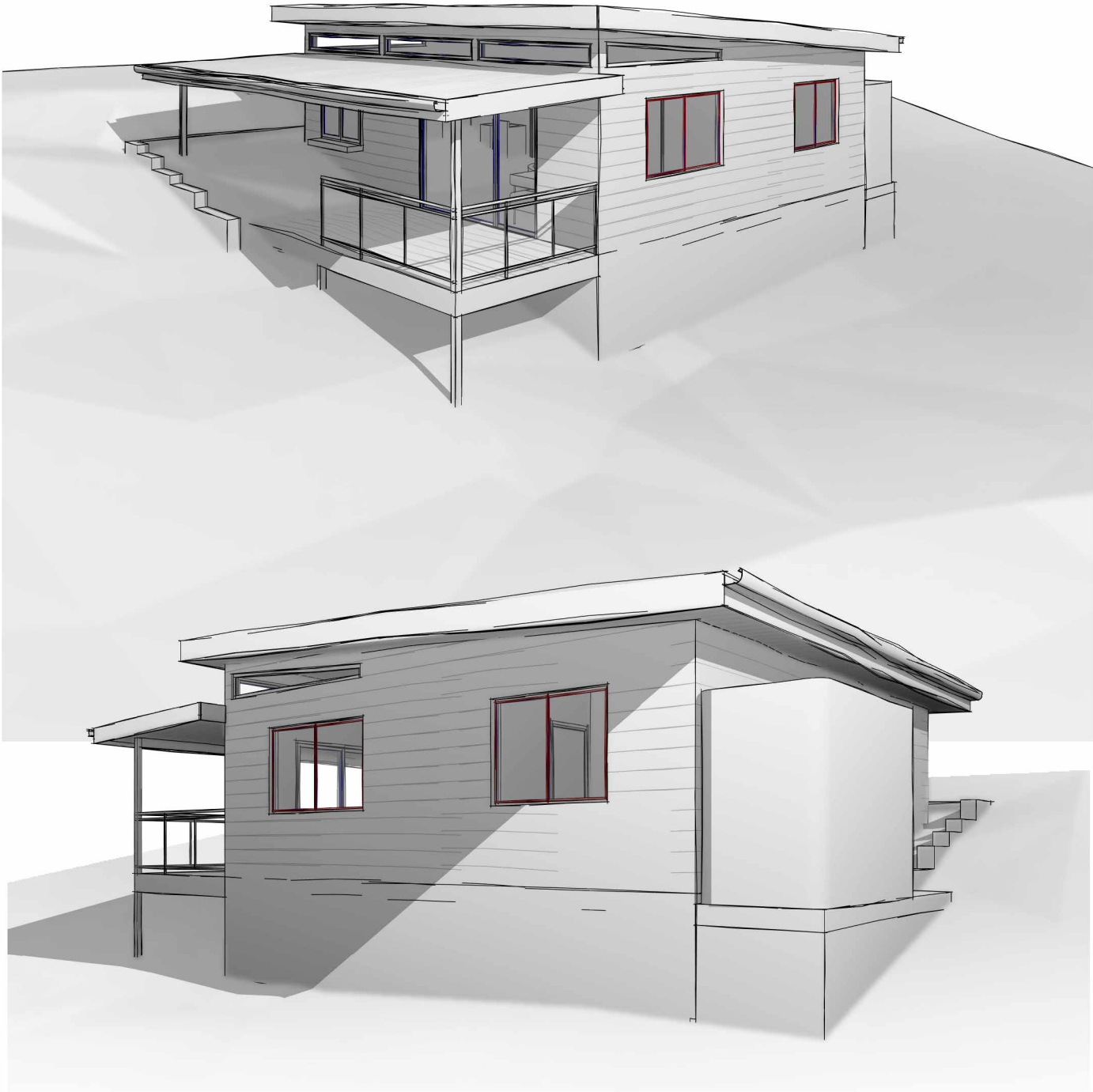
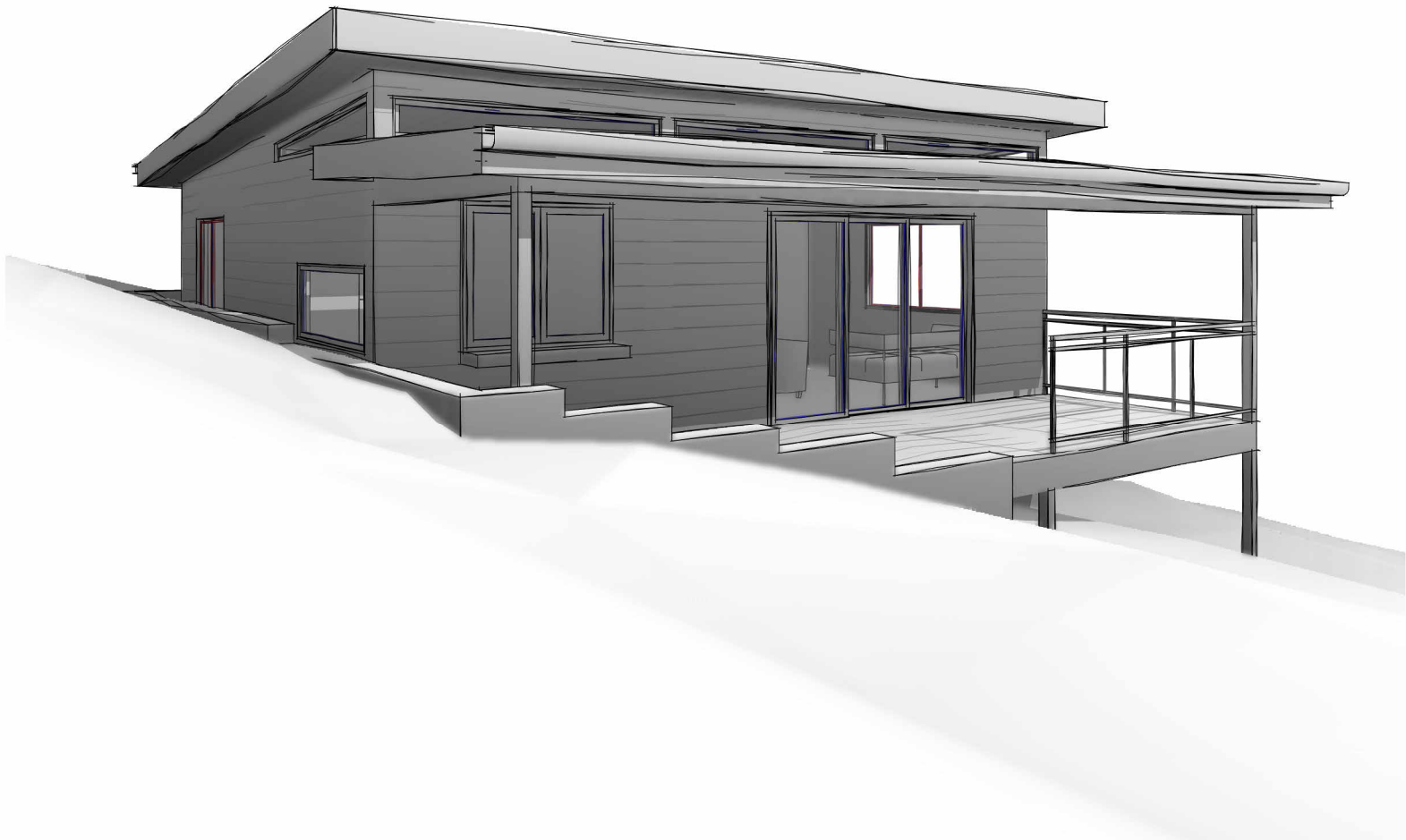


ADDRESS 282 LOWER PLATEAU ROAD BILGOLA PLATEAU

RESIDENCE

SHEET LIST (A)

SHEET NUMBER	SHEET NAME	ISSUE
A 0	COVER PAGE	F
A 1	NOTES	F
A 2	BASIX	F
A 3	SITE AND ROOF PLAN	F
A 4	GROUND FLOOR PLAN	F
A 5	ELEVATIONS AND SECTION	F
A 6	SECTION	F
A 7	AREA CALCULATIONS	F



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project

PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 282 LOWER PLATEAU ROAD BILGOLA PLATEAU NSW 2107 LOT 113 DP12838

client

RHYS HOUNSLOW

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RK DESIGNS

true north

drawing

COVER PAGE

project no	date	sheet no.	scale @ A3	issue	checked
24-69	08/10/24	A 0		F	?

Bungalow Homes

ALL ASPECTS OF CONSTRUCTION ARE TO COMPLY WITH THE APPLICABLE PERFORMANCE REQUIREMENTS OF THE NCC 2022 AND THE HOUSING PROVISIONS

NO SURVEY HAS BEEN MADE ON THE BOUNDARIES, ALL BEARINGS, DISTANCES AND AREAS HAVE BEEN TAKEN FROM THE CONTOUR SURVEY PLAN. A SURVEY MUST BE CARRIED OUT TO CONFIRM THE EXACT BOUNDARY LOCATIONS

IN THE EVENT OF ENCOUNTERING ANY DISCREPANCIES ON THESE
DRAWINGS, SPECIFICATION OR SUBSEQUENT INSTRUCTIONS
ISSUED, THE BUILDER/SUBCONTRACTOR SHALL CONTACT THE
DESIGNER BEFORE PROCEEDING FURTHER WITH ANY WORK

MEASUREMENTS FOR THE FABRICATION OF SECONDARY COMPONENTS SUCH AS, WINDOWS, DOORS, INTERNAL FRAMES, STRUCTURAL STEEL COMPONENTS AND THE LIKE, ARE NOT TO BE TAKEN FROM THESE DOCUMENTS. MEASUREMENTS MUST BE TAKEN ON SITE TO SUIT THE WORK AS CONSTRUCTED

ALL EXISTING STRUCTURES NEED TO BE EXAMINED FOR STRUCTURAL ADEQUACY, AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT A CERTIFICATE OF STRUCTURAL ADEQUACY IS AVAILABLE PRIOR TO THE START OF ANY WORK

FINISHED FLOOR LEVELS MAY VARY (+/- 50MM) FROM THOSE
INDICATED
ON PLAN, DUE TO SITE CLEARING, DEMOLITION, CONTOUR
INCONSISTENCIES ETC

ANY STRUCTURE SHOWN AS EXEMPT DEVELOPMENT IS TO BE
WORKED OUT ON SITE, CONTRACTOR TO ENSURE THE
CONSTRUCTION IS DONE IN ACCORDANCE TO THE EXEMPT
DEVELOPMENT CONTROLS IN FULL PRIOR TO CONSTRUCTING

TERMITE MANAGEMENT MUST BE CARRIED OUT IN ACCORDANCE WITH NCC 2022 PART 3.4 OF THE HOUSING PROVISIONS AND THE RELEVANT GUIDELINES SETOUT IN THE AUSTRALIAN STANDARDS AS3660.1 TERMITE MANAGEMENT

BULKHEADS TO BE INSTALLED IN ACCORDANCE WITH RELEVANT
NCC REQUIREMENTS. LOCATIONS OF BULKHEADS TO BE
CONFIRMED ON SITE BY THE BUILDER ON SITE

CONTRACTOR IS TO ENSURE THAT ANY SHARED WALLS ARE FIRE RATED IN ACCORDANCE WITH CLAUSE 9.3.1 OF THE HOUSING PROVISIONS 2022, HAVE NO PENETRATIONS AND A SOUND SEPARATION AS PER CLAUSE 10.7.1 OF THE HOUSING PROVISIONS 2022

IF AIR CONDITIONING IS TO BE PROVIDED, ALLOW FOR THE AIR CONDITIONING TO BE CONCEALED IN THE CEILING, THE ROOF AND IN DUCTS. AIR CONDITIONING IS TO BE AS PER THE AIR CONDITIONING CONSULTANTS DETAILS AND THE BASIX CERTIFICATE REQUIREMENTS



THE CONTRACTOR MUST ALLOW FOR ALL LABOUR AND MATERIALS NECESSARY FOR THE SUPPLY AND INSTALLATION OF ALL WINDOWS AND DOORS INDICATED THROUGHOUT THE PROPOSED BUILDING. HE MUST ALSO ALLOW FOR THE PREPARATION OF A DETAILED WINDOW AND DOOR SCHEDULE THAT PROVIDES DETAIL INFORMATION AS TO THE TYPE, NUMBER AND CONFIGURATION OF EACH AND EVERY DOOR AND WINDOW FOR THE APPROVAL OF THE OWNERS BEFORE ORDERING AND OF THE DOORS AND WINDOWS. THIS DETAIL SCHEDULE IS NOT PART OF THE CONSTRUCTION CERTIFICATE DOCUMENTATION AND MUST BE ALLOWED FOR BY THE CONTRACTOR IN THE TENDER PRICE. ALL WINDOW AND DOOR DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO ORDERING THESE ITEMS

THE CONTRACTOR IS TO ALLOW FOR FLOOR WASTES TO BE PROVIDED TO EACH AND EVERY BALCONY (IRRESPECTIVE OF WHETHER THEY ARE INDICATED IN THE CONSULTANTS DRAWINGS OR NOT. THESE FLOOR WASTES ARE TO BE CONNECTED TO STORMWATER GRATES PVC AND THEN TO DOWNPIPES LOCATED DIRECTLY IN ONE INTERNAL CORNER OF EACH AND EVERY BALCONY. CONFIRM THE LOCATIONS OF THESE DOWNPIPES WITH THE OWNERS. THE CONTRACTOR MUST ALLOW FOR ALL ASSOCIATED WORKS (SUCH A CONNECTION TO BE STORMWATER LINES AND THE LIKE) THAT IS REQUIRED IN ORDER FOR ALL SUCH FLOOR WASTES TO ADEQUATELY DRAIN EACH AND EVERY BALCONY

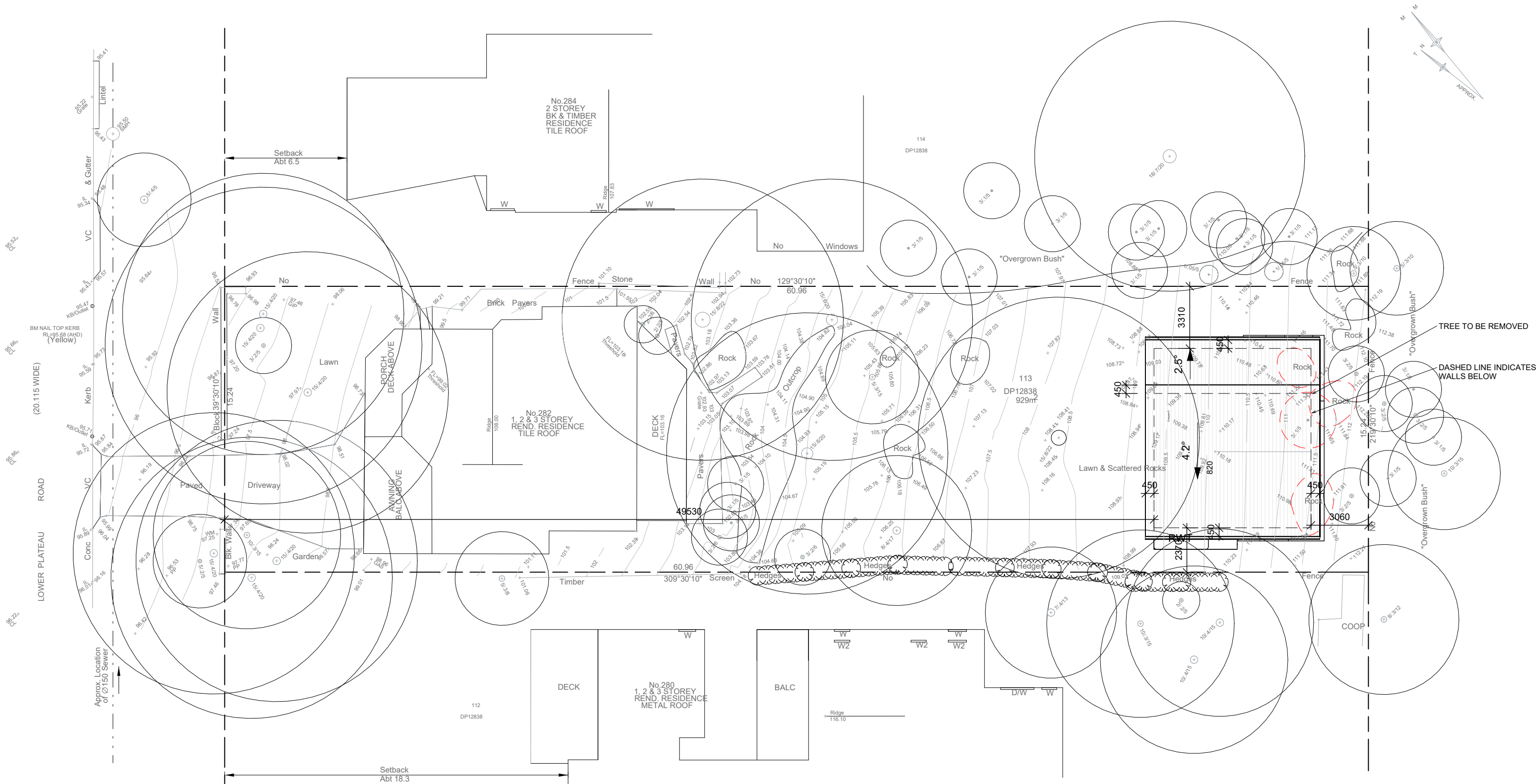
ALL OFF-STREET PARKING FACILITIES INCLUDING DRIVEWAY WIDTHS, RAMP GRADES, AISLE WIDTHS, TURNING PATHS, SIGHT DISTANCES AND PARKING BAY SIZES MUST CONFORM TO CURRENT AUSTRALIAN STANDARDS AS 2890.1 AND AS 2890.2-2002

PROVIDE 100MM MINIMUM AGRICULTURAL PIPE WITH A FILTER STOCKING AROUND PERIMETER OF THE BUILDING AND CONNECT TO STORMWATER LINES AS PER THE STORMWATER ENG DETAILS AND SYDNEY WATER REQUIREMENTS

CONTRACTOR MUST ENSURE THAT THE ACCESS LIFT COMPLIES WITH THE REQUIREMENTS OF AS1735.12. THE LIFT SHAFT IS TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE MANUFACTURERS AND STRUCTURAL ENG DETAIL. THE CONTRACTOR MUST LIAISE WITH THE LIFT MANUFACTURERS AND ALLOW FOR THE ITEMS TO BE PROVIDED BY OTHER CONTRACTORS AS REQUIRED IN THE "WORK BY OTHERS" THE LIFT SHAFT AND PIT ARE TO BE WATERPROOFED AS PER THE ARCHITECTURAL SPECIFICATION AND MANUFACTURERS REQUIREMENTS

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PRELIMINARY
DO NOT USE FOR CONSTRUCTION

1 SITE AND ROOF PLAN

1 : 200

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client

RHYS HOUNSLOW

true north

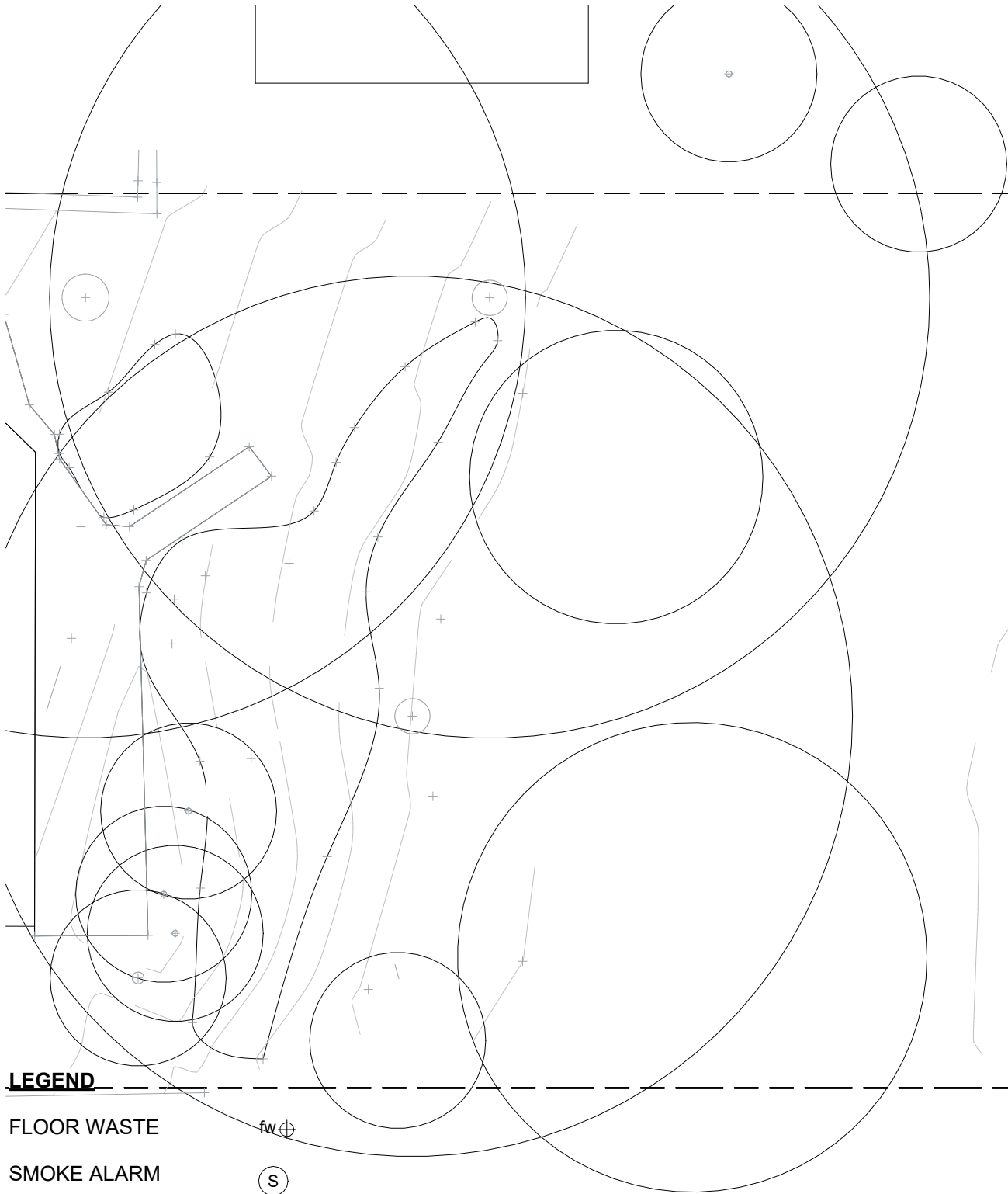
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SITE AND ROOF PLAN

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LEGEND

FLOOR WASTE

SMOKE ALARM

(HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED AS PER CLAUSE 9.5.4 OF THE HOUSING PROVISIONS 2022 & AS 3786)

PRELIMINARY
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1

GROUND FLOOR PLAN

1 : 100

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client
RHYS HOUNSLOW



true north



drawing
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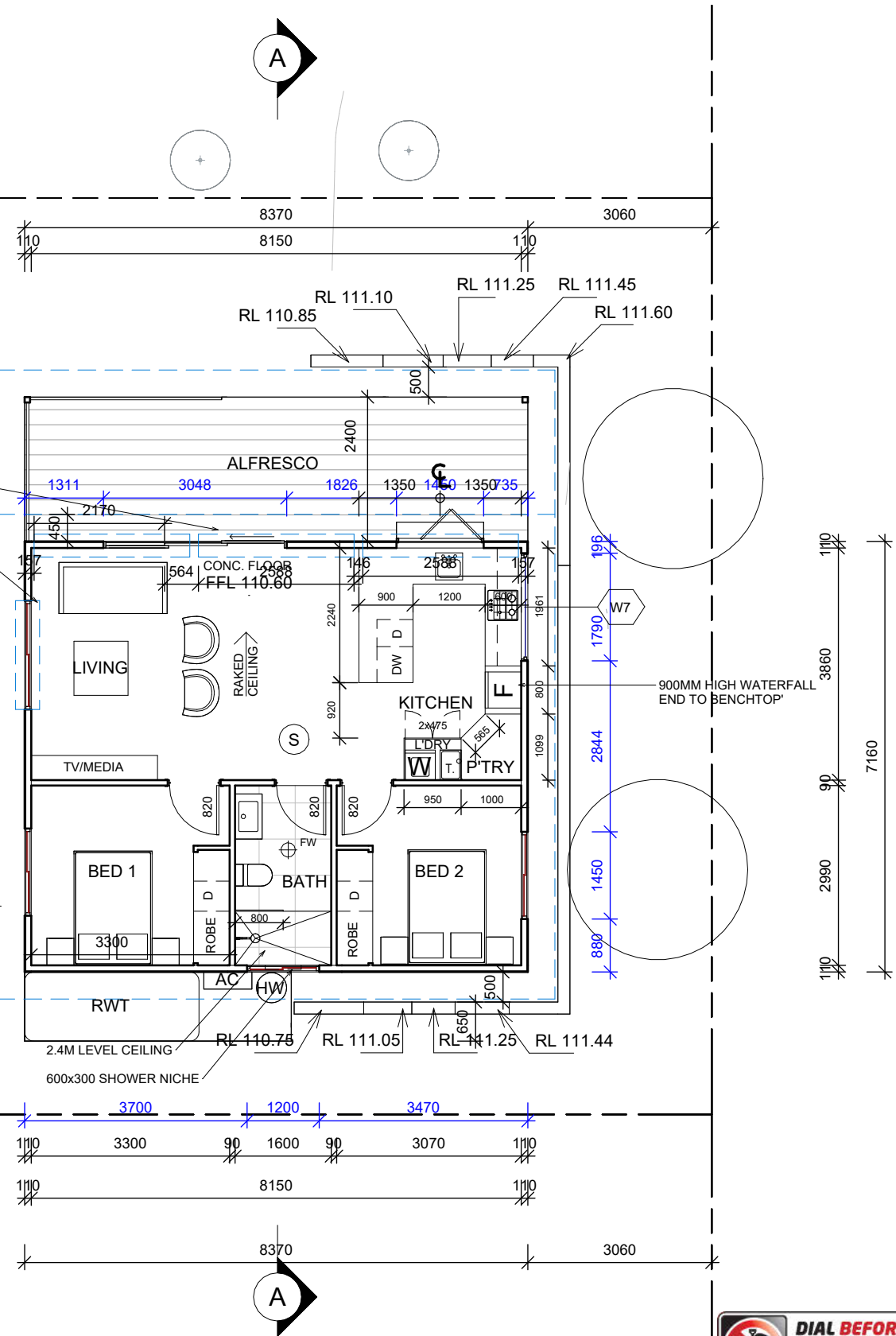
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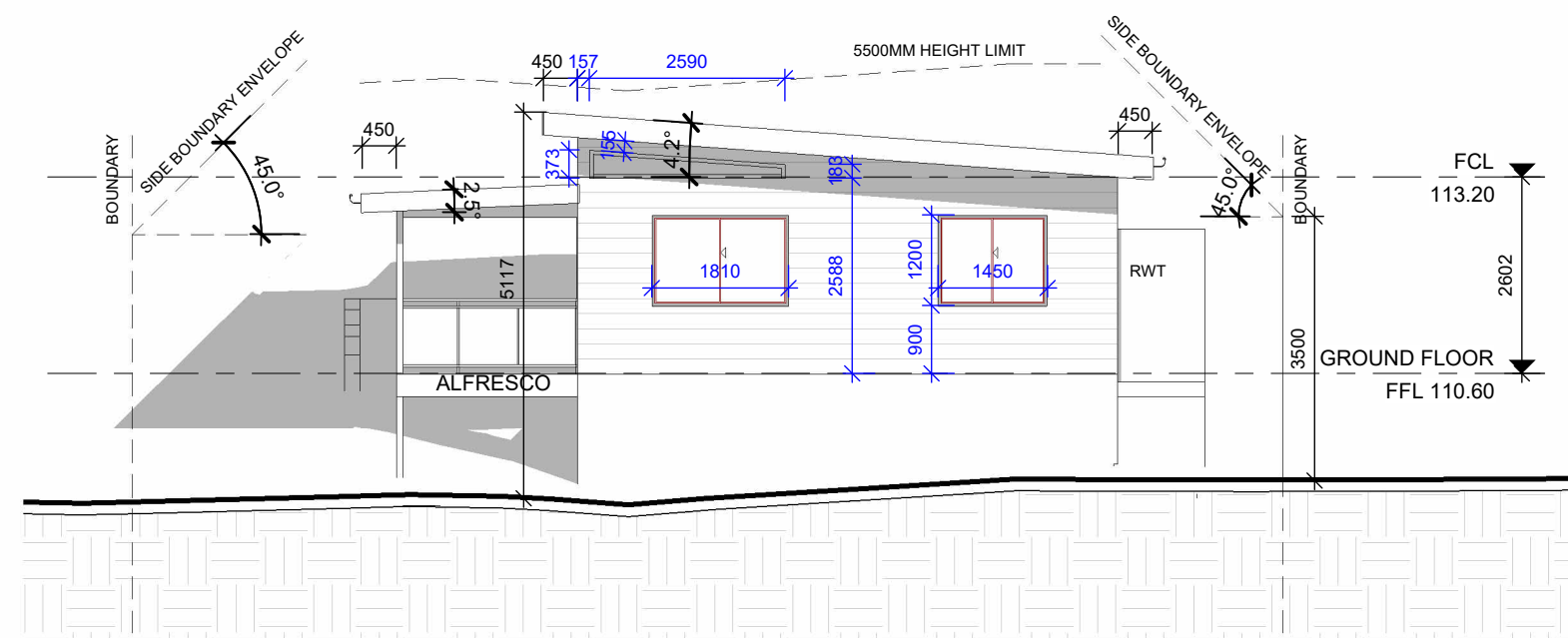
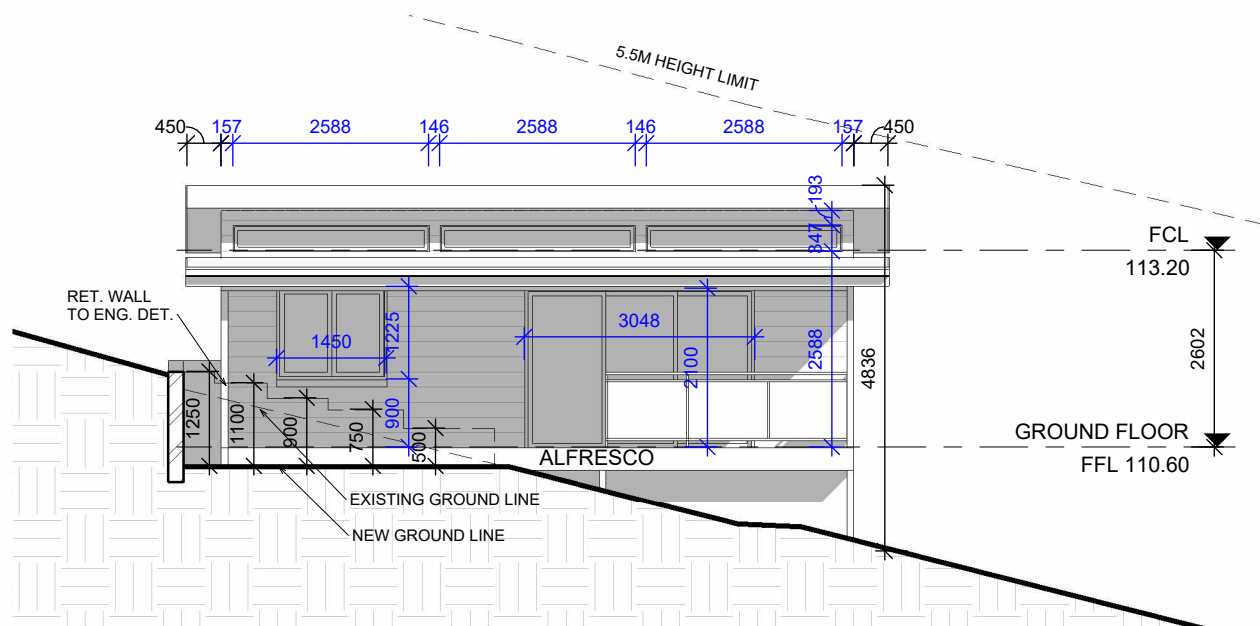


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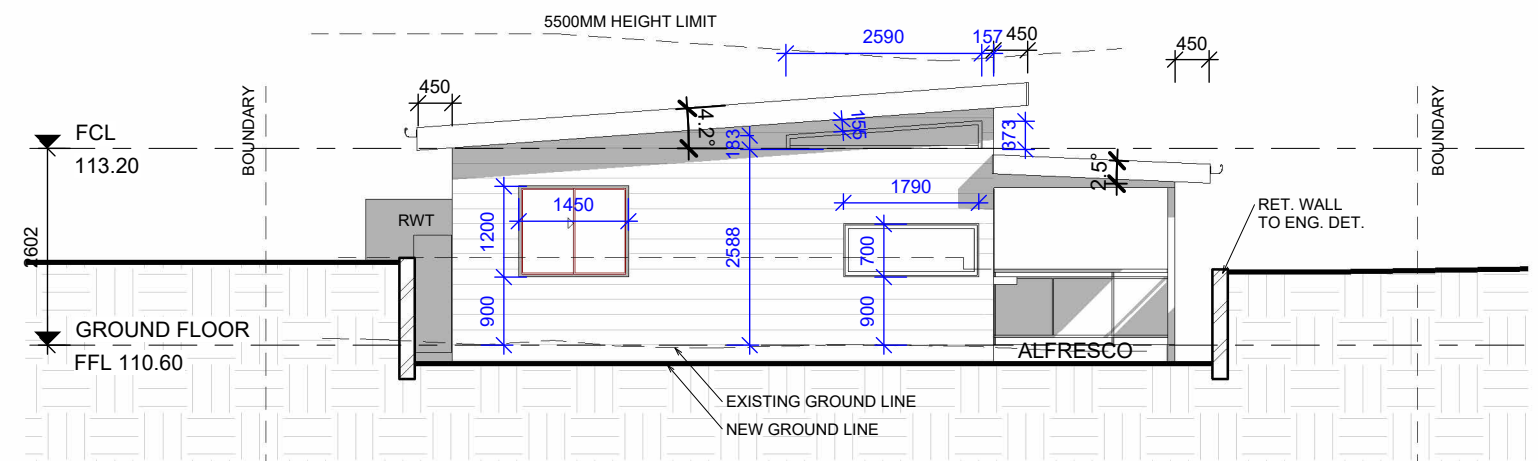
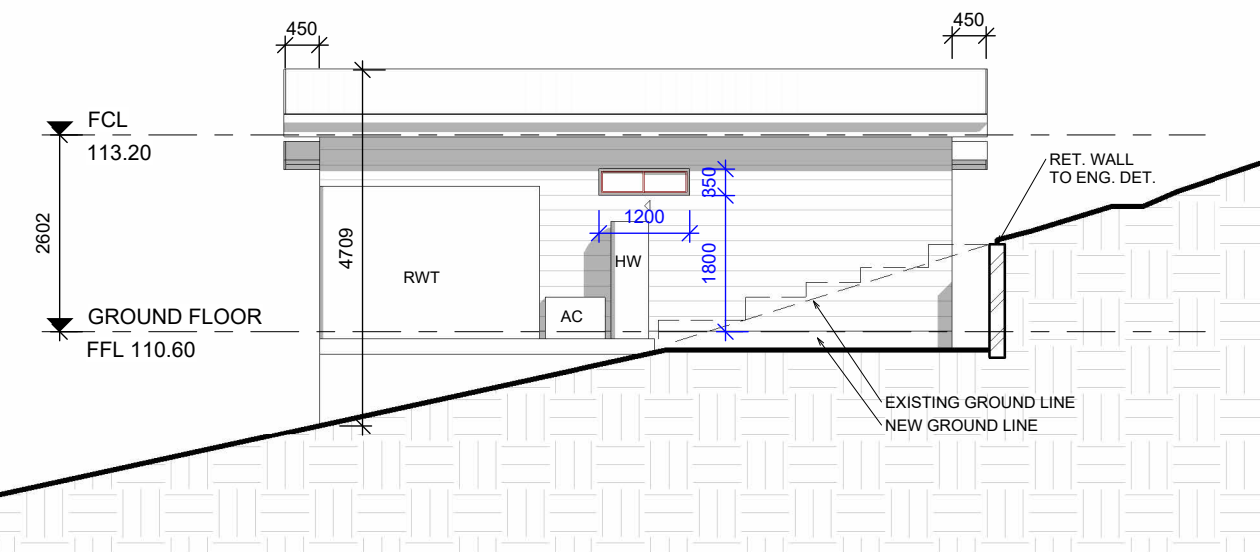
DASHED LINE INDICATES
HIGHLIGHT WINDOWS ABOVE

DASHED LINE INDICATES
ROOF ABOVE





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client
RHYS HOUNSLOW



true north

th	drawing
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ELEVATIONS AND SECTION

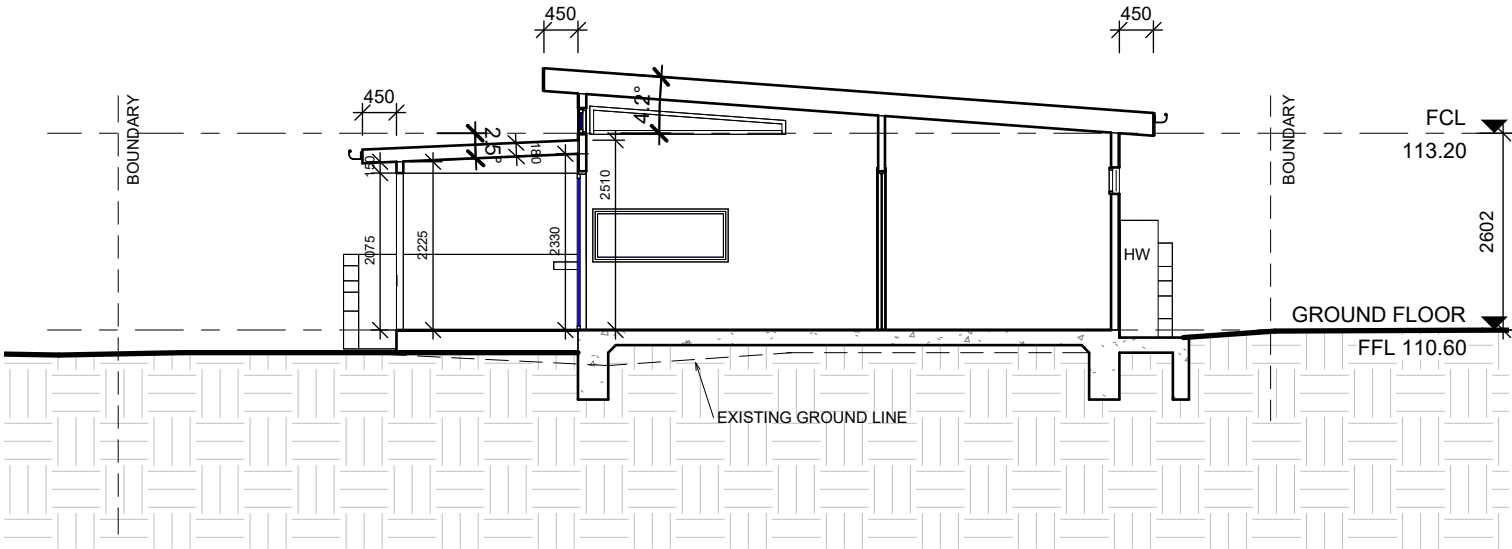
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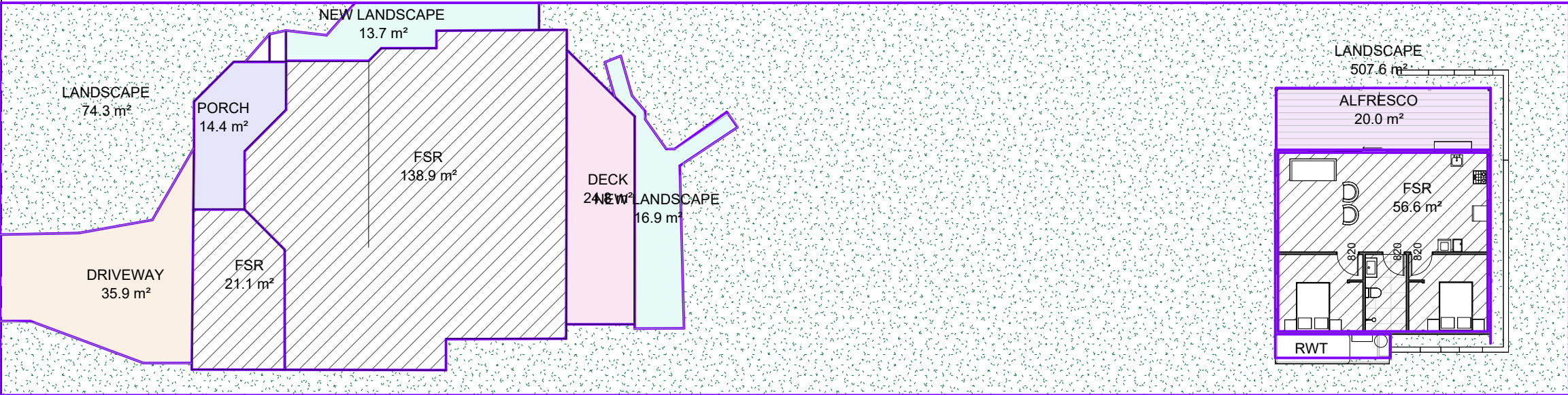
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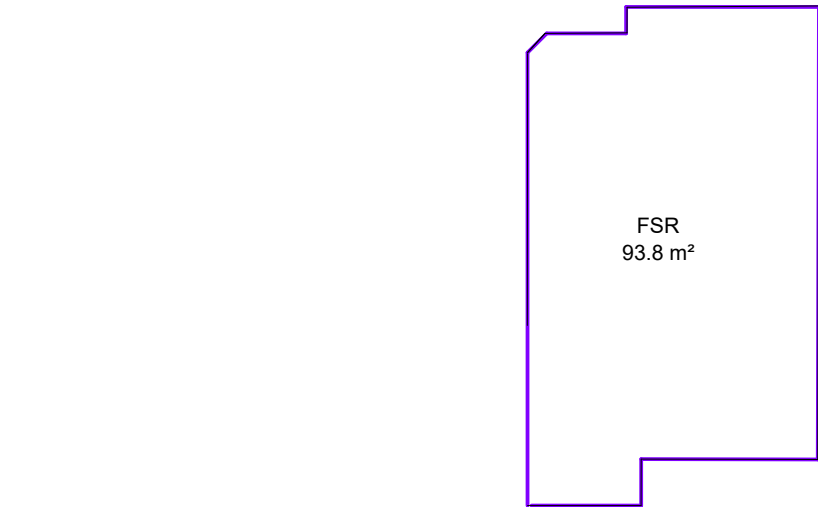
1 SECTION A-A
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1 GROUND FLOOR
1 : 200



2 FIRST FLOOR
1 : 200

SITE AREA = 929SQM
MINIMUM REQUIRED LANDSCAPED AREA = 60% = 557.4SQM
PROPOSED LANDSCAPED AREA = 612.7 SQM
THEREFORE, THE PROPOSAL COMPLIES WITH PDCP

AREA CALCULATIONS SCHEDULE

NAME	LEVEL	COUNT	TOTAL
ALFRESCO	GROUND FLOOR	1	20.0 m²
ALFRESCO: 1			20.0 m²
DECK	GROUND FLOOR	1	24.8 m²
DECK: 1			24.8 m²
DRIVEWAY	GROUND FLOOR	1	35.9 m²
DRIVEWAY: 1			35.9 m²
FSR	Not Placed	1	0.0 m²
FSR	GROUND FLOOR	3	216.5 m²
FSR	FIRST FLOOR	1	93.8 m²
FSR: 5			310.3 m²
LANDSCAPE	GROUND FLOOR	2	581.9 m²
LANDSCAPE: 2			581.9 m²
NEW LANDSCAPE	GROUND FLOOR	2	30.7 m²
NEW LANDSCAPE: 2			30.7 m²
PAVERS	Not Placed	1	0.0 m²
PAVERS: 1			0.0 m²
PORCH	GROUND FLOOR	1	14.4 m²
PORCH: 1			14.4 m²

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. All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.

. No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.

. No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.

. In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.

. All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.

. Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

. All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.

. All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

drawn	date	issue	description
EU	08/10/24	A	ISSUE FOR DA
EU	17/10/24	B	ISSUE FOR DA
EU	07/11/24	C	ISSUE FOR DA
EU	29/11/24	D	ISSUE FOR DA
EU	09/01/25	E	ISSUE FOR DA
LS	14/03/25	F	ISSUE FOR DA

project

PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 282 LOWER PLATEAU ROAD BILGOLA PLATEAU NSW 2107 LOT 113 DP12838

client

RHYS HOUNSLOW

true north

drawing

AREA CALCULATIONS

project no	date	sheet no.	scale @ A3	issue	checked
24-69	08/10/24	A 7	1 : 200	F	?

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17/04/2025

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
CONSTRUCTION OF A GRANNY FLAT AT 282 LOWER PLATEAU ROAD BILGOLA PLATEAU**

EXTERNAL WALLS

Manufacturer
Colour
Finish

**Colorbond
Monument
Paint Finish**



ROOF

Manufacturer
Colour
Finish

**Colorbond
Woodland Grey
Metal Finish**



FACIA AND GUTTER

Manufacturer
Colour
Finish

**Colorbond
Monument
Paint Finish**

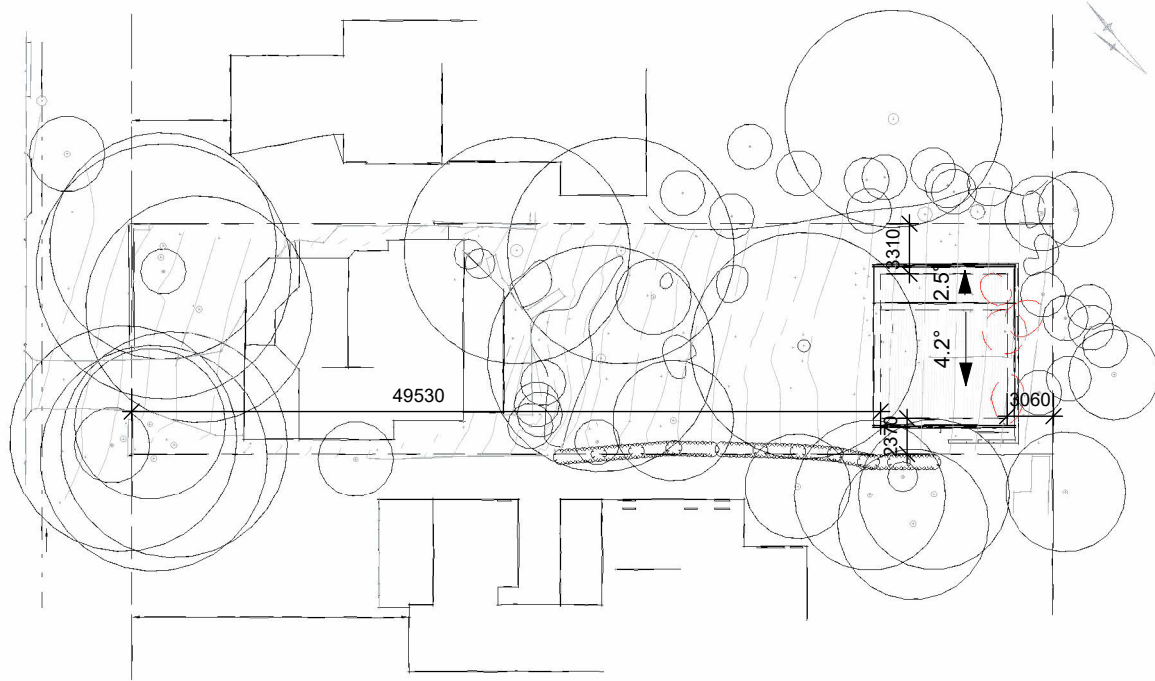


WINDOWS & DOOR TRIMS

Manufact
Colour
Finish

**Colorbond
Monument
Paint Finish**

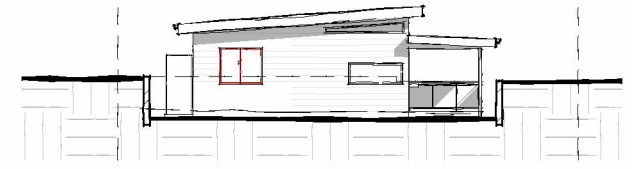




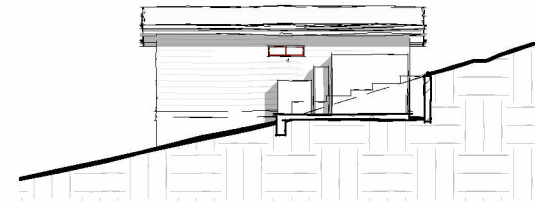
1 SITE AND ROOF PLAN.
1 : 500



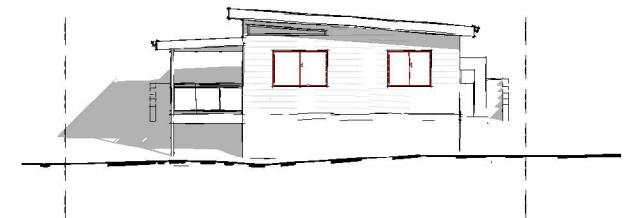
2 NORTH EAST ELEVATION .
1 : 250



3 SOUTH EAST ELEVATION .
1 : 250



4 SOUTH WEST ELEVATION .
1 : 250



5 NORTH WEST ELEVATION .
1 : 250

project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 282
LOWER PLATEAU ROAD BILGOLA PLATEAU NSW 2107 LOT
113 DP12838

client
RHYS HOUNSLOW



true north



drawing
NOTIFICATION PLAN

project no
24-69

date
08/10/24

sheet no.
3

scale @ A4
As
indicated

issue
F

checked
?



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