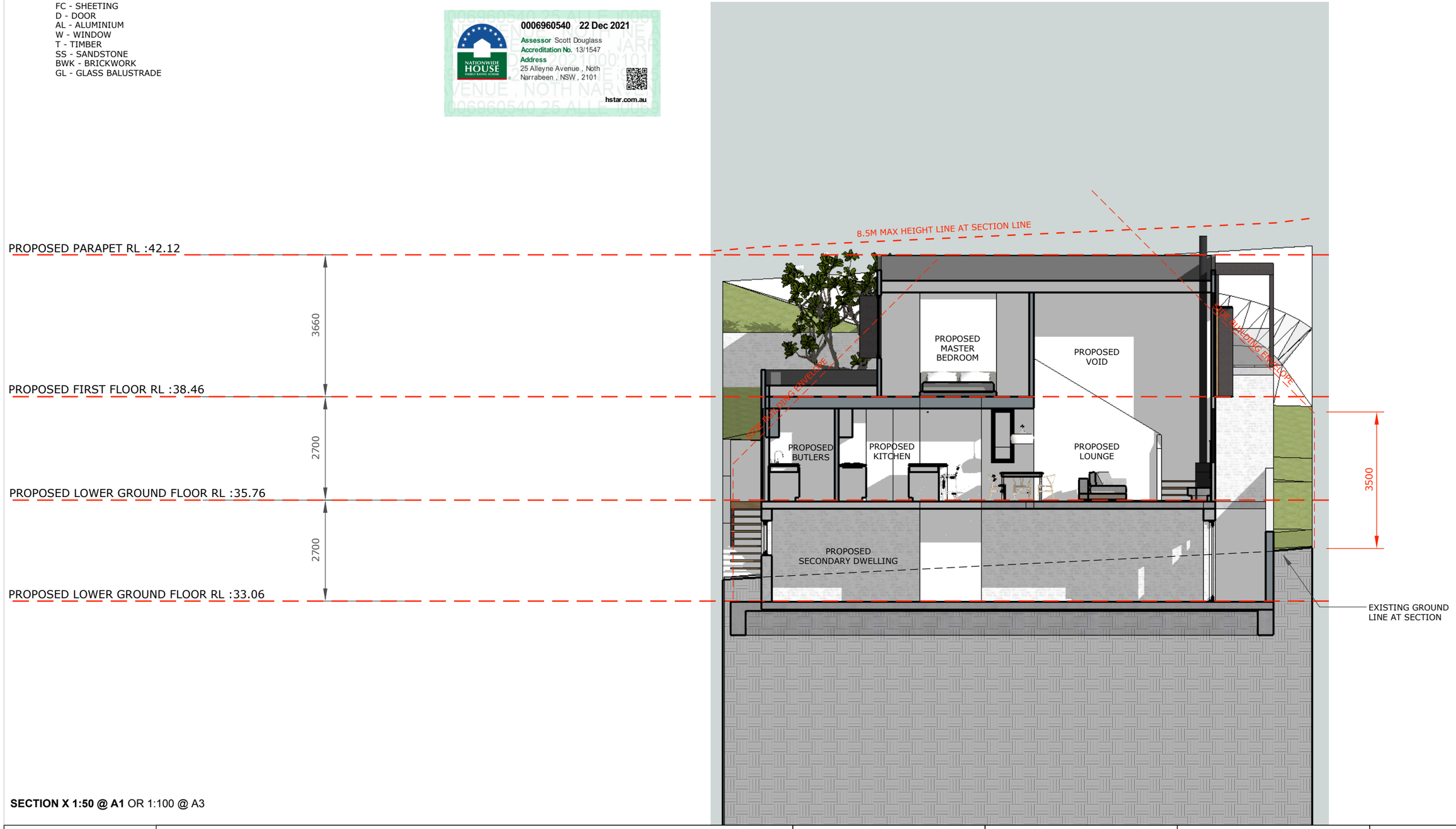
e. dan@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING

SCHEDULE OF FINISHES

MT - METAL
FC - SHEETING
D - DOOR
AL - ALUMINIUM
W - WINDOW
T - TIMBER
SS - SANDSTONE
BWK - BRICKWORK
GL - GLASS BALUSTRADE



SECTION X 1:50 @ A1 OR 1:100 @ A3

LEGEND:

7.10 DENOTES EXISTING SPOT LEVEL

RL 7.10 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY.
NOTE: DO NOT SCALE OFF THIS DRAWING
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE B.C.
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELAVANT STANDARDS
NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS

KEY:

DENOTES PROPOSED STRUCTURES
DENOTES EXISTING STRUCTURES TO REMAIN
DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
DENOTES AREA OF SOFT LANDSCAPING

PROJECT
PROPOSED NEW DWELLING HOUSE

CLIENT
TROY CARTER

LOCATION
25 ALLEYNE AVE,
NORTH NARRABEEN, 2101, NSW

PROJECT STAGE
DA

DRAWING TITLE
SECTION SHEET 02

SCALE
1:100 @ A3

DATE
18.10.2021

DRAWING NO.
DA-401

REVISION
-

daniel raymond
architect
nsw reg. #9788

Shop 6/20 Avalon Parade,
AVALON. NSW. 2107

www.ramaarchitects.com

e. dan@ramaarchitects.com

ABN 612 713 425

COPYRIGHT OF DANIEL RAYMOND ARCHITECTS.
THIS DRAWING IS NOT TO BE USED OR REPRODUCED
IN ANY FORM WITHOUT CONSENT.
DO NOT SCALE FROM THIS DRAWING