GENERAL NOTES

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- · WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION. • REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- . SOLIARE SET CORNICE TO CEILING THROUGHOUT
- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2660
 - UNLESS NOTED OTHERWISE
- FF CEILING HEIGHT = 2510
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB)
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
- = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
- INTERNAL = 90mm STUD AND 120mm STUD WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2025-05

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

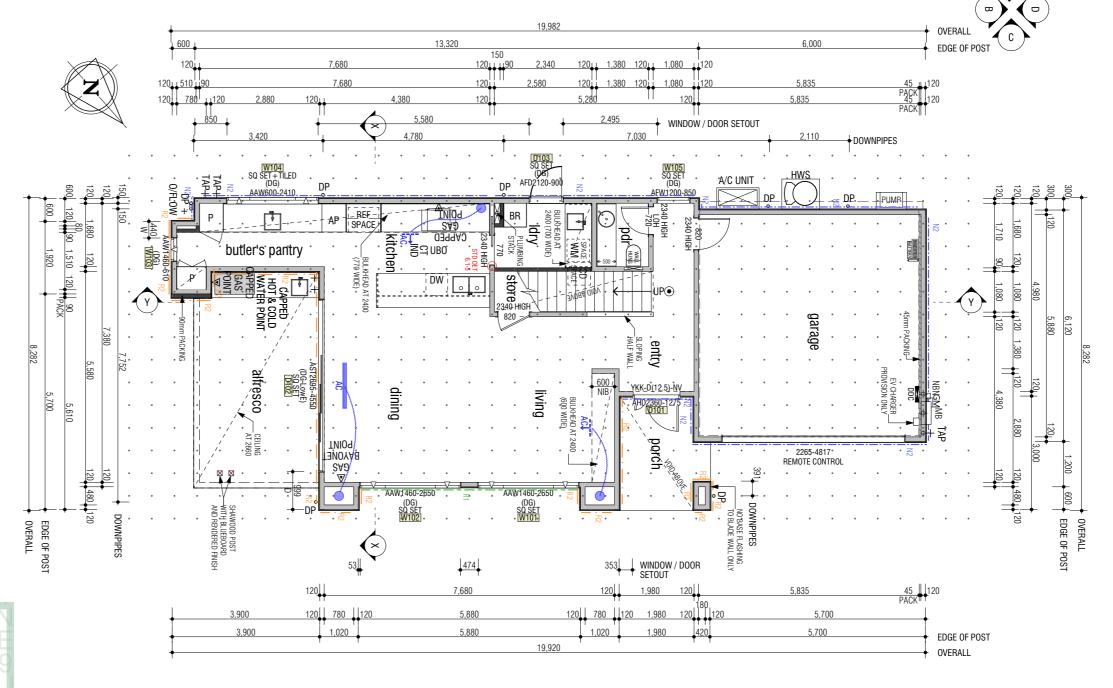
CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS

LEGEND

____.<u>N2</u> .____ - FEATURE FUGE

___R1 ___ - RENDERED

_ . <u>R2</u> . __ - RENDER 2



Certificate No. #HR-WI343H-01 Scan QR code or follow website link for rating details.

Lot 19, Pheasant Place, Warriewood, NSW, 2102

http://www.hero-software.com.au/pdf/HR-WI343H-01



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} \overline{RA} \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} \overline{R} \\ A \end{bmatrix}$ - RETURN AIR CEILING GRILL (Ŷ) [¥] - CEILING VENTS ☑ - DENOTES SHAWOOD POST

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

 SMOKE ALARM (DIRECT WIRED) - 120mm WALL - 90mm WALL

- WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURE (DG-LowF) : DOUBLE GLAZED WITH LOWF
- (DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOI D WINDOW

ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

		REV	AMENDMENT	BY	DA
Floor	Arose	01	CONCEPT PLANS	NM	05.03.20
	95.12	02	AMENDMENTS AS PER DESIGN REQUEST - EMAIL DATED 26.06	NM	27.06.20
	37.49	╙			
20 Ground flr.		┶			
	212.95	Ή			
20 Alfresco	18.48	Ή			
20 Pier	2.98	\vdash			
20 Porch	6.60	\vdash			
20 Void	3.92	${}$			
Total	244.93				

LOT 19, PHEASANT PLACE WARRIEWOOD 2102

GROUND FLOOR PLAN

Sekisui House Services (NSW) Pty Limited

ABN: 42119550220. BL: 226045C.

MODEL TL08 FACADE STOREY ACCOM GARAGE - RH SHEET DA-1 CONTRACT No: NM105721 PAGE: 1 MASTER DESIGN MASTER CHECKED SCALE:

ABN: 42119550220. BL: 226045C.

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

GENERAL NOTES

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- · WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION. • REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- . SOLIARE SET CORNICE TO CEILING THROUGHOUT
- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2660
- FF CEILING HEIGHT = 2510
 - UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB) - FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
- = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
- INTERNAL = 90mm STUD AND 120mm STUD WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2025-05

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

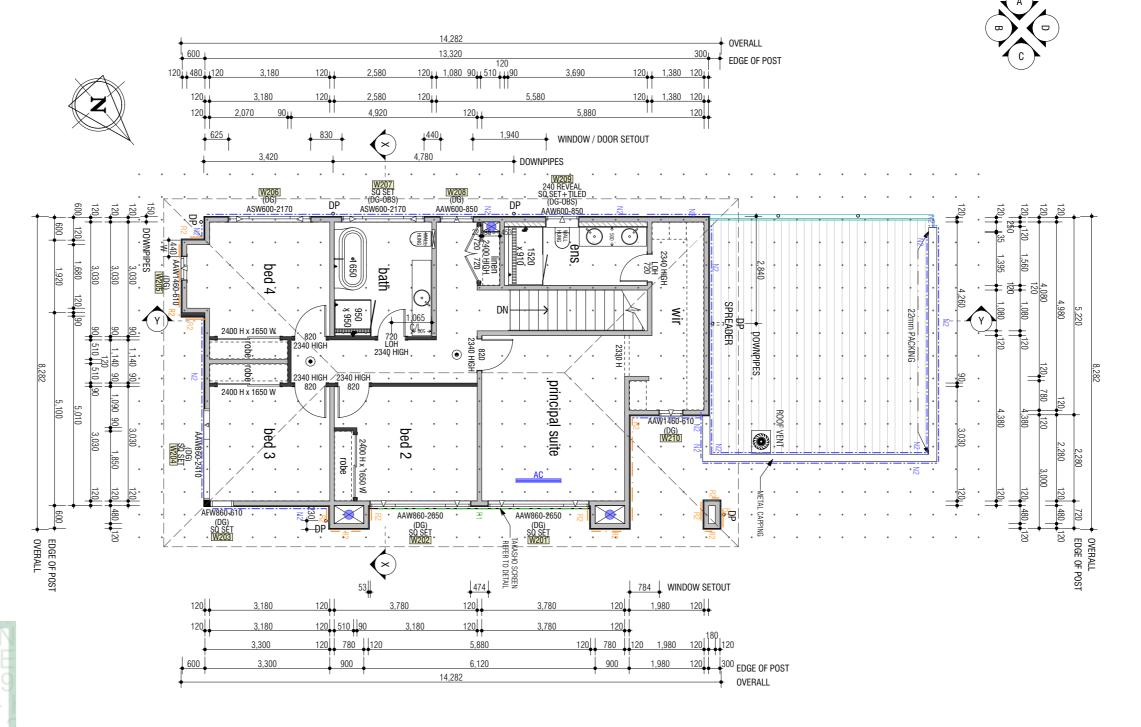
CONDENSATION MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVISIONS.

LEGEND

___.N2 .___ - FEATURE FUGE

___R1 ___ - RENDERED

_ . <u>R2</u> . __ - RENDER 2



Certificate No. #HR-WI343H-01 Scan QR code or follow website link for rating details.

Lot 19, Pheasant Place, Warriewood, NSW, 2102

http://www.hero-software.com.au/pdf/HR-WI343H-01



LEGEND

- DOWNPIPE. REFER TO STORMWATER

MANAGEMENT PLAN FOR CONNECTION TO TANK $\begin{bmatrix} \overline{RA} \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} \overline{R} \\ A \end{bmatrix}$ - RETURN AIR CEILING GRILL

(V) Lv. - CEILING VENTS ☑ - DENOTES SHAWOOD POST SMOKE ALARM (DIRECT WIRED)

- 120mm WALL - 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURE

(DG-LowF): DOUBLE GLAZED WITH LOWF (DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOI D WINDOW ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

		REV	AMENDMENT	BY	DATE
Floor	Arose	01	CONCEPT PLANS	NM	05.03.2025
20 First flr.	95.12	02	AMENDMENTS AS PER DESIGN REQUEST - EMAIL DATED 26.06	NM	27.06.2025
20 Garage	37.49	Ъ—			
20 Ground flr.	80.34	\vdash		\vdash	
Total	212.95	\vdash			
20 Alfresco	18.48	┰			
20 Pier	2.98	\vdash			
20 Porch	6.60	\vdash			
20 Void	3.92	\vdash			
Total	244.93				

LOT 19, PHEASANT PLACE WARRIEWOOD 2102

FIRST FLOOR PLAN

Sekisui House Services (NSW) Pty Limited Copyright 2022
ABN: 42119550220. BL: 226045C.

MODEL TL08 FACADE STOREY ACCOM GARAGE - RH SHEET:DA-2 CONTRACT No: NM105721 PAGE: 2 MASTER DESIGN MASTER CHECKED SCALE: 1:100

							Wind	ow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW1460-2650		1,460	2,650	117	⊠				DG:- Double Glass		WID-101-032	4.00	0.58
W102	AAW1460-2650		1,460	2,650	117	×		V		DG:- Double Glass		WID-101-032	4.00	0.58
W103	AAW1460-610		1,460	610	130			******		DG:- Double Glass		WID-101-032	4.00	0.58
W104	AAW600-2410		600	2,410	117	×	×	M M		DG:- Double Glass		WID-101-032	4.00	0.58
W105	AFW1200-850		1,200	850	117	×				DG:- Double Glass		WID-106-017	3.10	0.71
W201	AAW860-2650		860	2,650	117	×		M		DG:- Double Glass		WID-101-032	4.00	0.58
W202	AAW860-2650		860	2,650	117	×		M		DG:- Double Glass		WID-101-032	4.00	0.58
W203	AFW860-610		860	610	117	×		P		DG:- Double Glass		WID-106-017	3.10	0.71
W204	AAW860-2410		860	2,410	117	×		M		DG:- Double Glass		WID-101-032	4.00	0.58
W205	AAW1460-610		1,460	610	130					DG:- Double Glass		WID-101-032	4.00	0.58
W206	ASW600-2170		600	2,170	130			3 8		DG:- Double Glass		WID-102-018	4.00	0.61
W207	ASW600-2170		600	2,170	117	⊠				DG-OBS:- Double Glass Obscure		WID-102-018	4.00	0.61
W208	AAW600-850		600	850	130			W		DG:- Double Glass		WID-101-032	4.00	0.58
W209	AAW600-850		600	850	240	×	×	\$ 22		DG-OBS:- Double Glass Obscure		WID-101-032	4.00	0.58
W210	AAW1460-610		1,460	610	130			1		DG:- Double Glass		WID-101-032	4.00	0.58
15														

	Door Schedule Door Schedule											
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D102	AST2695-4550		2,695	4,550	117	×	}	DG-LowE:- Double Glass with LowE		WID-111-014	3.10	0.52
D103	AFD2120-900	⊠	2,120	900	117			DG:- Double Glass		WID-122-017	3.90	0.51
2												



Assessor name Stefanie Simpson Accreditation No. HERA 10035

Property Address Lot 19, Pheasant Place, Warriewood, NSW, 2102

SCALE:

LOT 19, PHEASANT PLACE WARRIEWOOD 2102 NM 05.03.202 NM 27.06.202 AMENDMENTS AS PER DESIGN REQUEST - EMAIL DATED 26.06 Sekisui House Services (NSW) Pty Limited
ABN: 42119550220. BL: 226045C.

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WINDOW / DOOR SCHEDULE

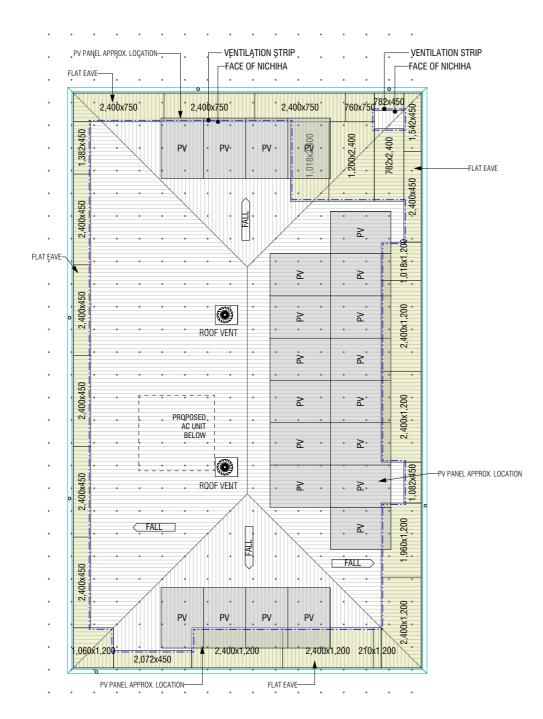
http://www.hero-software.com.au/pdf/HR-WI343H-01

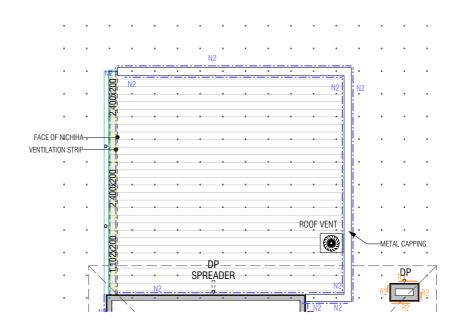
MODEL	TL08	FACADE	01		
STOREY	D	ACCOM		G	ARAGE - RH
CONTRAC	SHEET DA-3				
MASTER	DESIGN	MASTE	R CHECKED	PAGE: 3	

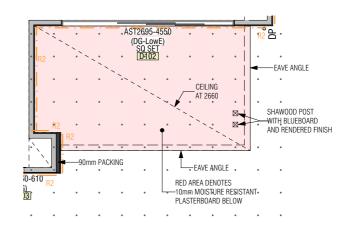
ALL EAVES ARE RAKED UNLESS OTHERWISE NOTED

LEGEND

_____ • FEATURE FUGE ___<u>R1</u>___ - RENDERED . <u>R2</u> . __ - RENDER 2







	tificate No. #HR	
Assessor name	Stefanie Simpson	
Accreditation No.	HERA 10035	\\$550 \\$ 1 50 \\$
Property Address	Lot 19, Pheasant Place, Warriewood, NSW, 2102 vare.com.au/pdf/HR-WI343H-01	

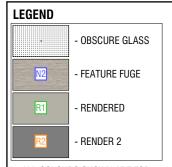
REV	AMENDMENT	BY	DATE	ADDRESS
01	CONCEPT PLANS	NM	05.03.2025	
02	AMENDMENTS AS PER DESIGN REQUEST - EMAIL DATED 26.06	NM	27.06.2025	
				68 Waterlo
				Sekisui Ho
		- 1	I	ABN: 4

LOT 19, PHEASANT PLACE WARRIEWOOD 2102

ROOF PLAN

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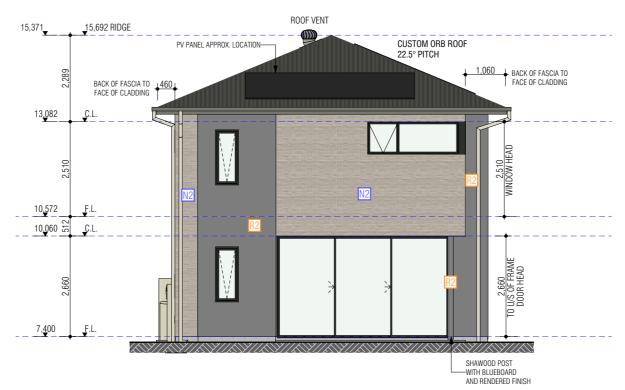
	MODEL	TL08	FACADE	01		
	STOREY	D	ACCOM		G/	ARAGE - RH
8	CONTRAC	SHEET DA-4				
\RT	MASTER	DESIGN	MASTE	R CHECKED		PAGE: 4
ENI						CCALE.



ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS



1:100 **Elevation**



В **Elevation** 1:100

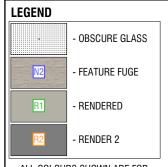


Printed Date: 30/06/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 19 (Old Lot 20) - TL08 F1\6. CAD File\TL08 F1 - Lot 19.pln

http://www.hero-software.com.au/pdf/HR-WI343H-01

REV	AMENDMENT	BY		ADDRESS:
01	CONCEPT PLANS	NM	05.03.2025	LOT 19, PHE
02	AMENDMENTS AS PER DESIGN REQUEST - EMAIL DATED 26.06	NM	27.06.2025	WARRIE\
\vdash		+-		VV/ ((() () E
\vdash		+-		\ \
		+		CLIV/
		1		SHA\
		1		68 Waterloo Rd Macquarie Park
				Sekisui House Services (NSW)
				ABN: 42119550220. BL: 22

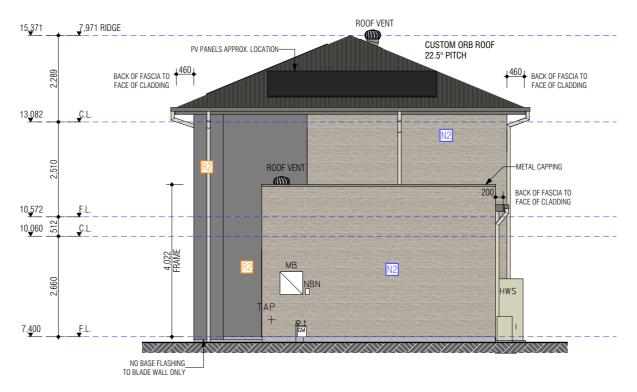
IEASANT PLACE **EXTERNAL ELEVATIONS** W00D 2102 MODEL TL08 FACADE STOREY D ACCOM GARAGE - RH SHEET DA-5 CONTRACT No: NM105721 ark, NSW 2113 Tel: 1800 951 068 PAGE: 5 V) Pty Limited COPYRIGHT 2022 REPRODUCTION IN PAI OR WHOLE FORBIDDE MASTER DESIGN MASTER CHECKED SCALE: 1:100



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C Elevation 1:100



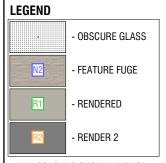
D Elevation 1:100



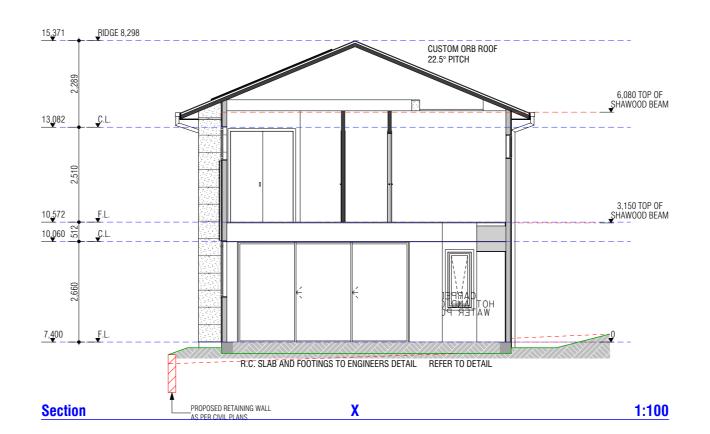
REV	AMENDMENT	BY	DATE	ADDRESS:
01	CONCEPT PLANS	NM	05.03.2025	LOT 19, PHEASANT PLACE
02	AMENDMENTS AS PER DESIGN REQUEST - EMAIL DATED 26.06	NM	27.06.2025	WARRIEWOOD 2102
				WANNIEWOOD 2102
				11//
				0111\V/
				SHAWOOD
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068
				Sekisui House Services (NSW) Pty Limited COPYRIGHT 2022
		_		SERISUITIOUSE SELVICES (NOW) F LY LITTILEU (C) REPRODUCTION IN PART
				ABN: 42119550220. BL: 226045C. OR WHOLE FORBIDDEN

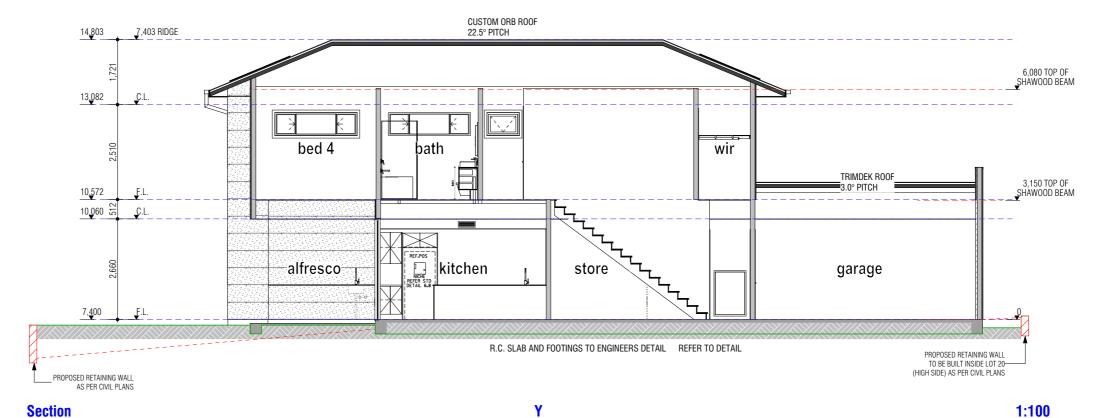
	MODEL	TL08	FACADE	01				
)	STOREY	D	ACCOM		GARAGE - RH			
00 951 068	CONTRAC	T No: NM1	05721			SHEET DA-6		
PYRIGHT 2022 DUCTION IN PART	MASTER	DESIGN	R CHECKED		PAGE: 6			
HOLE FORBIDDEN				-		SCALE: 1:100		
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EXTERNAL ELEVATIONS



ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS







Printed Date: 30/06/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 19 (Old Lot 20) - TL08 F1\6. CAD File\TL08 F1 - Lot 19.pln

http://www.hero-software.com.au/pdf/HR-WI343H-01

01 02	AMENDMENT CONCEPT PLANS AMENDMENTS AS PER DESIGN REQUEST - EMAIL DATED 26.06	NM NM	DATE 05.03.2025 27.06.2025	LOT 19, PHEASANT PLACE WARRIEWOOD 2102
				SHAWOOD
_				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068
				Sekisui House Services (NSW) Pty Limited COPYRIGHT 2022
				ABN: 42119550220. BL: 226045C. OR WHOLE FORBIDDEN

SECTIONS

TL08

CONTRACT No: NM105721

FACADE

ACCOM

MASTER CHECKED

GARAGE - RH

PAGE: **7**

SCALE:

SHEET:DA-7

MODEL

STOREY D

MASTER DESIGN