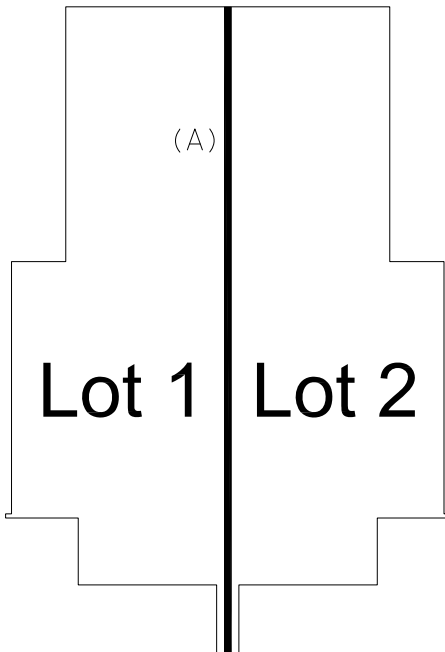
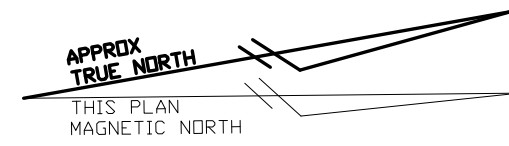


LOT 42
DP 12499

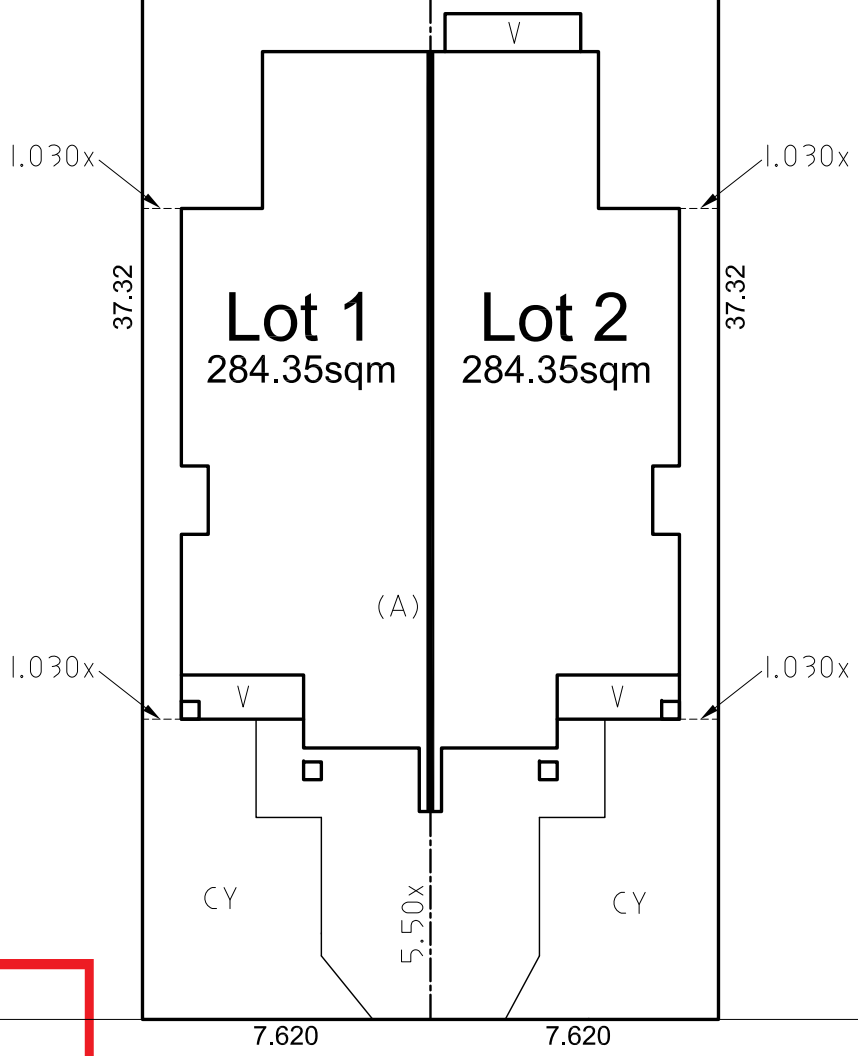
LOT 30
DP 17451
7.620

LOT 31
DP 17451
7.620

- (A) COMMON WALL BETWEEN LOTS 1 & 2
IS COMMON PROPERTY
- CY DEVOTES COURTYARD
- V DENOTES VERANDAH
- X DENOTES PROLONGATION OF FACE OF WALL



First Floor Plan



LOT 18
SECTION 1
DP 5427

PRELIMINARY PLAN

THIS PLAN CANNOT BE USED
FOR LODGEMENT WITH THE LPI

NOTE :
ALL DIMENSIONS & LAND AREAS DEPICTED IN THIS SUBDIVISION PLAN
TO BE CHECKED & VERIFIED BY REGISTERED SURVEYOR WITH
LODGEMENT OF LINEN PLAN TO LAND TITLES OFFICE.

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

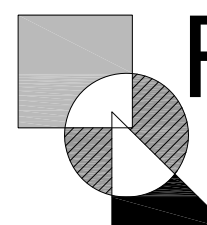
DA2020/0618

HOPE STREET

REVISION	DATE	DRAWN BY	COMMENTS

Copyright

Copyright in and to these plans remains
at all times with Residential Logistics P/L
and these plans shall not be used or be
permitted to be used for any other purpose
other than the erection of the home on
the subject site.

 **RESIDENTIAL
LOGISTICS P/L**

Suite 1, Level 1
208 -210 Northumberland St,
Liverpool NSW 2170

Email: mail@rl.net.au Phone: 9602 7700 Fax: 9734 6633

DRAFT STRATA PLAN

CLIENT: *Mr & Mrs Scaturchio*
SITE ADDRESS: *No.27 (Lot 17, Sec 1 in DP 5427) Hope Street,*
SUBURB: *Seaforth* SCALE: *1 : 200*
COUNCIL: *Northern Beaches* JOB No.: *RL 5339*
REVISION: *A* DATE: *14.05.2020* SHEET: *1 of 1*

LOT 42
DP 12499

LOT 30
DP 17451

LOT 31
DP 17451

APPROX
TRUE NORTH
THIS PLAN
MAGNETIC NORTH

Private Open
Space
102.47sqm

Private Open
Space
102.47sqm

No. 25
1 & 2 STOREY
CLAD & BRICK DUPLEX

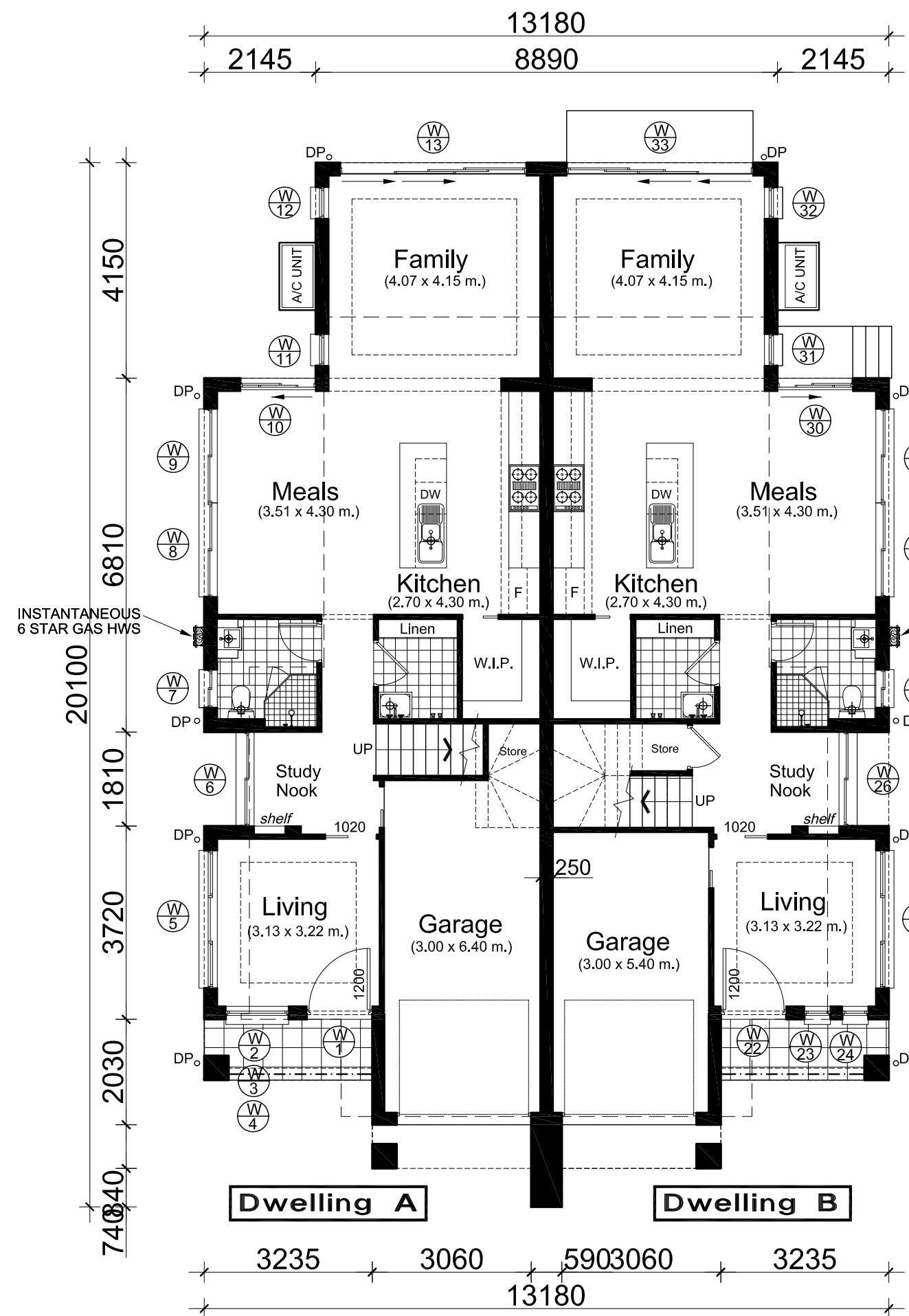
No. 29
1 & 2 STOREY
CLAD DWELLING

SP 92397

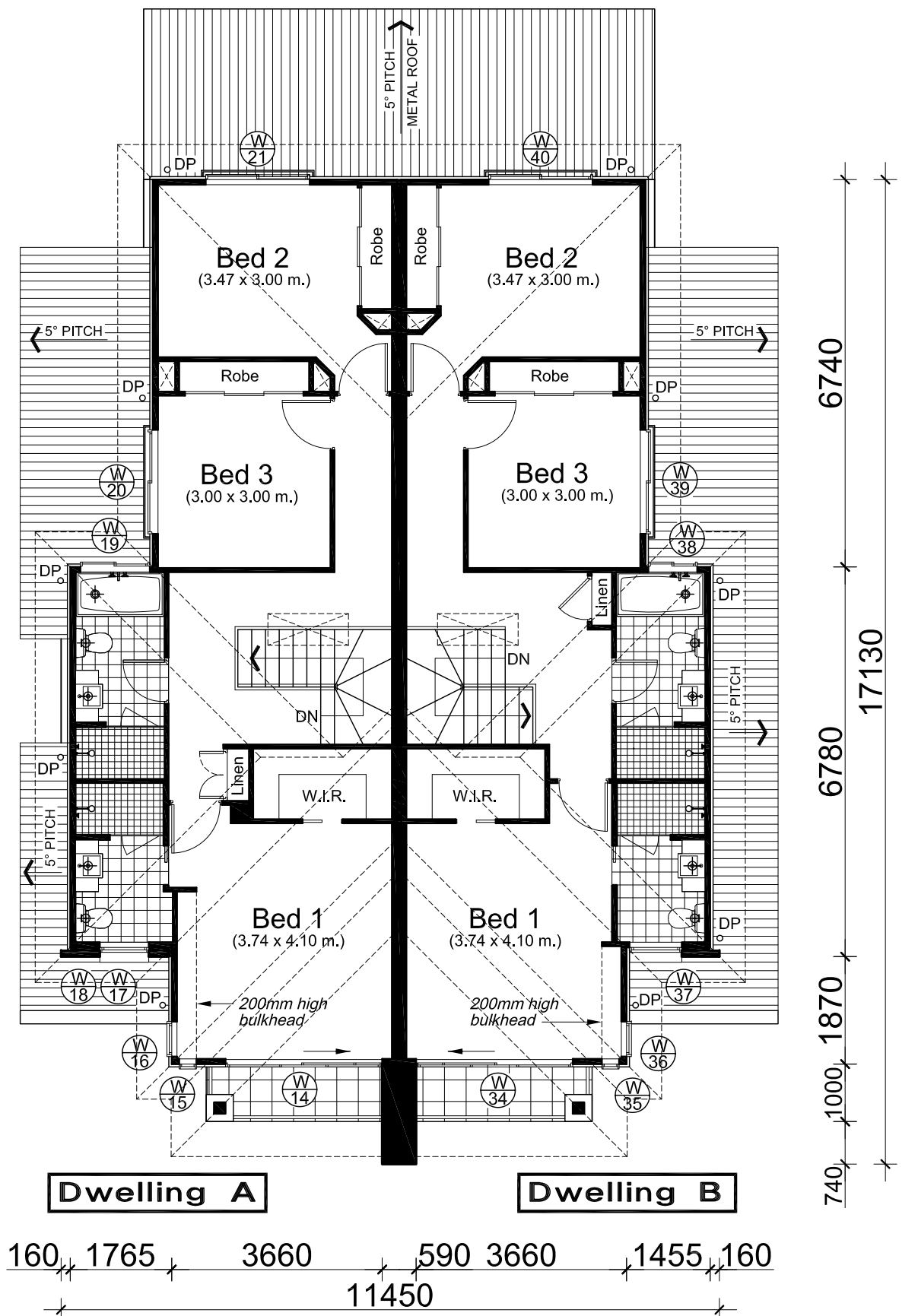
LOT 18
SECTION 1
DP 5427

Site Plan

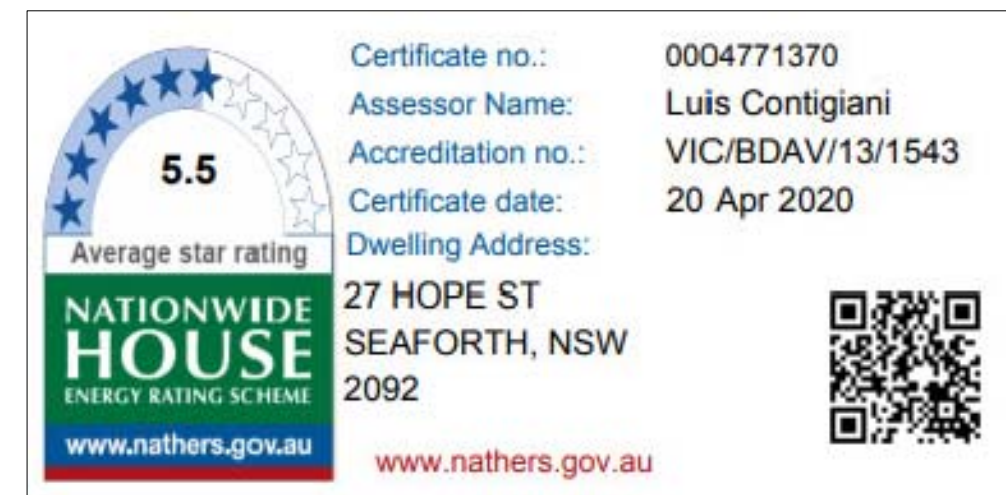
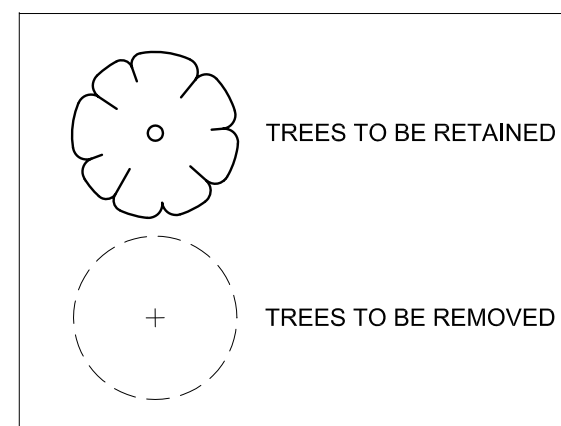
HOPE STREET



Ground Floor Plan



First Floor Plan



STRATA TITLE

Zoned: R1 General Residential

Performance Criteria

- Site Area**
Total area of site = 568.700 sq.m (by calculation)
- Residential Density**
Residential Density Area = D4
D4 = 300sqm of site area per dwelling
Proposed 2 dwellings per 284.35sqm
- Gross Floor Area**
Calculated excluding first floor stair voids and garages:
Dwelling A = 140.210 sq.m
Dwelling B = 138.590 sq.m
Total Building Area = 278.800 sq.m
- Floor Space Ratio**
Maximum allowable = 0.50 : 1
or 284.350 sq.m of site
FSR provided = 0.49 : 1
or 278.800 sq.m of site
- Carparking Requirement**
Required 2 space per dwelling
Required 2
Provided 2
- Principal Private Open Space**
Minimum 18sqm / dwelling
Dwelling A 102.470 sq.m
Dwelling B 102.470 sq.m
- Total Open Space**
Required open space for Area OS3 (min dlm 3.0m)
Minimum 55% of site or 312.785 sq.m
Provided 51.1% of site or 290.520 sq.m
- Landscaped Area**
Required soft open space for Area OS3
Minimum 35% of Open Space Area 312.785 sq.m
35% of 312.785 sq.m = 109.475 sq.m
Provided 269.00 sqm or 86% of Open Space Area

WINDOW SCHEDULE				
No	TYPE	HEIGHT	WIDTH	GLAZING/REMARK
1	AW0612	2390	1260	ENTRY FRAME
2	AW0612	600	1210	AWNING
3	AW0612	600	1210	AWNING
4	AW0612	600	1210	AWNING
5	AW0627	600	2650	AWNING
6	SW1218	1200	1810	SLIDING
7	SW0907	857	730	SLIDING / OBSCURE GLASS
8	SW1518	1457	1810	SLIDING
9	SW1518	1457	1810	SLIDING
10	DS02115	2100	1450	ALUM SLIDING DOOR
11	AW1806	1800	610	AWNING
12	AW1806	1800	610	AWNING
13	DAD2136-3	2100	3588	ALFRESCO (STACKER) DOOR
14	DS02127-3	2100	2725	ALUM SLIDING DOOR
15	FW1505	1457	500	FIXED
16	FW1506	1457	610	FIXED
17	AW0609	600	850	AWNING
18	AW0609	600	850	AWNING
19	SW1212	1200	1210	SLIDING / OBSCURE GLASS
20	SW1218	1200	1810	SLIDING
21	SW1218	1200	1810	SLIDING
22	AW2105	2057	500	AWNING
23	AW2105	2057	500	AWNING
24	AW2105	2057	500	AWNING
25	AW0627	600	2650	AWNING
26	SW1218	1200	1810	SLIDING
27	SW0907	857	730	SLIDING / OBSCURE GLASS
28	SW1518	1457	1810	SLIDING
29	SW1518	1457	1810	SLIDING
30	DS02115	2100	1450	ALUM SLIDING DOOR
31	AW1806	1800	610	AWNING
32	AW1806	1800	610	AWNING
33	DAD2136-3	2100	3588	ALFRESCO (STACKER) DOOR
34	DS02127-3	2100	2725	ALUM SLIDING DOOR
35	FW1505	1457	500	FIXED
36	FW1506	1457	610	FIXED
37	AW1209	1200	910	AWNING
38	SW1209	1200	850	SLIDING / OBSCURE GLASS
39	SW1218	1200	1810	SLIDING
40	SW1218	1200	1810	SLIDING

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0618

REVISION	DATE	DRAWN BY	COMMENTS
B	13.08.20	DM	External privacy screens added & rainwater tanks relocated
C	28.08.20	DM	Width of Dwelling B first floor reduced to achieve compliant side setback

Copyright

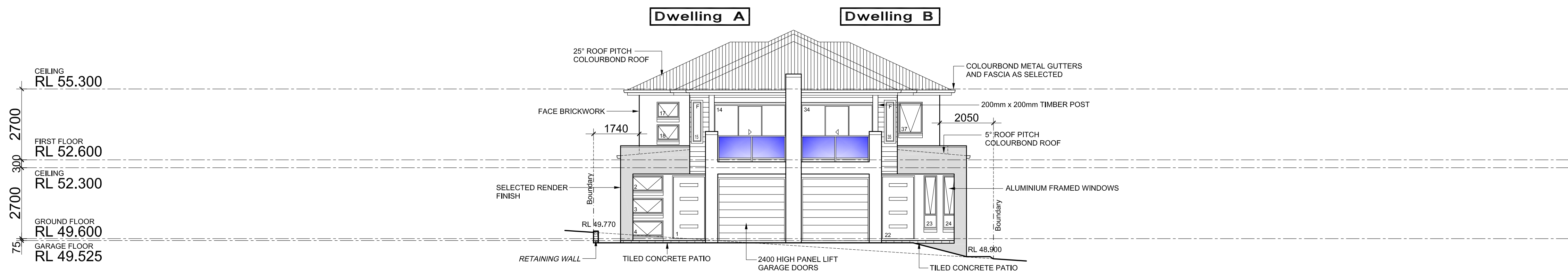
Copyright in and to these plans remains at all times with Residential Logistics P/L and these plans shall not be used or be permitted to be used for any other purpose other than the erection of the home on the subject site.

NOTES

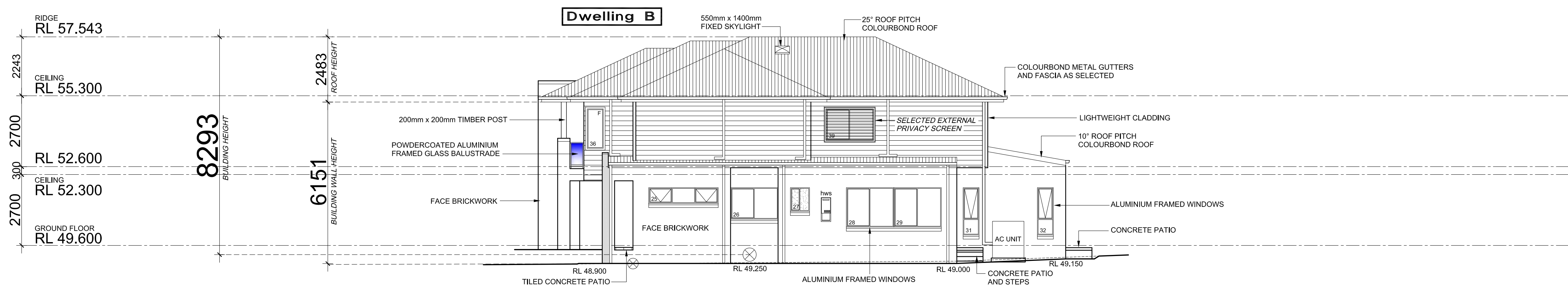
- ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO WORK COMMENCING
- FIGURED DIMENSIONS TO BE USED - DO NOT SCALE PLANS
- REPORT ALL DISCREPANCIES TO RESIDENTIAL LOGISTICS
- BUILDER TO CHECK LOCATION OF SERVICES PRIOR TO COMMENCING SITE WORKS

RESIDENTIAL LOGISTICS P/L
Suite 1, Level 1
208-210 Northumberland St,
Liverpool NSW 2170
Email: mail@r1.net.au Phone: 9602 7700 Fax: 9734 6633

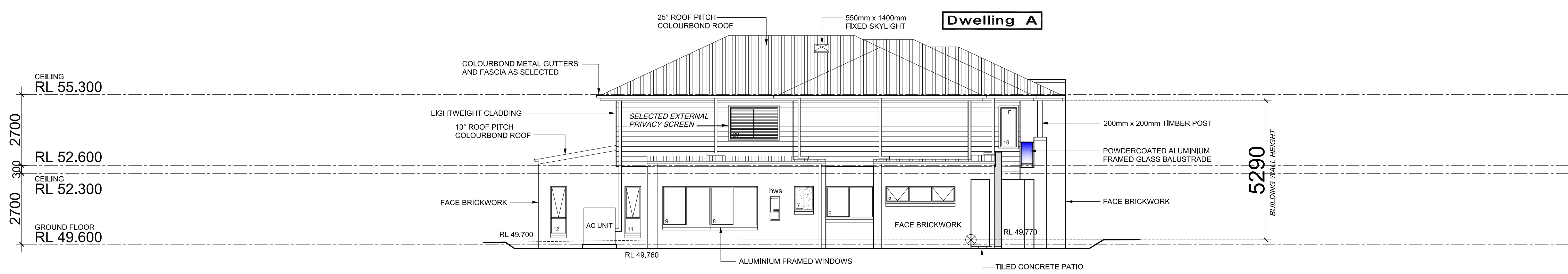
Site Plan, Floor Plans & Calculations
PROPOSED ATTACHED DUAL OCCUPANCY
CLIENT: Mr & Mrs Scaturchio
SITE ADDRESS: No.27 (Lot 17, Sec 1 in DP 5427) Hope Street,
SUBURB: Seaforth SCALE: 1 : 100
COUNCIL: Northern Beaches JOB No.: RL 5339
REVISION: C DATE: 28.08.2020 SHEET: 1 of 2



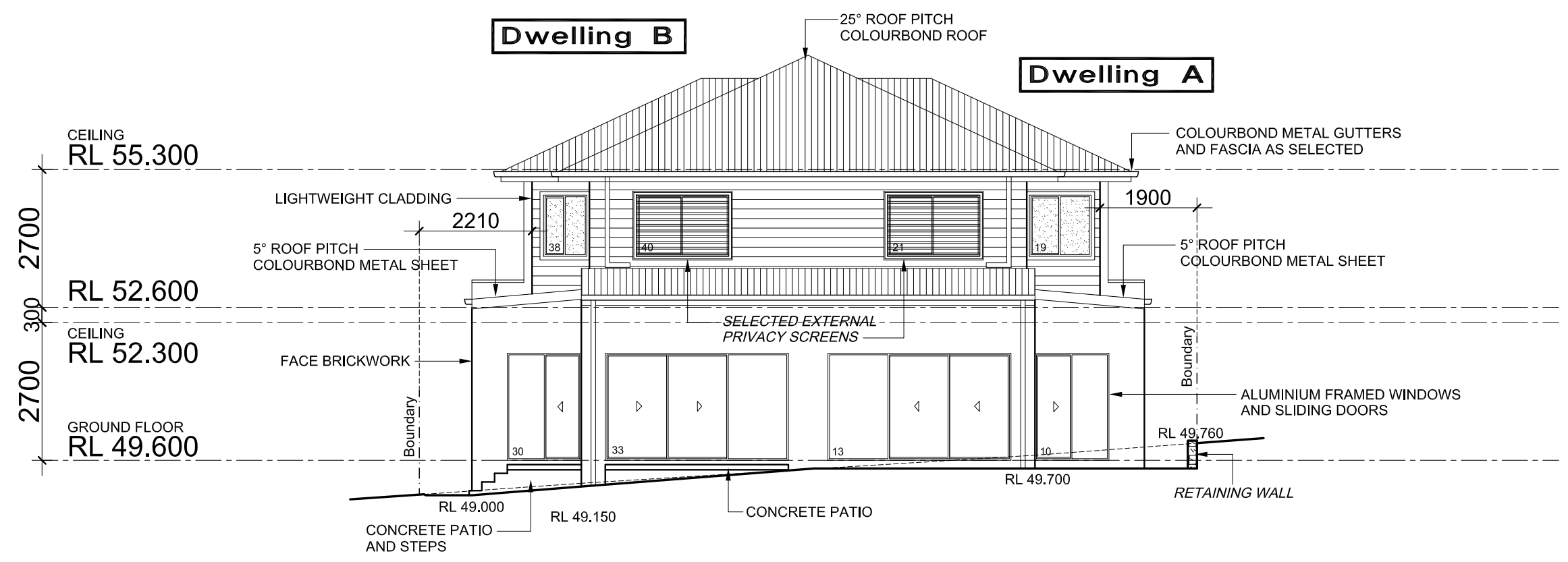
Hope Street (Eastern) Elevation



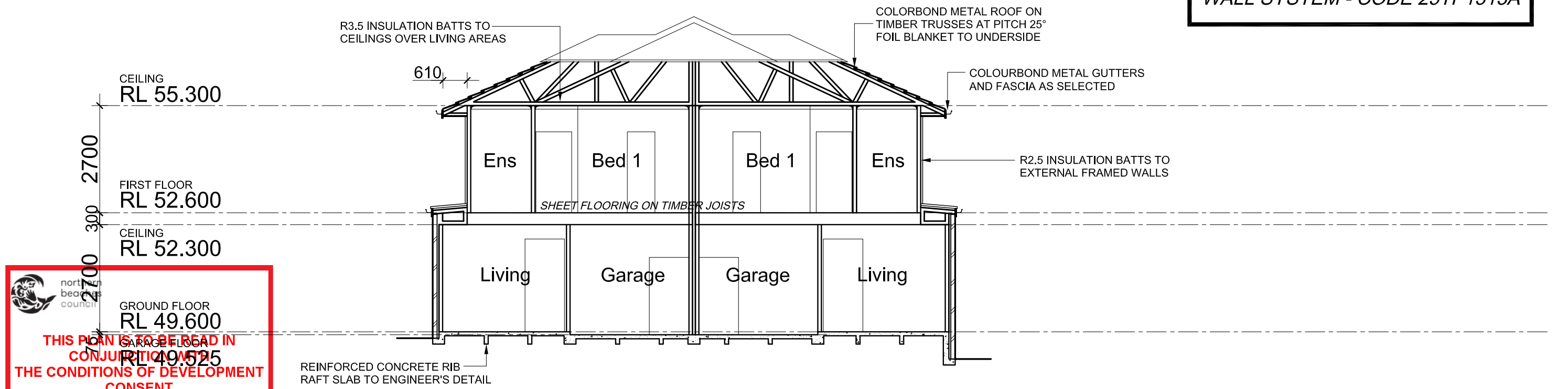
Right (Northern) Elevation



Left (Southern) Elevation



Rear (Western) Elevation



Sectional Elevation

NOTE: BASIX CERTIFICATE MUST TAKE PRECEDENCE OVER THIS TEMPLATE

BASIX'S REQUIREMENT	
ADDRESS:	No.27 HOPE STREET, SEAFORTH
STORMWATER	
PROPOSED SIZE OF RAINWATER TANK INSTALLED ON SITE -	Minimum 1500 Litres per dwelling
HOW MUCH RAIN RUNOFF FROM ROOF MUST TANK COLLECT -	At least 117sqm per dwelling
RAINWATER TANK MUST SERVICE -	All toilets, cold water washing machine taps & at least one outdoor tap per dwelling
WATER	
SHOWERHEAD RATING -	3 Star (> 7.5 but <= 9 L/min)
TOILET FLUSHING SYSTEM RATING -	4 Star
KITCHEN TAP RATING -	4 Star
BATHROOM TAP RATING -	4 Star
THERMAL COMFORT / SIMULATION METHOD	
PLEASE SEE ABSA NAtHERS SPECIFICATION TABLE ,CERTIFICATION NUMBER -	0004771370
ENERGY	
ACTIVE COOLING FOR LIVING ROOMS -	3 PHASE - EER 3.0 - 3.5 / ZONED DAY/NIGHT/LIV/BED
ACTIVE COOLING FOR BED ROOMS -	3 PHASE - EER 3.0 - 3.5 / ZONED DAY/NIGHT/LIV/BED
ACTIVE HEATING FOR LIVING ROOMS -	3 PHASE - EER 3.0 - 3.5 / ZONED DAY/NIGHT/LIV/BED
ACTIVE HEATING FOR BED ROOMS -	3 PHASE - EER 3.0 - 3.5 / ZONED DAY/NIGHT/LIV/BED
WHAT TYPE OF HOT WATER SYSTEM MUST BE INSTALLED -	6 STAR GAS INSTANTANEOUS (both dwellings)
DOES THE KITCHEN HAVE NATURAL LIGHTING ?	NO (both dwellings)
DO BATHROOMS HAVE NATURAL LIGHTING ?	YES - 3 off to both dwellings
VENTILATION DETAILS?	At least 1 Bathroom per dwelling: Ducted exhaust fan; Operation control: manual switch on / off Laundries: Ducted exhaust fan; Operation control: Interlocked to light Kitchens: Ducted rangehood; Operation control: manual switch on / off
WHAT TYPE OF COOKTOP AND OVEN SHALL BE INSTALLED?	Gas Cooktop & Electric Oven (both dwellings)
IS THERE A OUTDOOR CLOTHES DRYING AREA ?	YES + INDOOR or SHELTERED CLOTHESLINE (both dwellings)

TO COMPLY WITH BASIX CERTIFICATE NUMBER : 1095800M
REFER TO BASIX CERTIFICATE FOR ARTIFICIAL LIGHTING REQUIREMENTS



Certificate no.: 0004771370

Assessor Name: Luis Contigiani

Accreditation no.: VIC/BDAV/13/1543

Certificate date: 20 Apr 2020

Dwelling Address: 27 HOPE ST SEAFORTH, NSW 2092

www.nathers.gov.au



NOTE:
BORAL-SHAFT LINER PARTY
WALL SYSTEM - CODE 25TP1313A

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0618

REVISION	DATE	DRAWN BY	COMMENTS	Copyright	NOTES	RESIDENTIAL LOGISTICS P/L	Elevations, Section & BASIX Commitments
B	13.08.20	DM	External privacy screens added & rainwater tanks relocated	Copyright in and to these plans remains at all times with Residential Logistics P/L and these plans shall not be used or be permitted to be used for any other purpose other than the erection of the home on the subject site.	1. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO WORK COMMENCING 2. FIGURED DIMENSIONS TO BE USED - DO NOT SCALE PLANS 3. REPORT ALL DISCREPANCIES TO RESIDENTIAL LOGISTICS 4. BUILDER TO CHECK LOCATION OF SERVICES PRIOR TO COMMENCING SITE WORKS	Suite 1, Level 1 208 -210 Northumberland St, Liverpool NSW 2170 Email: mail@rl.net.au Phone: 9602 7700 Fax: 9734 6633	PROPOSED ATTACHED DUAL OCCUPANCY
C	28.08.20	DM	Width of Dwelling B first floor reduced to achieve compliant side setback				CLIENT: Mr & Mrs Scaturchio SITE ADDRESS: No.27 (Lot 17, Sec 1 in DP 5427) Hope Street, SUBURB: Seaforth COUNCIL: Northern Beaches REVISION: C DATE: 28.08.2020
							SCALE: 1 : 100 JOB No.: RL 5339 SHEET: 2 of 2