

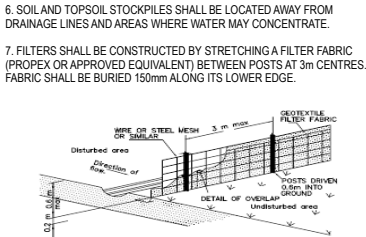
PACIFIC POOLS P/L
84 Third road, Berkshire Park
License no. 62686C Ph 9897 5566

BOUNDARY NOTE:
BOUNDARY INFORMATION SUPPLIED BY OWNER.
CONFIRM ALL BOUNDARY INFORMATION PRIOR TO
COMMENCEMENT OF WORK.

COUNCIL NOTES:
- NO EXISTING STORMWATER ON ALLOTMENT.
- NO WATERWAYS, WATERCOURSES OR EXISTING
DRAINAGE PROBLEMS.
- EASMENTS SHOWN ON SITE PLAN.
- SEDIMENT DISPOSED OF TO COUNCIL'S REQUIRMENTS.

CONCRETE SLAB IN ACCORDANCE WITH CODE OF AUSTRALIA.

- SEDIMENT CONTROL NOTES:
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REGEVETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVAAANT WORKS SRE COMPLETED.



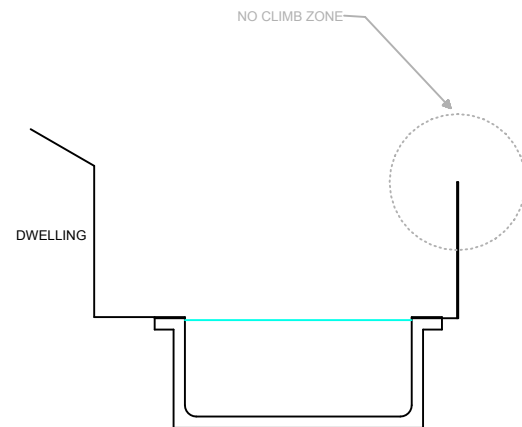
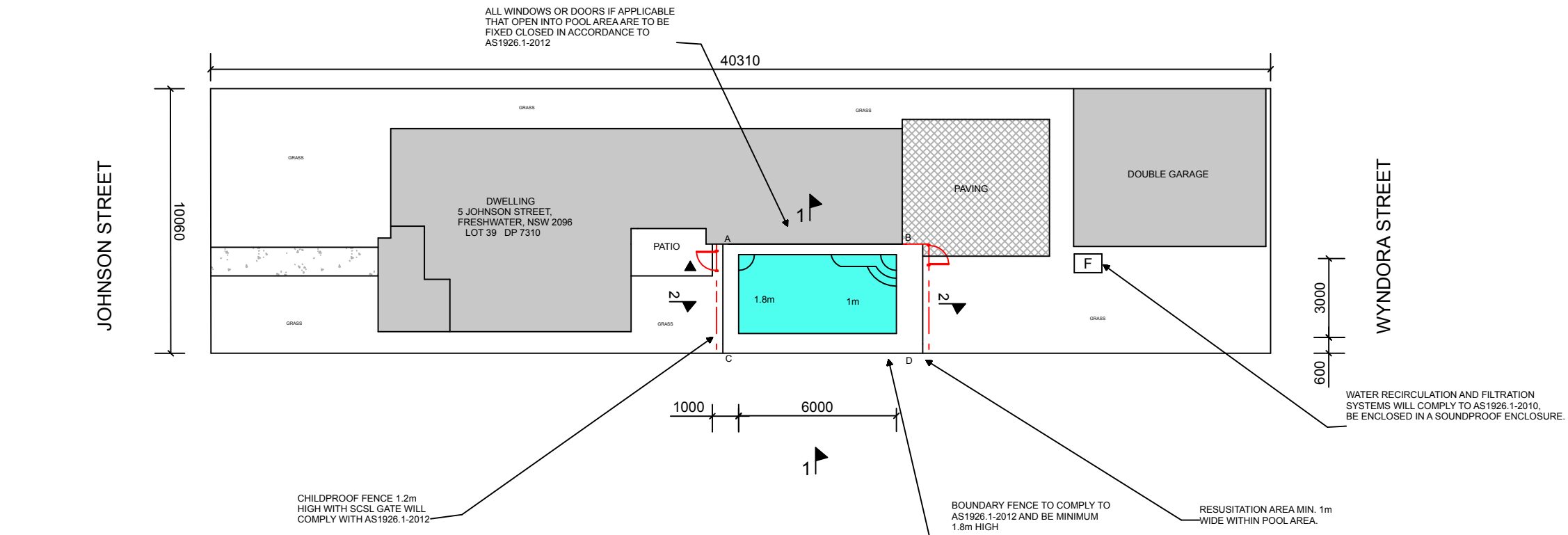
BASIX	NOT REQUIRED. POOL CAPACITY 25.2KL.
DATUM POINT	EXISTING PATIO POOL TO BE FINISHED LEVEL WITH DATUM
SITE DETAILS:	
SITE AREA	405.4 SQ. M.
BLOCK WIDTH	10.06 M.
PROPOSED POOL	30.4 SQ. M.
EXISTING DWELLINGS	203.55 SQ. M.
EXISTING HARD SURFACES	34.37 SQ. M.
LANDSCAPED AREA	167.48 SQ. M.
MIN. LANDSCAPED REQUIRED	162.16 SQ. M. (40%)

PROPOSED POOL LAYOUT PLAN

PROPOSED DEVELOPMENT:
REINFORCED CONCRETE SWIMMING POOL

5 JOHNSON STREET,
FRESHWATER, NSW 2096
Lot 39 DP 7310

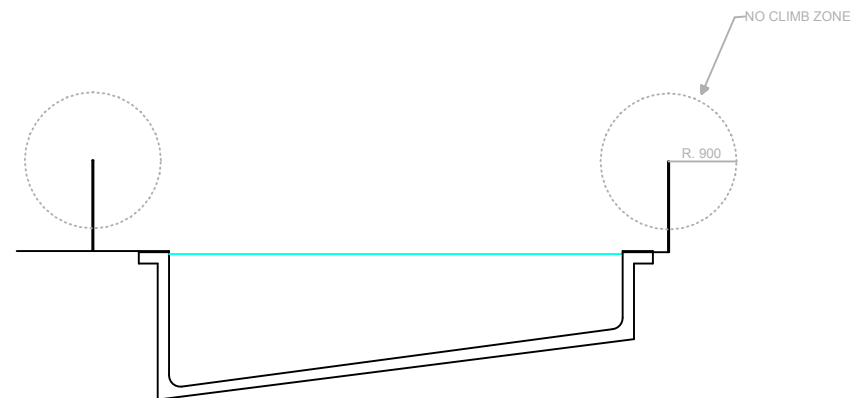
CLIENT STELFOX	SCALE 1:50 @ A3
DATE MARCH '22	PLAN NO. 2022JW11.1
Drawn by: <i>JWConcepts&Design</i>	



1 . 1
PROPOSED POOL CROSS SECTION

NOT TO SCALE

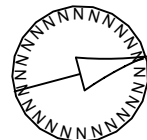
PEIRING LOCATION AS PER ENGINEER PLANS



2 . 2
PROPOSED POOL LENGTH SECTION

NOT TO SCALE

CHILDPROOF FENCE TO BE MINIMUM 1.2m
SPECIFIC LOCATION TBD BY OWNER AND
INSTALLED TO AS1926.1-2012



POOL LEVELS:

- A +150mm ABOVE N.G.L.
B +150mm ABOVE N.G.L.
C +150mm ABOVE N.G.L.
D +150mm ABOVE N.G.L.



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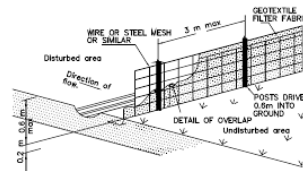
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6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE.
7. FILTERS SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POSTS AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



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POOL CAPACITY 25.2KL.

DATUM POINT



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LEVEL WITH DATUM

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POOL AND SITE LAYOUT PLAN

PROPOSED DEVELOPMENT:
REINFORCED CONCRETE SWIMMING POOL

5 JOHNSON STREET,
FRESHWATER, NSW 2096
Lot 39 DP 7310

CLIENT

STELFOX

DATE

MARCH '22

Drawn by:

JWConcepts&Design

SCALE

1:200 @ A3

PLAN NO.

2022JW11

NOTE:

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 03-05-2022.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING SSM 15054 WITH RL17.304 (AHD).

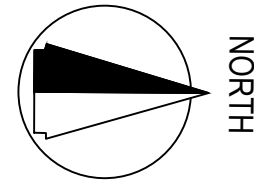
RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

A307443 COVENANT

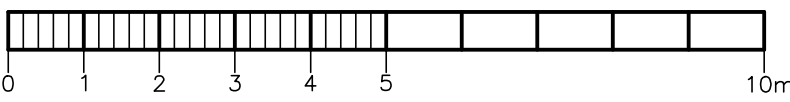
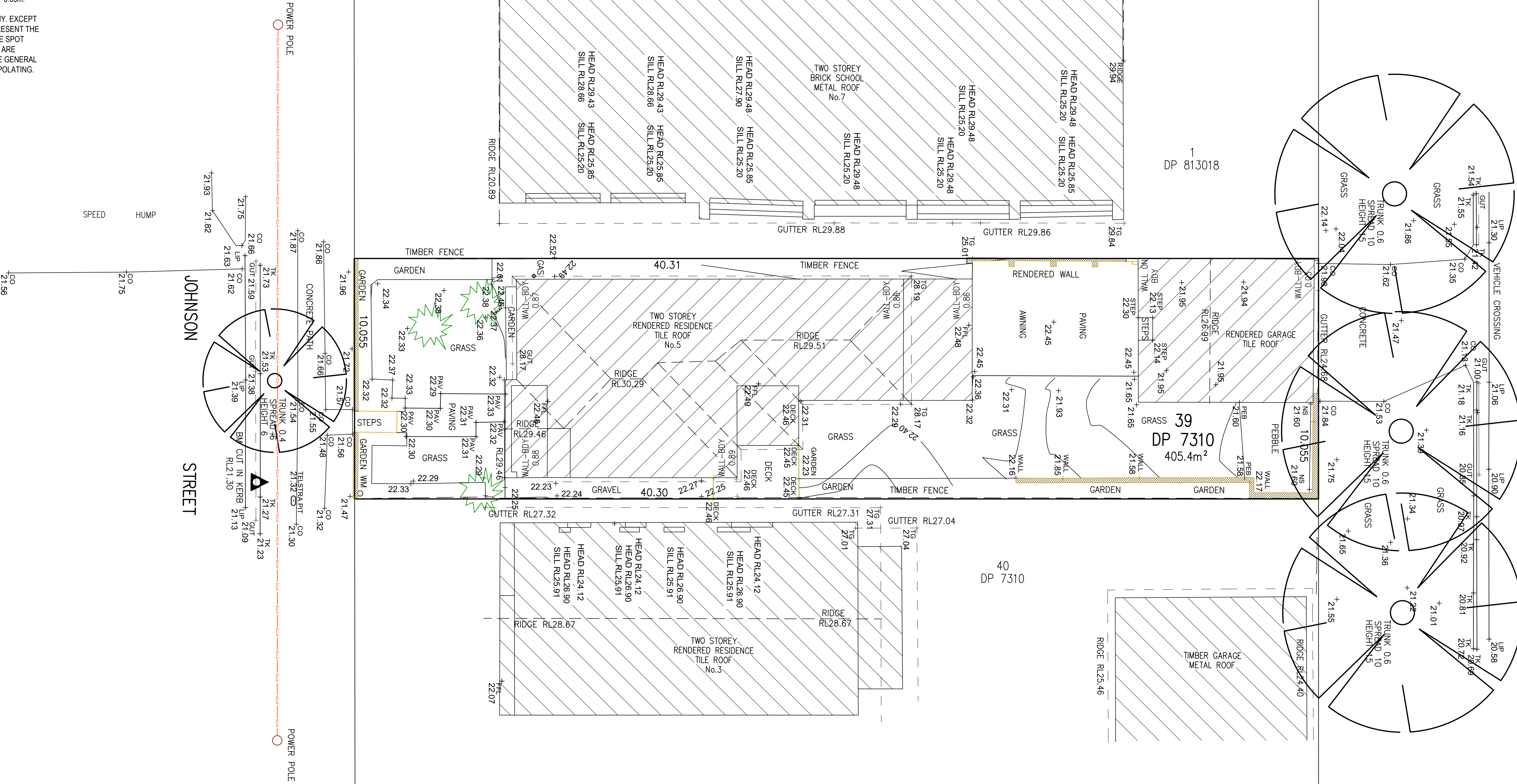
AE541478 POSITIVE COVENANT

AE541479 RESTRICTION(S) ON THE USE OF LAND



WYNDORA AVENUE

JOHNSON STREET



BAR SCALE
PLOTTED SCALE 1:100 (A1 SIZE SHEET)

REVISION No.	REVISION DATE:	COMMENT:



Urban Surveying
PO Box. 1716, Warriewood, NSW 2102
Phone: 0452 066 506
Email: gs@urbansurveying.com.au
ABN: 53 062 097 384
www.urbansurveying.com.au

LEGEND:

PAV - PAVING
CO - EDGE OF CONCRETE
TK - TOP OF KERB
GUT - ROAD GUTTER
LIP - LIP OF KERB
TW - TOP OF WINDOW

BW - BOTTOM OF WINDOW
TG - TOP OF GUTTER
RR - ROOF RIDGE
FL - FLOOR LEVEL

PLAN SHOWING DETAIL & FEATURES
OVER LOT 39 IN D.P. 7310

KNOWN AS No. 5 Johnson Street, Freshwater.

L.G.A.: NORTHERN BEACHES



CLIENT ANH & PAUL STELFOX			REF No.
PROPERTY No. 5 Johnson Street, Freshwater			22057
DATUM A.H.D.	SCALE 1:100 @ A1	DATE 05-05-2022	SHEET No. 1 of 1
SURVEYED AF	DRAWN GS	DWG No. 22057-1	REV No. 00