

SITE CALCULATIONS

Site Area : 888.6sqm

Existing & Proposed Site Coverage-

House & Decks 204sqm + Garage 53.5sqm + Drive 33sqm + pool 37.5sqm + paths& paving 143sqm = 471 sqm = 53.00%

Existing & Proposed Soft Landscaped Area -

412sqm =46.36% of site

BASIX COMMITMENTS:

- 1.All construction to comply with Basix certificate A374871
2. 40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
3. Minimum 3 star water rating shower heads to be installed
4. Minimum 3 star water rating toilets to be installed
- 5.Minimum 3 star water taps to be installed
- 6.Minimum R1.3 insulation to be installed to all external framed walls (minimum combined Rvalue with construction R1.7)
7. 55mm foil backed blanket to be installed below all roofs with minimum R1.74 insulation to ceilings

AMENDMENTS

JO WILLMORE DESIGNS
11 Hudson Parade
Clareville NSW 2107
9918 2479
ABN 27 370 370 173

PROPOSED ALTERATIONS & ADDITIONS

for: R. & J. Wall
at: LOT 6, DP 28154, 1853 Pittwater Road
BAYVIEW 2104

drawing title

SITE PLAN

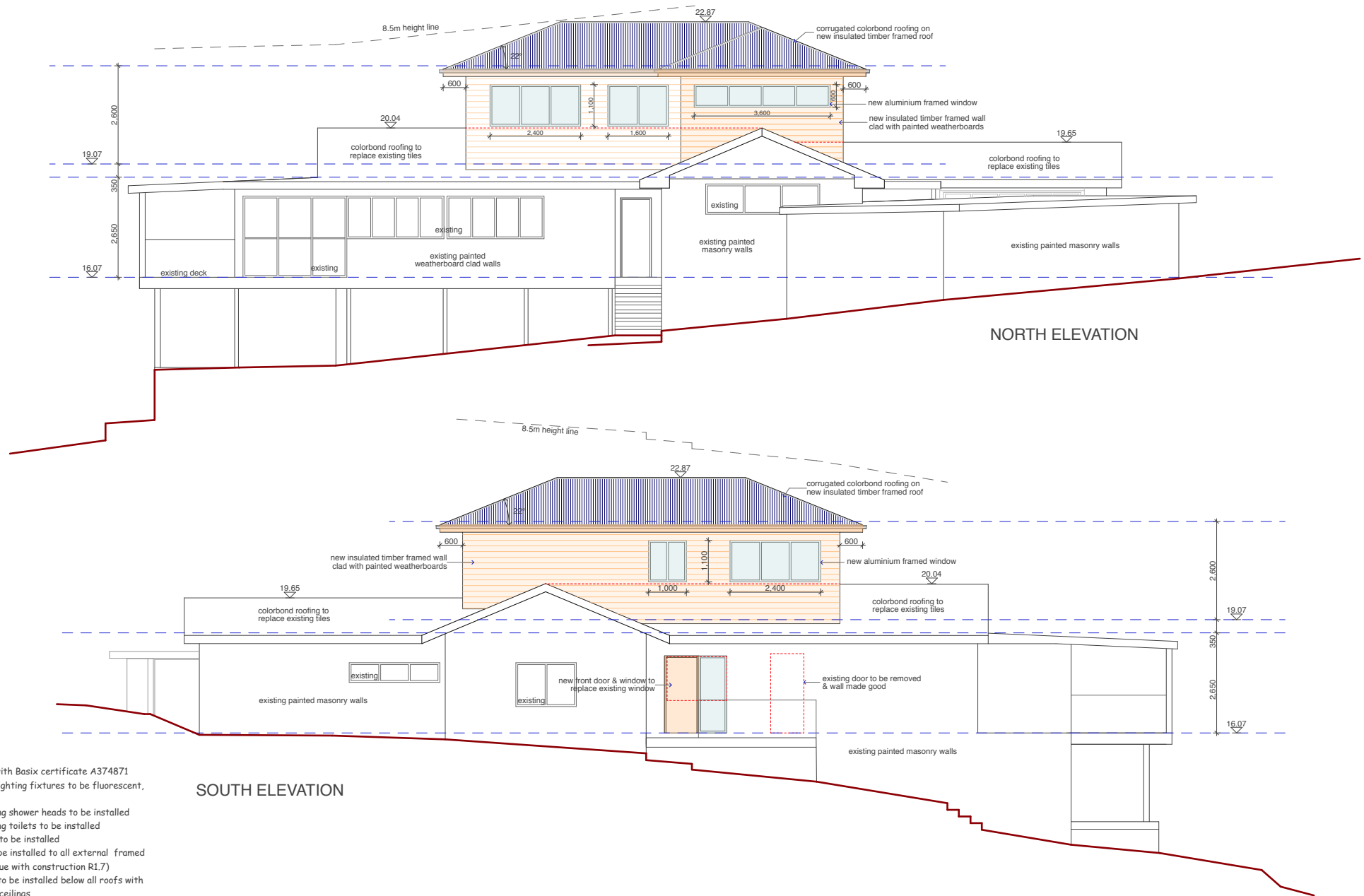
NOTE: Use figured dimension only.
Do not scale off drawings. All levels and dimensions to be verified prior to construction of work

date: APRIL 2020

scale: 1:200 (A3)

drawing number

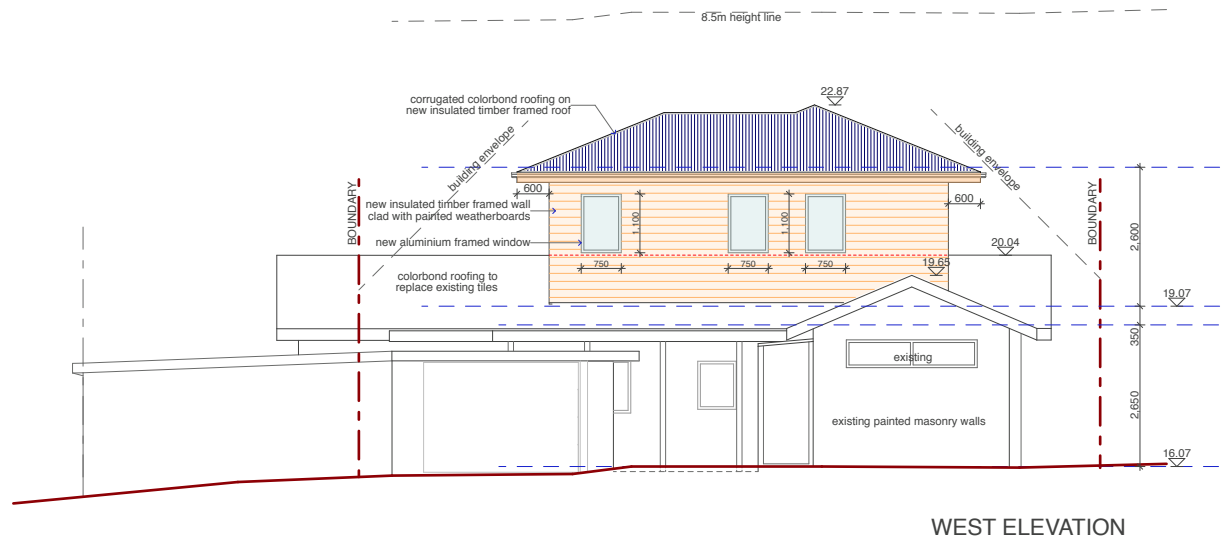
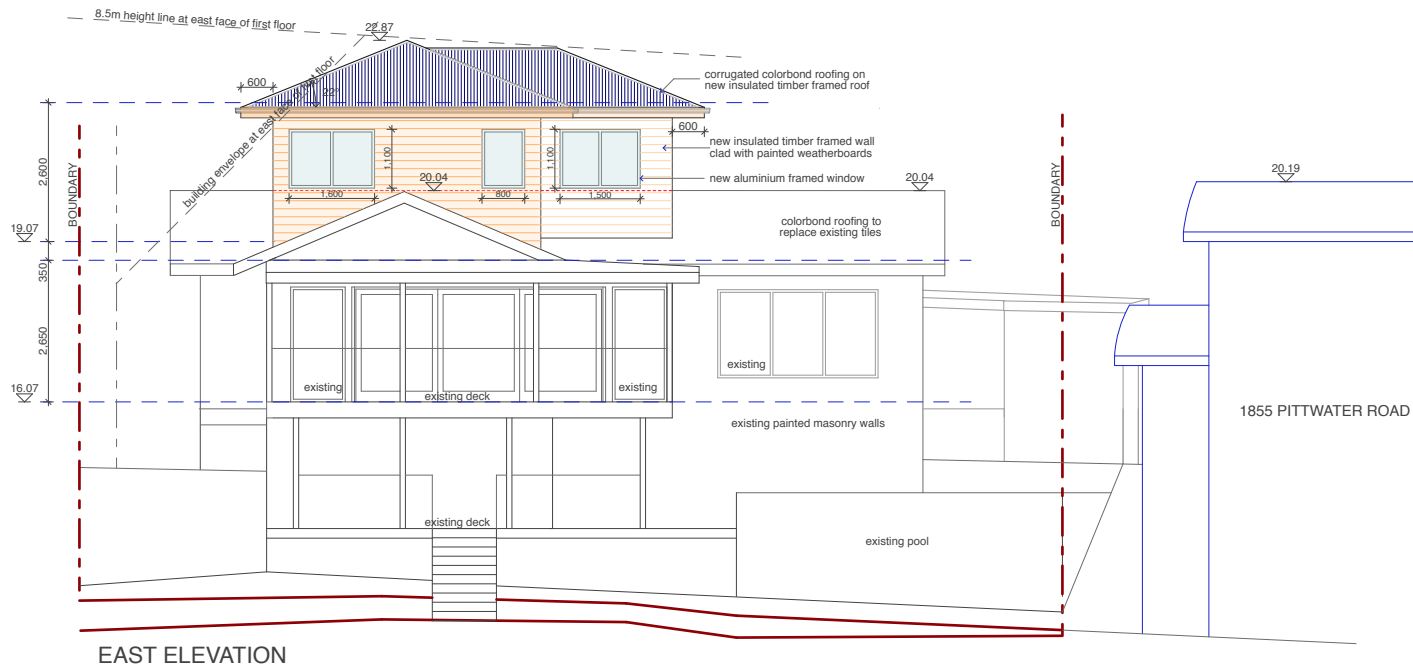
DA- 01



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at: LOT 6, DP 28154, 1853 Pittwater Road
BAYVIEW 2104

drawing title

ELEVATIONS

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drawing number

DA- 05