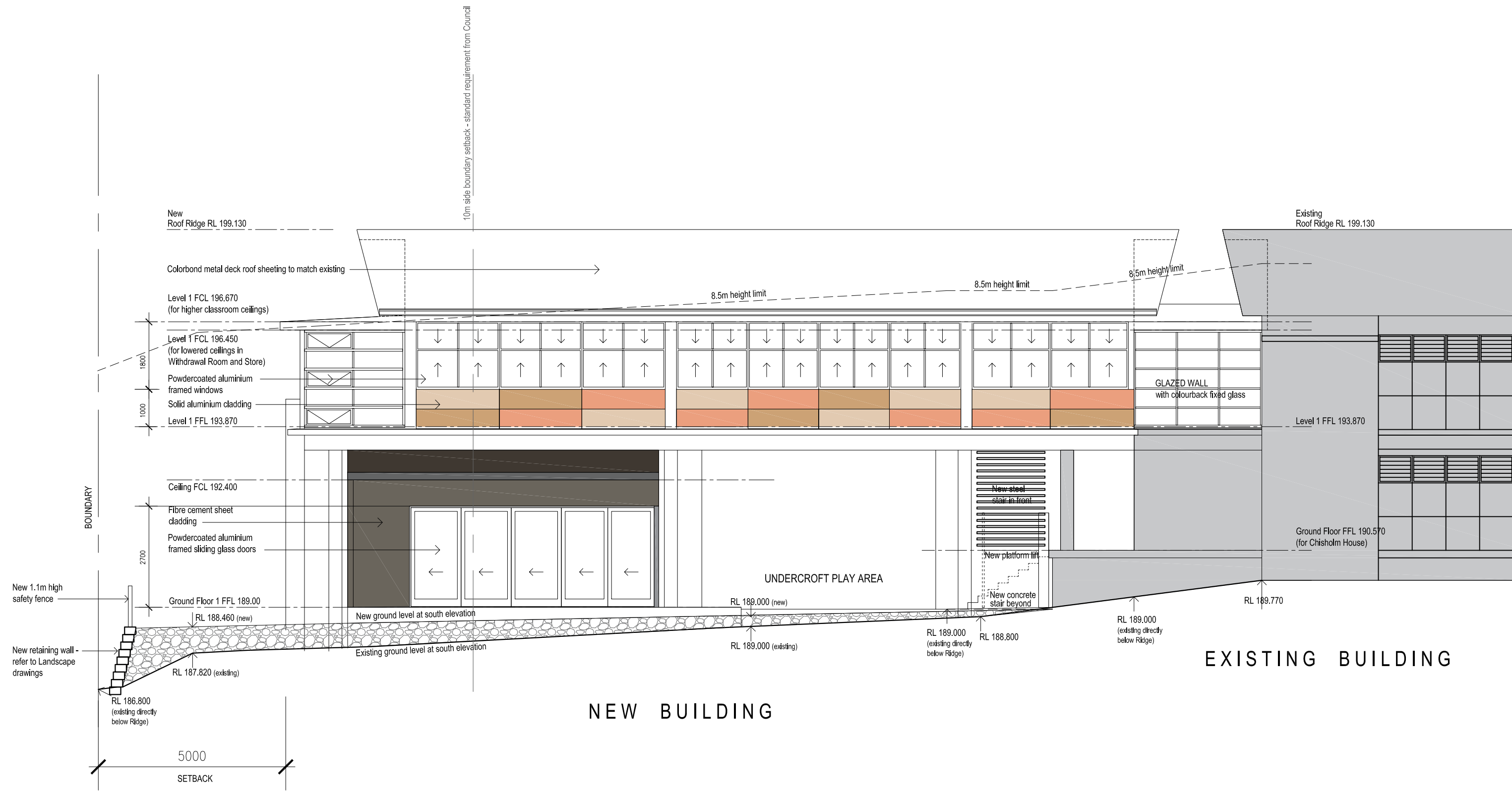
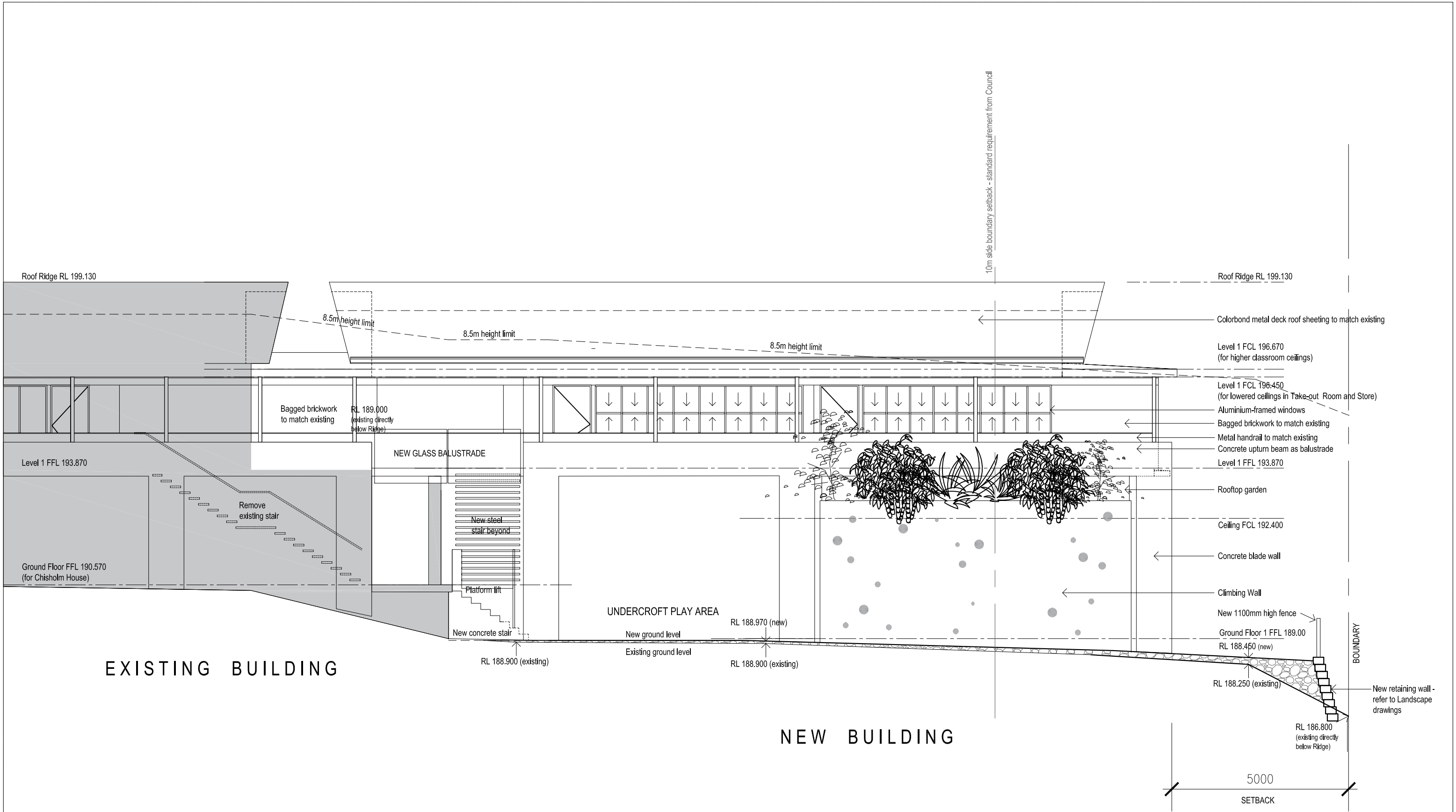
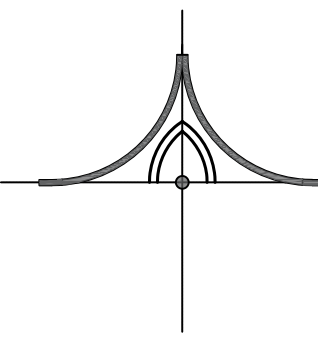








templum design architects

21 Rosebery Street, Mosman NSW
nominated architect: Demetrius Condos reg.no. 5355
abn: 65 101 221 658

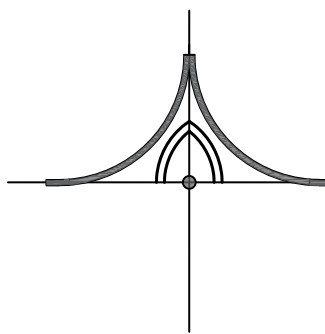
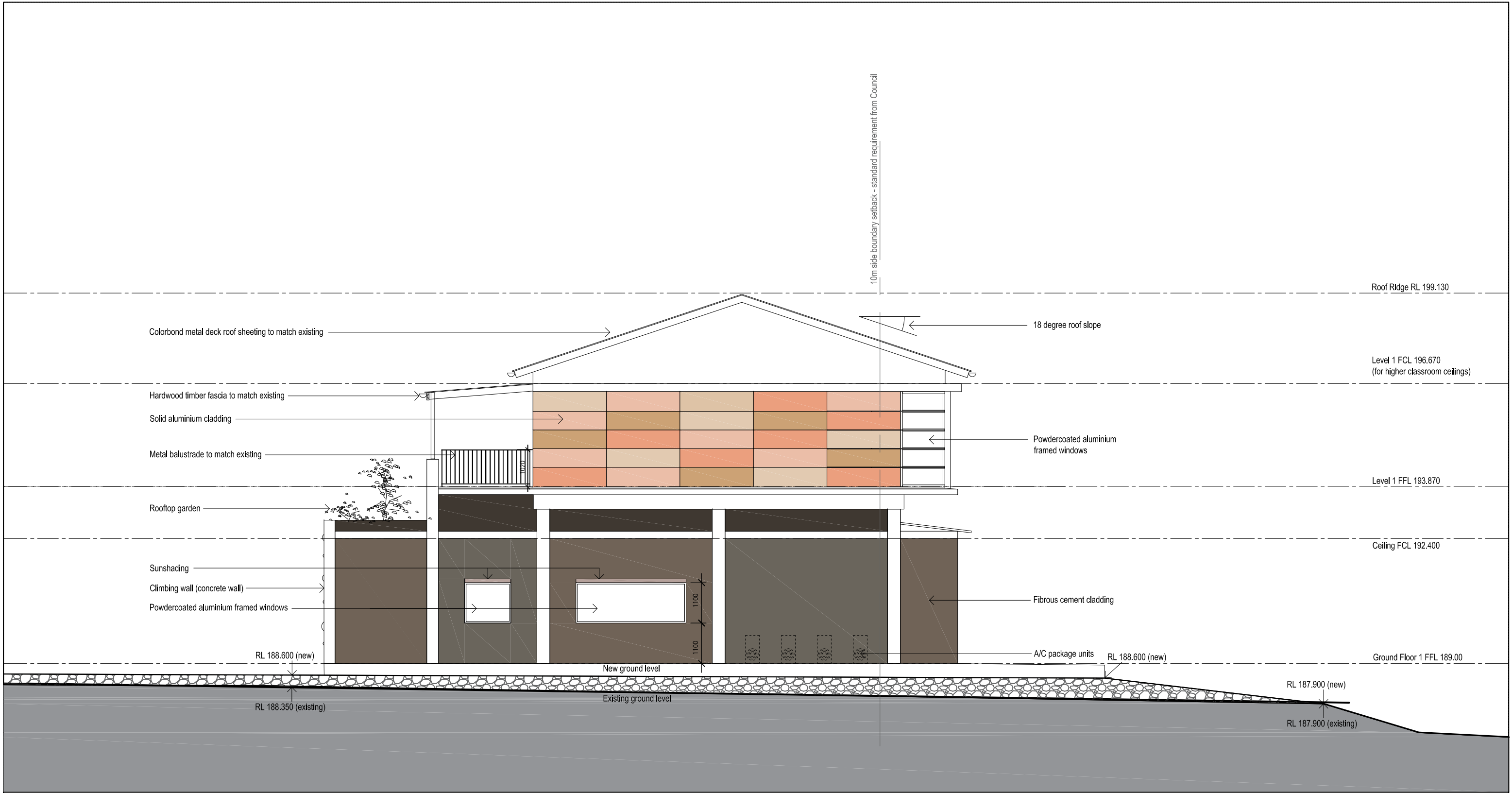
**John Colet School
Extensions to Chisholm House**

North Elevation (facing Garrigal Quadrangle)

scale: 1:100

date: 12/11/2019

drawing no: **DA-2001** rev: **A**



templum design architects

21 Rosebery Street, Mosman NSW
nominated architect: Demetrius Condos reg.no. 5355
abn: 65 101 221 658

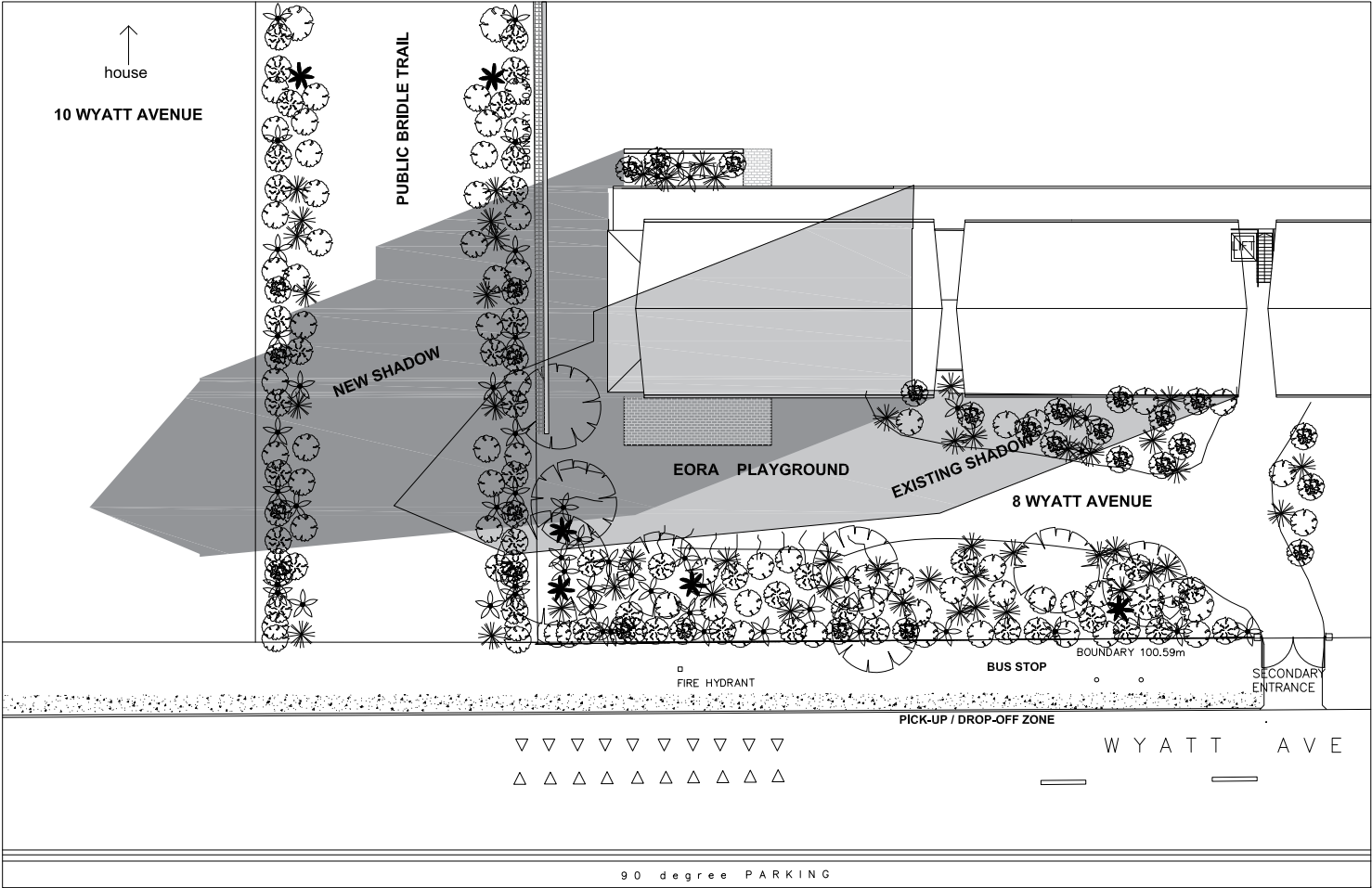
John Colet School Extensions to Chisholm House

West Elevation (facing the Bridle Trail)

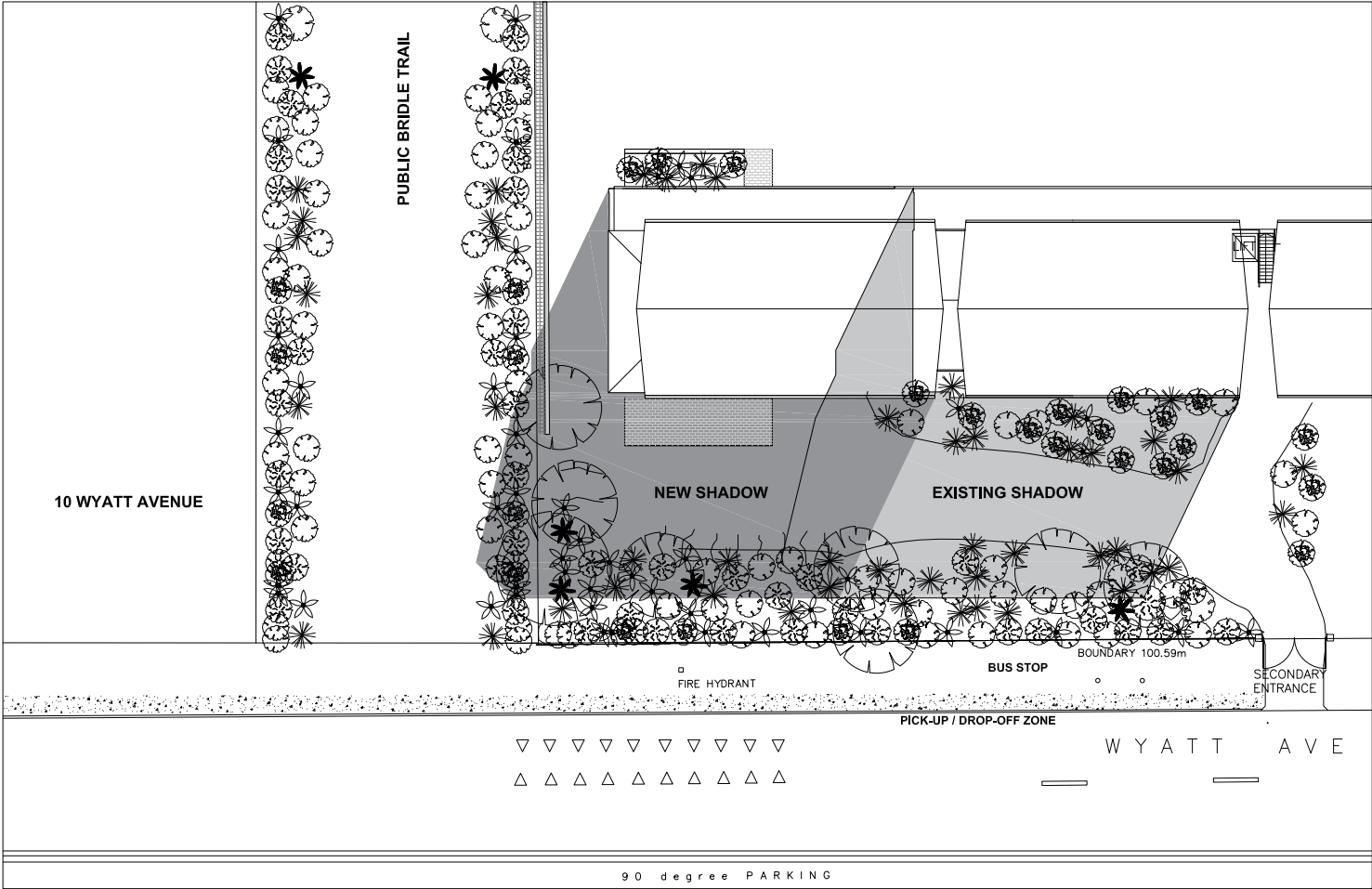
scale: 1:100

date: 12/11/2019

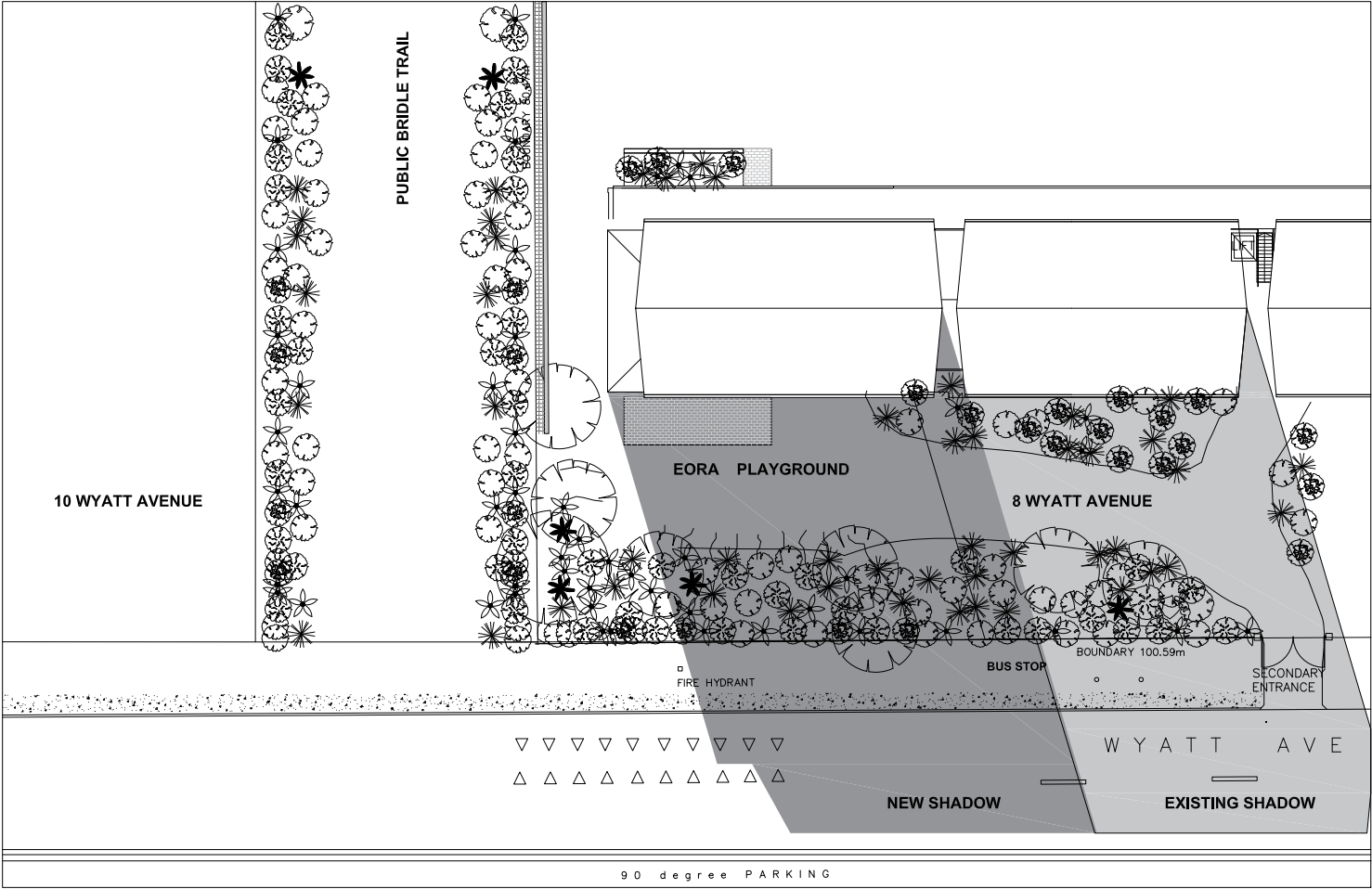
drawing no: **DA-2002** rev: **A**



Shadow Diagram 21 June - 9am



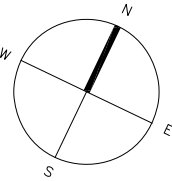
Shadow Diagram 21 June - 12 noon



Shadow Diagram 21 June - 3pm

I, Demetrius Condos, certify that the shadow diagrams submitted on this sheet:

- are in accordance with the Survey (prepared by a registered surveyor);
- indicate shadows cast by the proposal at 9am, 12 noon and 3pm on 21 June;
- indicate the shadows cast by existing adjacent building on the site and the surrounding area.



templum design architects

21 Rosebery Street, Mosman NSW
 nominated architect: Demetrius Condos reg.no. 5355
 abn: 65 101 221 658

**John Colet School
Extensions to Chisholm House**

Shadow Diagrams - 21 June - 9am, 12noon, 3pm

scale: 1:500

date: 12/11/2019

drawing no: **DA-4001** rev: **A**



Western boundary Future Stage 'Q' – Upper level extensions to western end of Chisholm House Existing Chisholm House Lift and secondary driveway Existing Shakespeare House Pedestrian entry Admin. Building with 2 Classrooms over Main driveway entrance to Staff parking

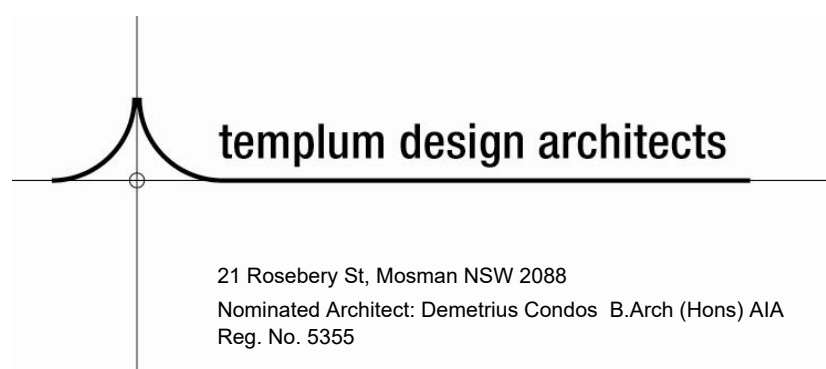
Full site elevation from Wyatt Avenue (South Elevation)



Perspective view looking up at Extensions to Chisholm House (southwest corner) with Art Room and covered playground under



Perspective view through undercroft / covered play area between buildings

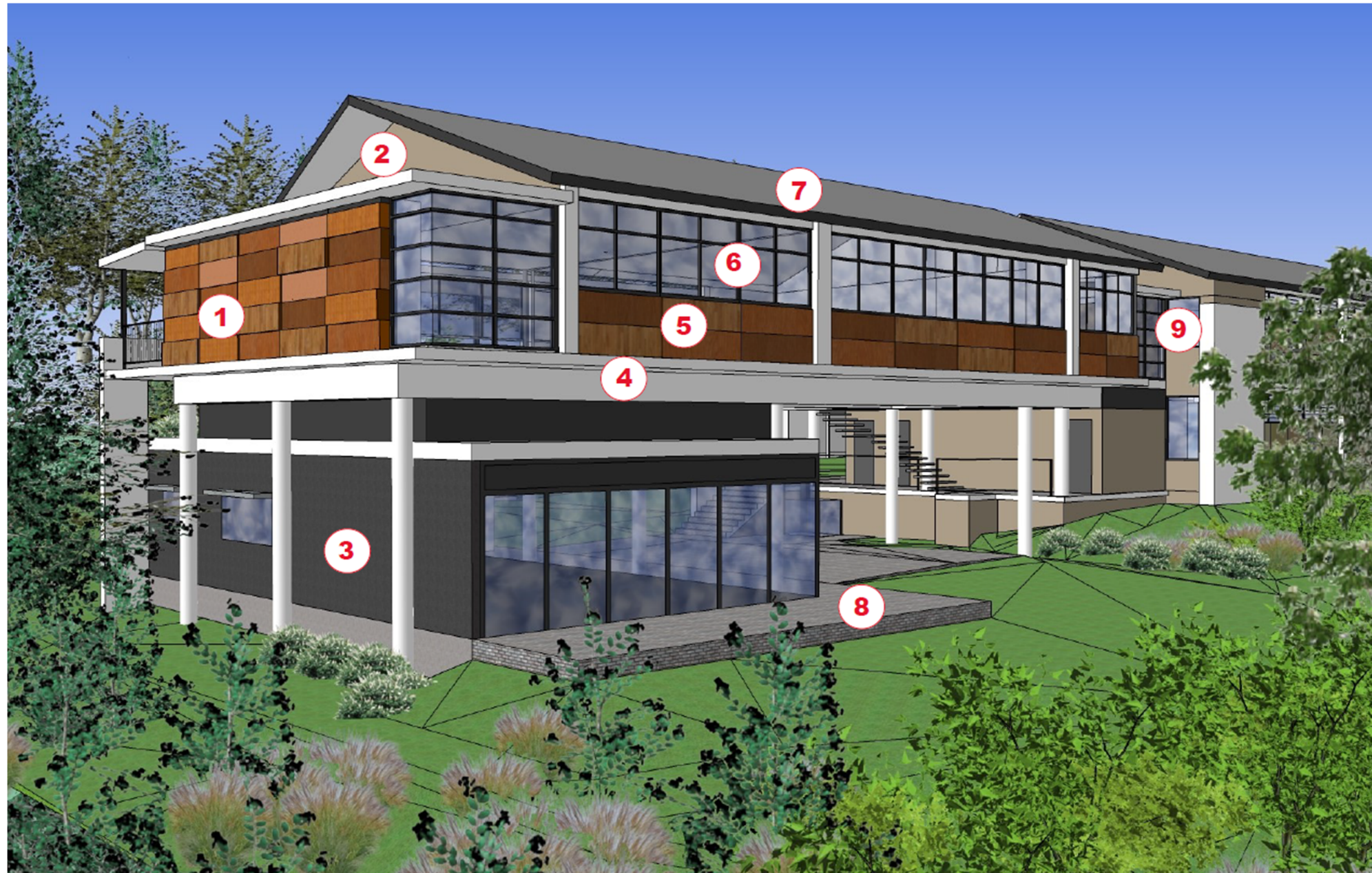


EXTENSIONS TO CHISHOLM HOUSE

for John Colet School, No.6 to 8 Wyatt Avenue, Belrose 2085
Lot 1, DP 601101 and Lot 101 DP 874509

PERSPECTIVES FROM WYATT AVENUE DA - 6001 rev: A

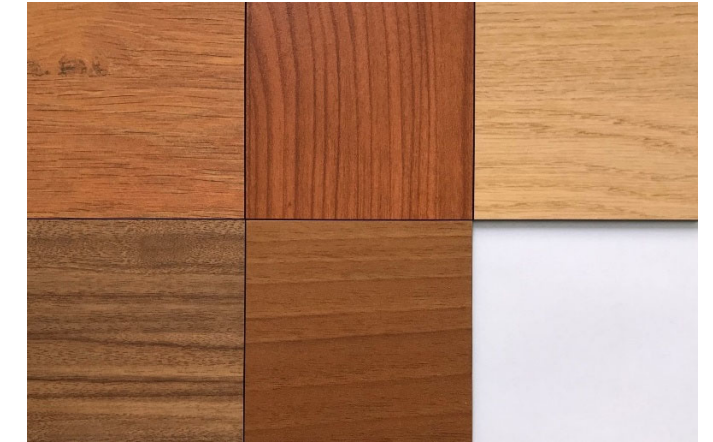
Scale: N.T.S. at A3
Date: 12/11/2019



Perspective view looking up at the southwest corner of Stage 1, with covered play area under

Colour and materials selections:

1. 'Mondoclad' solid aluminium panels, using a variety of different wood grain finishes and colours, protruding at varying distances from backing wall



2. Dulux paint over fibrous cement cladding to match existing buildings
3. Dulux paint over fibrous cement cladding to match existing buildings
4. Dulux paint 'Natural White' colour over concrete beams and slabs to match existing buildings
5. Similar to '1.' but set flush with adjacent panels
6. Charcoal Grey powdercoating to aluminium window frames, to match existing buildings
7. Colorbond 'Ironstone' colour dark grey metal deck roof sheeting, fascias and half-round gutters
8. Dark grey concrete paving, to match existing paving used around Colet House
9. Charcoal Grey powdercoating to aluminium window frames, with colourback glass

EXTENSIONS TO CHISHOLM HOUSE

for John Colet School, No.6 to 8 Wyatt Avenue, Belrose 2085
 Lot 1, DP 601101 and Lot 101 DP 874509

MATERIALS AND FINISHES

Scale: N.T.S. at A3
 Date: 12/11/2019

DA - 6002 rev: A

LEGEND & SCHEDULE

NOTES:

1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS
5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA

TREES

-  **Botanical Name:** *Fraxinus 'Raywoodii'*
Common Name: Claret Ash (Exotic)
Pot size: 100Lt
Mature H x S: 10m x 5m
Qty Required: 4
-  **Botanical Name:** *Ceratopetalum gummiferum*
Common Name: NSW Christmas Bush (Native)
Pot size: 300mm
Mature H x S: 5-8m x 3-4m
Qty Required: 3
-  **Botanical Name:** *Elaeocarpus reticulatus*
Common Name: Blueberry Ash (Native)
Pot size: 75L
Mature H x S: 8-10m x 6-7m
Qty Required: 3
-  **Botanical Name:** *Syzygium luehmannii*
Common Name: Riberry Lilly Pilly (Native)
Pot size: 300mm
Mature H x S: 2-15m x 3-5m
Qty Required: 3

SHRUBS AND HEDGES

-  **Botanical Name:** *Correa alba*
Common Name: White Correa (Native)
Pot size: 200mm
Mature H x S: 1.5m x 1m
Qty Required: 22
-  **Botanical Name:** *Callistemon citrinus 'Endeavour'*
Common Name: Endeavour Bottlebrush (Native)
Pot size: 300mm
Mature H x S: 3m x 2m
Qty Required: 8
-  **Botanical Name:** *Grevillea 'Honey Gem'*
Common Name: Honey Gem Grevillea (Native)
Pot size: 300mm
Mature H x S: 3-5m x 2-3m
Qty Required: 6
-  **Botanical Name:** *Doryanthes excelsa*
Common Name: Gymea Lily (Native)
Pot size: 45L
Mature H x S: 1.1m x 1m
Qty Required: 9

GRASSES / GROUNDCOVERS

-  **Botanical Name:** *Lomandra hystrix 'Katie Bells'*
Common Name: Katie Bells Mat Rush (Native)
Pot size: 200mm
Mature H x S: 1.2m x 1.2m
Qty Required: 21
-  **Botanical Name:** *Trachelospermum Jasminoides*
Common Name: Star Jasmine (Exotic)
Pot size: 140mm
Mature H x S: 0.3m x 0.6m
Qty Required: 5/m2 (7.2m2 total)

- Vines Mix:**
- Pandorea pandorana*
 - Hibbertia scandens*
 - Cissus antarctica*
- Pot size:** 100mm
Mature H x S: 0.3m x spreading
Qty Required: 50

LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to **Northern Beaches Councils** Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site one-drip

rated native plants (acceptable for Basix planting).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

D.A approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. **Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.**

OTHER LANDSCAPE ITEMS

-  Palisade metal fence
-  Brick Edging - refer detail
-  Turf area - refer detail
-  New paving area
-  Retaining / raised planter wall - refer detail
-  Trees proposed to be removed and replaced with new landscaping
-  Existing trees proposed to be retained and protected

General Notes:

Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.

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AILA Associate



Bar Scale



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E	21.11.19	Co-ordinated with client's comments
F	29.11.19	Co-ordinated with client's comments

COUNCIL
NORTH BEACHES

CLIENT
JOHN COLET SCHOOL

ARCHITECT
TEMPLUM DESIGN

STATUS / ISSUE
DA - ISSUE F



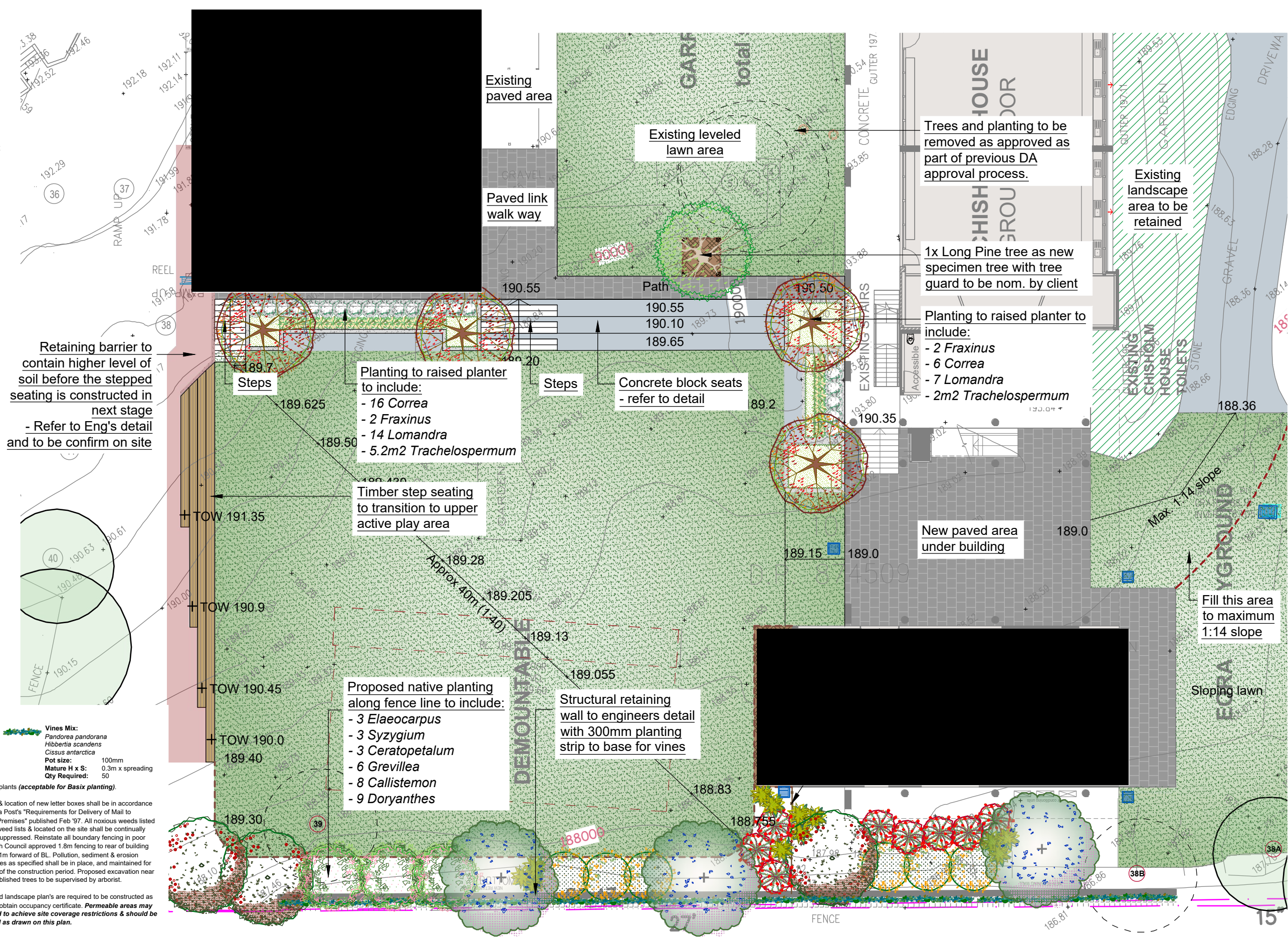
TITLE:
EXTENSION TO CHISHOLM HOUSE LANDSCAPE PLAN
PROPOSED SCHOOL DEVELOPMENT
JOHN COLET SCHOOL
6 WYATT AVE, BELROSE

DWG.No:
LPDA 20 - 38 / 1

SCALE:
1:200 @ A3

DATE:
NOV 2019

DRAWN: C.D
CHECKED: R.F



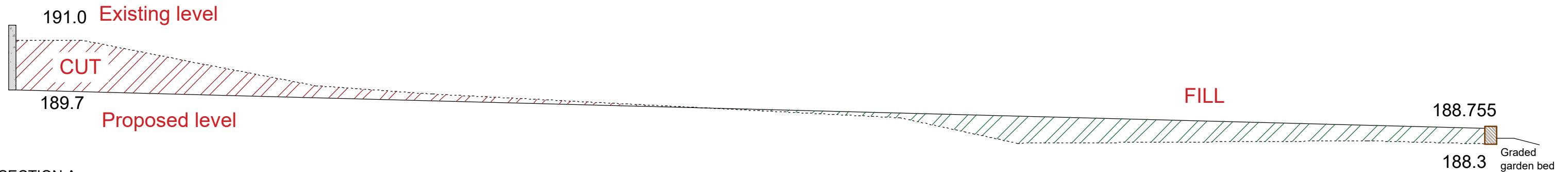
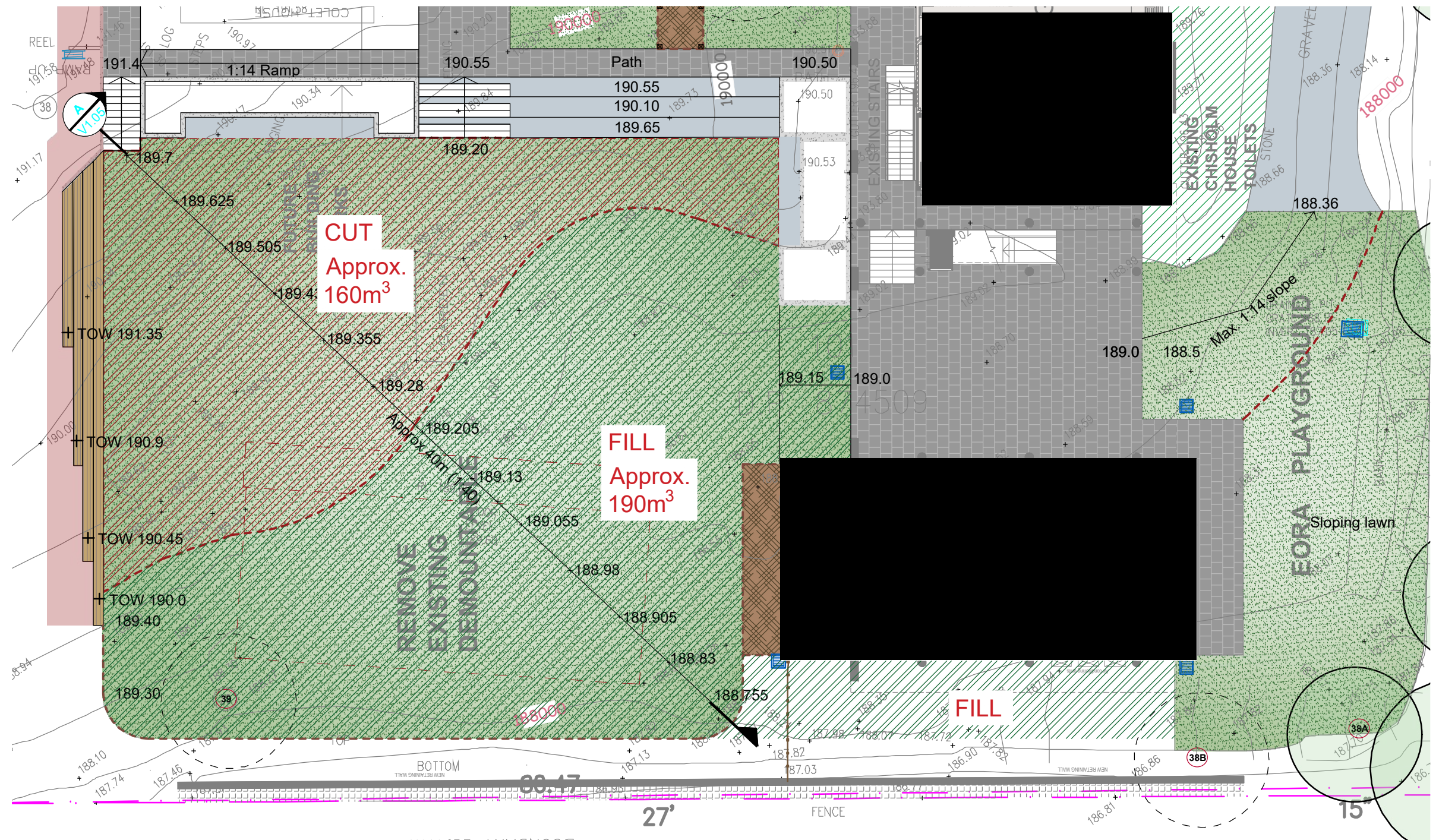
	Palisade metal fence
	Brick Edging - refer detail
	Turf area - refer detail
	Trees proposed to be removed and replaced with new landscaping
	Existing trees proposed to be retained and protected
	Cut area
	Fill area

The diagram illustrates a proposed tree protection zone (TPZ) for a tree with a 150 mm diameter at breast height (DBH). The TPZ is defined by a rectangular boundary, with a sign indicating 'TPZ 150mm'. The tree trunk is shown within the TPZ, and the root zone is indicated by a shaded area. A minimum height of 1.8 m is specified for the TPZ boundary. The diagram is labeled with ①, ②, ③, and ④, corresponding to the labels in the text.

PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET
2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ
4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS
5. PRUNING & MAINTENANCE TO TREE REFER TO AS 4373-2007 PRUNING OF AMENITY TREES

N.T.S



SCALE: 1:100

Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.

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E	21.11.19	Co-ordinated with client's comments
F	05.12.19	Co-ordinated with client's comments

COUNCIL	NORTH BEACHES
CLIENT	JOHN COLET SCHOOL
ARCHITECT	TEMPLUM DESIGN
STATUS / ISSUE	DA - ISSUE F

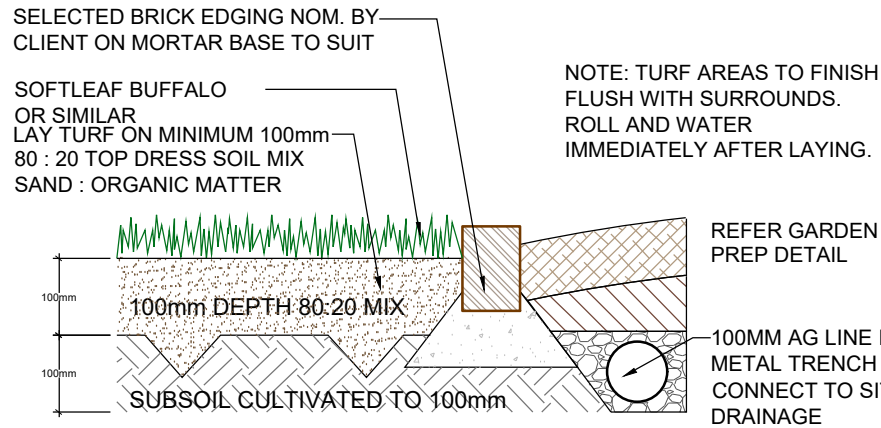


TITLE: CUT & FILL PLAN

PROPOSED SCHOOL DEVELOPMENT

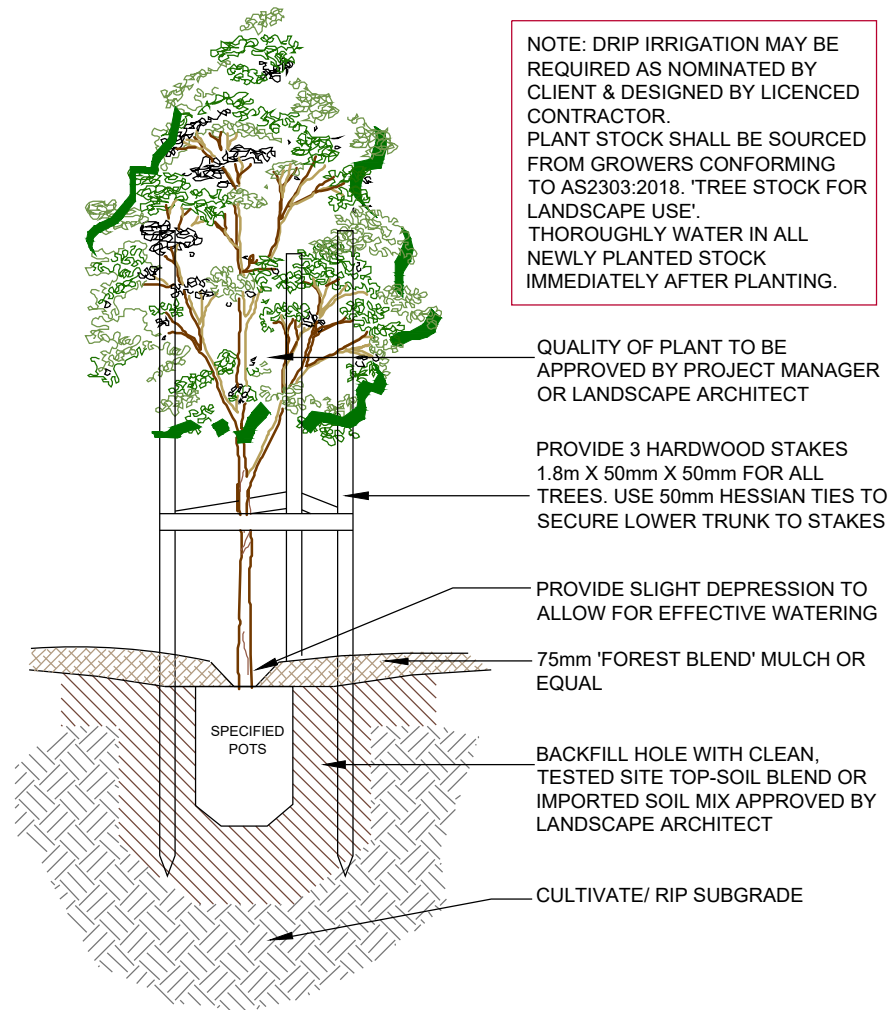
JOHN COLET SCHOOL
6 WYATT AVE,
BELROSE

DWG.No:	
LPDA 20 - 38 / 2	
SCALE:	
1:200 @ A3	
DATE:	
NOV 2019	
DRAWN:	CHECKED:
C.D	R.F



TYPICAL TURF AND BRICK EDGE DETAIL

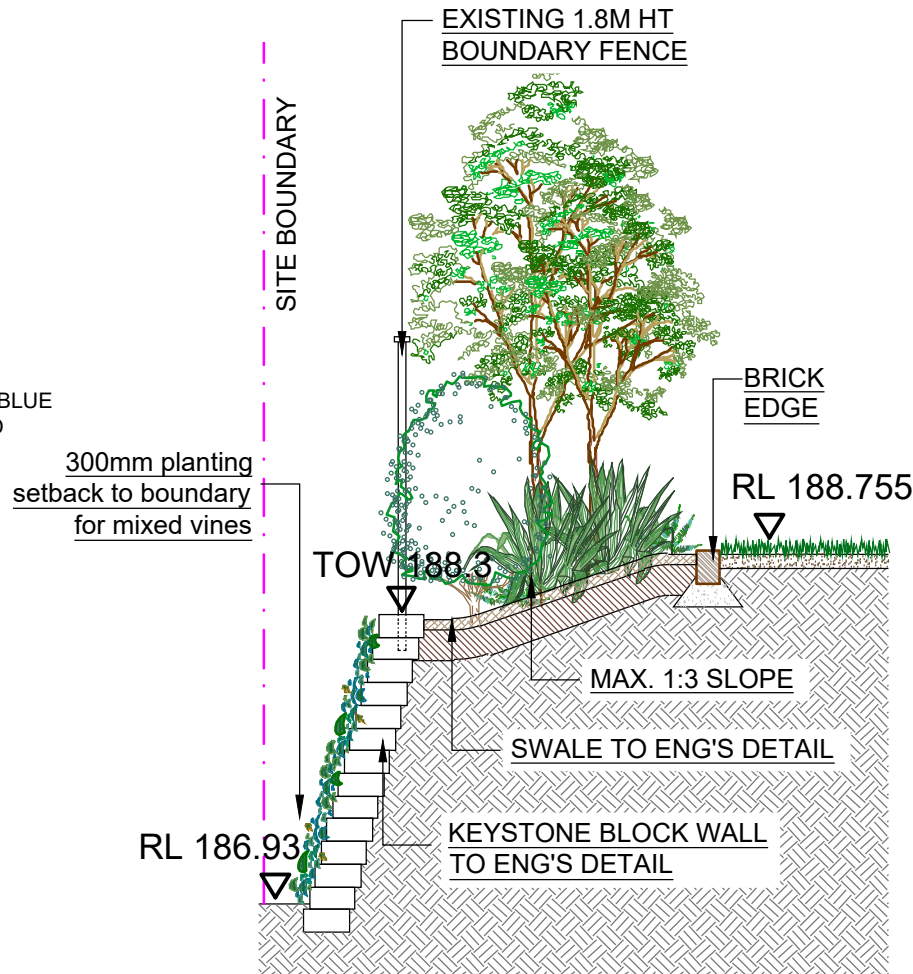
SCALE: 1:10



TREE PLANTING DETAIL

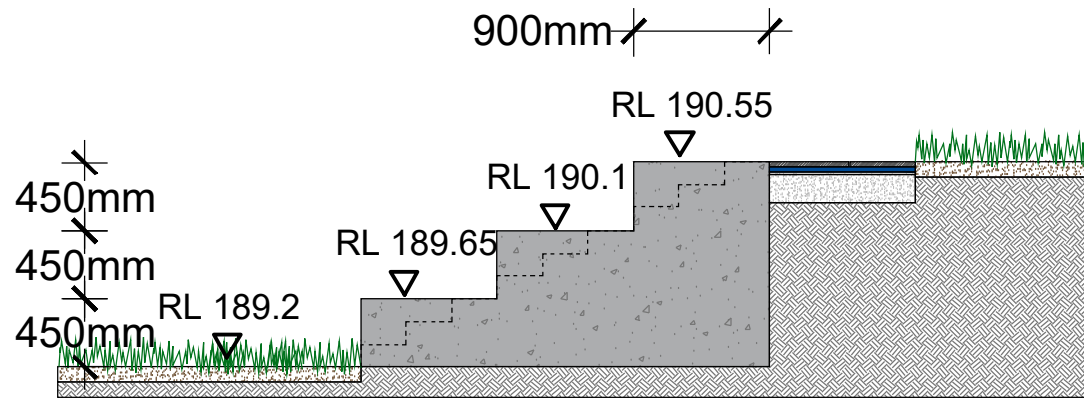
SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



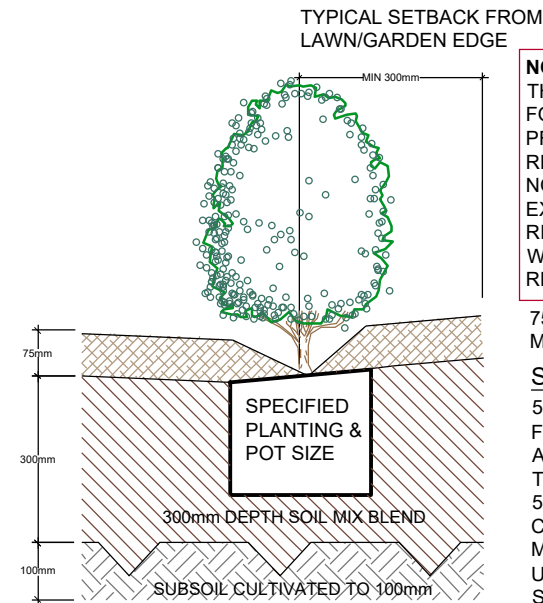
WESTERN BOUNDARY SECTION

SCALE: 1:50



CONCRETE BLOCK SEATING DETAIL 1

SCALE: 1:50



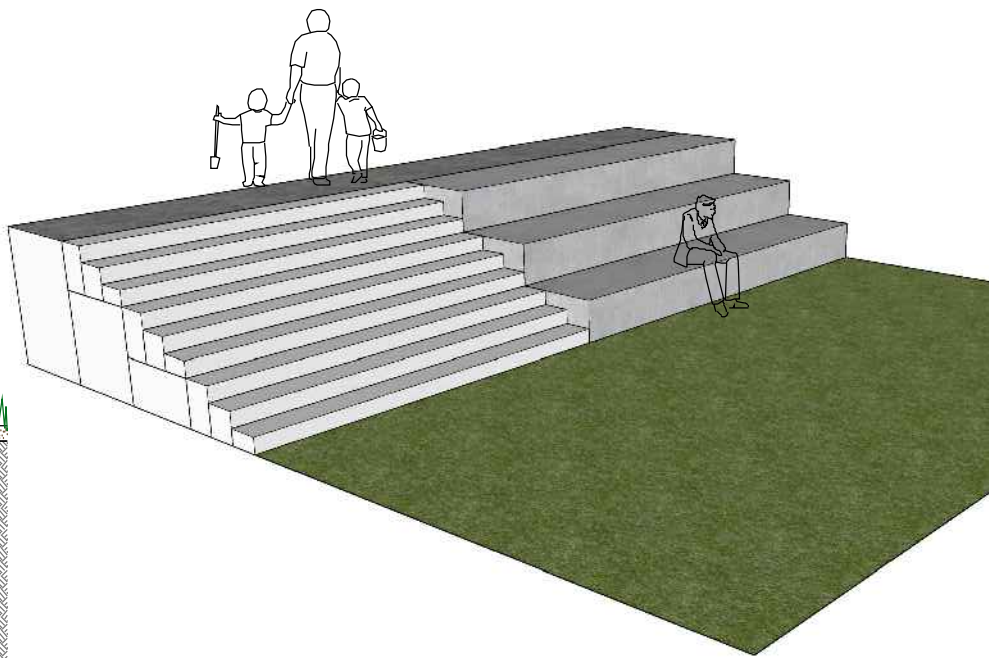
NOTE
THIS DETAIL IS ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE

75mm DEPTH "FOREST BLEND" MULCH OR EQUIVALENT

SOIL MIX:
50% OF STOCKPILED SITE TOPSOIL FREE FROM ALL BUILDER'S RUBBISH AND DELETERIOUS MATERIALS. TOPSOIL TO BE MIXED WITH MINIMUM 50% IMPORTED GARDEN MIX OR SOIL CONDITIONER/ COMPOSTED ORGANIC MATTER - SEE SPEC. USE 100% IMPORTED SOIL MIX WHEN SITE TOPSOIL RUNS OUT.

TYPICAL GARDEN PREPARATION DETAIL

SCALE 1:10



3D IMAGE FOR BLOCK SEATING DETAIL 1

General Notes:

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COUNCIL	NORTH BEACHES
CLIENT	JOHN COLET SCHOOL
ARCHITECT	TEMPLUM DESIGN
STATUS / ISSUE	DA - ISSUE D

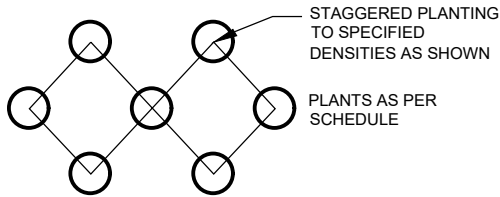
Conzept
Landscape Architects

Conzept Landscape Architects Suite 101, 506 Miller St CAMMERAY NSW 2062
www.conzept.net.au enquiries@conzept.net.au Phone: 9922 5312 Fax: 8209 4982 Mob: 0413 861 351

TITLE:	DETAILS	DWG.No:	LPDA 20 - 38 / 3
	PROPOSED SCHOOL DEVELOPMENT	SCALE:	AS SHOWN @ A3
	JOHN COLET SCHOOL	DATE:	NOV 2019
	6 WYATT AVE, BELROSE	DRAWN:	C.D
		CHECKED:	R.F



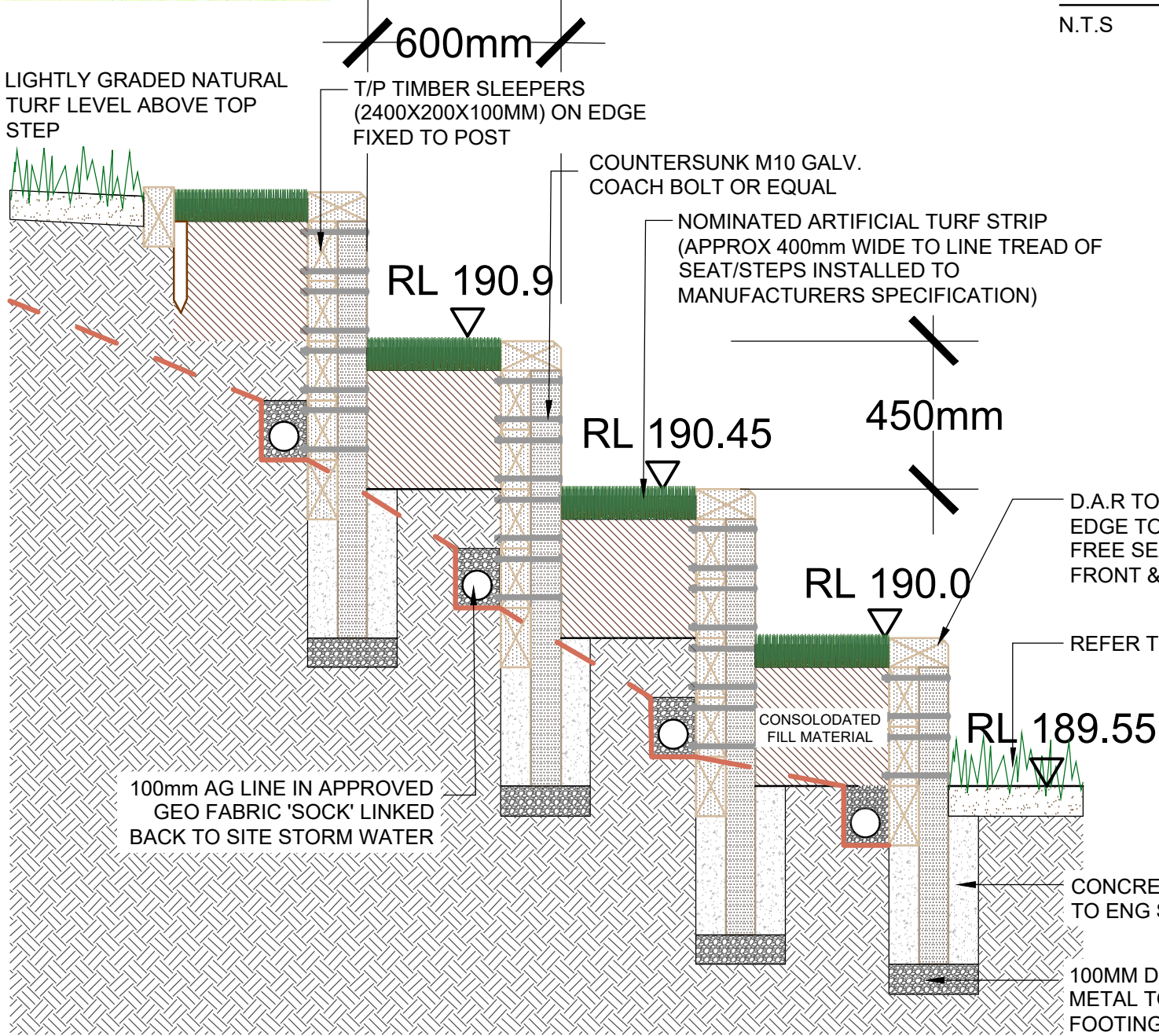
NOTE: TYPICAL DETAIL ONLY. ALL WALLS WHICH FORM PART OF DRAINAGE WORKS MUST BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEER. ALL WALLS EXCEEDING 800mm SHALL BE OF **NO** TIMBER CONSTRUCTION MATERIALS, CONSTRUCTION DETAILS TO BE PROVIDED BY A QUALIFIED ENGINEER. INSTALL WALL TO SUIT SITE LEVELS AND TO MANUFACTURE'S SPECIFICATION.



STAGGERED PLANTING TO SPECIFIED DENSITIES AS SHOWN
PLANTS AS PER SCHEDULE

MASS PLANTING SETOUT

N.T.S

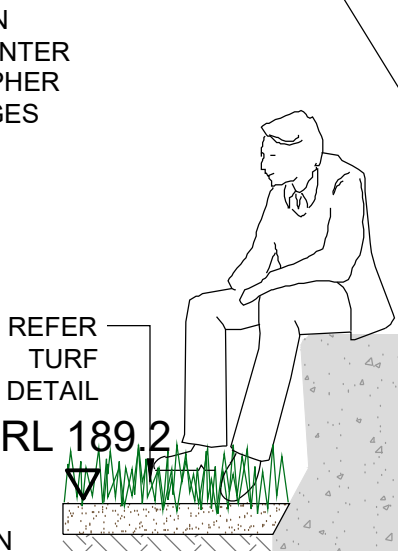


STEPPED SLEEPER SEATING WALLS DETAIL

SCALE 1:20

APPROVED GEO-FABRIC LAYER OVER DRAINAGE CELL PREVENTING SOIL ENTER IN DRAINAGE CELL

CORFLUTE TO PROTECT THE WATERPROOFING APPROVED CLASS 1 OR 2 CAST CONCRETE RETAINING WALL AND SEATING WALL

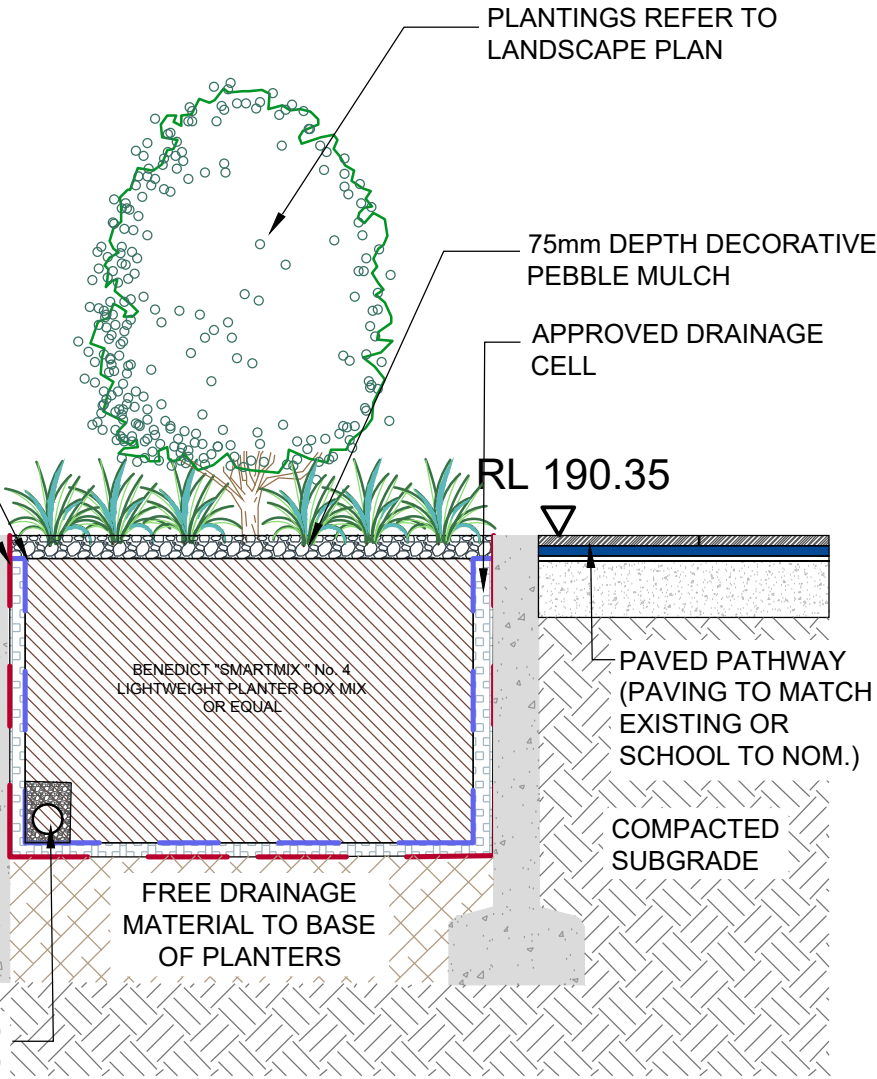


REFER TURF DETAIL
RL 189.2

100mm AG LINE IN APPROVED GEO FABRIC 'SOCK' LINKED BACK TO SITE STORM WATER

CONCRETE BLOCK SEATING DETAIL 2

SCALE 1:25



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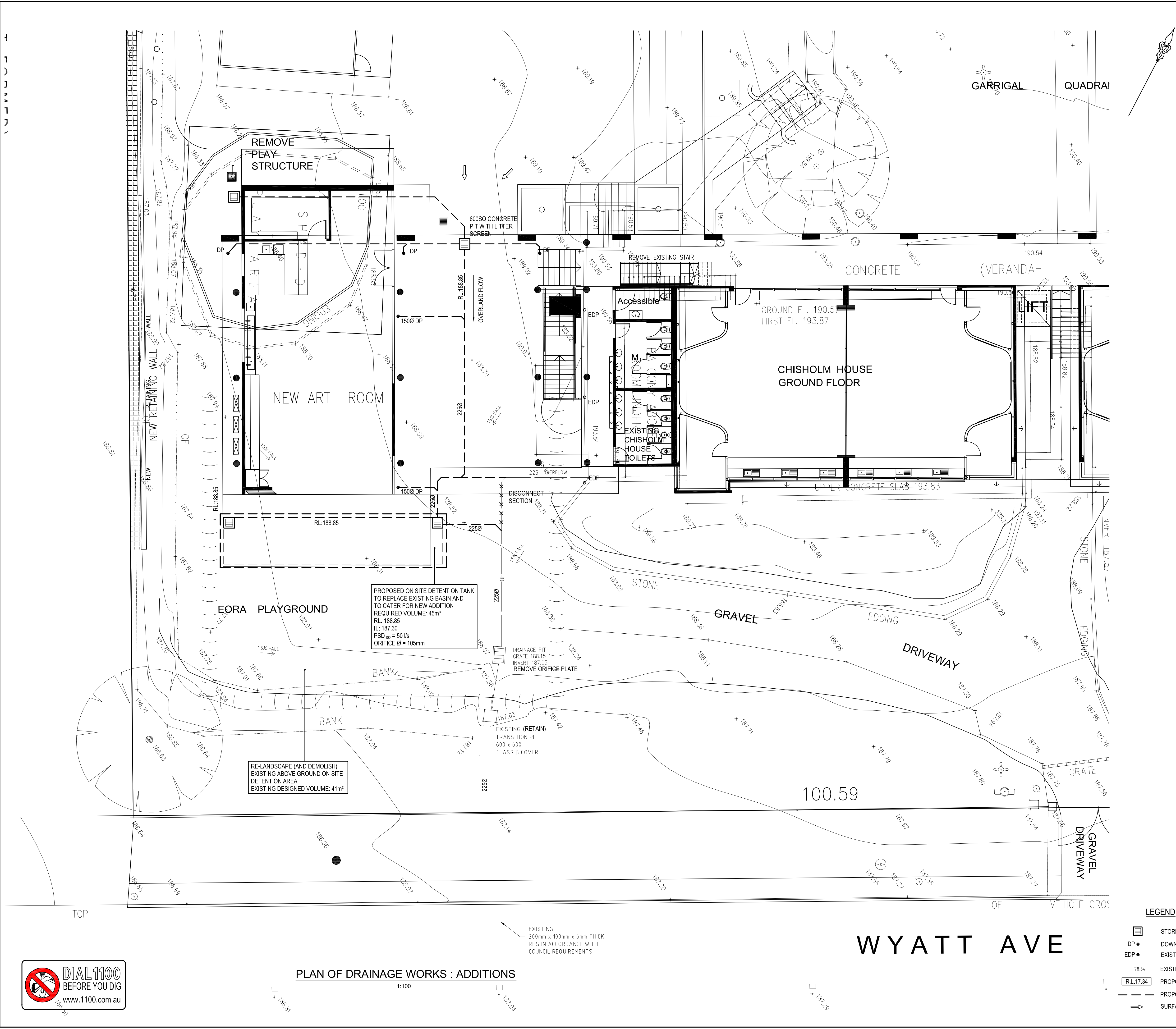
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COUNCIL	NORTH BEACHES
CLIENT	JOHN COLET SCHOOL
ARCHITECT	TEMPLUM DESIGN
STATUS / ISSUE	DA - ISSUE E

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Landscape Architects
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CAMMERAY NSW 2062
Phone: 9922 5312
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enquiries@conzept.net.au Mob: 0413 861 351

TITLE:
DETAILS
PROPOSED SCHOOL DEVELOPMENT
JOHN COLET SCHOOL
6 WYATT AVE,
BELROSE

DWG.No:	LPDA 20 - 38 / 4
SCALE:	AS SHOWN @ A3
DATE:	NOV 2019
DRAWN:	C.D
CHECKED:	R.F



- DRAINAGE**
- D1. ALL DRAINAGE OUTLET PIPES / LEVELS SHALL BE CONFIRMED ON SITE, PRIOR TO CONSTRUCTION COMMENCING.
 - D2. STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH AS3500.3. PIPES OF 300mm DIA. AND SMALLER SHALL BE UPVC TO AS1254. PIPES OF 375mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 TO AS1342 RUBBER RING JOINTED UNO.
 - D3. ALL PIPES WITHIN THE PROPERTY TO BE MIN. 100 DIA UPVC @ 1% MIN. GRADE, UNO.
 - D4. ALL PITS WITHIN THE PROPERTY ARE TO BE FITTED WITH "WELDOLOK" OR APPROVED EQUIVALENT GRATES:
 - LIGHT DUTY FOR LANDSCAPED AREAS
 - HEAVY DUTY WHERE SUBJECTED TO VEHICULAR TRAFFIC
 - D5. PITS WITHIN THE PROPERTY MAY BE CONSTRUCTED AS:
 - 1) PRECAST STORMWATER PITS
 - 2) CAST INSITU MASS CONCRETE
 - 3) ONLY 300 SQ. PITS IN LANDSCAPE AREAS CAN BE HDPE PLASTIC WHERE NOTED. SUBJECT TO THE RELEVANT LOCAL AUTHORITY CONSTRUCTION SPECIFICATION.
 - D6. TRENCH DRAIN GRATES TO BE GALV. STEEL FRAME CAST INTO CONCRETE UNO.
 - D7. PIPE / PIT BACKFILL TO BEDDING, HAUNCH AND OVERLAY ZONES IS TO BE 7.10 BLUE METAL, SANDY LOAM OR EQUIV. TAMP COMPACTED AT OPTIMUM MOISTURE, MAY VARY IN ROAD AREAS, IE SHARP CLEAN SAND, TO LOCAL AUTHORITY REQUIREMENTS.
 - D8. MINIMUM PIPE COVER IS TYPICALLY 300mm AND 450mm IN ROADWAY AREAS.
 - D9. ANY PIPES AT >16% GRADE REQUIRE CONCRETE BULKHEADS IN ACCORDANCE WITH AS 3500.3.2.
 - D10. ENSURE ALL GRATES TO PITS ARE SET BELOW FINISHED SURFACE LEVEL WITHIN THE PROPERTY. TOP OF PIT RL'S ARE APPROXIMATE ONLY AND MAY BE VARIED SUBJECT TO APPROVAL OF THE ENGINEER. ALL INVERT LEVELS ARE TO BE ACHIEVED.
 - D11. ALL PITS 600x900 AND LARGER ARE TO HAVE A 2.0m SUBSOIL LINE DRAINED INTO THE UPSTREAM FACE AT INVERT.
 - D12. ALL PITS ARE TO HAVE CONCRETE BENCHING TO OUTLET INVERT AND UP TO THIRD HEIGHT PIPE DIAMETER UNLESS SUMP NOTED OTHERWISE
 - D13. THE CONTRACTOR IS TO BE AWARE OF THE OPENING TO DEPTH PIT REQUIREMENTS OF AS3500.3.2 IE:
 - 450SQ. 600 MAX. DEPTH
 - 600SQ. 900 MAX. DEPTH UNO.
 - D14. PROVIDE STEP IRONS TO STORMWATER PITS GREATER THAN 1200 IN DEPTH.
 - D15. SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.
 - D16. ALL SERVICES TO BE LOCATED BY HAND DIGGING, BEFORE MECHANICAL EXCAVATION FOR THE SITE OUTLET

- GENERAL**
- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, AND CONSULTANT DRAWINGS AND SPECIFICATIONS, THE DEVELOPMENT CONSENT / RELEVANT APPROVALS, AND OTHER WRITTEN INSTRUCTIONS THAT MAY BE ISSUED. THE CONTRACTOR IS TO MAKE THEMSELVES AWARE OF ALL SUCH DOCUMENTS.
 - G2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING FROM THE DRAWINGS. REFER ARCHITECTS DRAWINGS FOR ALL DIMENSIONS.
 - G3. REFER ANY DISCREPANCY TO THE ENGINEER/ARCHITECT.
 - G4. MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE APPROPRIATE AUSTRALIAN STANDARDS, SPECIFICATIONS OR CODES AND WITH THE REQUIREMENTS OF THE RELEVANT LOCAL AUTHORITY.
 - G5. THE ALIGNMENT AND LEVEL OF ALL SERVICES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM THE POSITION AND LEVEL OF ALL SERVICES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DAMAGE TO SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
 - G6. ALL SERVICES, OR CONDUITS FOR SERVING AND DRAINAGE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF PAVEMENT CONSTRUCTION.
 - G7. DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT LOCAL AUTHORITY CONSTRUCTION SPECIFICATION AND THE CIVIL DRAWINGS.
 - G8. NO WORK IS PERMITTED WITHIN ADJOINING PROPERTIES WITHOUT WRITTEN PERMISSION FROM THE OWNERS OR RESPONSIBLE AUTHORITY.
 - G9. CONCRETE WORKS SHALL BE AS DETAILED ON THE DRAWINGS WITH REFERENCE TO THE CONCRETE SPECIFICATION.

ENGINEERING INSPECTIONS : 48hrs NOTICE IS REQUIRED

- THE CONTRACTOR IS TO BE AWARE OF THE MANDATORY INSPECTIONS REQUIRED BY THE DEVELOPMENT CONSENT (DA) UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT. CHECK WITH THE PCA.
- THESE MAY INCLUDE : EXCAVATION, REINFORCEMENT PRIOR TO CONCRETE POURING, PIPES & PITS PRIOR TO BACKFILL, FRAMING PRIOR TO COVERING, FINAL INSPECTION AND OTHER FOR VARIOUS CERTIFICATIONS.

UNDERGROUND SERVICES SEARCH SHOULD BE UNDERTAKEN PRIOR TO ANY EXCAVATION TAKING PLACE UPON THE SITE.

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No.	DATE	REVISION	DETAILS
PREPARED BY :			
cpm ENGINEERING Civil & Structural Consulting Engineers ABN 55 156 273 755 P.O. BOX 1050 SUTHERLAND NSW 1459 Fax/Ph: (02) 9525 5587 Mobile: 0412 401 282 Email: cpmeng@optusnet.com.au			
PREPARED FOR :			
JOHN COLET SCHOOL			
PROPOSED ADDITIONS TO CHISHOLM HOUSE ART ROOM PLAN LOT 101 D.P.874509 6-8 WYATT AVENUE, BELROSE			
ORIGINAL SIZE:			A1
SCALE	1:100	DATUM:	AHD
LONG SECTION	H:	CROSS SECTION	H:
	V:		V:
DATE OF PLAN:	27-11-19	APPROVED	
CHECKED:	C.P.M.	Christopher P. Morris BE (Struct) MBE, Aust CP Eng MPEB RPED Accredited Engineer No. 895276	
DRAWN	P.S.		
JOB REF:	16058-C02	SHEET	1 OF 1 SHEETS

NOTES:

- 1) CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- 2) AREA AND DIMENSIONS HAVE BEEN SURVEYED FROM PLANS MADE AVAILABLE AT LAND REGISTRY SERVICES.
- 3) ORIGIN OF LEVELS ON AHD IS TAKEN FROM S.S.M. 26802 RL 183.491 A.H.D.
- 4) CONTOUR INTERVAL 0.5 METRE
- 5) CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
- 6) TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- 7) UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- 8) SPOT LEVELS ARE ACCURATE.
- 9) BEARINGS SHOWN ARE ON M.G.A.-(MAP GRID OF AUSTRALIA.)



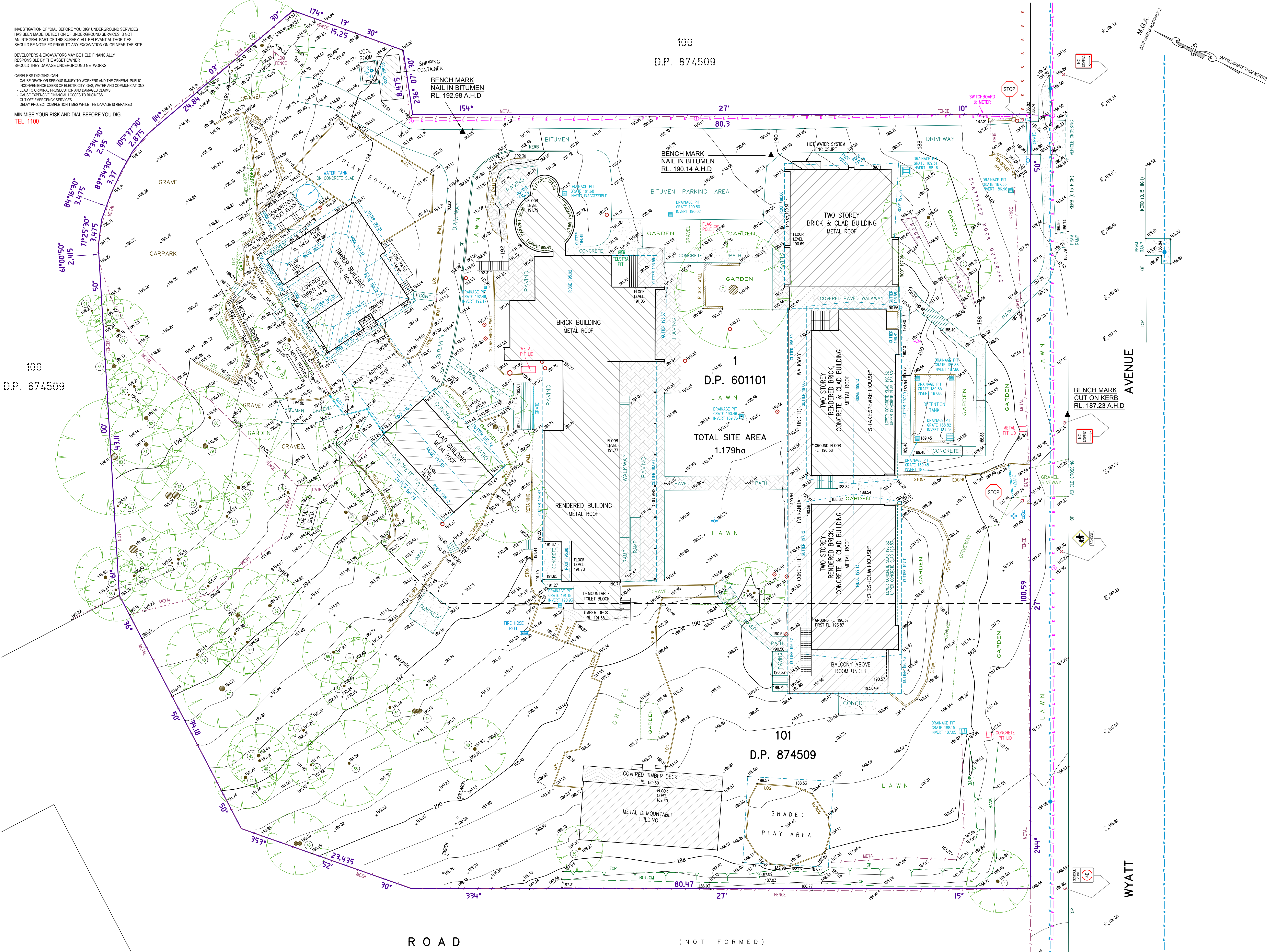
INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:
- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESSES
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.
TEL. 1100

TREE SCHEDULE				
POINT No.	TREE TYPE	DIAMETER	HEIGHT	SPREAD
1	EUCALYPT	0.40	14	8
2	EUCALYPT	0.40	18	12
3	EUCALYPT	0.30	16	6
4	EUCALYPT	0.30	6	8
5	EUCALYPT	0.30	8	6
7	EUCALYPT	1.20	20	15
8	LIQUID AMBER	0.60	14	10
9	EUCALYPT	0.60	10	10
10	EUCALYPT	0.30	2	6
11	EUCALYPT	0.60	10	10
12	EUCALYPT	0.40	20	10
13	TREE	0.40	10	8
14	EUCALYPT	0.40	14	12
16	EUCALYPT	0.20	10	8
35	NORTH FOLK PINE	0.40	18	10
39	EUCALYPT	0.30	12	0
40	EUCALYPT	0.40	14	8
42	EUCALYPT	260.60	16	8
43	EUCALYPT	260.50	15	8
44	EUCALYPT	0.40	9	8
45	EUCALYPT	0.40	16	8
46	BANKSIA	0.30	6	4
47	EUCALYPT	0.70	14	10
48	EUCALYPT	0.30	16	8
49	EUCALYPT	0.50	18	12
50	EUCALYPT	0.30	10	8
51	EUCALYPT	0.30	12	4
52	EUCALYPT	0.40	15	8
53	EUCALYPT	0.30	12	6
54	TREE	0.30	12	6
55	EUCALYPT	0.30	12	8
56	EUCALYPT	0.30	14	4
57	EUCALYPT	0.30	13	6
58	EUCALYPT	0.30	16	11
59	EUCALYPT	0.30	10	6
60	EUCALYPT	0.40	18	10
61	EUCALYPT	0.70	12	12
62	PINE	0.40	16	12
67	EUCALYPT	0.40	14	8
68	EUCALYPT	0.30	10	8
69	BANKSIA	0.30	8	4
70	EUCALYPT	240.40	12	6
71	EUCALYPT	0.30	12	8
72	BANKSIA	0.20	5	4
73	EUCALYPT	0.30	10	6
74	EUCALYPT	0.30	12	6
75	EUCALYPT	0.40	5	4
76	EUCALYPT	0.30	12	6
77	EUCALYPT	0.30	12	6
78	EUCALYPT	240.90	14	10
79	EUCALYPT	0.60	18	14
80	TREE	0.30	20	8
81	EUCALYPT	0.50	16	10
82	EUCALYPT	0.50	18	12
83	EUCALYPT	0.80	18	16
84	BANKSIA	0.20	6	2
85	DEAD TREE	0.50	8	4
86	EUCALYPT	0.30	10	6
87	BANKSIA	0.20	6	6
88	BANKSIA	0.20	5	3
89	EUCALYPT	0.40	10	8
90	EUCALYPT	0.20	8	4
91	EUCALYPT	0.20	12	4



LEGEND

- 43 DENOTES TREE AND TREE NUMBER
SEE TREE SCHEDULE
- 43 DENOTES CENTRE LINE OF ROAD
- 43 DENOTES TOP OF GUTTER
- 43 O/H/EAD ELECTRIC LINES
- 43 WATER LINES
- 43 SEWER VENT
- 43 INSPECTION CAP
- 43 POWER POLE
- 43 LIGHT POLE
- 43 WATER METER
- 43 HYDRANT
- 43 TAP
- 43 SIGN POST

No.	DATE	SURVEYED	DRAWN	DESCRIPTION
03	27/11/2019	C.L.	S.C.	DETAIL ADDED & UPDATED
02	10/04/2018	C.L./G.C.	S.C.	DETAIL ADDED & UPDATED
01	26/06/2017	C.L./G.C.	S.C.	DETAIL ADDED & UPDATED

PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS & PHYSICAL FEATURES OVER LOT 1 IN D.P. 601101 & LOT 101 IN D.P. 874509 KNOWN AS No. 6 WYATT AVENUE "JOHN COLET SCHOOL", BELROSE.

L.G.A.: NORTHERN BEACHES

CLIENT	JOHN COLET SCHOOL	REF No.	17751
PROPERTY	No. 6 WYATT AVENUE "JOHN COLET SCHOOL", BELROSE	SHEET No.	1 of 1
DATUM	A.H.D.	SCALE	1:200 @ B1
SURVEYED	C.L./M.R.	DRAWN	R.M.
		DATE	10/07/2012
		DWG No.	17751-03
		REV No.	03