




DEMOLITION LEGEND

	PROPOSED
	EXISTING -TO BE DEMOLISHED
	EXISTING - TO BE RETAINED

24/05/2023 2:52:34 PM

[illegible]

LEGEND

- PROPOSED
 EXISTING - TO BE RETAINED

COUNCIL RFI LIST OF UPDATES

BASEMENT

1. EXISTING LAUNDRY TO BE RETAINED
2. EXISTING SHED TO BE RETAINED
3. WIDTH OF EXISTING DRIVEWAY TO BE RETAINED
4. INCREASED WESTERN SETBACK TO 1500mm
5. REDUCED STAIRS TO LAWN
6. NEW PLANTER TO LAWN

GROUND FLOOR

7. MOVED STAIRS TO ENTRY OFF HOUSE - ADDED PLANTER
8. 1500mm SETBACK FROM WESTERN BOUNDARY - INCREASED PLANTING STRIP
9. REDUCED BLADES ALONG NARRABEEN PARK PARADE - PULLED BACK TO BE FLUSH WITH EXISTING HOUSE.

FIRST FLOOR

10. REMOVED TERRACE FROM MASTER
11. REMOVED PLANTER OVER ENTRY
12. INCREASED NORTHERN SETBACK BY REDUCING CANOPY OVER ENTRY
13. INCREASED WESTERN SETBACK TO 1500mm

ROOF LEVEL

- #### 14. REDUCED PERGOLA OVER TERRACE

CLIENT

PAUL SIMMONS

PROJECT

92 NARRABEEN PARK PARADE

ARCHITECT

ID\STUDIOS
/ARCHITECTURE
+ INTERIORS

address: 26 - 32 pirrama road, pyrmont, nsw, 2009 // ph: 0411 695 103

DRAWING TITLE

BASEMENT FLOOR PLAN

NOTES:

Use only figured dimensions, do not scale drawings.

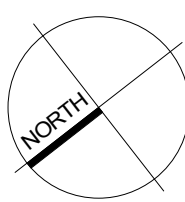
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NORTH



DOMINATED ARCHITECT ANDREW OLIVER O'CONNELL

As indicated

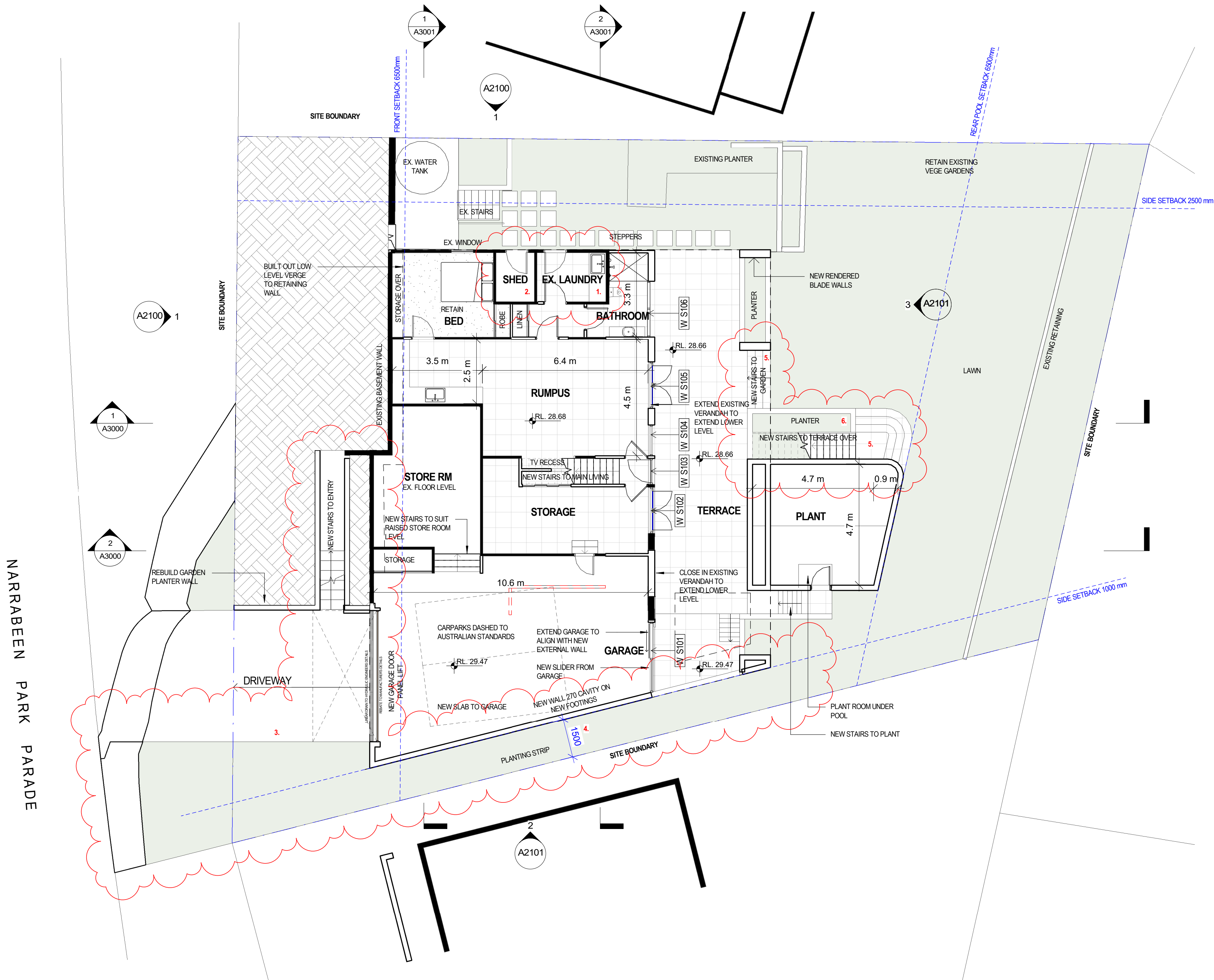
DOI: 10.1002/for

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Issue Date

DRAWING NO:
A 1100

SSUE:



1

PROPOSED BASEMENT PLAN

Scale: 1 : 100

LEGEND

 PROPOSED
 EXISTING - TO BE RETAINED

COUNCIL RFI LIST OF UPDATES

BASEMENT

1. EXISTING LAUNDRY TO BE RETAINED
2. EXISTING SHED TO BE RETAINED
3. WIDTH OF EXISTING DRIVEWAY TO BE RETAINED
4. INCREASED WESTERN SETBACK TO 1500mm
5. REDUCED STAIRS TO LAWN
6. NEW PLANTER TO LAWN

GROUND FLOOR

7. MOVED STAIRS TO ENTRY OFF HOUSE - ADDED PLANTER
8. 1500mm SETBACK FROM WESTERN BOUNDARY - INCREASED PLANTING STRIP
9. REDUCED BLADES ALONG NARRABEEN PARK PARADE - PULLED BACK TO BE FLUSH WITH EXISTING HOUSE.

FIRST FLOOR

10. REMOVED TERRACE FROM MASTER
11. REMOVED PLANTER OVER ENTRY
12. INCREASED NORTHERN SETBACK BY REDUCING CANOPY OVER ENTRY
13. INCREASED WESTERN SETBACK TO 1500mm

ROOF LEVEL

- #### 14. REDUCED PERGOLA OVER TERRACE

IENT

PAUL SIMMONS

PROJECT

92 NARRABEEN PARK PARADE

ARCHITECT

ID\STUDIOS
/ARCHITECTURE
+ INTERIORS

address: 26 - 32 pirrama road, pyrmont, nsw, 2009 // ph: 0411 695 103

DRAWING TITLE

FIRST FLOOR PLAN

NOTES

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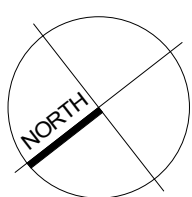
DOMINATED ARCHITECT ANDREW OLIVER O'CONNELL

As indicated

DRAWN BY: KG	CHE A
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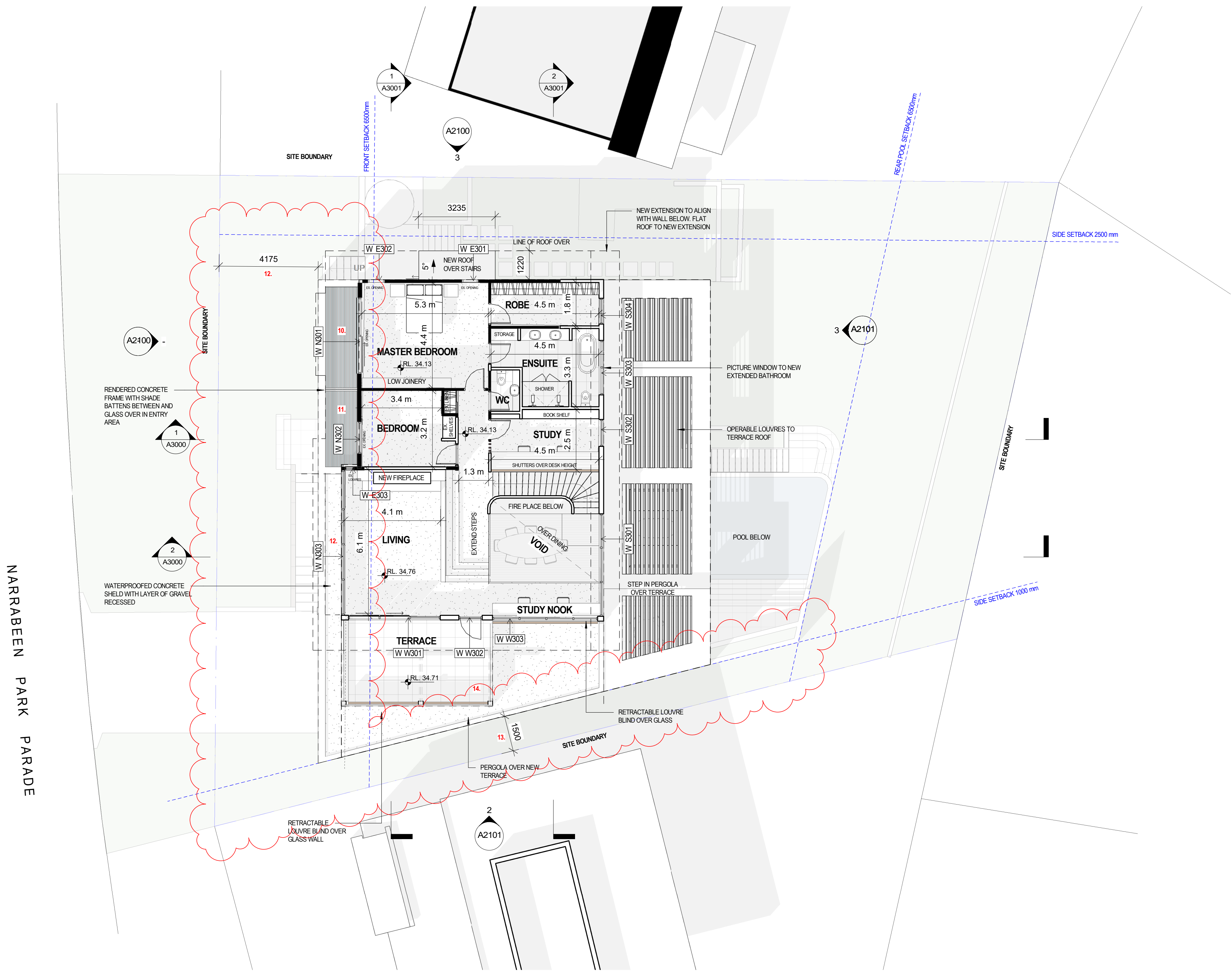
NORTH



DATE: _____
Issue Date

DRAWING NO:

A1102



PROPOSED FIRST FLOOR PLAN

Scale: 1 : 100

1

ISSUE	DATE	DESCRIPTION
A	23/09/22	ISSUE FOR INFORMATION
B	09/01/23	ISSUE FOR DEVELOPMENT APPLICATION
C	23/05/23	COUNCIL RFI - LANDSCAPE AREA

COUNCIL RFI LIST OF UPDATES

BASEMENT

- EXISTING LAUNDRY TO BE RETAINED
- EXISTING SHED TO BE RETAINED
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ROOF LEVEL

- REDUCED PERGOLA OVER TERRACE

CLIENT:
PAUL SIMMONS

PROJECT:
92 NARRABEEN PARK PARADE

ARCHITECT:
ID\STUDIOS
/ARCHITECTURE
+ INTERIORS

address: 26 - 32 pirrama road, pymont, nsw, 2009 // ph: 0411 695 103

DRAWING TITLE:
ROOF PLAN

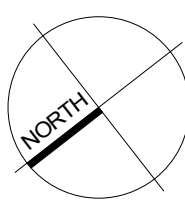
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NOMINATED ARCHITECT ANDREW OLIVER O'CONNELL:
9016

SCALE:
As indicated

DRAWN BY: KL
CHECKED BY: AOC
PROJECT NO: 2210
CAD FILE:

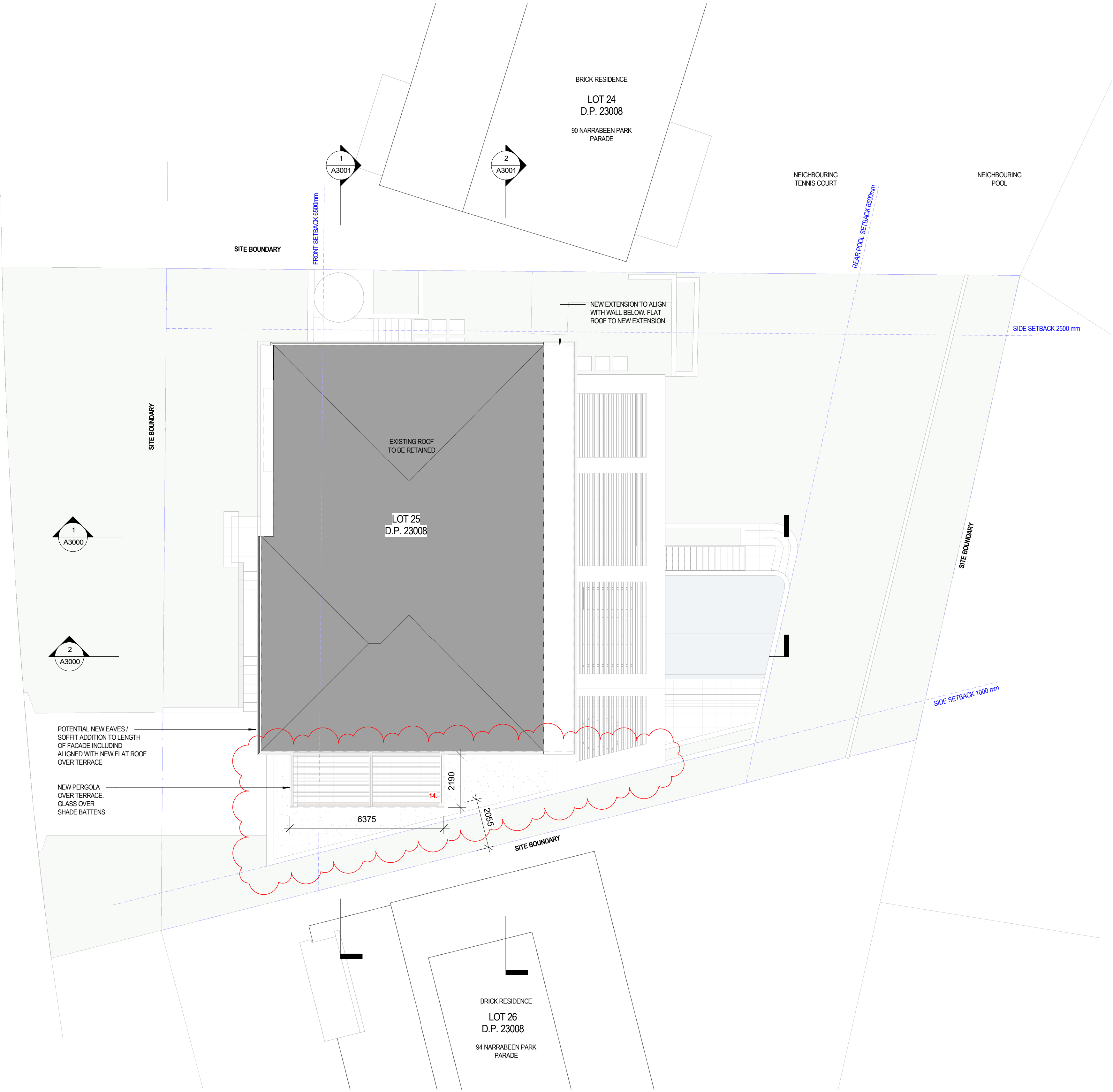
NORTH



DATE:
Issue Date

DRAWING NO: A1104
ISSUE: C

NARRABEEN PARK PARADE



ROOF PLAN


Scale: 1 : 100

1

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LEGEND

-  PROPOSED
 EXISTING - TO BE RETAINED

COUNCIL RFI LIST OF UPDATES

BASEMENT

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ROOF LEVEL

- #### 14. REDUCED PERGOLA OVER TERRACE

IENT

PAUL SIMMONS

PROJECT

92 NARRABEEN PARK PARADE

ARCHITECT

ID\STUDIOS
/ARCHITECTURE
+ INTERIORS

address: 26 - 32 pirrama road, pyrmont, nsw, 2009 // ph: 0411 695 103

DRAWING TITLE

PROPOSED ELEVATIONS

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DOMINATED ARCHITECT ANDREW OLIVER O'CONNELL

As indicated

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KL	

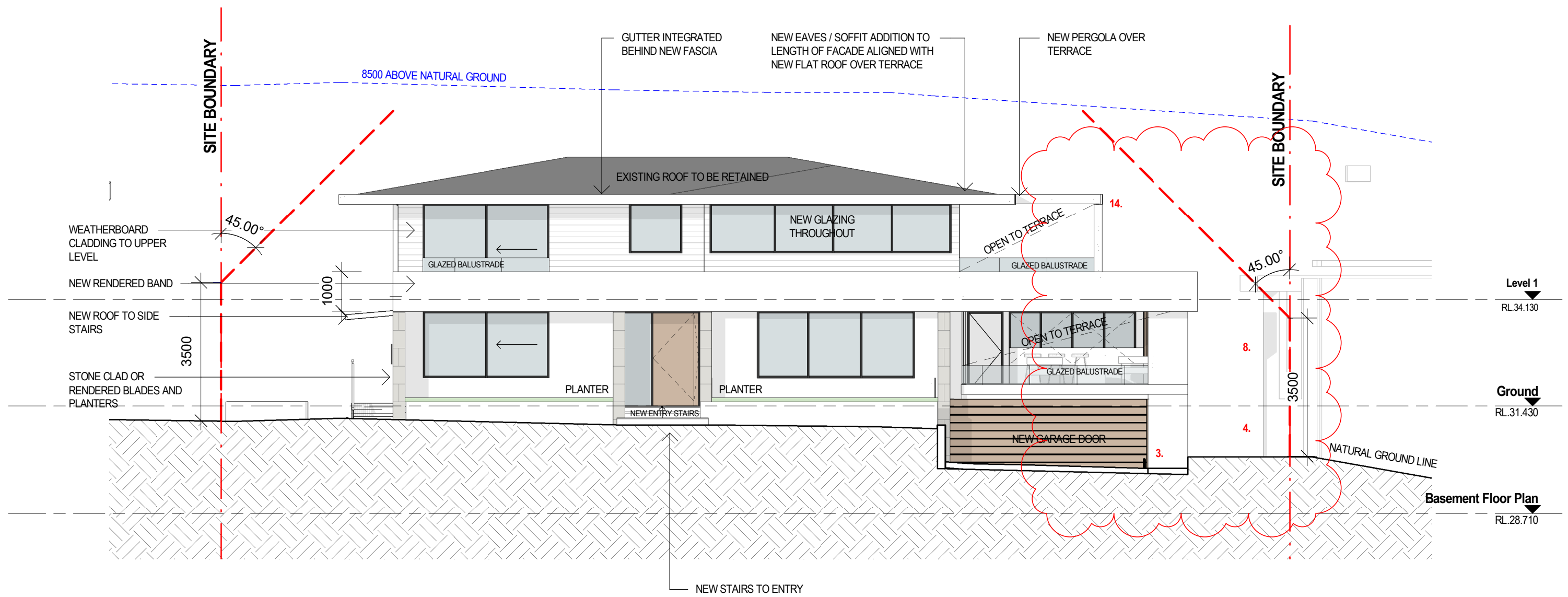
CHECKED BY
AOC

PROJECT 2210

Issue Date

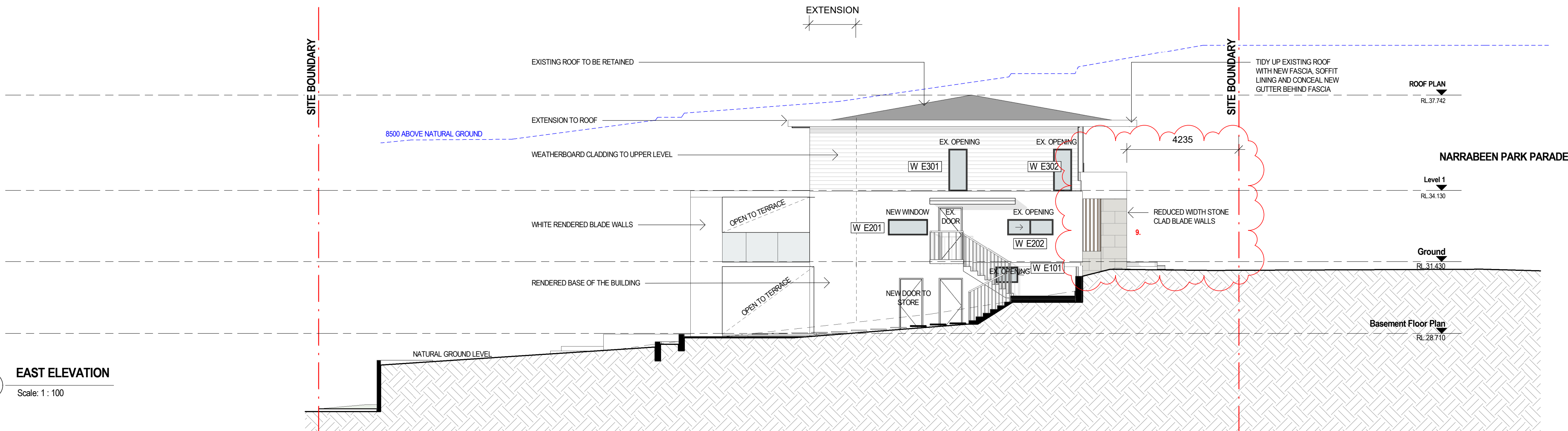
DRAWING NO:

SSUE



NORTH ELEVATION - OPTION STONE CLAD PLANTER AND BLADE WALLS




Scale: 1 : 100



EAST ELEVATION

Scale: 1 : 100

DEMOLITION LEGEND

	PROPOSED
	EXISTING -TO BE DEMOLISHED
	EXISTING - TO BE RETAINED







DATE: Issue Date	
DRAWING NO: A3000	ISSUE: C

EXISTING + DEMO LANDSCAPE PLAN



EXISTING

BREAKDOWN OF EXISTING LANDSCAPE COVER

AREA	m ²	% OF SITE AREA
 EXISTING HOUSE FOOTPRINT	184.5m ²	24%
 EXISTING HARD SURFACE AREA	176.1m ²	22.9%
 HARD SURFACE TO BE RETAINED	84.8m ²	11%
 EXISTING LANDSCAPE	408.1m ²	53.1%






TOTAL SITE AREA 768.7m²

PROPOSED LANDSCAPE PLAN



PROPOSED

BREAKDOWN OF PROPOSED LANDSCAPE COVER

AREA	m ²	% OF SITE AREA
 PROPOSED HOUSE FOOTPRINT	201.5m2	26.2%
 HARD SURFACE TO BE RETAINED	64.9m2	8.4%
 PROPOSED HARD SURFACE AREA	93.6m2	12.2%
 TOTAL HARD SURFACE	158.5m2	20.6%
 PROPOSED LANDSCAPE AREA (%)	408.7m2	53.2%

TOTAL SITE AREA 768.7m²

[illegible]

COUNCIL RFI LIST OF UPDATES

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ROOF LEVEL

14. REDUCED PERGOLA OVER TERRACE

CLIENT:

PAUL SIMMONS

PROJECT:

92 NARRABEEN PARK PARADE

ARCHITECT:

ID\STUDIOS
/ARCHITECTURE
+ INTERIORS

address: 26 - 32 pirrama road, pyrmont, nsw, 2009 // ph: 0411 695 103

DRAWING TITLE:

LANDSCAPE PLANS

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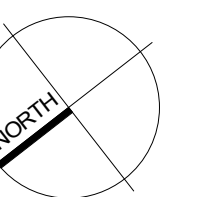
NOMINATED ARCHITECT ANDREW OLIVER O'CONNELL:

9018

SCALE:
As indicated

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NORTH:



DATE: _____
Issue Date

DRAWING NO:	ISSUE:
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24/05/2023 2:53:47 PM

EXTERNAL FINISHES BOARD



SANDSTONE CLADDING TO BLADE WALLS

TEXTURED SANDSTONE OR SIMILAR CLADDING TO BLADE WALLS.
TRADITIONAL FORMAT CLADDING



PRIVACY SCREENS

TIMBER BATTEN PRIVACY SCREEN

ROOF

EXISTING ROOF TO BE RETAINED AND RESPRAYED
MEDIUM SOLAR ABSORPTANCE 0.475 - 0.70
COLORBOND DUNE OR SIMILAR

EXTERIOR PAINT + FASCIAS

RENDERED FINISH. PAINT: DULUX WHITE DUCK



ALUMINIUM WINDOW FRAMES

COLORBOND MONUMENT



GARAGE DOOR

TIMBER CLAD SECTIONAL/TILT DOOR



SOFFITS

AUSTRALIAN TIMBER CEILINGS OR SIMILAR TONGUE AND GROOVE
BOARDS - ASH



CLADDING - UPPER LEVEL

JAMES HARDIE LINEA WEATHERBOARD OR SIMILAR APPROVED
CLADDING. PAINT FINISH - DULUX WHITE DUCK

GUTTERS + DOWNPIPES

COLOURBOND SURFMIST

[illegible]

CLIENT:

PAUL SIMMONS

PROJECT:

92 NARRABEEN PARK PARADE

ARCHITECT:

ID\STUDIOS
/ARCHITECTURE
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address: 26 - 32 pirrama road, pyrmont, nsw, 2009 // ph: 0411 695 103

DRAWING TITLE:

FINISHES SCHEDULE

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A9000	B

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