

CRM 3890/2010

CONSTRUCTION CERTIFICATE No. 2010-032

Approved 18/02/10

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

Date Application Received	16/02/10
Council	Manly
Development Consent No.	134/09
Date Approved	07/09/09
Certifying Authority	Craig Formosa
Accreditation Body	Building Professionals Board

OWNER DETAILS	
Name	Philip Crompton
Address	19 Acacia Road, Seaforth
DEVELOPMENT DETAILS	
Subject Land	19 Acacia Road, Seaforth
Description of Development	Alterations and additions to an existing dwelling
Class of Building	1a & 10a
Value of Work	\$150,000.00

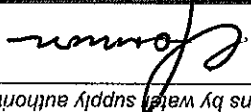
Name	Philip Crompton
Address	19 Acacia Road, Seaforth
Contact Number	0407 491 777
Permit No.	372214P

APPROVED PLANS & DOCUMENTS	
Plans Prepared By	W & B Consulting Pty. Ltd.
Drawing Numbers	09.Crompton.01-02
Engineer Details Prepared By	McKee & Associates
Drawing Numbers	9820, Drg. S00-S05 Rev A, S02 Rev A & Site Rev A
Dated	15/04/09
Dated	12/02/10
Dated	05/10/05

I, Craig Formosa, as the certifying authority am satisfied that:	
(a) The requirements of the regulations referred to in s81A (5) have been complied with. That is, work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act, and	
(b) Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1986.	
Signed:	R. G. 7 2278
Date:	18/02/10

NOTICE OF COMMENCEMENT OF BUILDING WORK & APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

Issued under the Environmental Planning & Assessment Act, 1979 - Sections 81A(2)(b)(iii) or (c), or (4)(b)(iii) or (c), 86(1) & (2)

CONSTRUCTION CERTIFICATE		Certificate No.	2010-032	
Date of Issue		18/02/10		
Commencement Date		22/02/10		
APPLICANT DETAILS				
Name		Philip Crompton		
Address		19 Acacia Road, Seaforth		
DEVELOPMENT DETAILS				
Subject Land		19 Acacia Road, Seaforth		
Lot No.		DP		
Description of Development		Alterations and additions to an existing dwelling		
Issued By		Manly Council		
Class of Building		1a & 10a		
Value of Work		\$150,000.00		
OWNER BUILDER DETAILS				
Name		Philip Crompton		
Address		19 Acacia Road, Seaforth		
Contact Number		0407 491 777		
Permit No.		372214P		
PRINCIPAL CERTIFYING AUTHORITY				
Certifying Authority		Craig Formosa		
ABN		76 134 030 710		
Accreditation No.		BPB0124		
Address		PO Box 1824, DEE WHY NSW 2099		
Contact Number		0432 097 545		
MANDATORY CRITICAL STAGE INSPECTIONS: Class 1 & 10 Buildings				
Site inspection prior to issue of construction certificate		17/02/10		
Piers - prior to pour		NO		
Footings/slab - prior to pouring of reinforced concrete		YES		
Timber frame - prior to lining		YES		
Waterproofing - wet areas		YES		
Stormwater pipes - prior to backfilling		YES		
Pool steel - prior to pouring of reinforced concrete		NO		
Pool fence - prior to water in the pool		NO		
Final inspection - issue of Occupation Certificate		YES		
PCA to state any additional inspections:		NO		
COMPLIANCE WITH DEVELOPMENT CONSENT/COMPLYING DEVELOPMENT CERTIFICATE				
Have all conditions required to be satisfied prior to commencement of work, been met? (Conditions may include payment of security, S94 contributions, endorsement of building work plans by water supply authority)		YES ☒ NO ☐		
Signed				
Date		18/02/10		

INFORMATION REQUIRED FOR THE AUSTRALIAN BUREAU OF STATISTICS

Please complete this table indicating the types of building materials to be used in association with this application.

FRAME	FLOOR	WALLS	ROOF
☒ Timber ☐ Steel ☐ Aluminium ☐ Other ☐ Not specified	☒ Concrete or Slate ☐ Timber ☐ Other ☐ Not specified	☒ Double Brick ☐ Brick Veneer ☐ Concrete or Stone ☒ Fibre Cement ☐ Timber ☐ Curtain Glass ☐ Steel ☐ Aluminium	☐ Tiles ☐ Concrete or Slate ☒ Fibre Cement ☐ Steel ☐ Aluminium ☐ Other ☐ Not specified

Gross Floor Area of Proposed Development (m²) 50

SPECIAL REQUIREMENTS

- (a) Pier inspection required
- (b) Concrete inspection required
- (c)

NOTE:

Above requirements must be inspected/supervised by an Accredited Supplier or Sydney Water to enable the issue of a satisfactory compliance letter.

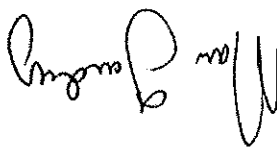
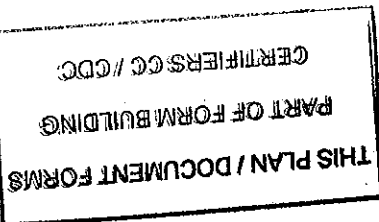
Permits are required to fill all new swimming pools with a capacity greater than 10,000 litres. To arrange for a permit please contact Sydney Water on 13 20 92 during business hours. Fines will apply for filling swimming pools without a permit.

APPROVED BY

WSC Company Name: MGP Building & Infrastructure Services Pty Ltd

Name of Key Personnel: Marc Gaudry

Signature of Key Personnel: Date: 02/02/2010

SYDNEY WATER BUILDING PLAN APPROVED SUBJECT TO REQUIREMENTS

Dolfin No: D09/0-12392

Quick Check Ref No: 2780760

e-Developer Case No:

Property Location

Street No: 19

Lot No:

Street Name: Acacia Rd

Suburb: Seaforth

Building/Structure Description: Alterations and Additions

Building Plan No: 9820 McKee 7 Associates Engineers Plan No:

Proposed building/structure is **APPROVED** to construct **OVER/ADJACENT** TO a Sydney Water sewer/asset, subject to the following requirements:

(NB. Delete non applicable requirements)

1. The foundations/piers are to be founded below 1:1 zone of influence, soil strata.
2. No part of the building/structure or its foundations to be less than a minimum 0.60 metre, horizontal distance from the centreline of the sewer.
3. No piercing of building/structure to be less than 2 m horizontal distance from centreline of maintenance hole to edge of piers.
4. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
5. All foundations/piers are to be founded to below the zone of influence or to solid rock.
6. Concrete encase approximately 5.7 metres of sewer. Concrete encasement to be carried out by an Accredited Constructor of Minor Works (Sewer) / Constructor and a Minor Works Agreement signed prior to commencement of works.
7. Concrete encasement must extend a minimum of 600 mm past the external walls of the building/structure.

**THIS PLAN / DOCUMENT FORMS
PART OF FORM BUILDING
CERTIFIERS CC / CDC**



Waddington Consulting Pty Ltd
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Structural and Civil Engineering
Suite 506, Level 5
22 Central Ave, Manly
P.O. Box 1044
Manly NSW 1655
P (02) 9976 0070
F (02) 9976 0095

25 November, 2009

Mr P Crompton
19 Acacia Road
Seaford NSW 2092

Dear Phil,

**Subject: 19 Acacia Road, Seaford – Construction Certificate
Stormwater Management Plan**

Please find attached engineering drawing 9090-C1.00 *Stormwater Management Plan*, in support of your application for a Construction Certificate for the proposed alterations and additions to the existing dwelling at 19 Acacia Road, Seaford.

In accordance with the Conditions of Consent for Development Application, the *Stormwater Management Plan* has been prepared to fully comply with Manly Council's *Specification for On-Site Stormwater Management 2003* (condition DA87). A water interceptor has been provided as required by condition DA077.

Please do not hesitate to contact me if you have any queries regarding this plan.

Yours sincerely,

Kate Waddington
MIEAust CPEng NPER (CIVIL)
Director
Waddington Consulting Pty Ltd

