

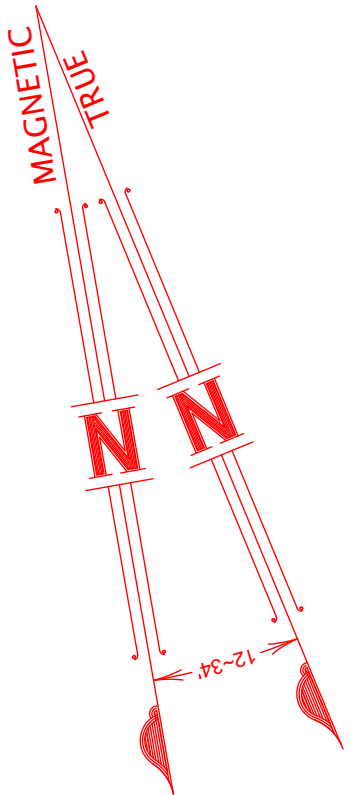
LEGEND

- +26.23 Denotes spot height.  
+25.37 TK Denotes height on top of kerb.  
T-0.2/5/4 Denotes tree-diameter/spread/height.  
Denotes overhead power wires.  
Denotes Sydney Water Sewer.  
Plotted approx vide DBYD Sequence No.108549397  
Dated 12/04/2021  
Denotes flow direction of roof waters.  
78.37 Denotes ridge and levels.  
74.26 Denotes gutter and levels.  
63.14 Denotes level on top of wall. All walls Rendered, unless noted otherwise.  
76.85 Denotes window and levels.  
75.42  
76.85 Denotes door and levels.  
75.42

TREE NOTE

The spread and height of each tree is indicative only and cannot be shown accurately without further survey. The shape and size of the spread of the canopy may vary due to lack of uniformity of the branches and trunk. All tree trunks are measured at DBH, (Diameter at Breast Height) approximately 1.3 metres above ground level.

BAR SCALES



SITE RATIO'S - EXISTING:

SITE AREA	480.6m <sup>2</sup>
BUILDING FOOTPRINT (Including GARAGE)	167m <sup>2</sup>
PORCH WITH BALCONY OVER	20m <sup>2</sup>
PATIO WITH TERRACE OVER	23m <sup>2</sup>
SHED	1m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	101m <sup>2</sup>
AREAS UNDER 2m WIDE	43m <sup>2</sup>
SUM TOTAL	355m <sup>2</sup>
EXISTING LANDSCAPED AREA	125.6m <sup>2</sup>
26%	
(Landscape Open Space & Busland setting requirements - 40%)	

SITE RATIO'S - PROPOSED:

SITE AREA	480.6m <sup>2</sup>
BUILDING FOOTPRINT (Including GARAGE)	188.5m <sup>2</sup>
PORCH WITH BALCONY OVER	20m <sup>2</sup>
SHED	1m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	87m <sup>2</sup>
AREAS UNDER 2m WIDE	42m <sup>2</sup>
SUM TOTAL	338.5m <sup>2</sup>
PROPOSED LANDSCAPED AREA	142.1m <sup>2</sup>
29.5%	
(Landscape Open Space & Busland setting requirements - 40%)	

Proposed Columns & Roof over existing Verandah

Proposed First Floor Addition over existing Verandah

Proposed Ground Floor Addition under existing Verandah

Proposed new section of Roof & Ceiling over First Floor to replace existing

Proposed Lift Ground Floor to Loft

Proposed Loft/ Viewing room Addition over existing First Floor

Proposed Balcony over existing First Floor

Proposed Column, Parapet & Roof over existing Balcony

LOFTUS STREET

LANDSCAPE PLAN NOTES:

The proposal has been designed to ensure that the objectives of Part 7.6 of the Northern Beaches DCP Biodiversity protection are met. The proposed Development will be over existing Hardstand & Dwelling. It is proposed to remove 14m<sup>2</sup> of existing paving and to extend the Lawn/Garden area (Area Shown Hatched) to increase the Landscape Open Space & Busland setting requirements from the existing 26% to 29.5%. The proposal does not require removal of any trees or shrubs. All existing vegetation and all existing trees are to remain on site.

The proposal is unlikely to impact the ecological processes necessary for the continued existence of flora and fauna nor is it likely to impact the recovery of native flora and fauna or their habitats and we believe it will not impact on flora and fauna.

There are no changes to existing footings & all new footings required for the proposed Development are **not within the critical root zone** of any trees on the site or of any trees on any neighbouring site or Council land.

STORMWATER NOTE:

Stormwater is to be connected to the proposed rainwater tank with overflow connected to the existing drainage system which drains to the street gutter

CUSTOM ORB ACCENT 35 "Colorbond" sheet roof to the proposed front Balcony fixed over timber roof framing "Vergola" roof system fixed to manufacturers detail and specification

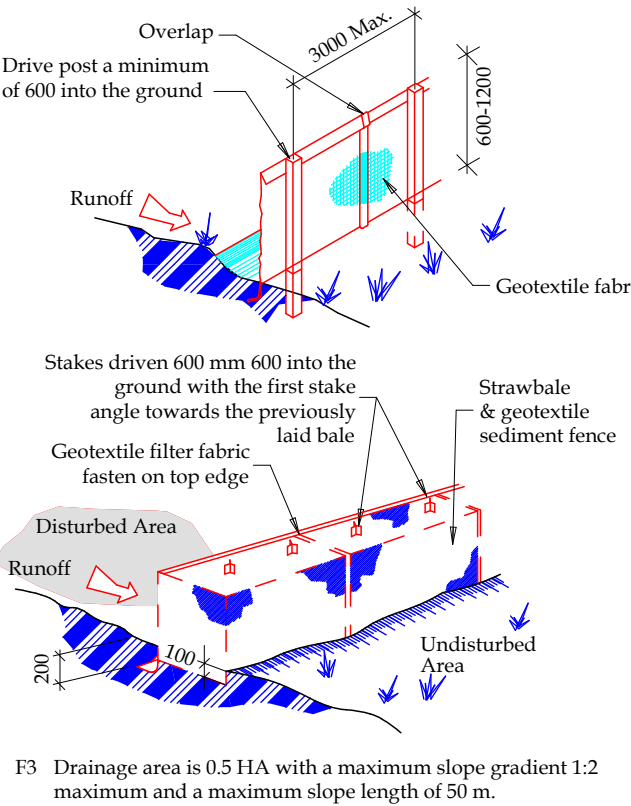
300mm box gutter to the First floor Balcony roof. Note: The Builder shall ensure adequate flashing and waterproofing is supplied and fixed.

Sediment and Erosion control fences:

The Builder shall supply and fix all sediment and erosion control fences, as required by Council prior to any excavation works

SEDIMENT FENCE

F1 Provide sediment fence on down slope boundary as shown on plan.  
F2 Geotextile fabric to be buried 200 mm below ground at the lower edge.



NOTES:

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The Builder is to give all notices, obtain all permits and pay all fees. Check all Levels and Dimensions on Site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors. Finished ground levels on the plan are subject to the site conditions. Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

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BASIX INFORMATION REQUIREMENTS:

LIGHTING:

A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

WATER COMMITMENTS:

New or altered fixture requirements  
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

HOT WATER SYSTEM:

Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate

INSULATION REQUIREMENTS:

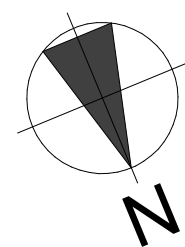
Construction / Additional insulation requirement (R-value)  
concrete slab on ground floor. / nil  
floor above existing dwelling or building. / nil  
external wall: cavity brick (R0.67) / nil  
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)  
external wall: framed (weatherboard, fibro, metal clad) (R0.40) / R1.30 (or R1.70 including construction)  
internal wall shared with garage: plasterboard (R0.36) / nil  
raked ceiling, pitched/skillion roof: framed / ceiling: R0.50 (up)  
roof: foil backed blanket (75 mm)  
roof colour: light colour (solar absorption <0.475)

WINDOWS & GLAZED DOORS:

All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate. You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door. You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance. There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed doors.

SKYLIGHTS:

All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate. Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate.



Project North



LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

Client

MR GOMES & MS DACOSTA

Project Name

ALTERATIONS & ADDITIONS

LOT 3 DP 152422

4 LOFTUS STREET

NARRABEEN

NSW 2101

Drawing Title: ROOF PLAN &

SITE PLAN & LANDSCAPE PLAN

Scale: 1:100 (A1)

Date: OCTOBER 2022

Council: NORTHERN BEACHES

Checked By: J. ADAMS

Project No: 2037

Drawing #: DA01

ANNEXURE "A"

Plot Date: 28/04/2023

1

SITE PLAN & LANDSCAPE PLAN

1:100

& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT / SEDIMENT & EROSION CONTROL

2

ROOF PLAN

1:100







LIFT NOTES:

- 1) The Lift shall be selected by the Client.  
2) The Lift Carriage, doors and motor are to be supplied and fixed by the Clients contractor to the manufacturer's specification and detail.  
**Note:** The Builder to liaise with Lift Supplier prior to construction of the Lift Shaft.  
3) The Lift Shaft walls will be lined with 10mm smooth finish plasterboard fixed over timber stud framing.

**Note:** Dimensions of Lift shaft are to be to the Lift manufacturer's specification

STAIRCASE NOTES:

Staircase is to consist of open stringers and open risers with single centre beam. The timber and balustrade type to be selected by the Client

**Note:** The Builder shall check measure on site prior to ordering the stair.

**Note:** The stair and Balustrade shall comply with the current versions of **National Construction Code** (NCC / Building Code of Australia BCA) and **all relevant Australian standards**

**Note:** A Handrail is to be provided on one side of the stairs to comply with BCA 3.9.2.4

GENERAL NOTE:

Remove all existing roof tiles and ridge capping. Then supply and fix new Corrugated "Colorbond" sheet roofing and ridge capping, unless otherwise stated, over new & existing roof framing

Reinforced concrete slab, to engineers' details & specifications, then a topping slab (minimum 32mpa and a minimum 50mm thick) with a select polished concrete finish  
**Note:** Finished Floor Level is to match the existing residence floor level.

WINDOW / DOOR SCHEDULE

**Note:** The Builder shall source all windows and doors from Client's selected supplier

**Note:** All new windows and new external doors are to comply with the **Basix Certificate**

**Note:** The Builder shall check measure all windows and doors on site prior to order  
**Note:** All opening bedroom windows located 2m or greater above ground level, shall have fall be permanently restricted to 125mm openings. Restrictive opening devices being affixed to all windows, as required, to comply with NCC Clause 3.9.2.6 and 3.9.2.7

D 1	To Fit- (Approx. 2060h x 2300w) UPVC Framed Double Glazed Sliding Door - Check measure on site prior to order	W 10	2400h x 2170w UPVC Framed Double Glazed Louvre/Fixed/Louvre Window
D 2	2205h x 3600w UPVC Framed Double Glazed 3 Panel stacker sliding Door - Check measure on site prior to order	W 11	Special- 1300h x 6610w UPVC Framed Double Glazed 4 panel fixed trapezoid Window with head to suite raked roof & fixed over D6
D 3	2100h x 820w UPVC Framed Solid core hinged Door	W 12	920h x 900w UPVC Framed Double Glazed Louvre Window with <b>Obscure Glass</b>
D 4	To Fit- (Approx. 2100h x 2280w) UPVC Framed Double Glazed sliding Door - Check measure on site prior to order	W 13	600h x 1500w UPVC Framed Double Glazed Fixed/Louvre Window with <b>Obscure Glass</b>
D 5	2100h x 4200w UPVC Framed Double Glazed 3 Panel stacker sliding Door	W 14	To Fit- (Approx. 2060h x 3530w) UPVC Framed Double Glazed Louvre/Fixed/Louvre Window - Check measure on site prior to order
D 6	2100h x 6610w UPVC Framed Double Glazed 4 Panel stacker sliding Door	W 15	1500h x 1040w UPVC Framed Double Glazed Louvre Window
D 7	2100h x 3600w UPVC Framed Double Glazed 3 Panel stacker sliding Door	W 16	900h x 800w UPVC Framed Double Glazed Fixed Window
W 1	Special- 1665h x 1265w UPVC Framed Select Stained Glass Feature Window	W 17	900h x 1800w UPVC Framed Double Glazed Fixed Window
W 2	To Fit- (Approx. 2100h x 1630w) UPVC Framed Double Glazed Louvre/Fixed Window - Check measure on site prior to order	W 18	1050h x 600w UPVC Framed Double Glazed Awning Window
W 3	2100h x 4200w UPVC Framed Double Glazed Louvre/Fixed/Fixed/Louvre Window - Check measure on site prior to order	W 19	Internal Window- Select window to replace existing with frosted glazing - Discuss with Client prior to order
W 4	1200h x 2300w UPVC Framed Double Glazed Louvre/Fixed/Louvre Window	W 20	Internal Window- Select window to replace existing - Discuss with Client prior to order
W 5	1350h x 900w UPVC Framed Double Glazed Louvre Window	S 1	780 x 1400mm F5 M08- Fixed "Velux" Skylight- over Kitchen
W 6	1350h x 900w UPVC Framed Double Glazed Louvre Window	S 2	1275 x 1275mm FCM 4646- Fixed "Velux" Skylight- over Living
W 7	600h x 2100w UPVC Framed Double Glazed Louvre/Fixed/Louvre Window	S 3	1275 x 1275mm FCM 4646- Fixed "Velux" Skylight- over Living
W 8	2060h x to fit (Approx.2300w) UPVC Framed Double Glazed Louvre/Fixed/Louvre Window - Check measure on site prior to order	<b>Note:</b> Skylights shall be installed in accordance with the manufacturers' instructions	
W 9	600h x Approx.2300w (width to match W8 below) UPVC Framed Double Glazed Louvre/Fixed/Louvre Window	⚡ S.A.	<b>Smoke-alarm</b> - indicates a hard-wired smoke alarm installed in accordance with Clause 3.7.5 of the NCC and AS 3786-2014.

PROPOSED FLOOR AREA CALCULATIONS

SITE AREA	480.6m <sup>2</sup>
PROPOSED GROUND FLOOR AREA	123m <sup>2</sup>
PROPOSED FIRST FLOOR AREA	143m <sup>2</sup>
PROPOSED LOFT FLOOR AREA	27m <sup>2</sup>
GARAGE AREA	42m <sup>2</sup>
SUM TOTAL	335m <sup>2</sup>

NOTES:

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LIGHTING:

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WATER COMMITMENTS:

New or altered fixture requirements  
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

HOT WATER SYSTEM:

Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate

INSULATION REQUIREMENTS:

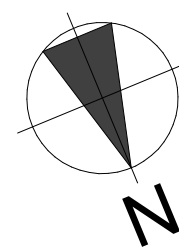
Construction / Additional insulation requirement (R-value)  
concrete slab on ground floor. / nil  
floor above existing dwelling or building. / nil  
external wall: cavity brick (R0.67) / nil  
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)  
external wall: framed (weatherboard, fibro, metal clad) (R0.40) / R1.30 (or R1.70 including construction)  
internal wall shared with garage: plasterboard (R0.36) / nil  
raked ceiling, pitched/skillion roof: framed / ceiling: R0.50 (up)  
roof: foil backed blanket (75 mm)  
roof colour: light colour (solar absorption <0.475)

WINDOWS & GLAZED DOORS:

All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate  
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door. You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance. There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed doors.

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Project North



LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

Client

**MR GOMES & MS DACOSTA**

Project Name

**ALTERATIONS & ADDITIONS**

**LOT 3 DP 152422**

**4 LOFTUS STREET**

**NARRABEEN**

**NSW 2101**

Drawing Title:

**PROPOSED FLOOR PLANS**

Scale : 1:100 (A1)

Date : OCTOBER 2022

Council : NORTHERN BEACHES

Checked By : J. ADAMS

Project No :

Drawing # :

**2037**

**DA03**

**ANNEXURE "A"**

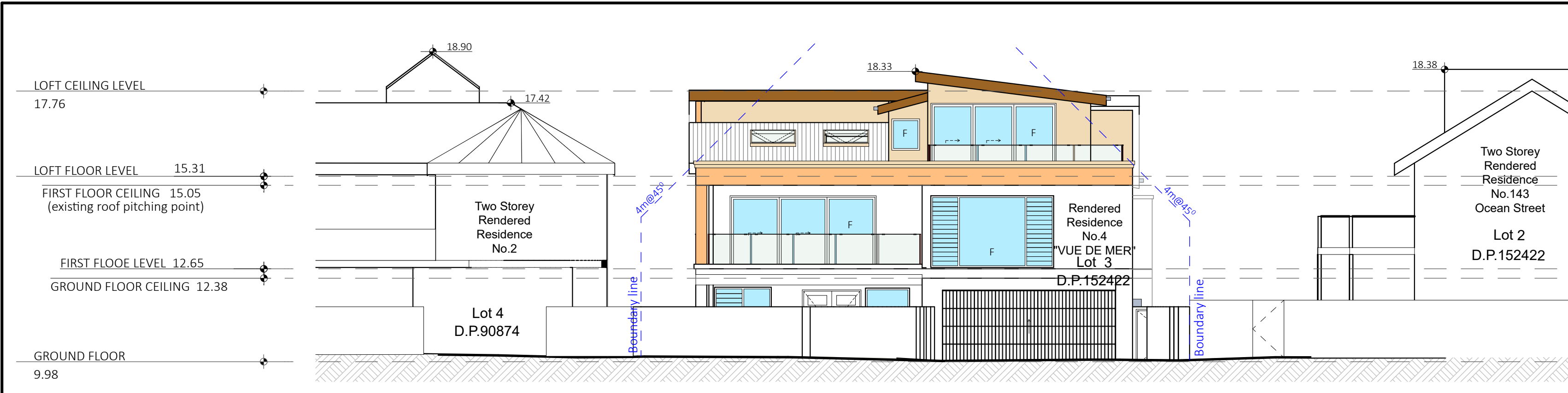
Plot Date: 28/04/2023

1 PROPOSED GROUND FLOOR PLAN 1:100

2 PROPOSED FIRST FLOOR PLAN 1:100

3 PROPOSED LOFT FLOOR PLAN 1:100





1 STREET VIEW NORTH ELEVATION 1:100

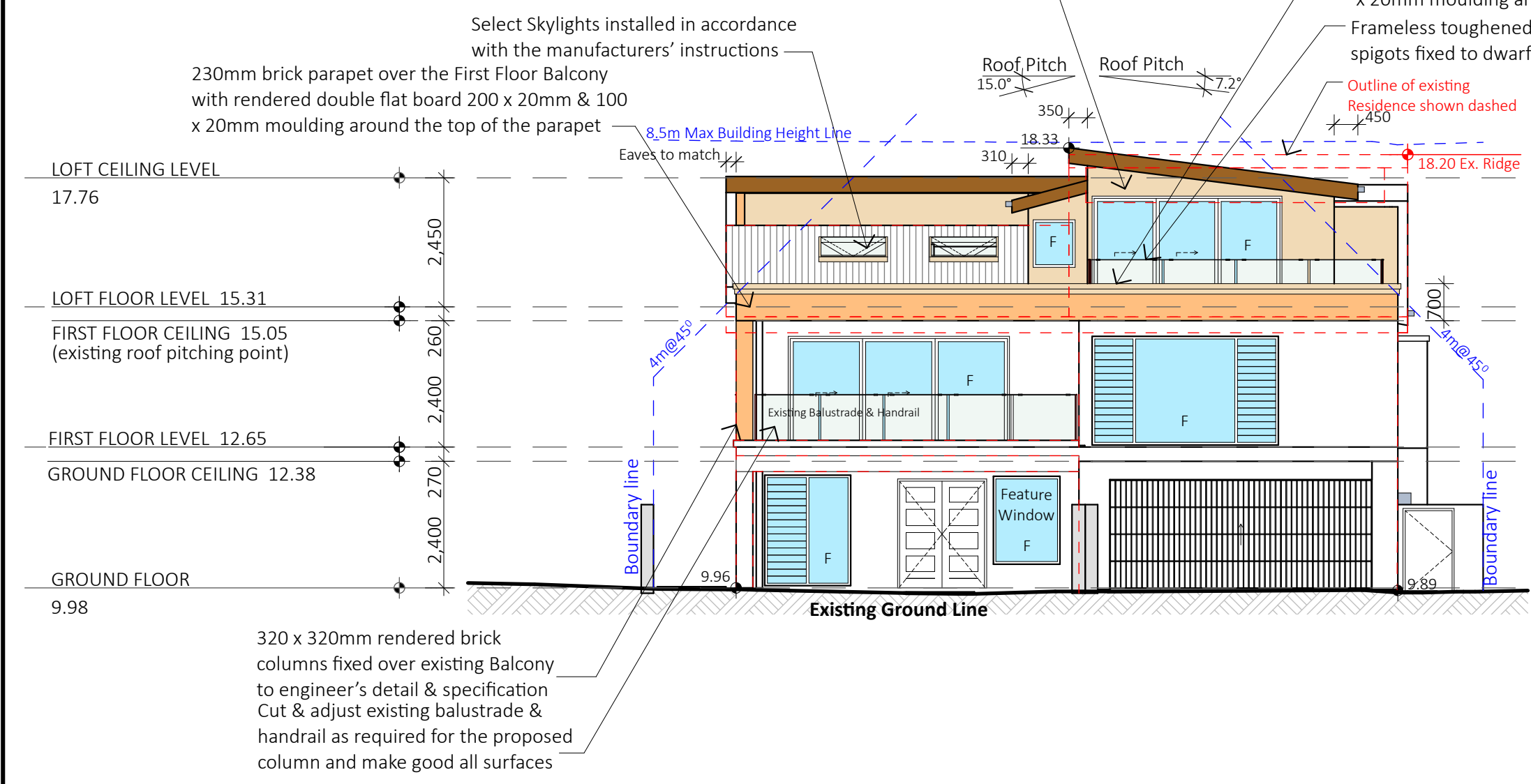
**GENERAL NOTE:**

Remove all existing roof tiles and ridge capping. Then supply and fix new Corrugated "Colorbond" sheet roofing and ridge capping over new & existing roof framing

Smooth 7.5mm Harditex with flush joints & a Smooth finish Granosite or Hardies texture coating to match cement render finish over new timber stud framed walls

250mm brick veneer parapet to the Loft Balcony with rendered double flat board 200 x 20mm & 100 x 20mm moulding around the top of the parapet  
Frameless toughened glass balustrade with stainless steel spigots fixed to dwarf wall to engineer's detail.

New brick veneer walls over existing walls as required for new ceiling to match existing Kitchen ceiling  
All new brickwork is to be rendered with a 10mm smooth finish cement render to match the existing residence



2 NORTH ELEVATION 1:100

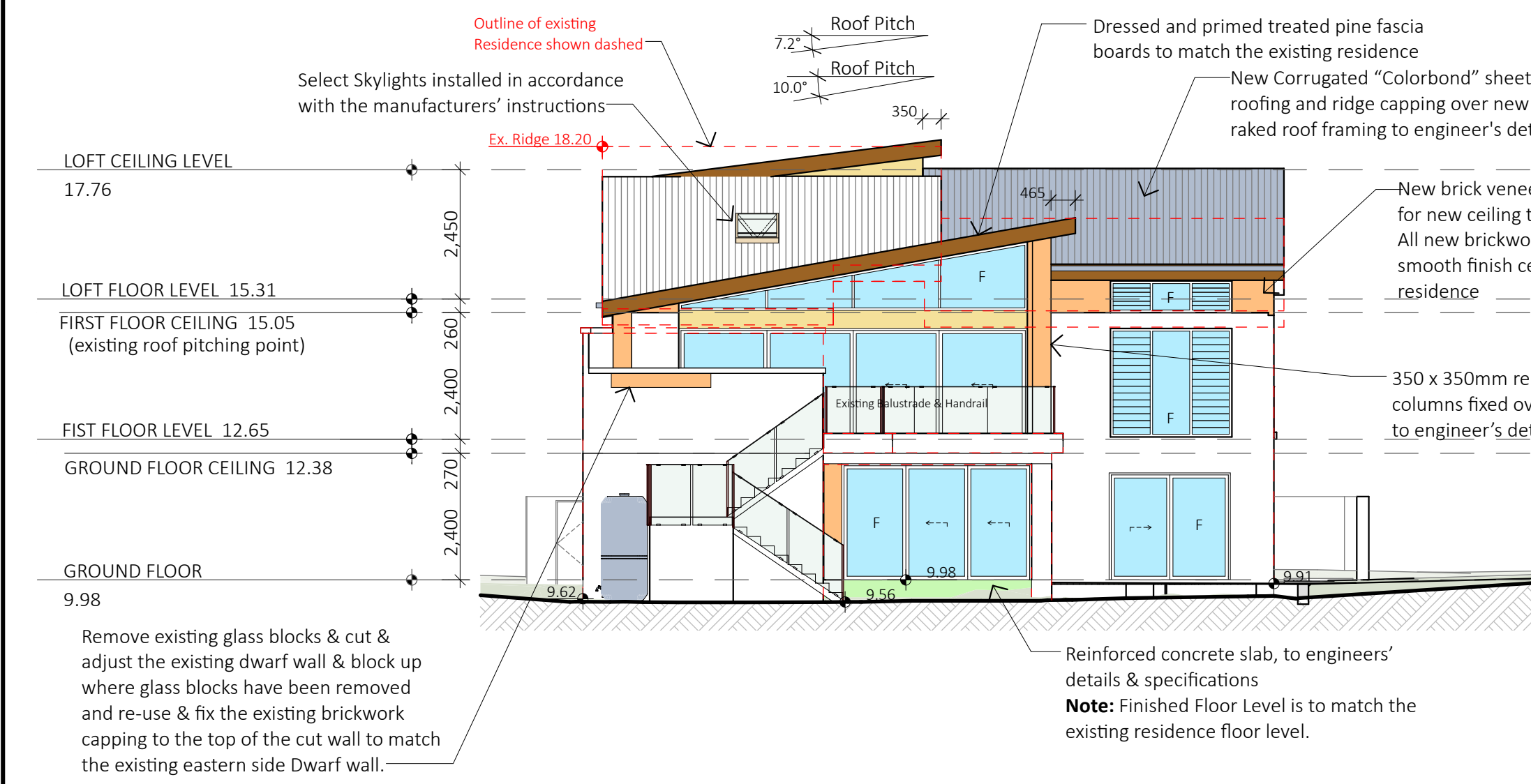
**GENERAL NOTE:**

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Smooth 7.5mm Harditex with flush joints & a Smooth finish Granosite or Hardies texture coating to match cement render finish over new timber stud framed walls

250mm brick veneer parapet to the Loft Balcony with rendered double flat board 200 x 20mm & 100 x 20mm moulding around the top of the parapet  
Frameless toughened glass balustrade with stainless steel spigots fixed to dwarf wall to engineer's detail.

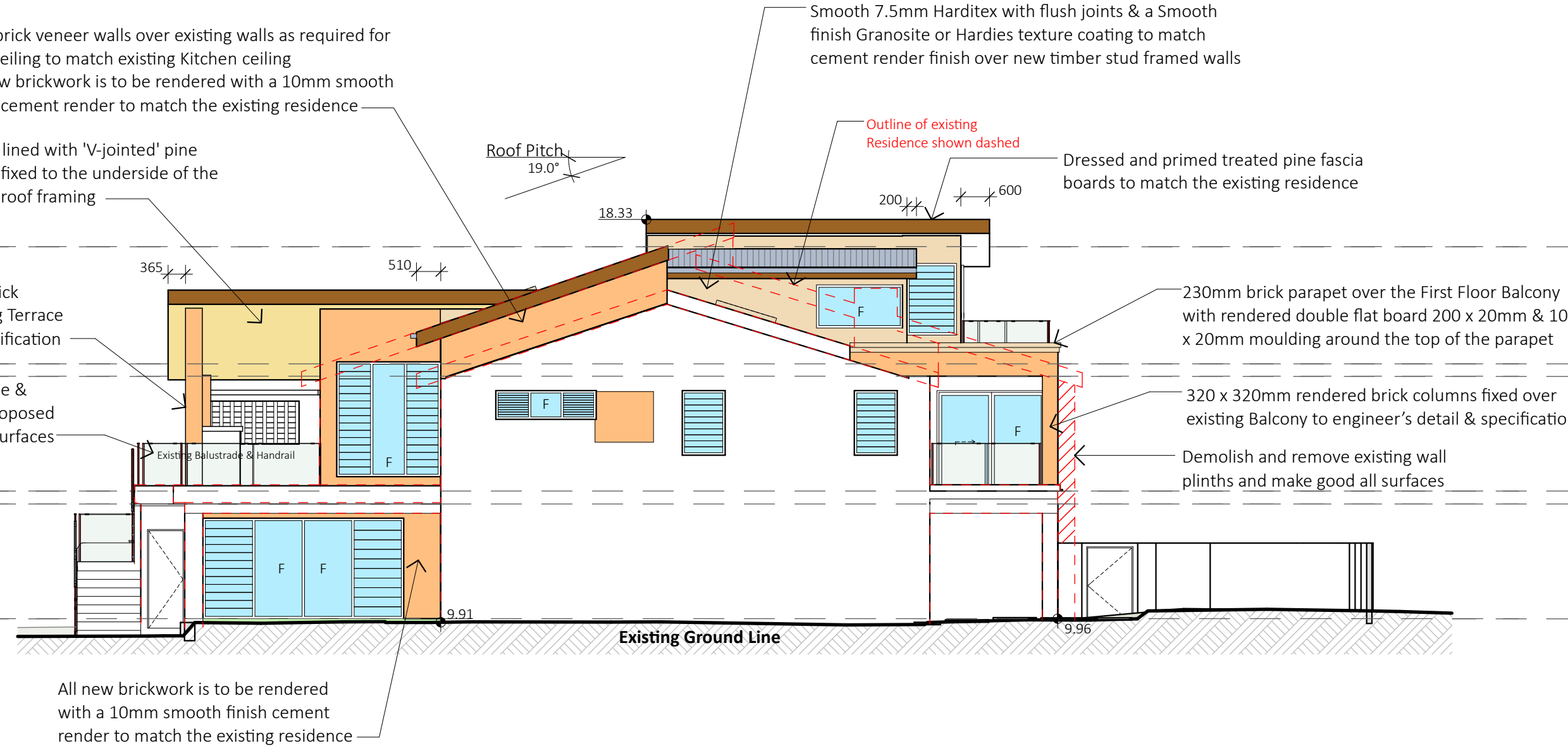
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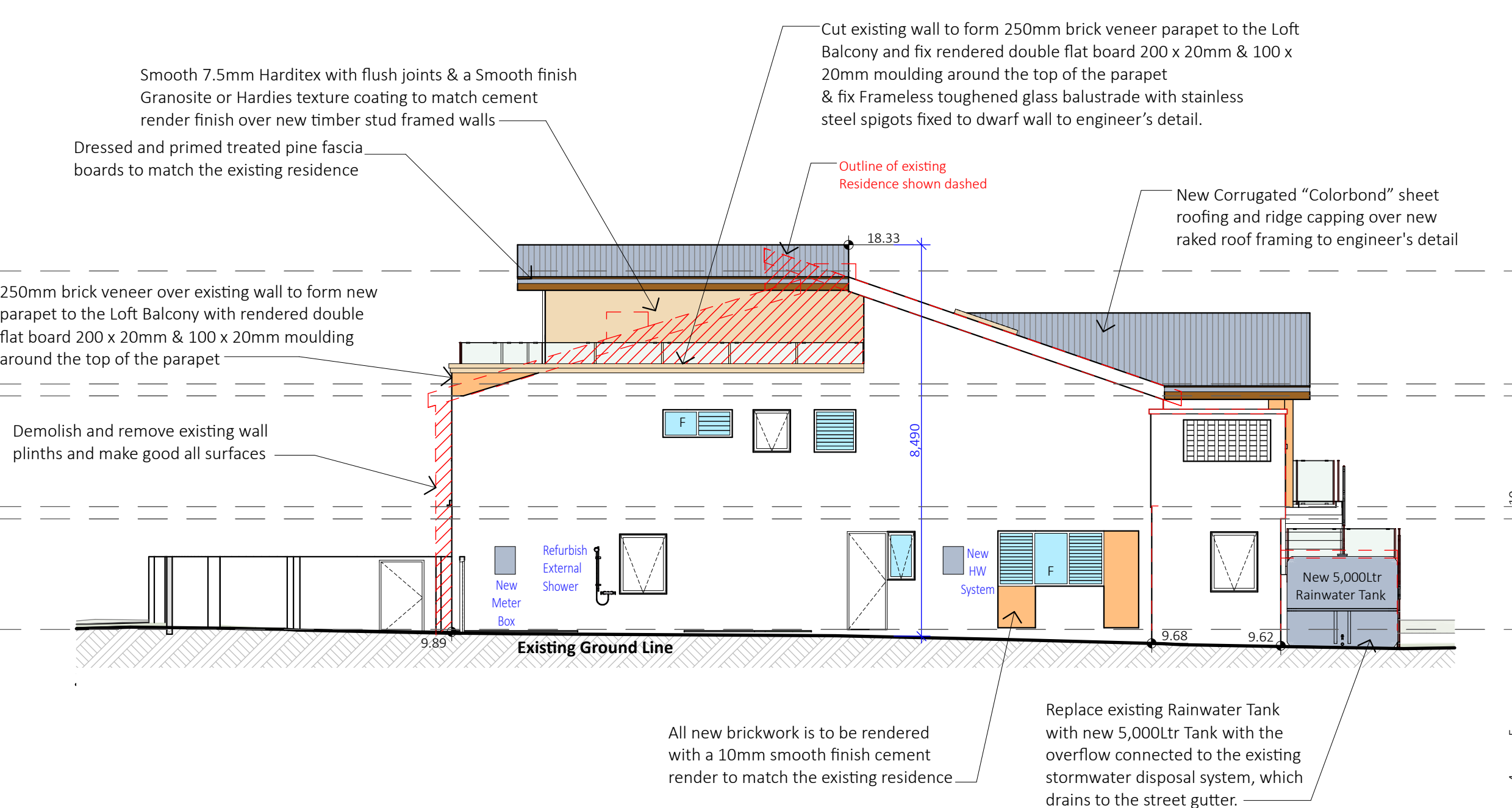
4 SOUTH ELEVATION 1:100



6 PERSPECTIVE VEIW 1:100



3 EAST ELEVATION 1:100



5 WEST ELEVATION 1:100

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**WATER COMMITMENTS:**  
New or altered fixture requirements  
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.  
**HOT WATER SYSTEM:**  
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate  
**INSULATION REQUIREMENTS:**  
Construction / Additional insulation requirement (R-value)  
concrete slab on ground floor. / nil  
floor above existing dwelling or building. / nil  
external wall: cavity brick (R0.67) / R1.16 (or R1.70 including construction)  
external wall: framed (weatherboard, fibro, metal clad) (R0.40) / R1.30 (or R1.70 including construction)  
internal wall shared with garage: plasterboard (R0.36) / nil  
raked ceiling, pitched/skillion roof: framed / ceiling: R0.50 (up)  
roof: foil backed blanket (75 mm)  
roof colour: light colour (solar absorption <0.475)  
**WINDOWS & GLAZED DOORS:**  
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Project North

**LIFESTYLE HOME DESIGNS**  
LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

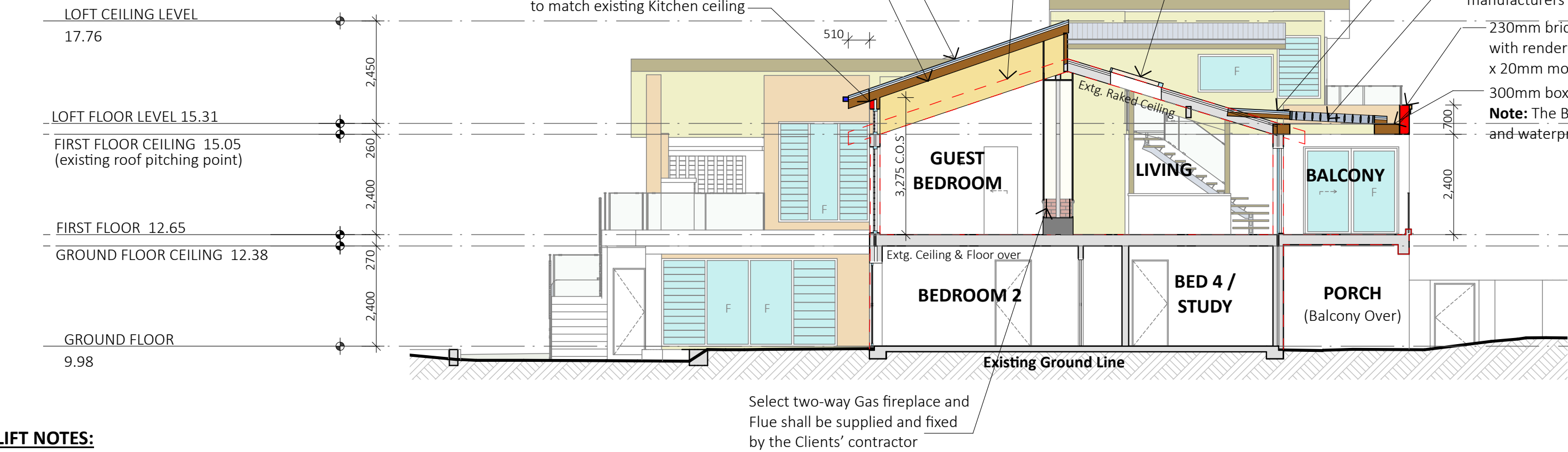
Client  
**MR GOMES & MS DACOSTA**  
Project Name  
**ALTERATIONS & ADDITIONS**  
**LOT 3 DP 152422**  
**4 LOFTUS STREET**  
**NARRABEEN NSW 2101**

Drawing Title:	
<b>ELEVATIONS</b>	
Scale : 1:100 (A1)	Date : OCTOBER 2022
Council : NORTHERN BEACHES	Checked By : J. ADAMS
Project No : <b>2037</b>	Drawing # : <b>DA04</b>
<b>ANNEXURE "A"</b> Plot Date: 28/04/2023	



**GENERAL NOTE:**

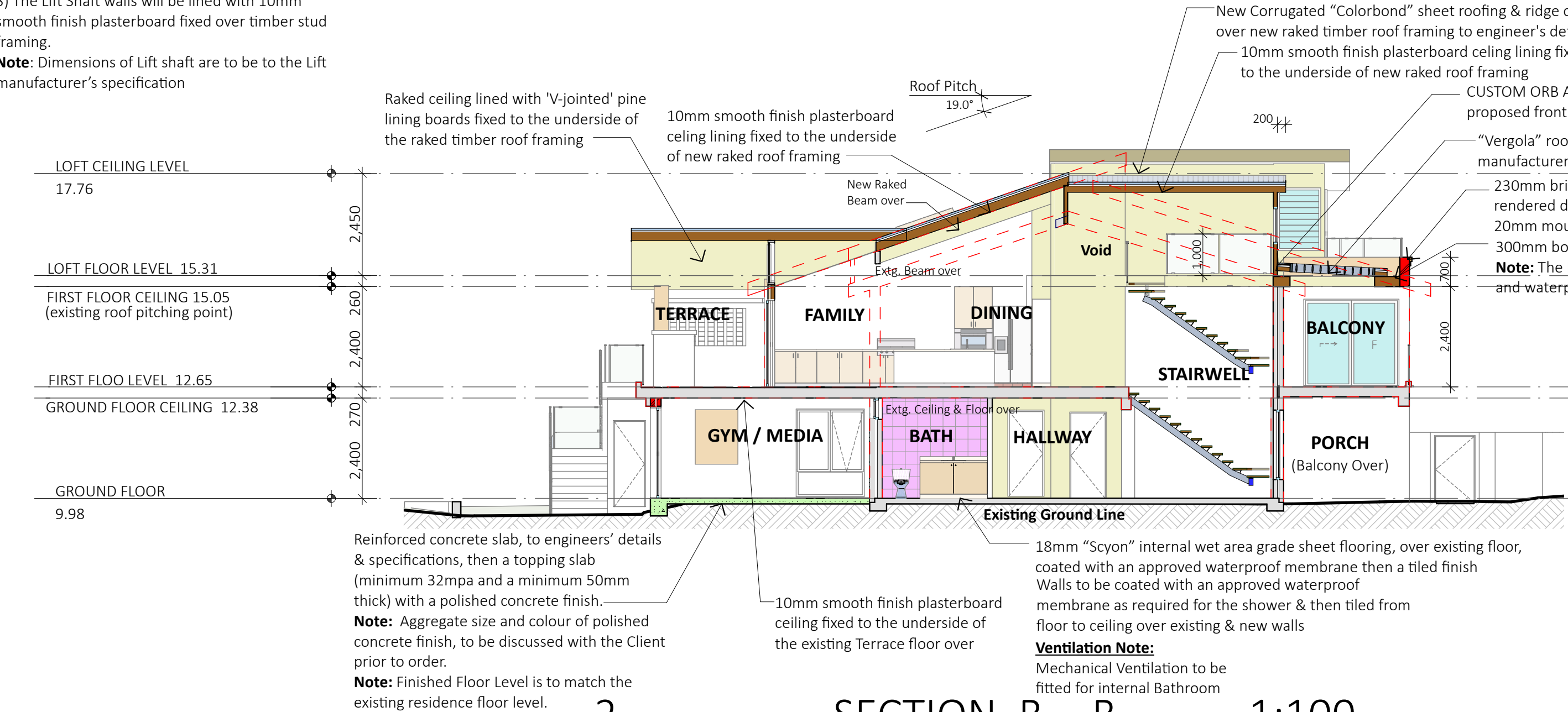
Remove all existing roof tiles and ridge capping. Then supply and fix new Corrugated "Colorbond" sheet roofing and ridge capping over new & existing roof framing



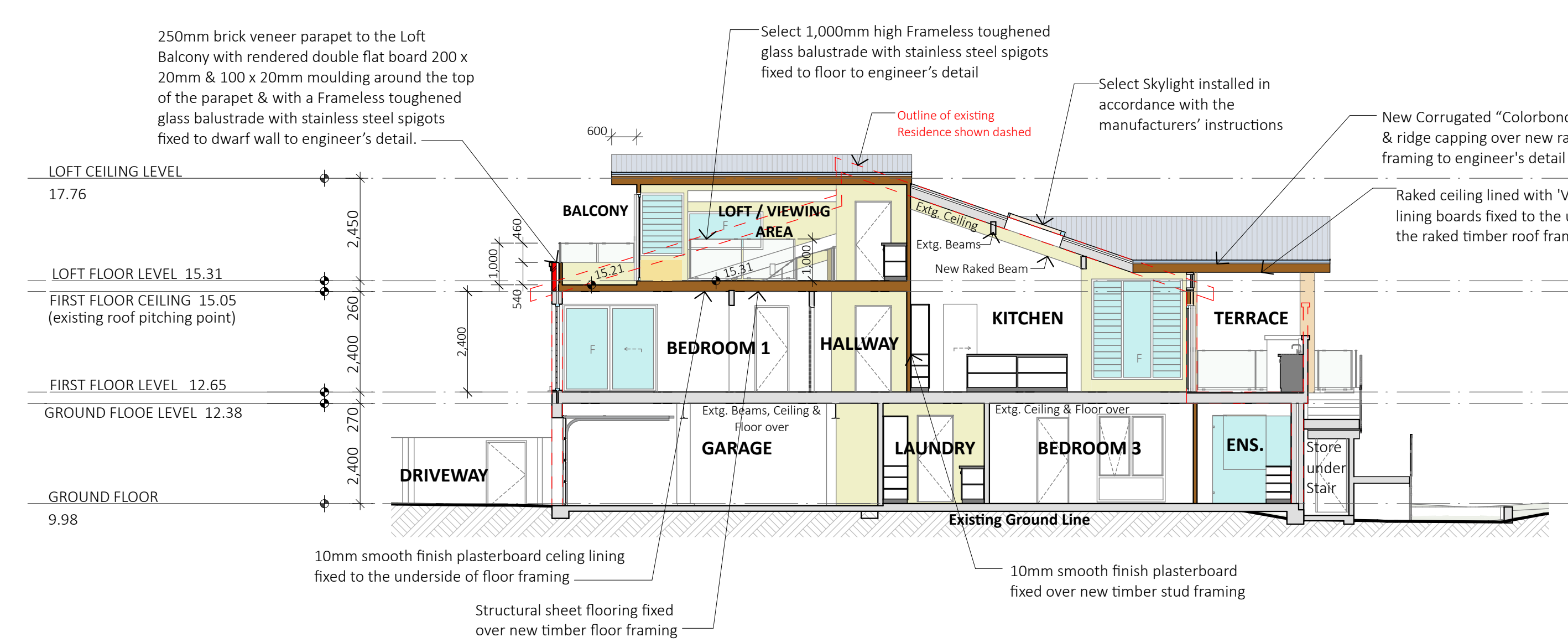
**LIFT NOTES:**

- 1) The Lift shall be selected by the Client.
  - 2) The Lift Carriage, doors and motor are to be supplied and fixed by the Clients contractor to the manufacturer's specification and detail.
  - 3) The Lift Shaft walls will be lined with 10mm smooth finish plasterboard fixed over timber stud framing.
- Note:** The Builder to liaise with Lift Supplier prior to construction of the Lift Shaft.
- Note:** Dimensions of Lift shaft are to be to the Lift manufacturer's specification

1 SECTION A - A 1:100



2 SECTION B - B 1:100



3 SECTION C - C 1:100

**STAIRCASE NOTES:**

Staircase is to consist of open stringers and open risers with single centre beam. The timber and balustrade type to be selected by the Client

**Note:** The Builder shall check measure on site prior to ordering the stair.

**Note:** The stair and Balustrade shall comply with the current versions of **National Construction Code (NCC / Building Code of Australia BCA)** and **all relevant Australian standards.**

**Note:** A Handrail is to be provided on one side of the stairs to comply with BCA 3.9.2.4

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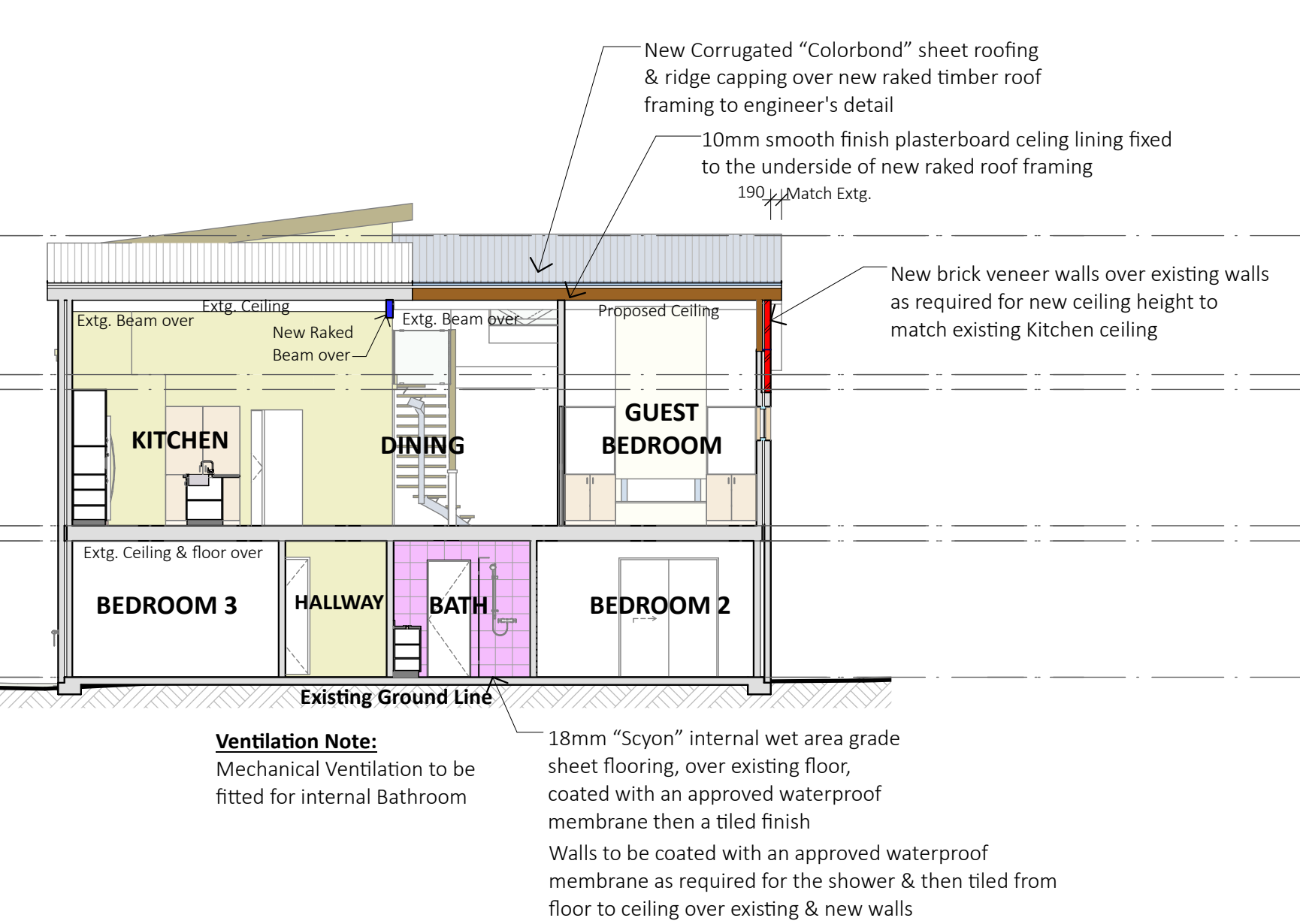
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**Note:** The stair and Balustrade shall comply with the current versions of **National Construction Code (NCC / Building Code of Australia BCA)** and **all relevant Australian standards.**

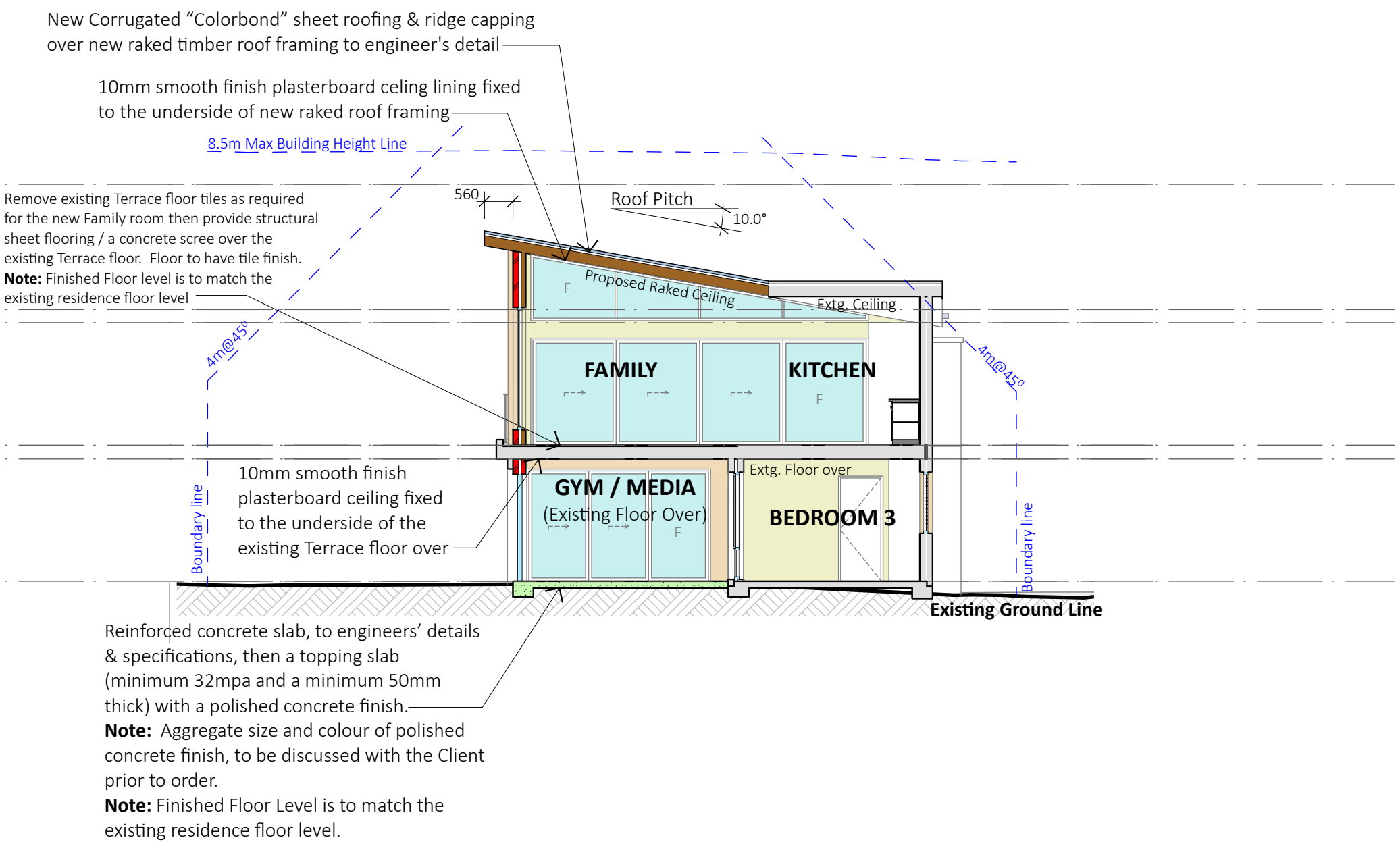
**Note:** A Handrail is to be provided on one side of the stairs to comply with BCA 3.9.2.4

CUSTOM ORB ACCENT 35 "Colorbond" sheet roof fixed over timber roof framing tp engineer's detail

4 SECTION D - D 1:100



5 SECTION E - E 1:100



6 SECTION F - F 1:100

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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**

A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

**WATER COMMITMENTS:**

New or altered fixture requirements  
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

**HOT WATER SYSTEM:**

Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate

**INSULATION REQUIREMENTS:**

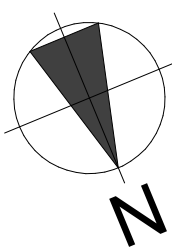
Construction / Additional insulation requirement (R-value)  
concrete slab on ground floor / nil  
floor above existing dwelling or building / nil  
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)  
external wall: framed (weatherboard, fibro, metal clad) (R0.40) / R1.30 (or R1.70 including construction)  
internal wall shared with garage: plasterboard (R0.36) / nil  
raked ceiling, pitched/skillion roof: framed / ceiling: R0.50 (up)  
roof: foil backed blanket (75 mm)  
roof colour: light colour (solar absorption <0.475)

**WINDOWS & GLAZED DOORS:**

All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate  
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door. You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance. There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed doors.

**SKYLIGHTS:**

All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.  
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate.



Project North



LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

Client

**MR GOMES & MS DACOSTA**

Project Name

**ALTERATIONS & ADDITIONS**

**LOT 3 DP 152422**

**4 LOFTUS STREET**

**NARRABEEN**

**NSW 2101**

Drawing Title:

**SECTIONS**

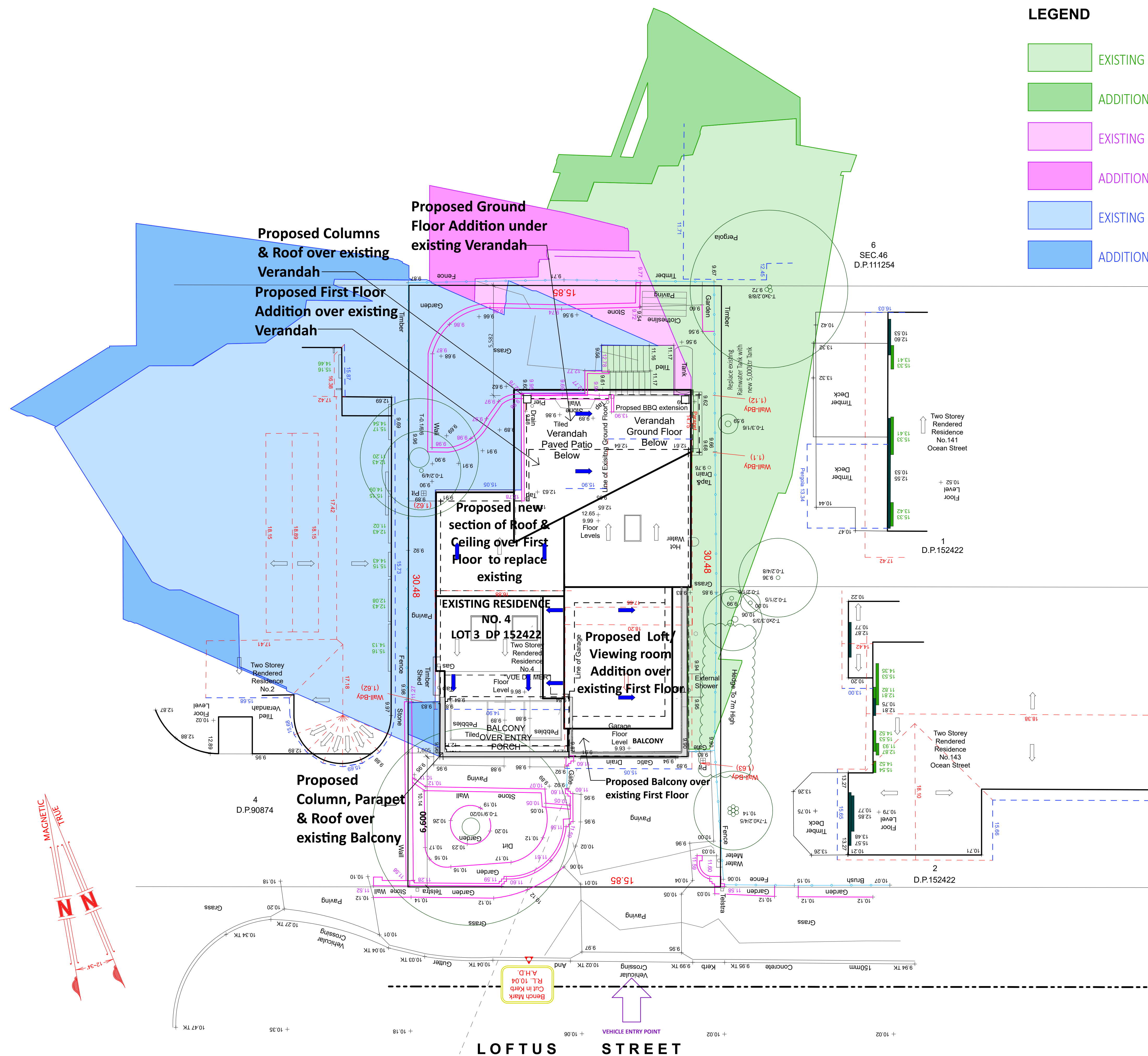
Scale : 1:100 (A1) Date : OCTOBER 2022

Council : NORTHERN BEACHES Checked By : J. ADAMS

Project No : 2037 Drawing # : DA05

ANNEXURE "A" Plot Date: 28/04/2023





## LEGEND

## EXISTING SHADOWS- 9AM 21 JUNE

## ADDITIONAL SHADOWS- 9AM 21 JUNE

EXISTING SHADOWS- 12PM 21 JUNE

## ADDITIONAL SHADOWS- 12PM 21 JUNE

EXISTING SHADOWS- 3PM 21 JUNE

## ADDITIONAL SHADOWS- 3PM 21 JUNE

NOTES:

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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**

A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

**WATER COMMITMENTS:**

Showerheads must have a flow rate no greater than 9 litres per minute or a 3

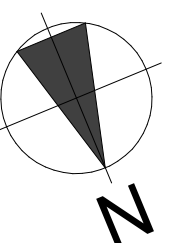
star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

**HOT WATER SYSTEM:**  
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate

**INSULATION REQUIREMENTS:**  
*Construction / Additional insulation requirement (R-value)*  
 concrete slab on ground floor: / nil  
 floor above existing dwelling or building / nil  
 external wall: cavity brick (R0.67) / nil  
 external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)  
 external wall: framed (weatherboard, fibro, metal clad) (R0.40) / R1.30 (or R1.70 including construction)  
 internal wall shared with garage: plasterboard (R0.36) / nil  
 raked ceiling, pitched/skillion roof: framed / ceiling: R0.50 (up)  
 roof: foil backed blanket (75 mm)  
 roof colour: light colour (solar absorption <0.475)

**WINDOWS & GLAZED DOORS:**

All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basic certificate. You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door. You have selected one or more of high performance windows or glazed doors (i.e. improved frames, pyrolytic low-glass or clear/air gap/clear glazing, or the toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance. There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed doors.



Project North



LIFESTYLE  
HOME DESIGNS

LEVEL 1, 10/14 NARABANG WAY - BELROSE  
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Client

**MR GOMES & MS DACOSTA**

Project Name

## ALTERATIONS & ADDITIONS

LOT 3 DP 152422

4 LOFTUS STREET

NARRABEEN

NSW 2101

Drawing Title:

### SHADOW DIAGRAM

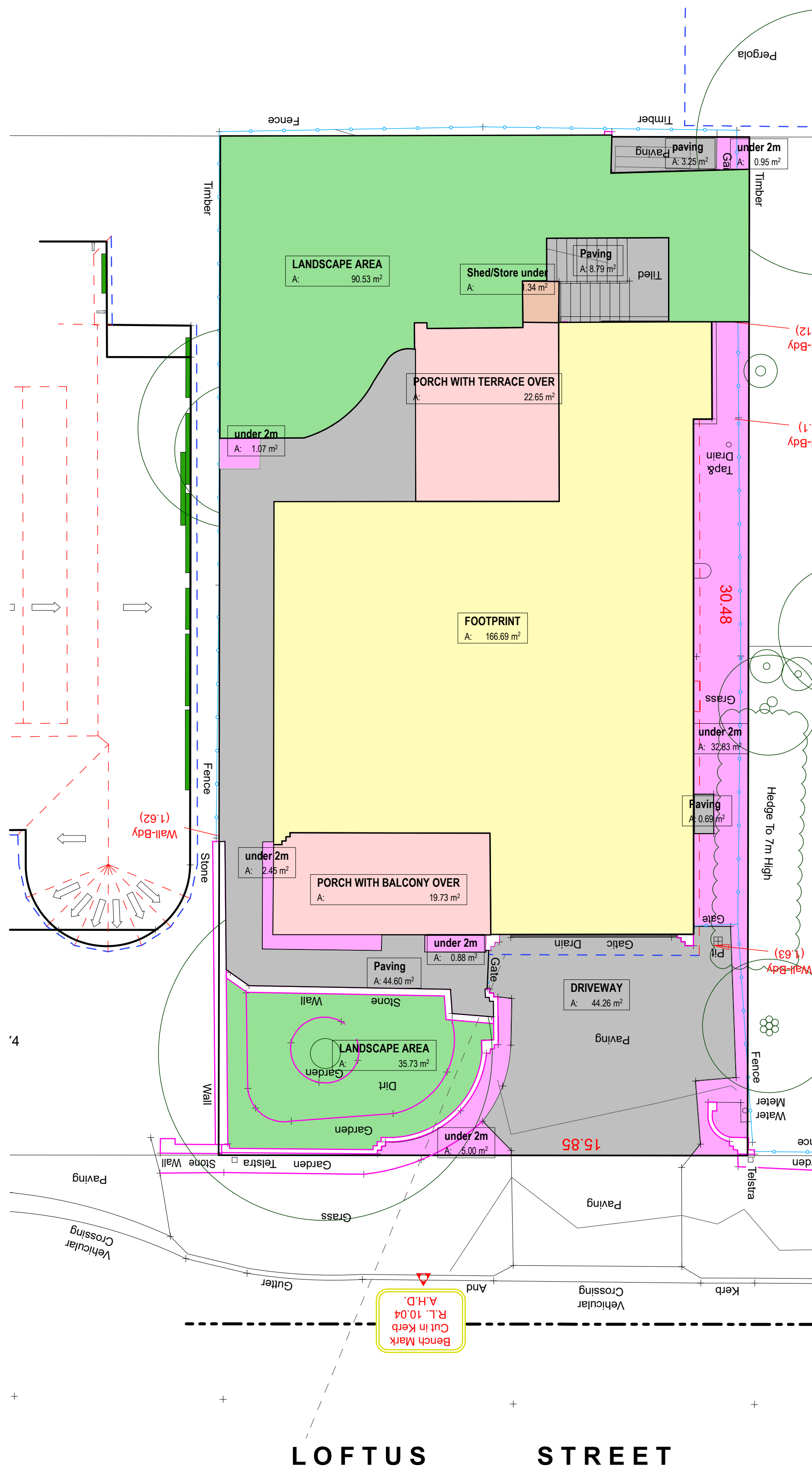
Scale: 1:100 (A1)	Date: OCTOBER 2022
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Council: NORTHERN BEACHES	Checked By: J. ADAMS
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Project No :	Drawing # :
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Project No. **2037** Drawing No. **DA06**





#### SITE RATIO'S - EXISTING:

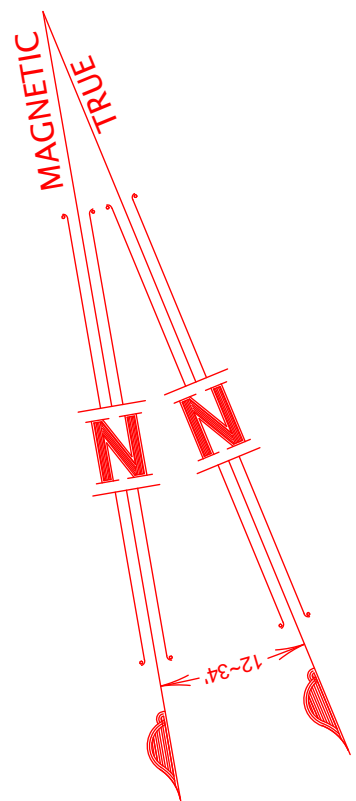
SITE AREA	480.6m <sup>2</sup>
BUILDING FOOTPRINT (Including GARAGE)	167m <sup>2</sup>
PORCH WITH BALCONY OVER	20m <sup>2</sup>
PATIO WITH TERRACE OVER	23m <sup>2</sup>
SHED	1m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	101m <sup>2</sup>
AREAS UNDER 2m WIDE	43m <sup>2</sup>
SUM TOTAL	355m <sup>2</sup>
EXISTING LANDSCAPED AREA	125.6m <sup>2</sup>
26%	

(Landscape Open Space & Busland setting requirements - 40%)

#### SITE RATIO'S - PROPOSED:

SITE AREA	480.6m <sup>2</sup>
BUILDING FOOTPRINT (Including GARAGE)	188.5m <sup>2</sup>
PORCH WITH BALCONY OVER	20m <sup>2</sup>
SHED	1m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	87m <sup>2</sup>
AREAS UNDER 2m WIDE	42m <sup>2</sup>
SUM TOTAL	338.5m <sup>2</sup>
PROPOSED LANDSCAPED AREA	142.1m <sup>2</sup>
29.5%	

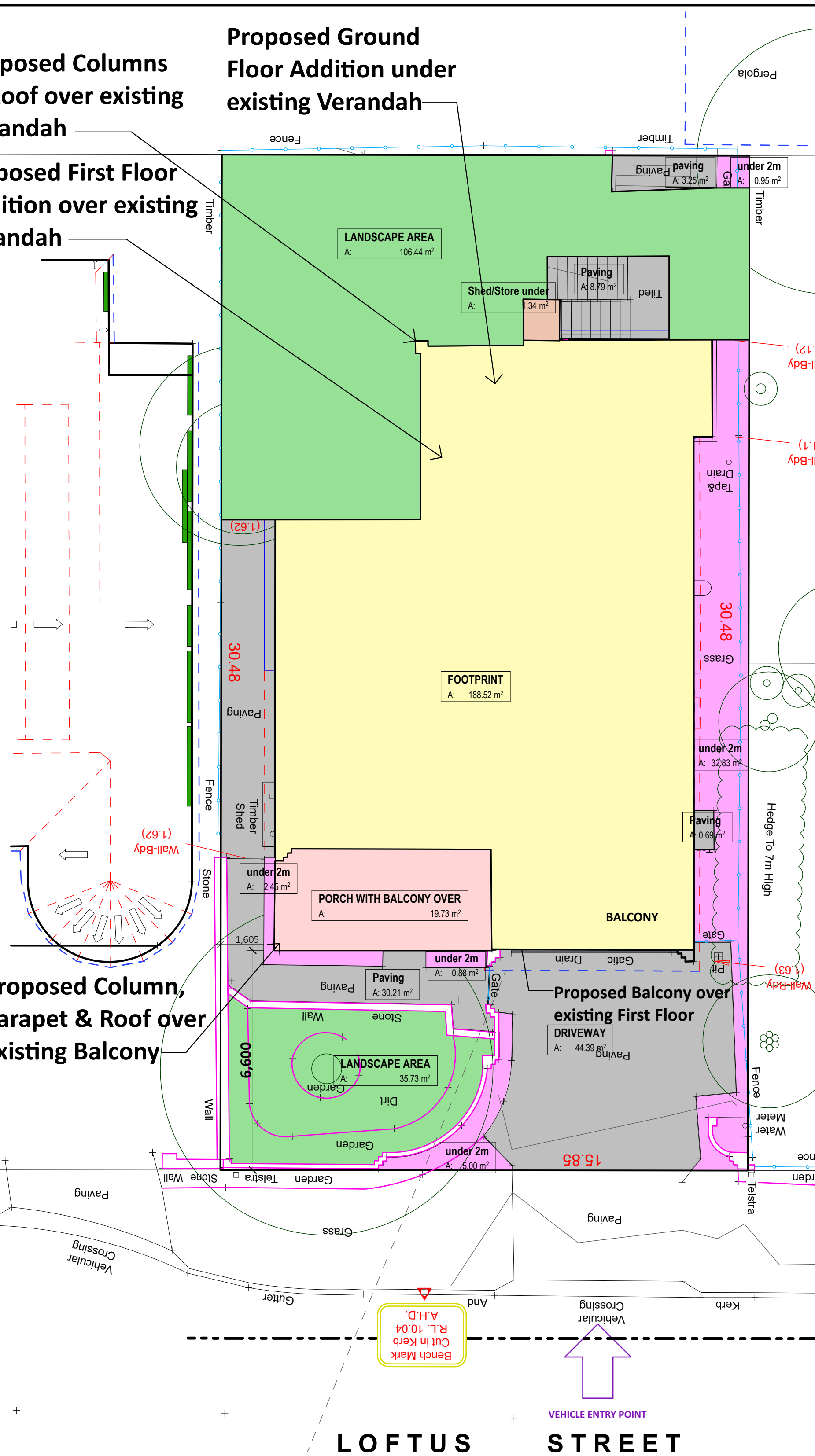
(Landscape Open Space & Busland setting requirements- 40%)



1 LANDSCAPE AREA CALCULATION PLAN - EXISTING 1:100

#### Proposed Columns & Roof over existing Verandah

#### Proposed First Floor Addition over existing Verandah



#### LANDSCAPE PLAN NOTES:

The proposal has been designed to ensure that the objectives of Part 7.6 of the Northern Beaches DCP Biodiversity protection are met.

The proposed Development will be over existing Hardstand & Dwelling.

It is proposed to remove 14m<sup>2</sup> of existing paving and to extend the Lawn/Garden area (Area Shown Hatched) to increase the Landscape Open Space & Busland setting requirements from the existing 26% to 29.5%.

The proposal does not require removal of any trees or shrubs.

All existing vegetation and all existng trees are to remain on site.

The proposal is unlikely to impact the ecological processes necessary for the continued existence of flora and fauna nor is it likely to impact the recovery of native flora and fauna or their habitats and we believe it will not impact on flora and fauna.

There are no changes to existing footings & all new footings required for the proposed Development are **not within the critical root zone** of any trees on the site or of any trees on any neighbouring site or Council land.

2 LANDSCAPE AREA CALCULATION PLAN - PROPOSED 1:100

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##### HOT WATER SYSTEM:

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##### INSULATION REQUIREMENTS:

Construction / Additional insulation requirement (R-value)

concrete slab on ground floor. / nil

floor above existing dwelling or building. / nil

external wall: cavity brick (R0.67) / nil

external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)

external wall: framed (weatherboard, fibro, metal clad) (R0.40) / R1.30 (or R1.70 including construction)

internal wall shared with garage: plasterboard (R0.36) / nil

raked ceiling, pitched/skillion roof: framed / ceiling: R0.50 (up)

roof: foil backed blanket (75 mm)

roof colour: light colour (solar absorption <0.475)

##### WINDOWS & GLAZED DOORS:

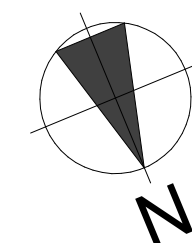
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Client

**MR GOMES & MS DACOSTA**

Project Name

**ALTERATIONS & ADDITIONS**

**LOT 3 DP 152422**

**4 LOFTUS STREET**

**NARRABEEN NSW 2101**

Drawing Title: **EXISTING & PROPOSED**

#### LANDSCAPE AREA CALCULATIONS

Scale : 1:100 (A1) Date : APRIL 2023

Council : NORTHERN BEACHES Checked By : J. ADAMS

Project No : Drawing # :

**2037**

**DA07**

**ANNEXURE "A"** Plot Date: 28/04/2023



Lifestyle Home Designs (Aus.)  
Director: Jeremy Adams  
Tel: (02) 91446303  
ABN: 36 113 128 555  
[www.lifestylehomedesigns.com.au](http://www.lifestylehomedesigns.com.au)

## Schedule of Colours & Materials for Property at:

4 Loftus Street, Narrabeen 2101

Lot 3, DP 152422

**Roof** – Remove all existing roof tiles and ridge capping & fit new Colorbond sheet roofing over all existing & new roof framing.

Colour to be Ultra Surfmist – SA 0.35  
(Basix Classification Medium – 0.35 – 0.55)



**Brickwork** - All new brickwork is to be rendered with a 10mm smooth finish cement render to match the existing residence.

Colour to match the existing residence. (See Photograph below)

**Timber Framing:** The new timber frame walls will be clad with smooth 7.5mm *Harditex* with flush joints & a Smooth finish *Granosite or Hardies texture coating* to match existing cement render finish.

Colour to match the existing residence. (See Photograph below)

**Windows & Doors** – Upvc Framing with Double Glazing

Colour to be White.

**Fascia** - Dressed and primed treated pine fascia boards.

Colour to match the existing residence (See Photograph below)

**Gutters & Down pipes** - to match the existing residence.

Colour to match the existing residence (See Photograph below)





**Existing Residence as viewed from Loftus Road**

**Note:** Colours of new work to match the existing residence.



**Existing residence - Note:** Colours of new work to match the existing residence.