



Pittwater Council

ABN 61 340 837 871

All Correspondence to be addressed to General Manager

Units 9, 11 & 12/ 5 Vuko Place
WARRIEWOOD NSW 2102
Avalon Customer Service Centre
59A Old Barrenjoey Road, AVALON 2107

Postal Address
P.O. Box 882
MONA VALE NSW 1660
DX 9018 MONA VALE

Telephone (02)9970 1111
Facsimile (02) 9970 7150
Internet www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au



Environmental Compliance
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

04 November 2004

COPY

MCHP ARCHITECTS PTY LTD
28 Chandos Street
ST LEONARDS NSW 2065

Dear Sir/Madam,

Re: Construction Certificate CC0716/04
Property: 19 THE OUTLOOK BILGOLA PLATEAU NSW 2107

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA). Please complete this form and return it to Council's Customer Service together with the PCA appointment fee as detailed in the form.

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

An Officer will contact you in the next few days to discuss your development and help ensure your development progresses smoothly.

Yours faithfully
Development Compliance Group

Per:



Pittwater Council

Construction Certificate No: CC0716/04

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Site Details: 19 THE OUTLOOK BILGOLA PLATEAU NSW 2107

Legal Description: Lot 187 DP 16902

Type of Development: Building Works

Description: Garage Only (not for other alterations and additions)

Associated Development Consent No: N0603/01 Dated: 03/01/2002

Building Code of Australia Certification: Class 1a

Details of plans, documents or Certificates to which this Certificate relates:

- Specification prepared by MCHP Architects Pty Ltd dated September 2004.
- Working Drawings prepared by MCHP Architects Pty Ltd, Drawing No. 00-006/01 (Revision D) and Drawing No. 00-006/02 (Revision D) dated 22 October 2004 with Sydney Water Approval stamp dated 6 September 2004.
- Structural Engineering Details prepared by Jack Hodgson Consultants Pty Ltd, Job No. 21958, Drawing No. S1 dated 30 August 2004.
- Driveway Section Details prepared by Jack Hodgson Consultants Pty Ltd, Job No. 21958, Drawing No. C1/B dated 30 August 2004 with associated Compliance Statement dated 27 October 2004 (Page 1).
- Garage Only Statement and Eave Details of building (2 Pages) prepared by MCHP Architect Pty Ltd dated 25 October 2004.

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: N0603/01

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.


Carl Georgeson
Development Compliance Group

04 November 2004
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.

COPY



Unit 9/5 Vuko Place
Warriewood NSW 2102
PO Box 882
Mona Vale NSW 1660
Tel: (612) 9970 1111
Fax: (612) 9970 7150

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979 sections 81A
(2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works.

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent.
Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Applicant's Checklist

- Read this document ☐
- Complete pages 1, 2 & 3 ☐
- Sign on page 8 ☐
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate. ☐

Payment of fees

- At the time of submitting this form to Pittwater Council a fee is to be paid in accordance with the following fee structure, current to 30 June 2005.

Value of Development	Total Fee (including GST)	
	Domestic (class 1 & 10) (Code: HIND)	Commercial (Code: HIND)
\$0 - \$5,000	\$88.00	\$155.00
\$5,001 - \$100,00	\$225.00	\$294.00
\$100,001 - \$250,000	\$370.00	\$412.00
\$250,001 and over	\$464.00	
\$250,001 - \$500,000		\$566.00
\$500,001 - \$1,000,000		\$721.00
\$1,000,001 and over		Fee on application

- Critical Stage Inspection fees (refer to Part 6e of this form) may be paid at the time of booking the inspection or a delayed payment until the request for either an Interim or Final Occupation Certificate.

OFFICE USE ONLY

Date of receipt:	Receipt No:	Amount Paid:	Accepted by:
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1. DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No:	Determination Date:
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1b) CONSTRUCTION CERTIFICATE

Construction Certificate No:	Date of Issue:
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1c) DEVELOPMENT DETAILS

Type of Work: <input type="checkbox"/> New Building <input type="checkbox"/> Additions / Alterations <input type="checkbox"/> Subdivision	Brief description of development:
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1d) SITE DETAILS

Unit/Suite:	Street No:	Street:	
Suburb:		Lot No:	Deposit /Strata Plan:

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works: \$

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works. Date of commencement:

2. APPLICANT DETAILS

Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Name (owner):	
Postal Address:	Phone (H/B): Mobile: Email: Fax:

3. **PRINCIPAL CERTIFYING AUTHORITY**

PITTWATER COUNCIL

PO Box 882
Mona Vale NSW 1660

Ph: 9970 1111
Fax: 9970 7150

4. **COMPLIANCE WITH DEVELOPMENT CONSENT**

Have all conditions to be addressed prior to the commencement of works been satisfied?

☐ YES

☐ NO (see Note below)

Note: If **NO** work must not commence.

Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended). Penalties may include an on-the-spot fine and/or legal action.

If you are uncertain as to these requirements please contact Council's Development Compliance Group.

5. **WHO WILL BE DOING THE BUILDING WORKS?**

☐ Owner Builder

Owner Builders Permit No:

Copy of Owner Builders permit
attached:

☐ YES

**If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia.
Tel: 61 2 98950111 Fax: 61 2 9895 0222.**

OR

☐ Licensed Builder

Builder's License Number

Name of Builder:.....

Phone:.....

Contact person:

Mobile:

Address:

Fax:

Insurance Company:

Insurance Certificate attached:

☐ Yes

☐ No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000.

If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application.

6. RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service:

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct.

6b) Site Signage:

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA.

6c) Inspections:

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections.


6d) Critical Stage and other inspections:

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box).

Note: Council's Development Compliance Officer will complete this section of the form.

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- ☒ Footing Inspection (prior to placement of concrete)
- ☒ Slab and other Steel Inspection (prior to placement of concrete)
- ☒ Frame Inspection (prior to fixing floor, wall & ceiling linings)
- ☐ Wet Area Waterproofing Inspection (prior to covering)
- ☒ Stormwater Inspection (prior to backfilling of trenches)
- ☐ Swimming Pool Safety Fence Inspection (prior to placement of water)
- ☒ Final Inspection (all works completed and prior to occupation of the building)

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Note: Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable.

Eg: If two slabs are prepared at separate times, two separate inspection bookings and fees are required.

6e) Critical Stage and other inspection fees:

An inspection fee is required for each inspection identified in Part 6d of this form.

A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required.

Each inspection fee may be paid at the time of requesting an inspection or delayed for payment with the request for either an Interim or Final Occupation Certificate.

Critical Stage or other Inspection Fee Scale current to 30 June 2005

(Code: HINR)

Value of Development	Fee per Inspection
\$0 - \$150,000	\$122
\$150,001 and over	\$225

Final Inspection Fee Scale current to 30 June 2005

(Code:FOCC)

Type of Development	Interim Occupation Certificate	Final Occupation Certificate
Domestic (Class 1 and 10 buildings)	\$258	\$258
Commercial (Class 2 – 9 buildings)	\$310	\$310

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate.

6f) Inspection Results:

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection.

7. RESPONSIBILITIES OF THE APPLICANT

7a) Inspections:

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement.

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid.

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement.

7b) Booking of Inspections:

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on 9970 1300. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection.

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number.

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement.

7c) Site Signage:

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed.

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display: (a) the name, address and telephone number of the person; (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited".

7d) Compliance with the Development Consent and Construction Certificate:

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979.

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation.


Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings.

7e) Structural Engineering and Other Specialist Details:

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards:

Note: Council's Development Compliance Officer will complete this section of the form.

- ☐ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☒ Details of compliance with development consent conditions


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7f) Certification of Works:

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out.

Each certification must:

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings.
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council.

Note: Council's Development Compliance Officer will complete this section of the form.

- ☒ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
 - ☐ Shoring and support for adjoining premises and structures by a structural engineer
 - ☐ Contiguous piers or piling by a structural engineer
 - ☐ Underpinning works by a structural engineer
 - ☐ Structural engineering works by a structural engineer
 - ☐ Retaining walls by a structural engineer
 - ☐ Stormwater drainage works by a hydraulic engineer and surveyor
 - ☐ Landscaping works by the landscaper
 - ☐ Condition of trees by an Arborist
 - ☐ Mechanical ventilation by a mechanical engineer
 - ☒ Termite control and protection by a licensed pest controller
 - ☐ Waterproofing of wet areas by a licensed waterproofer or licensed builder
 - ☒ Installation of glazing by a licensed builder
 - ☐ Installation of smoke alarm systems by a licensed electrician
 - ☐ Completion of construction requirements in a bush fire prone area by a competent person
 - ☐ Completion of requirements listed in the BASIX Certificate by a competent person
 - ☐ Fire resisting construction systems by a competent person
 - ☐ Smoke hazard management systems by a competent person
 - ☐ Essential fire safety and other safety measures by a competent person (Form 15a)
 - ☐ Completion of Bushland Management requirements by a suitably qualified person.
 - ☐ Installation of Waste Water Management System by a suitably qualified person
 - ☐ Installation of the inclined lift by a suitably qualified person
 - ☐ Installation of sound attenuation measures by an acoustic engineer
- 
Office Use Only

Office Use Only

7g) Occupation Certificate:

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements:

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8. **YOUR SIGNATURE**

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature: Date:

9. **COUNCIL'S AGREEMENT TO APPOINTMENT**

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name: on behalf of Pittwater Council

Officer's signature: Date:

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council to act as the Principal Certifying Authority for the development.
Intended recipients:	Pittwater Council staff
Supply:	The information is required by legislation
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	Pittwater Council will store details of this form in a register that can be viewed by the public.
Retention period:	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	

SPECIFICATION

ISSUE FOR CONSTRUCTION CERTIFICATE

PROPRIETOR: Mr & Mrs Barber

PROJECT: Proposed Garage Addition to Residence

SITE: 19 The Outlook, Bilgola

DATE: September 2004

0716/04	
Certificates associated with	
Construction Certificate	
Issued by:	
	4 NOV 2004

MCHP Architects Pty Ltd

ABN 21 096 632 450

28 CHANDOS STREET, ST LEONARDS N.S.W. 2065
Phone (02) 9436 2222 Fax (02) 9439 1340 Email architects@mchp.com.au



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SECTION 1 - PRELIMINARY CLAUSES

1.01 TYPE OF CONTRACT

The Contract shall be for a lump sum including any monetary allowances and provisions specified or included in tenders. The form of the Contract shall be as stipulated in the Tender Invitation. The lump sum price shall be inclusive of all State Taxes and Federal Goods and Services Tax (GST) as applicable at the time of tendering (or quoting) the Works.

1.02 SETTING OUT THE WORKS

The Building Contractor shall inspect the Site and verify all scaled and figured dimensions to ensure that the Works can be executed as detailed on the drawings. Allow to arrange for a Registered Surveyor to set out the Works and pay all associated fees.

Check building setout to ensure building ridge height will not exceed that shown on the drawings. Carry out survey to confirm ridge level compliance on completion of works.

1.03 EXTENT OF WORKS

The extent of the Works in this Contract shall include all the work shown on the plans, details, schedules, Tender Notice and in The Scope of Works (if provided) and shall include all obvious work not specifically noted. It shall also include necessary work to ensure compliance with the Standards and Codes noted in this Specification, Standards and Codes noted in the Building Code of Australia (BCA) and all Conditions relating to Statutory Approvals e.g. Development Application, Construction Certificate, etc.

1.04 INSURANCES

The Building Contractor shall provide insurances to cover the Works and all persons who may enter the site or be effected by the site as follows:

- Construction Risks Policy
- Workers Compensation Insurance as required by law
- Public Liability Insurance for a minimum \$5,000,000
- Third Party Property Insurance for a minimum \$500,000 and Compulsory Third Party Personal Injury Insurance for all motor vehicles used.
- Home Owners Warranty Insurance (as per Part 6 of the Home Building Act 1989)

Certificates of Currency shall be provided to the Architect before work commences.

1.05 ON COMPLETION

When the Works are complete and prior to the issue of the Certificate of Practical Completion, the Building Contractor shall remove all building plant and equipment, surplus materials and rubbish from the site and shall arrange all necessary inspections, obtain all necessary certificates and arrange for refund of bonds and Bank Guarantees. He shall also arrange for any Nominated Contractors to remove their plant, equipment, surplus materials and rubbish.

The Building Contractor shall thoroughly clean all surfaces, touch up, or replace if instructed by the Architect or Construction Manager, damaged surface finishes. Ease all moving parts, oil locks and hinges, label keys etc and hand over the Works ready for occupation.

SECTION 2 - DEMOLITION AND EXCAVATION

2.01 SITE INFORMATION

Tenderers are to satisfy themselves as to the true nature of the materials which will be encountered when demolishing the existing structures and when excavating the site to the required levels. Allow in your tender submission for excavation in materials as found unless otherwise shown on the drawings, indicated in The Scope of Works or as shown on Test Bore Schedules in the Geotechnical Report if provided.

2.02 GENERAL

The Building Contractor shall allow to provide all barriers, warning signs, scaffolds, awnings etc as necessary to ensure the safety of the public and the site workers and other personnel whom have a right to be on the site during the demolition and excavation works. All work shall be undertaken in accordance with the requirements of the WorkCover authority.

All excavations will be supported by use of planking and strutting as necessary to keep the sides true and plumb and shall be protected to stop the ingress of surface water.

Allow to disconnect, cut back, seal off, remove, alter or divert all existing services as necessary to execute the works. Return all meters to the appropriate supply authority.

2.03 TERMITE TREATMENT

Treat all areas under floors and areas adjoining external walls of buildings with an approved termite resistant system. Build-in termite barriers to all new external walls. All termite treatment shall be in accordance with BCA and Local Council requirements.

2.04 STANDARDS

All Demolition works shall be in accordance with:

- AS 2601-2001, Demolition of structures

Termite treatment shall be in accordance with:

- AS 3660.1-2000, Termite management-New building work
- AS 3660.2-2000, Termite management-In and around existing buildings and structures-Guidelines

SECTION 3 - DRAINAGE & PLUMBING

3.01 GENERAL

Supply and install all sub-soil drainage, stormwater drainage, sewer drainage, hot and cold water services to the points indicated on the drawings and in accordance with the Hydraulic Engineers design if provided.

3.02 STANDARDS

All plumbing and drainage works shall be undertaken in accordance with the following Australian Standards as applicable:

- AS/NZS 3500, National Plumbing and Drainage-Domestic Installations
- AS 5601-2000 (AG601), Gas installations
- AS 1273-1991, Unplasticized PVC (UPVC) downpipe and fittings for rainwater
- AS 1769-1975, Welded stainless steel tubes for plumbing applications
- AS 2439.1-1981, Perforated drainage pipe and associated fittings

SECTION 4 - CONCRETE & STRUCTURAL STEEL

4.01 REINFORCED CONCRETE

Lay membranes, erect formwork, supply and place reinforcement and pour concrete as indicated on plans and details and as shown on Structural Engineers drawings and schedules. Arrange for testing of concrete as required by the Structural Engineers notes.

Arrange for the necessary inspections to allow the works to be fully certified by the Structural Engineer or the Certifying Authority as instructed. Install joints as detailed and provide protection to concrete from storms, rain and excess heat during curing.

4.02 STRUCTURAL STEEL

Arrange and pay for the preparation of shop drawings for the structural steel as shown on the drawings and construction details. After obtaining approval for the shop drawings from the Structural Engineer, supply, fabricate and erect structural steel. Arrange for the necessary inspections to allow the works to be fully certified by the Structural Engineer or the Certifying Authority as instructed.

Steelwork shall be handled and stored by methods and appliances that will not overstress or deform. Store bolts, nuts and washers in watertight containers. Make good to surface finishes if damaged before or during erection.

4.03 STANDARDS

All concrete, reinforced concrete and structural steel shall be manufactured, transported, prepared and finished as noted on Structural Engineers and Architects drawings and in accordance with the following Australian Standards as applicable:

- AS 3610-1995, Formwork for Concrete
- AS 3600-2001, Concrete structures
- AS 2327.1-1996, Composite structures-Simply supported beams
- AS 4100-1998, Steel structures
- AS 1252-1996
- AS 1254-1996
- AS 4100-1998, Steel structures
- AS 1012, Methods of testing concrete
- AS 1163-1991, Structural steel hollow sections
- AS 1302-1991, Steel reinforcing bars for concrete
- AS 1303-1991, Steel reinforcing wire for concrete
- AS 1304-1991, Welded wire reinforcing fabric for concrete
- AS 1379-1997, Specification and supply of concrete
- AS/NZS 1554, Structural steel welding
- AS 2870-1996, Residential slabs and footings - Construction

SECTION 5 - MASONRY WALLING

5.01 EXTENT OF WORK

Provide masonry units, mortar and lintels to span openings and lay walls to the heights and lengths indicated on the drawings. Provide scaffolding to the requirements of the WorkCover Authority and provide props as necessary to stabilise walls during construction. Lay walling in stretcher bond unless specifically noted on the architects drawings. Build in bolts, straps and other fixings as detailed or as required to execute the works. Construct cavity walling where indicated and build in ties to standard practice.

Provide control joints, damp proof coursing and flashings where indicated or where needed in accordance the current AS Codes. Clean-down walls daily during construction and on completion of each section of the works.

Construct face block work where indicated with ironed joints and face brickwork where indicated with raked joints. Carefully blend masonry units if not of uniform appearance. Construct walls shown to be rendered with common bricks or block work as indicated and finish with struck joints.

5.02 STANDARDS

All concrete blocks and all extruded and pressed bricks shall be manufactured, laid and finished in accordance with the following Australian Standards as applicable:

- AS 3700-2001, Masonry structures
- AS 2699.1-2000, AS 2699.2-2000, AS 2699.3-2000, Wall ties for masonry construction
- AS/NZS 2904-1995, Damp-proof courses and flashings

SECTION 6 - CARPENTRY & JOINERY

6.01 EXTENT OF WORK

Construct, where shown on drawings and/or as scheduled, timber framed roofing, walls, floor and other required framing using seasoned timbers of the stress grade nominated on drawings or as specified in current AS Codes. Complete the frames, including bracing, ready to receive the nominated linings and finishes.

All joinery items such as fascia boards, barge boards, face timber linings etc shall be constructed using seasoned timber dressed on all exposed faces and prepared to receive the nominated finishes. Provide all hardware as scheduled and as required to complete each item to good practice.

6.02 STANDARDS

All carpentry and joinery shall be constructed and finished in accordance with the following Australian Standards as applicable:

- AS 1684.1-1999, Residential timber-framed construction-Design criteria
- AS 1684.2-1999, Residential timber-framed construction-Non-cyclonic areas
- AS 1720.1-1997, Timber structures-Design methods
- AS 1080.1-1997, Methods of testing timber moisture content
- AS 1604 1997, Timber – Preservative-treated – sawn and round
- AS1684-1999, National timber framing code
- AS 1720.1-1993, Timber structures
- AS/NZS 1748-1997, Timber – Stress-graded – Product requirements for mechanically stress-graded timber
- AS 1810-1995, Timber – Seasoned cypress pine – Milled products
- AS/NZS 1859.1-1997, Reconstituted wood-based panels
- AS 1860-1998, Installation of particleboard flooring
- AS 2082-2000, Visually stress-graded hardwood for structural purposes
- AS/NZS 2269-1994, Plywood structural
- AS 2270-1999, Plywood and block board for interior use
- AS 2271-1999, Plywood and block board for exterior use
- AS/NZS 2272-1996, Marine plywood
- AS 2688-1984, Timber doors
- AS 2689-1984, Timber door sets
- AS 4145.1-1993, Locksets

SECTION 7 - ROOFING & ROOF DRAINAGE

7.01 EXTENT OF WORK

Supply and install roofing as indicated on drawings and as scheduled. Provide and fix all sarking, insulation, flashings, cappings, valleys, soakers, roof accessories, gutters, sumps, rainwater heads, downpipes and overflow pipes as shown on the drawings or as necessary to provide water tight roofing.

Upon completion, check that roofing, accessories and guttering have positive falls and adjust if required to avoid any pooling. Thoroughly clean down all roofing and drainage systems. Remove all metal shavings, metal off-cuts, screws, rivet pins and any other debris. Touch up scratched pre-finished metal surfaces with colour matched compatible paint.

7.02 STANDARDS

All roofing and roof drainage shall be constructed and finished in accordance with the following Australian Standards as applicable:

- AS1445-1986, Hot-dipped zinc-coated or aluminium/zinc-coated sheet – 75mm pitch
- AS 1562.1-1992, Design and installation of sheet roofing and wall cladding
- AS 2049-1992, Roof tiles
- AS 2050-1995, Installation of roofing tiles
- AS/NZS, Specification for rainwater goods accessories and fasteners
- AS 3742-1990, Mineral wool thermal insulation – Batt and blanket
- AS 4285-1995, Skylights
- -

SECTION 8 - ELECTRICAL WORKS

8.01 EXTENT OF WORK

The work shall include the supply, installation, testing and commissioning of all electrical fixtures, fittings and associated wiring as indicated on drawings or as scheduled. Provide and fix all proprietary items in accordance with manufacturers printed specifications, details and instructions.

Each item of plant and equipment and switchgear shall be labelled to clearly identify the item and its function.

8.02 STANDARDS

All electrical work and equipment shall manufactured, assembled, installed and finished in accordance with the following Australian Standard:

- AS/NZS 3000:2000, Electrical installations (Wiring Rules)
- AS/NZS 3086-1996, Telecommunications installations – Integrated communications cabling systems for small office/home office premises
- AS 3439.1-1993 Low-voltage switchgear and control gear assemblies
- AS/NZS 1680, Interior Lighting

SECTION 9 - PLASTERING

9.01 EXTENT OF WORK

Provide scaffolding as necessary, supply materials and trims and finish walls, ceilings and other surfaces as shown on drawings and as scheduled. Tape and set joints in plasterboard, compressed fibre cement and villaboard lined walls, ceilings, fascias and other soffit linings to manufacturers written specifications.

Supply and install grid ceilings to manufacturers printed instructions.

Provide cement render 12mm thick to masonry walls as indicated. Install perforated metal angles at external corners of walls and openings and render over.

9.02 STANDARDS

All plaster linings and cement render shall be manufactured, installed and finished in accordance with the following Australian Standards as applicable:

- AS/NZS 2785-2000, Suspended ceilings-Design and installation
- AS 3740-1994, Waterproofing of wet areas within residential buildings
- AS 2158-1978, Fibrous plaster products
- AS/NZS 2588-1998, Gypsum plasterboard.

SECTION 10 - PAINTING

10.01 EXTENT OF WORK

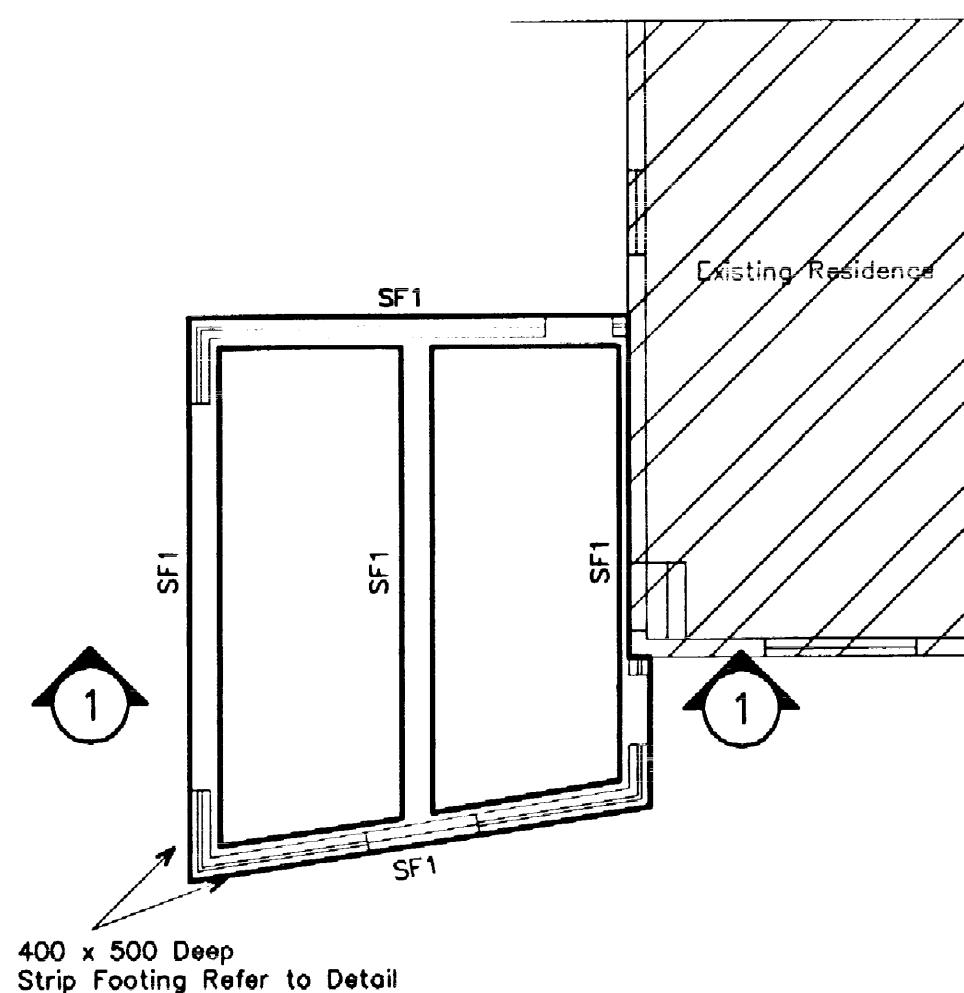
Prepare surfaces to be painted by filling indents, nail and screw holes and other gaps and cracks and sand back to provide a smooth even finish. Allow to seal new and porous surfaces to manufacturers recommendations. Supply materials and scaffolding as necessary to complete the works.

Paint all new exposed raw surfaces as scheduled. Allow to touch up pre-finished surfaces if damaged with colour matched compatible paints.

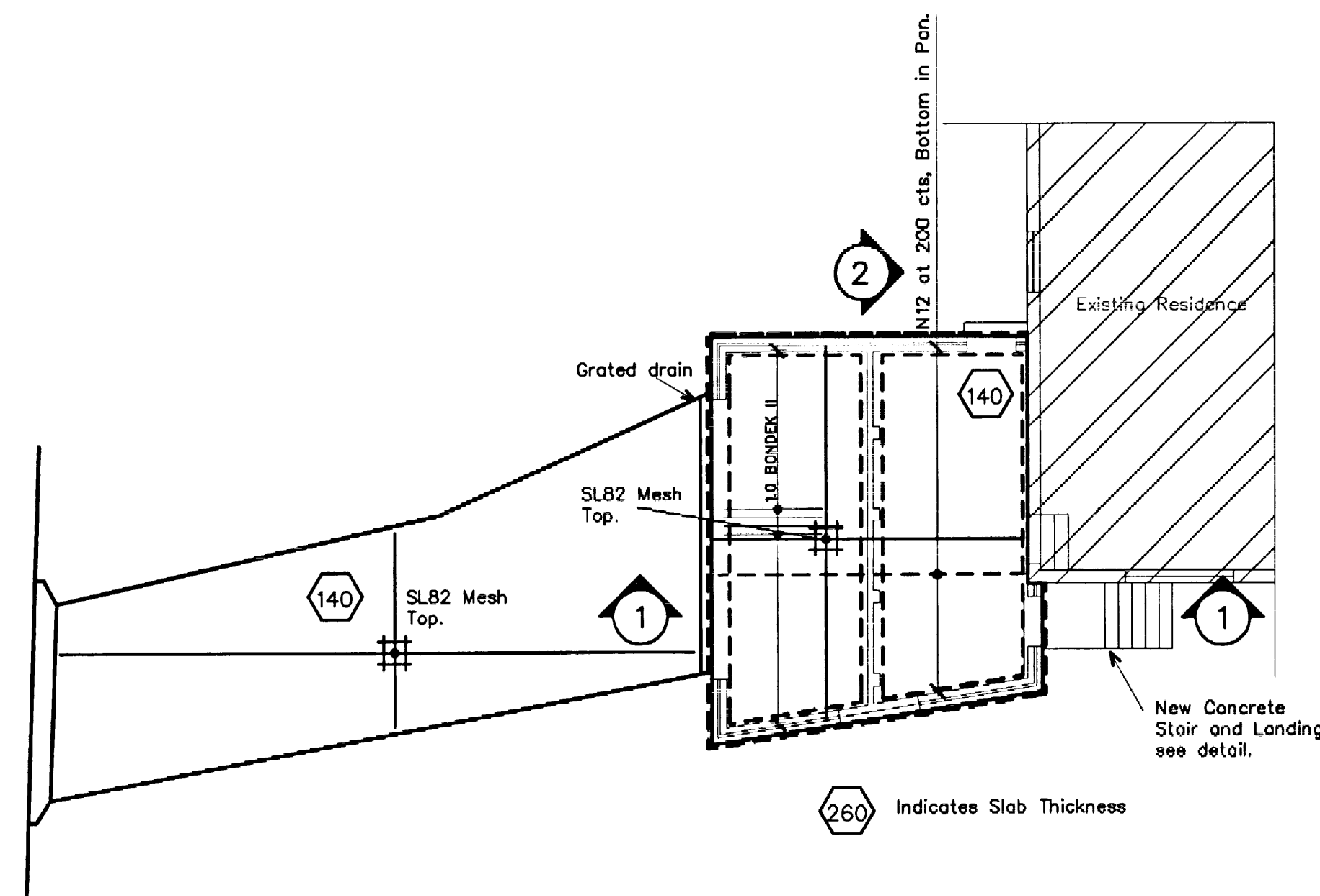
10.02 STANDARDS

All paints, stains, lacquers, fillers and sealers shall be manufactured and applied in accordance with the manufacturers specifications and the following Australian Standard:

- AS/NZS 2311:2000, Guide to the painting of buildings

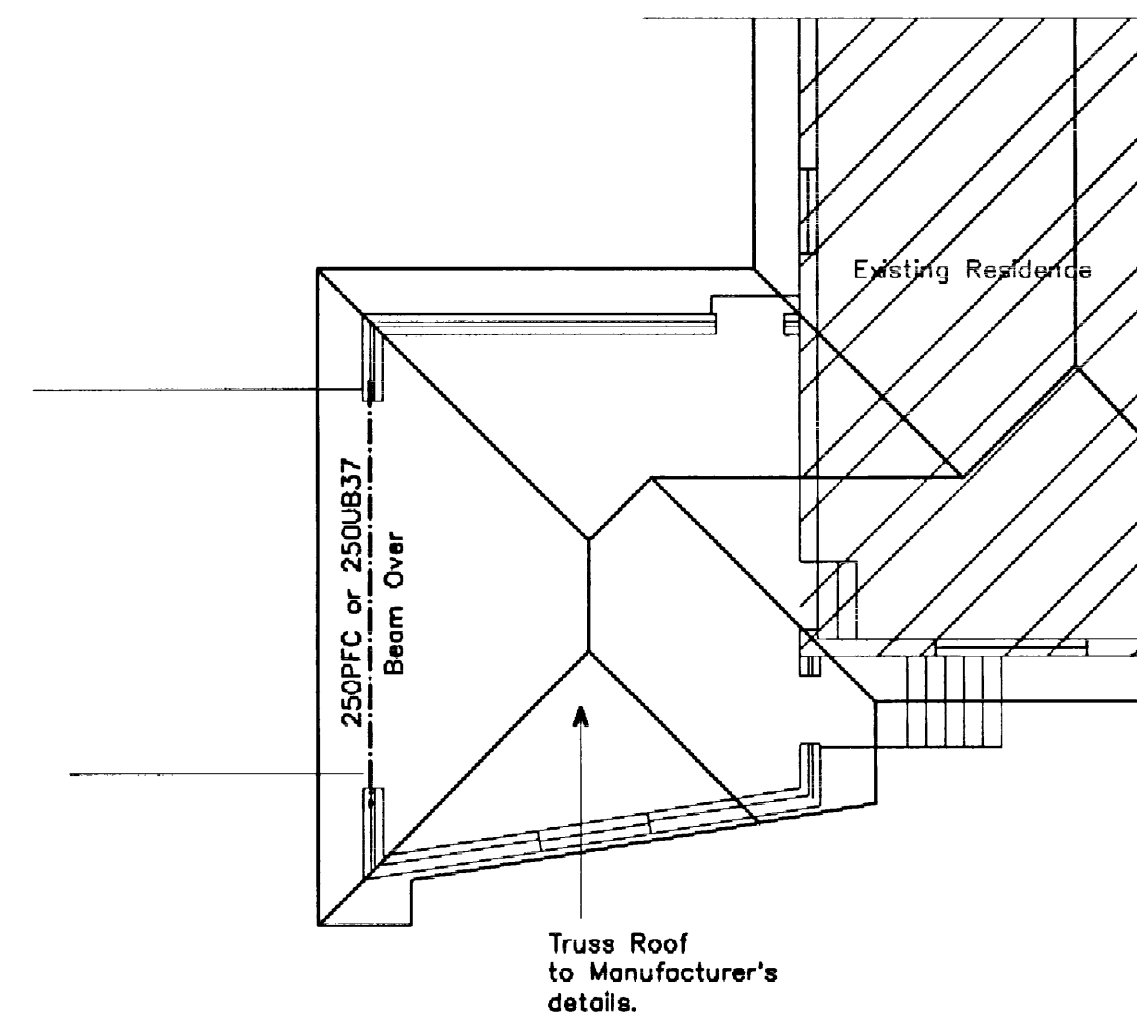


FOOTING PLAN



DRIVEWAY AND GARAGE SLAB PLAN

NOTE:
Bondeck to be propped to
manufacturers specifications.



GROUND MARKING PLAN

Element	Cover (mm)		F'c at 28 Days	
	Internal	External	Internal	External
Piers				
Footings	50 u.n.o.		25 MPa	
Block Filling				
Slab on Ground	30 u.n.o.	40 u.n.o.		32 MPa
Top				
Bottom				
Beams				
Columns				
Slabs	30 u.n.o.	40 u.n.o.		32 MPa
Walls				

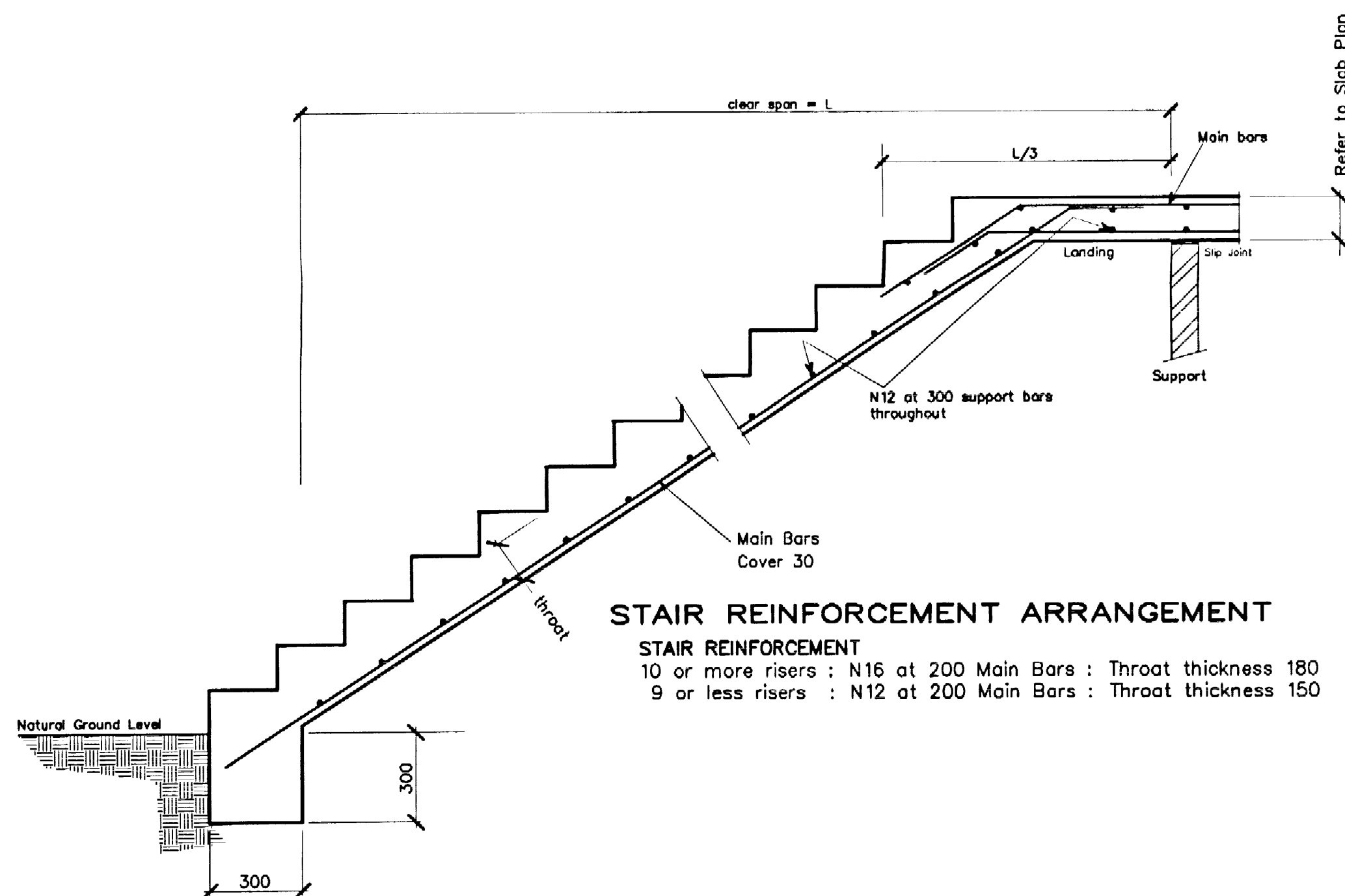
The minimum clear cover is to reinforcement ties and stirrups.

STEELWORK NOTES

1. Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1554 and the Specification.
2. Do not obtain dimensions by scaling the structural elements.
3. Chip all welds free of slag.
4. All steelwork to be Hot Dipped Galvanised. Unless Otherwise Noted.
5. Unless otherwise noted use:
 - a) 6mm continuous fillet weld
 - b) 10mm thick gusset, fin and end plates, weld all round.
 - c) 16mm dia. 4.6/s bolts
6. Minimum end bearing 150mm.

CONCRETE NOTES

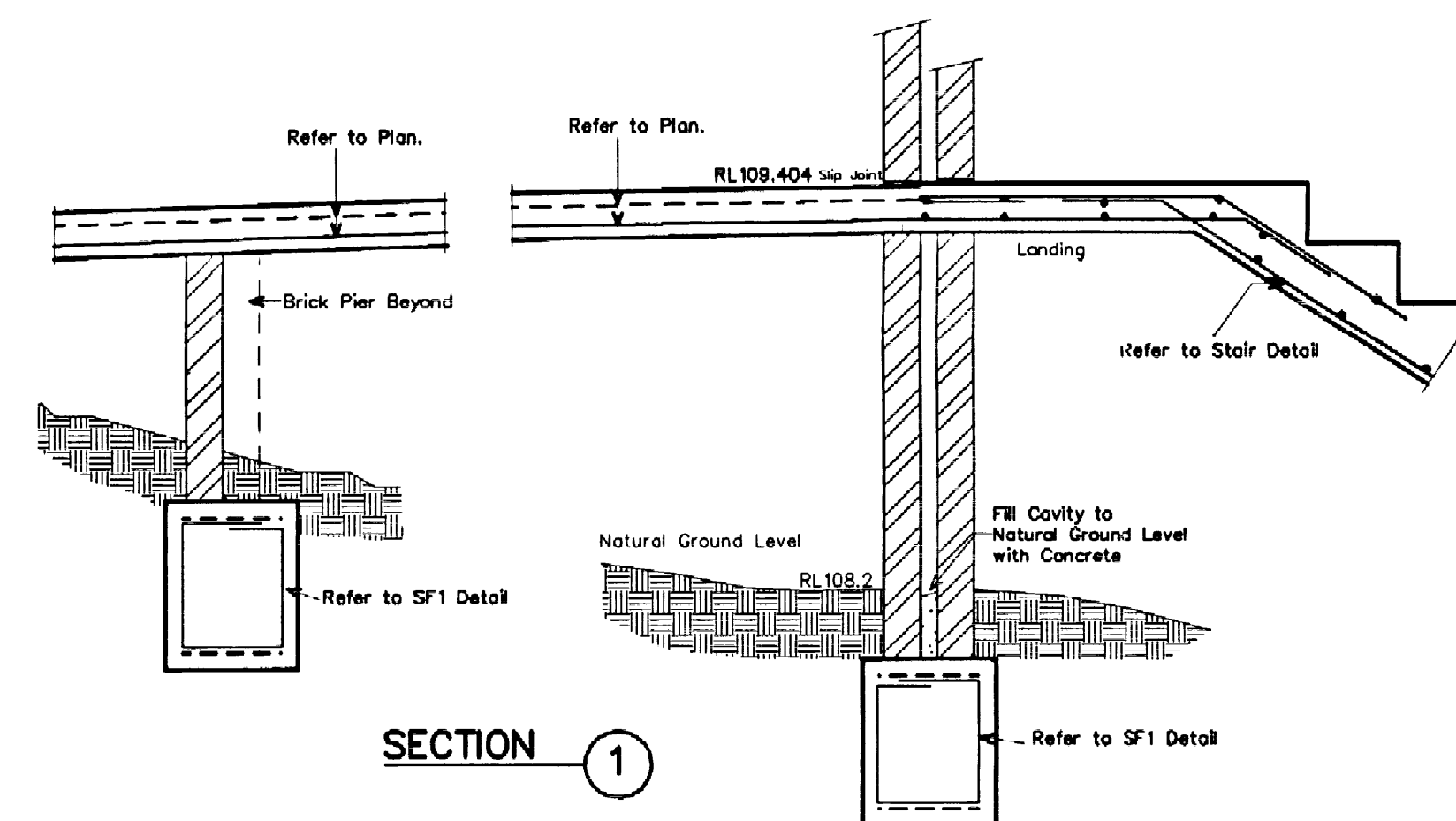
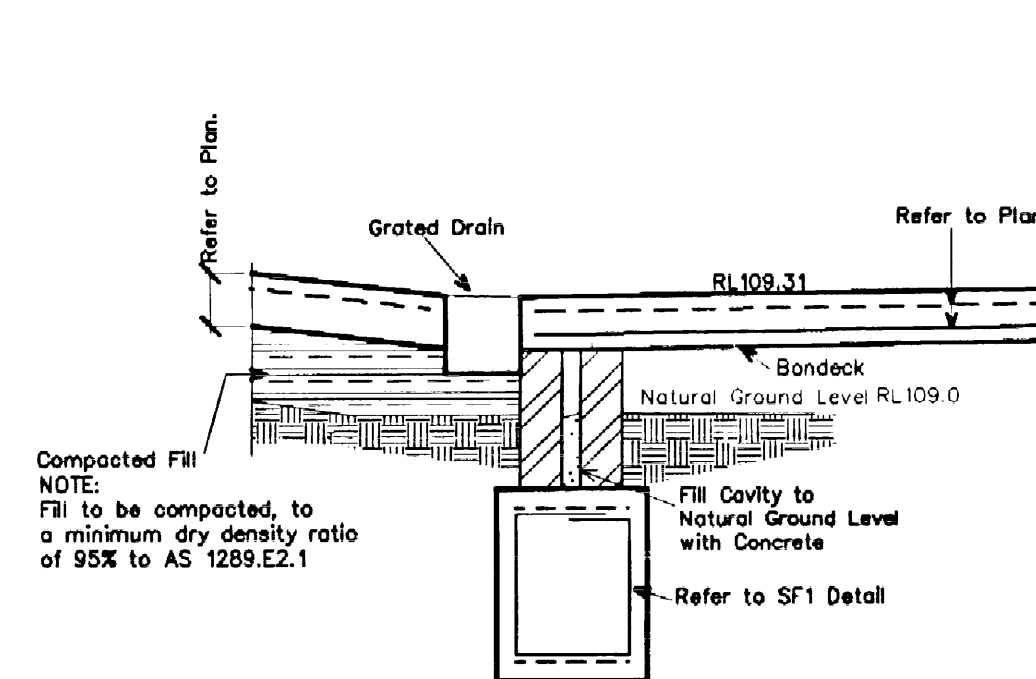
1. All concrete work to be in accordance with AS 3600.
2. F'c Refer to table.
3. Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
4. Slump = 80.
5. All concrete, including block filling, to be vibrated.
6. Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
7. Bar Chairs to be no more than 800mm ctr to ctr spacing.
8. Reinforcing Steel to comply with AS/NZS 4671:2001, and to be 500DN unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
9. Reinforcement to be tied at every other intersection minimum.
10. Moisture Vapour Membrane to be 200 Microns thick, U.V. Resistant and to be in accordance with AS 2870-1996.



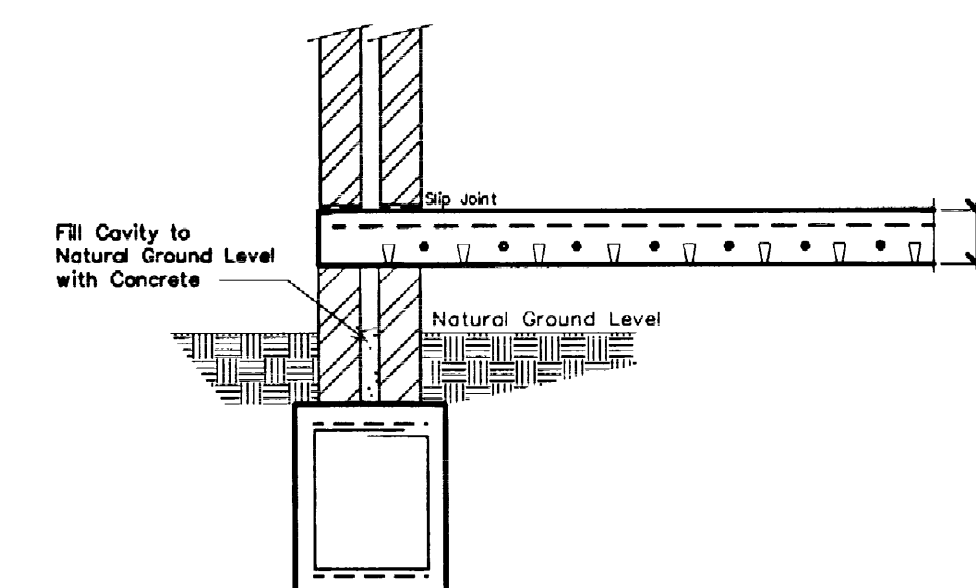
STAIR REINFORCEMENT ARRANGEMENT

STAIR REINFORCEMENT

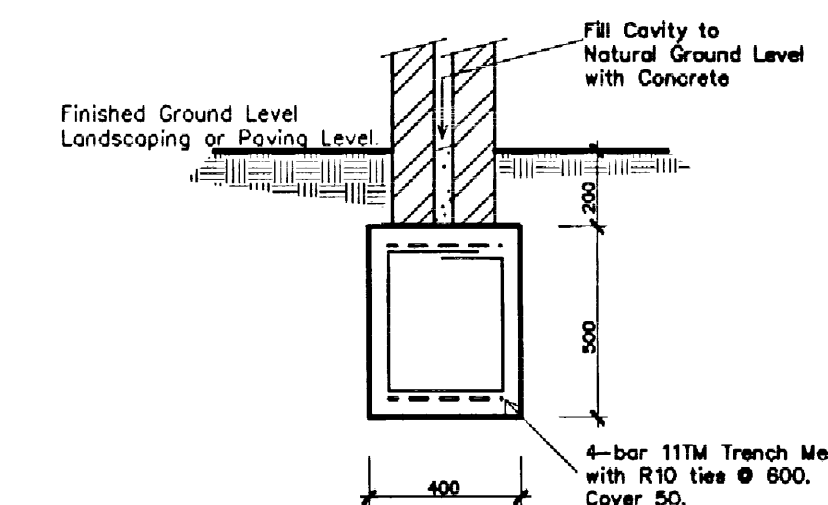
10 or more risers : N16 at 200 Main Bars : Throat thickness 180
9 or less risers : N12 at 200 Main Bars : Throat thickness 150



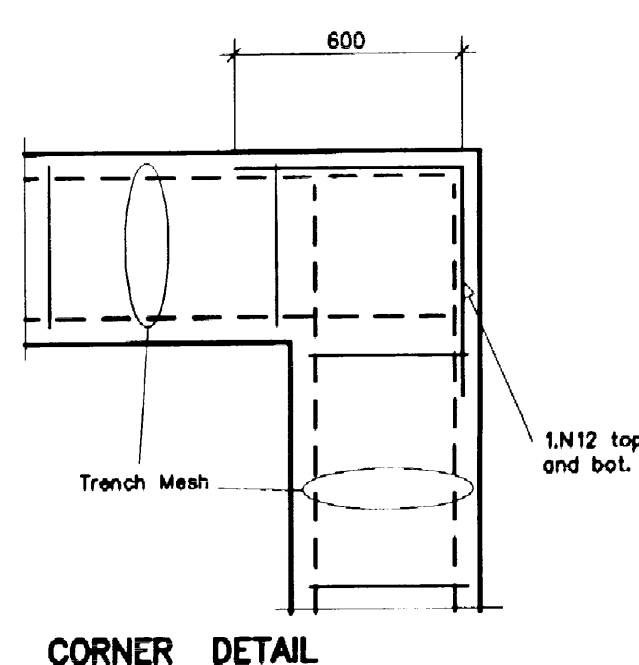
SECTION 1



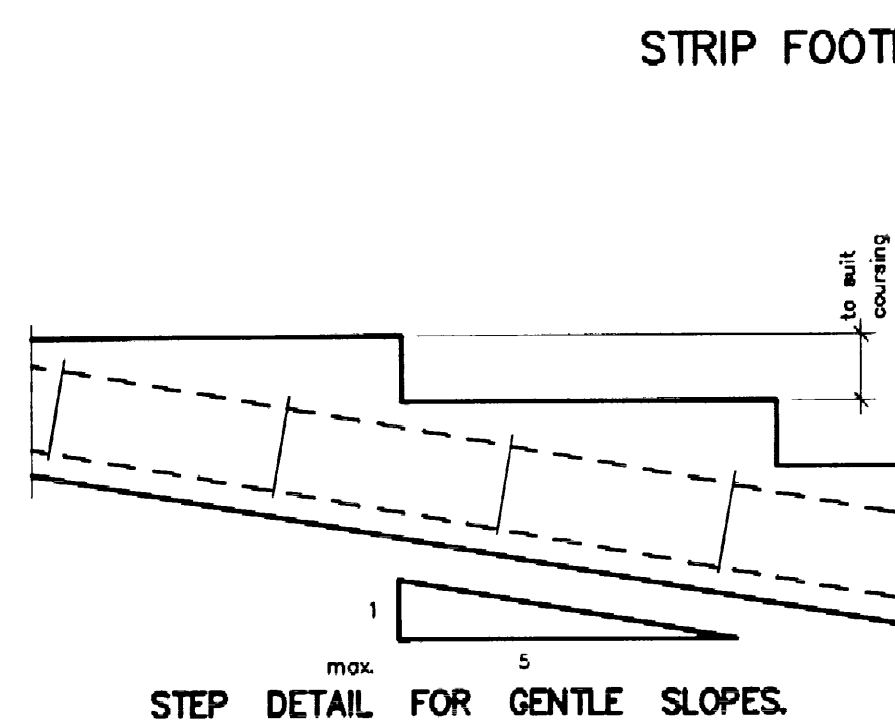
SECTION 2



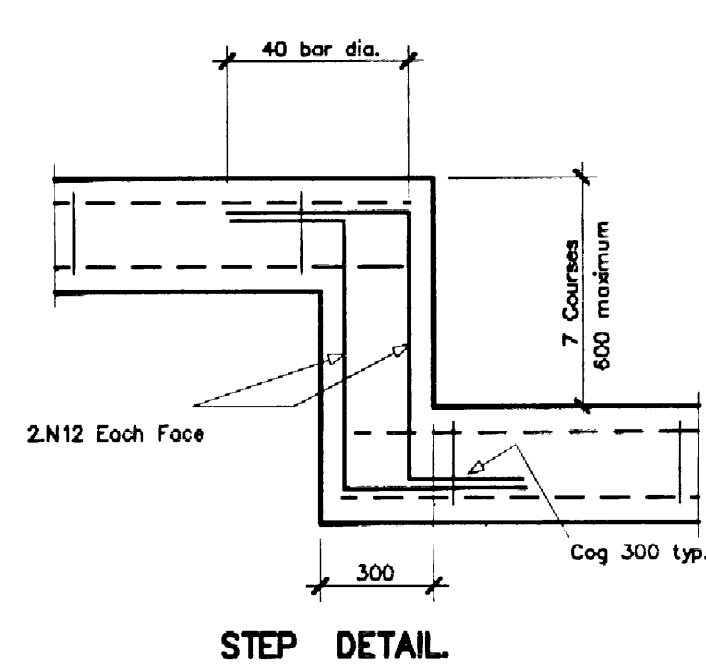
400 x 500 Deep
STRIP FOOTING DETAIL - SF1



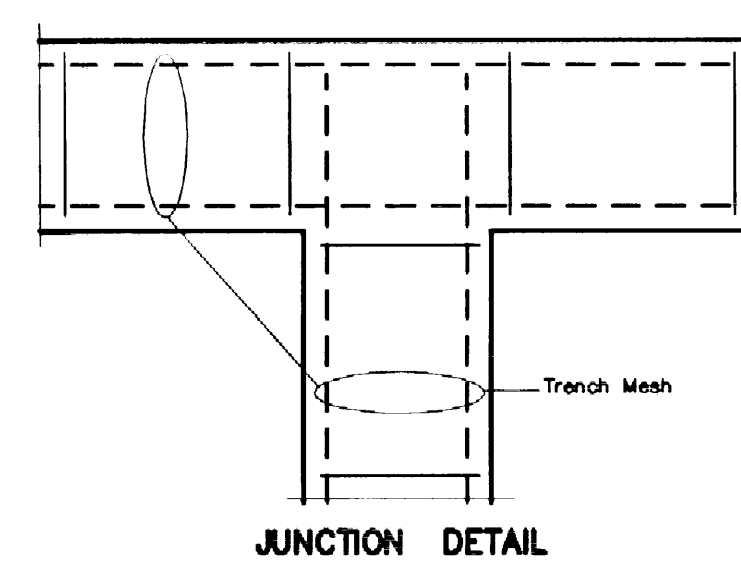
CORNER DETAIL



STEP DETAIL FOR GENTLE SLOPES.

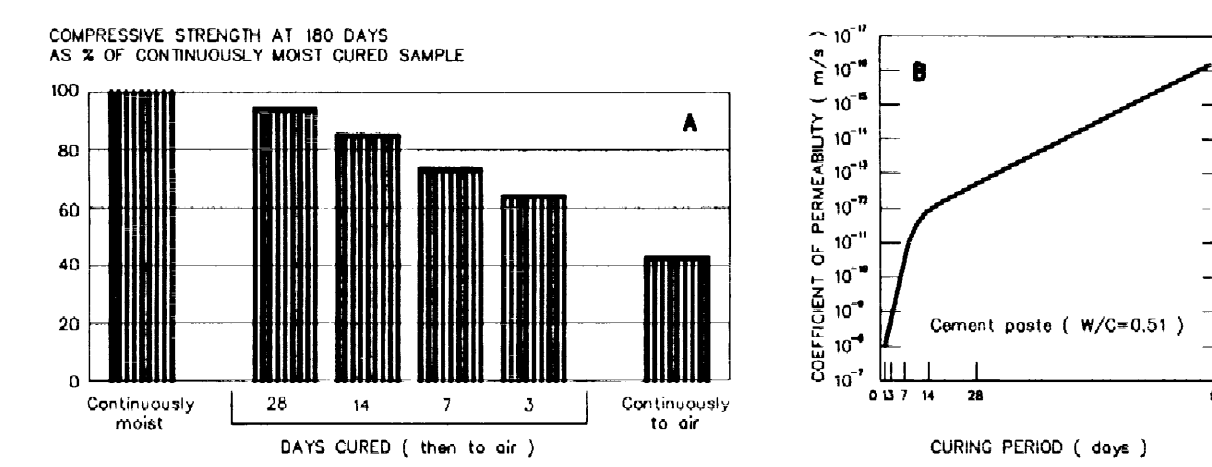


STEP DETAIL



JUNCTION DETAIL

IMPORTANCE OF CURING CONCRETE



Effect of curing duration on : (A) compressive strength and (B) concrete permeability
Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HB84:1996)

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of
development consent, the provisions of the Building Code of Australia.
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700
A.S.4100
Jack D. Hodgson 1/19/04
Name Date Signature

No. Amendment Drawn Date

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

DRIVEWAY SLAB AND GARAGE MARKING PLAN AND DETAILS

PROPOSED ALTERATIONS AND ADDITIONS 19 THE OUTLOOK BIGOLA PLATEAU

MR. G. BARBER

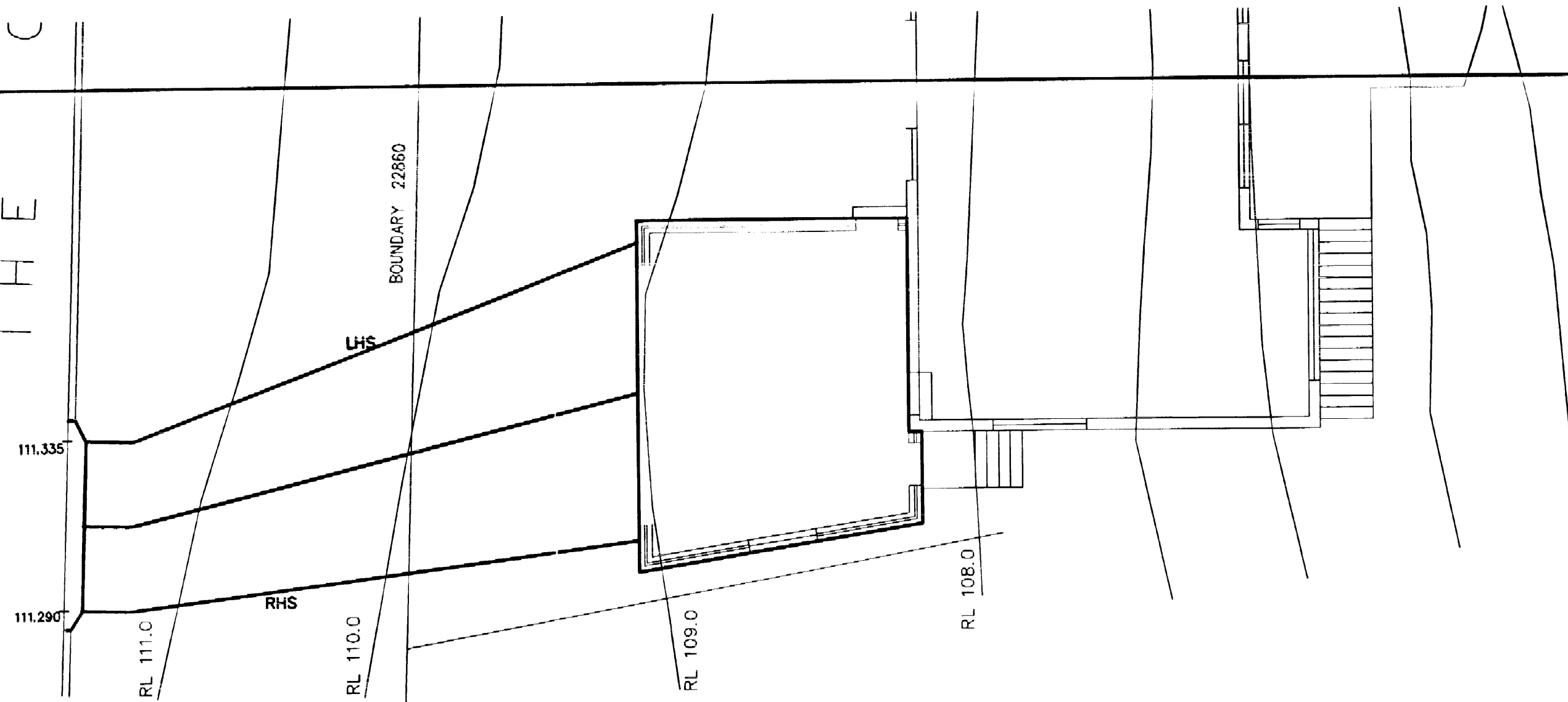
Our drawings are based on the information provided by -
(Architects name or similar, Owners sketches etc.)
Drawing No: Date: -
Amendment: Date: -

The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work NOT in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungan Street, MONA VALE 2103, P.O. Box 389, Post Code 1660.
Telephone (02) 9979 6733. Facsimile (02) 9979 6926. A.C.N. 053 405 011.

Designed JDH Drawn BK Job No. Drawing No.
Checked SG Scale 1:100,20, u.n.o. 21958-S1
Date 30TH AUGUST 2004

THE



Driveway Notes:-

1. Design Levels shown comply with Council's DCP E3.
2. Crossing to be constructed by a contractor registered with the council for this work.
3. Slopes greater than 1 in 4 (25%) for total length of 25 metres are not permitted.
4. Change of grades greater than 12.5% require a transition of at least 2 metres in length at half the change in grade.

03/10/04

04 NOV 2004

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust....Nper3....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of
development consent, the provisions of the Building Code of Australia.
A.S.1170., A.S.1170.1, A.S.1170.2, A.S.1684., A.S.2870.1., A.S.3600., A.S.3700
A.S.4100 & A.S. 1183

Jack D. Hodgson 27/10/04 J. Hodgson
Name Date Signature

No.	Amendment	Drawn Date
B	Driveway Longsection	KLC 22/10
A	Driveway Longsection	KLC 17/9

Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.

DRIVEWAY LONG SECTIONS

PROPOSED ALTERATIONS AND ADDITIONS 19 THE OUTLOOK BIGOLA PLATEAU

MR. G. BARBER

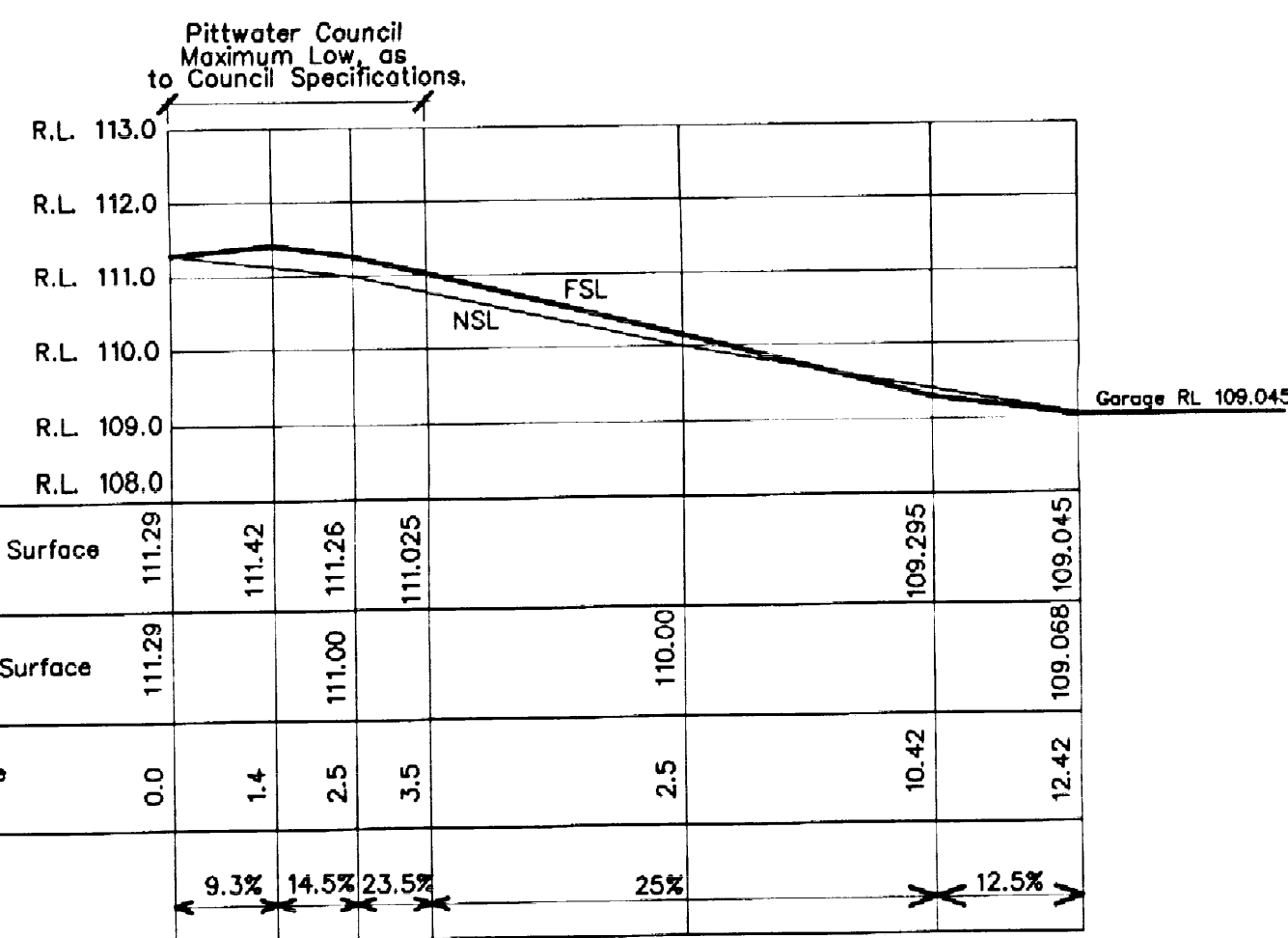
Our drawings are based on the information provided by:-
MCHP Architects Pty Ltd
Drawing No:- Date:-
Amendment:- Date:-

The Structural Details shown on this Drawing are NOT to change under any circumstance. NO Certificate will be issued for work NOT in accordance with this Drawing.

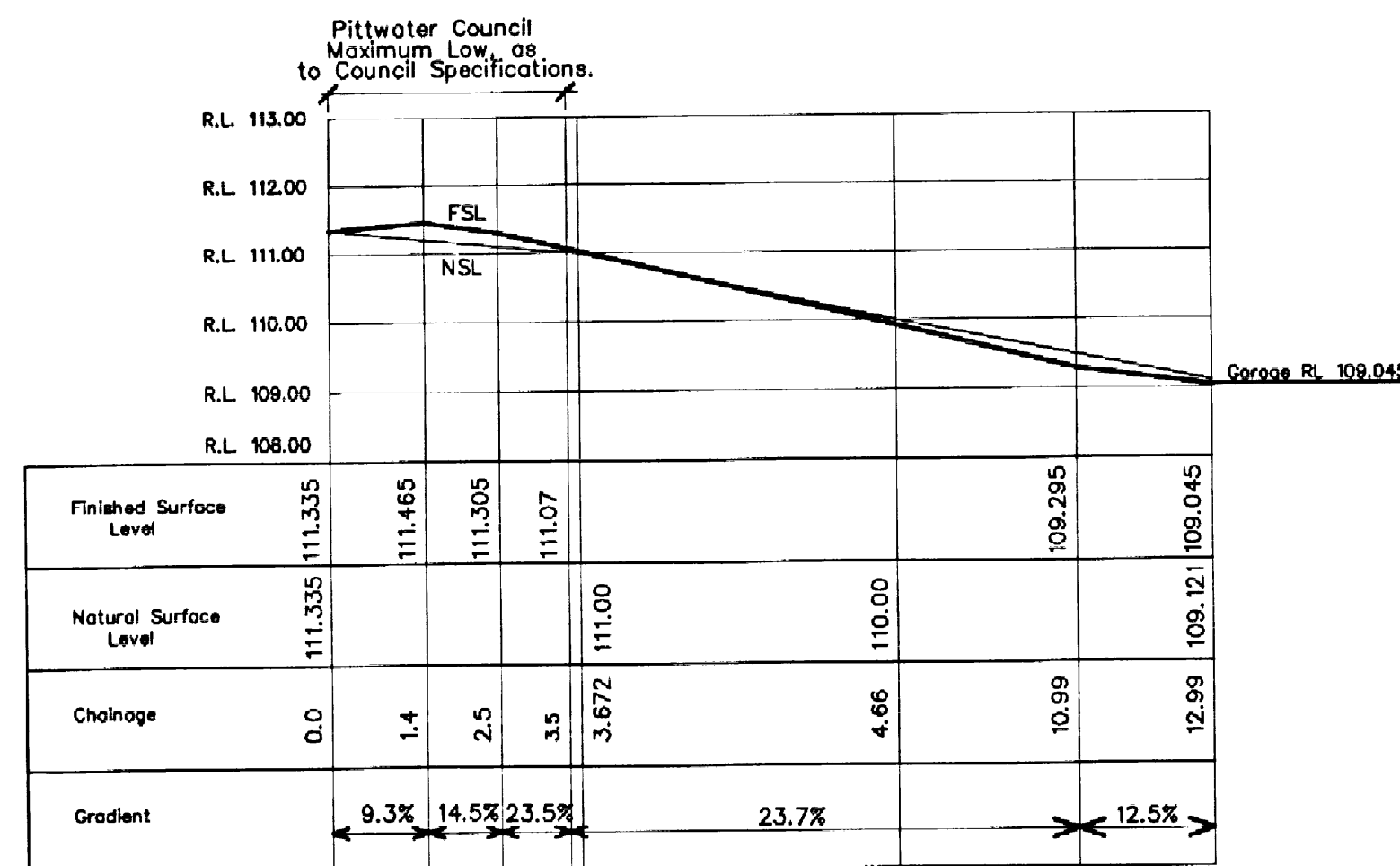
JACK HODGSON CONSULTANTS PTY. LIMITED.

Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungan Street, MONA VALE 2103, P.O. Box 389, Post Code 1660.
Telephone (02) 9979 6733. Facsimile (02) 9979 6926. A.C.N. 053 405 011

Designed JDH	Drawn KLC	Job No.	Drawing No.
Checked GH	Scale 1:100,20, uno.	21958-C1/B	
Date	30TH AUGUST 2004		



LONGITUDINAL SECTION OF RIGHT HAND SIDE
OF DRIVEWAY



LONGITUDINAL SECTION OF LEFT HAND SIDE
OF DRIVEWAY

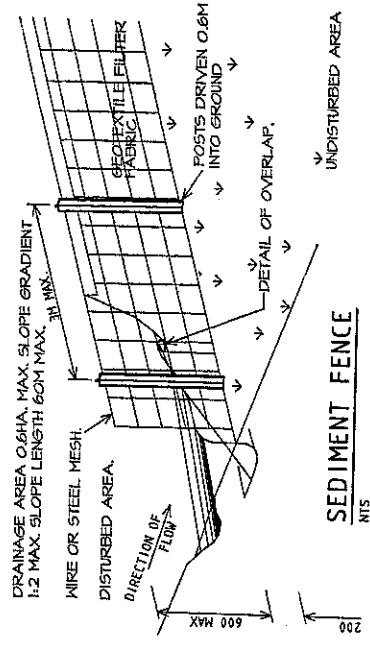
FINISHES LEGEND:

WALL:

- PROPOSED FACE BRICKWORK WALL
- 30mm TIMBER STUD FRAMING WITH FC SHEET EXTERNAL CLADDING PAINT FINISH
- PROPOSED DOOR
- EXISTING DOOR

NOTE:

- ALL EXISTING LANDSCAPING IS TO BE RETAINED.
- DEMOLISH EXISTING CARPORT
- EXISTING DRIVEWAY TO BE DEMOLISHED AND NEW TO BE CONSTRUCTED
- SEDIMENT FENCE
- SITE BOUNDARY



SEDIMENTATION CONTROL

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SEDIMENTATION CONTROL DURING ANY EXCAVATION WORKS AND AROUND ANY LOOSE SOIL TO THE DOWNHILL SIDE OF THE WORKS TO ENSURE NO SILT ENTERS COUNCIL OR ADJACENT PROPERTY OR ANY COUNCIL STORMWATER DRAINS.

STORMWATER

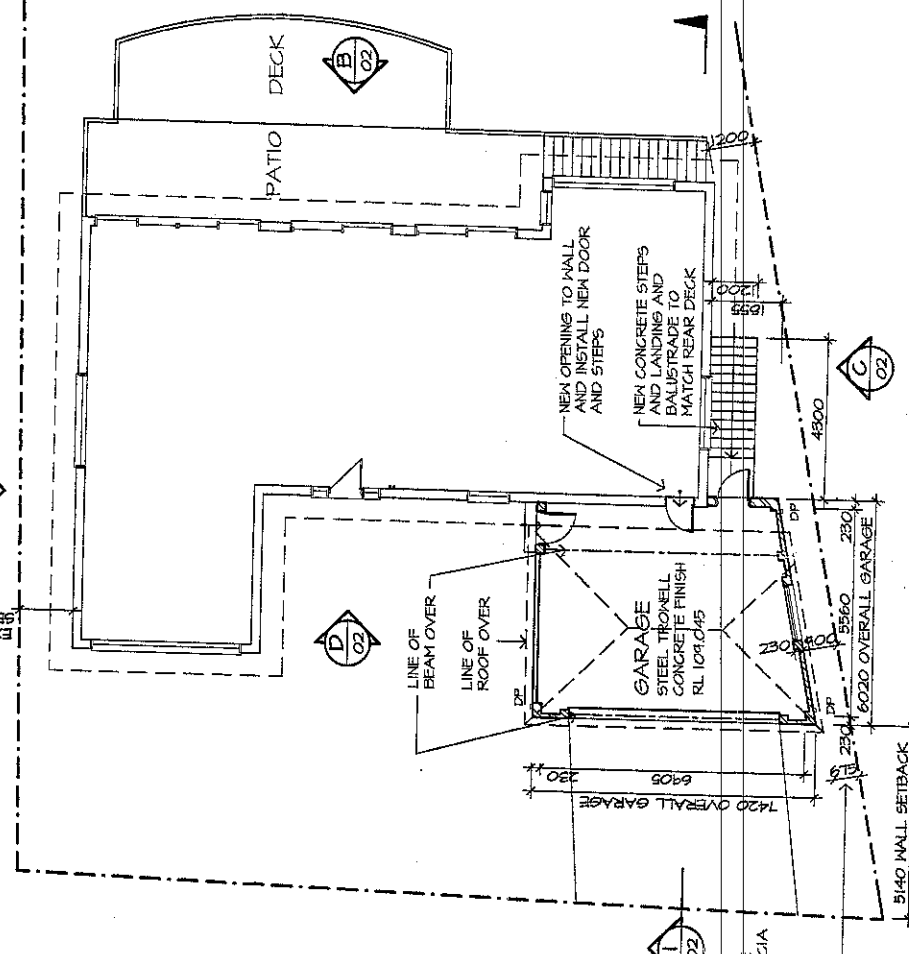
CONNECT ANY NEW DOWNPIPES TO EXISTING STORMWATER LINES.

DEMOLITION & WASTE MATERIALS

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL WORKS COMPLY WITH WORK COVER REQUIREMENTS AND STANDARD PRACTICE. IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE DEMOLISHED MATERIALS ARE DISPOSED OF LEGALLY AND IN ACCORDANCE WITH COUNCIL REQUIREMENTS. DETAILS CAN BE PROVIDED BY THE BUILDER, IF REQUIRED, ONCE BUILDER HAS BEEN SELECTED.

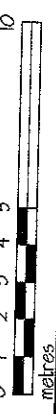
SITE AND ROOF PLAN

SCALE 1:100 @ A1; 1:200 @ A3



GROUND FLOOR PLAN

SCALE 1:100 @ A1; 1:200 @ A3



NO.	DATE	REVISION	BY
1	07/16/04	ISSUED FOR APPROVAL	MB
2	07/16/04	DESIGN ATTENDED TO COUNCIL REQUIREMENTS	MB
3	07/16/04	DESIGN ATTENDED TO COUNCIL REQUIREMENTS	MB
4	07/16/04	DESIGN ATTENDED TO COUNCIL REQUIREMENTS	MB
5	07/16/04	DESIGN ATTENDED TO COUNCIL REQUIREMENTS	MB
6	07/16/04	DESIGN ATTENDED TO COUNCIL REQUIREMENTS	MB
7	07/16/04	DESIGN ATTENDED TO COUNCIL REQUIREMENTS	MB
8	07/16/04	DESIGN ATTENDED TO COUNCIL REQUIREMENTS	MB
9	07/16/04	DESIGN ATTENDED TO COUNCIL REQUIREMENTS	MB
10	07/16/04	DESIGN ATTENDED TO COUNCIL REQUIREMENTS	MB

CLIENT: G & C BARBER

PROJECT: PROPOSED EXTENSIONS TO EXISTING PREMISES AT 19 THE OUTLOOK

19 THE OUTLOOK

BILGOLA NSW 2107

DATE: 4 NOV 2004

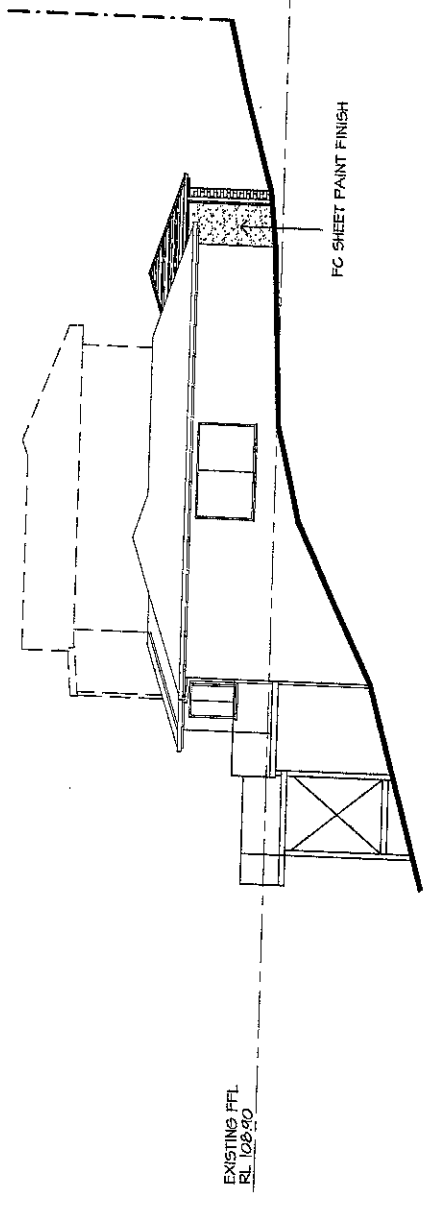
TITLE: FLOOR, ROOF AND SITE PLANS

DRAWN	DATE	SCALE	REVISION
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MB	13/03/2004	A1	1: 200
MB	13/03/2004	A1	1: 100
MB	13/03/2004	A1	1: 100
MB	13/03/2004	A1	1: 100
MB	13/03/2004	A1	1: 100
MB	13/03/2004	A1	1: 100
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MB	13/03/2004	A1	1: 100

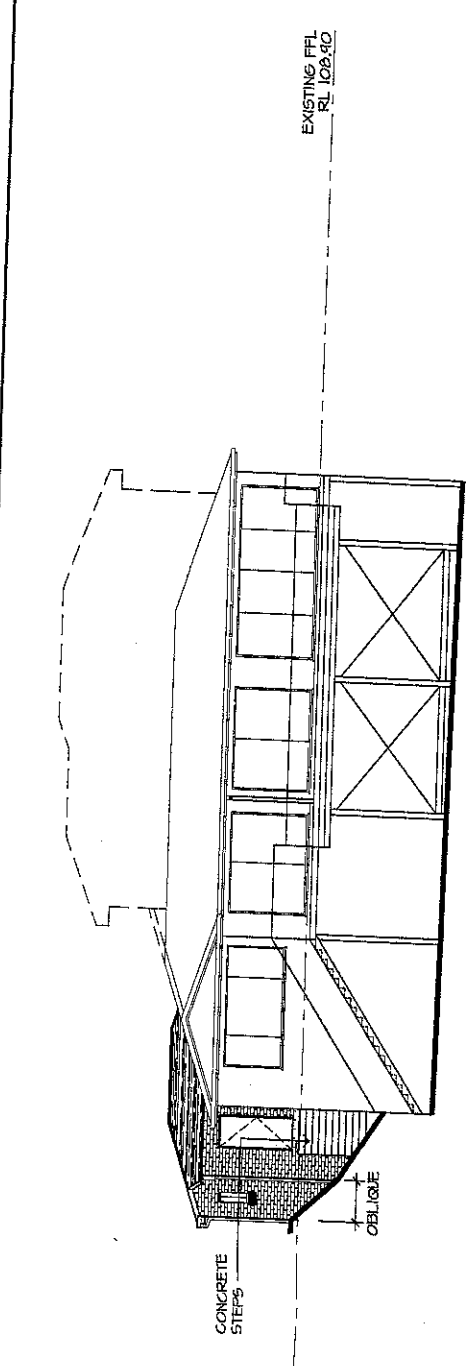
DRAWING No. 00-006 / 01

REVISION: D

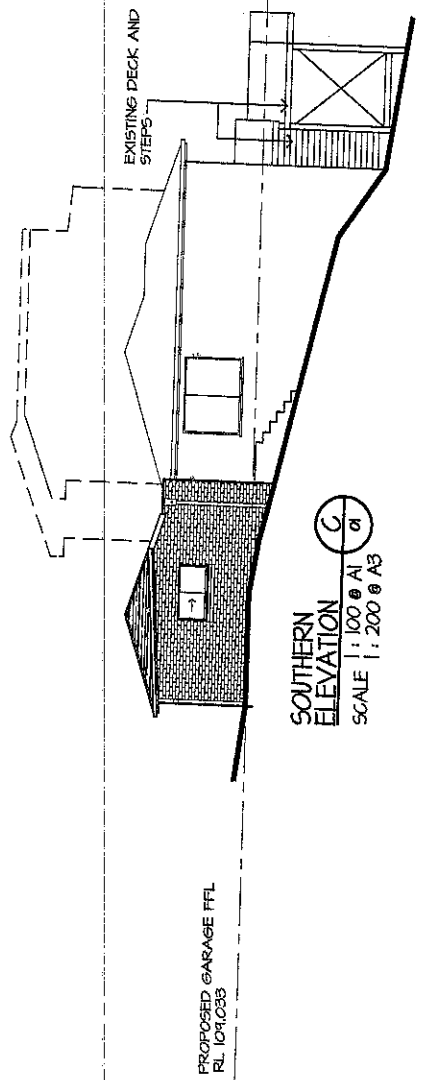
25 CHANDOS STREET PHONE (02) 9438 2222
571 LEONHARDT DRIVE FAX (02) 9438 1340
MCHP Architects Pty Ltd
EMAIL: mchp@mac.com.au



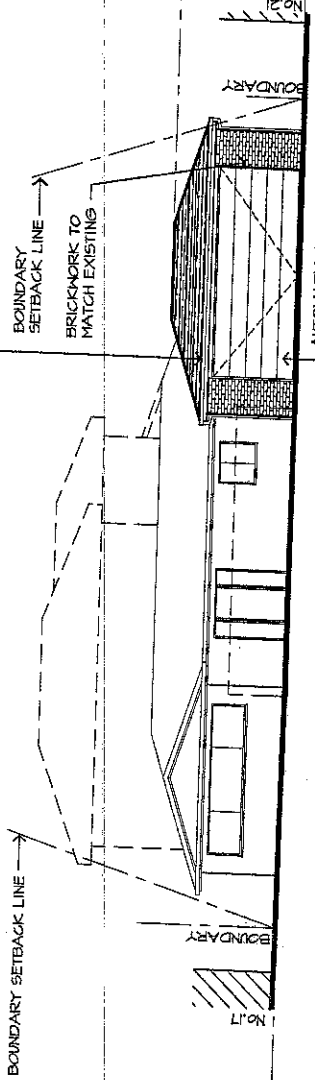
NORTHERN ELEVATION
SCALE 1:100 @ A1
1:200 @ A3



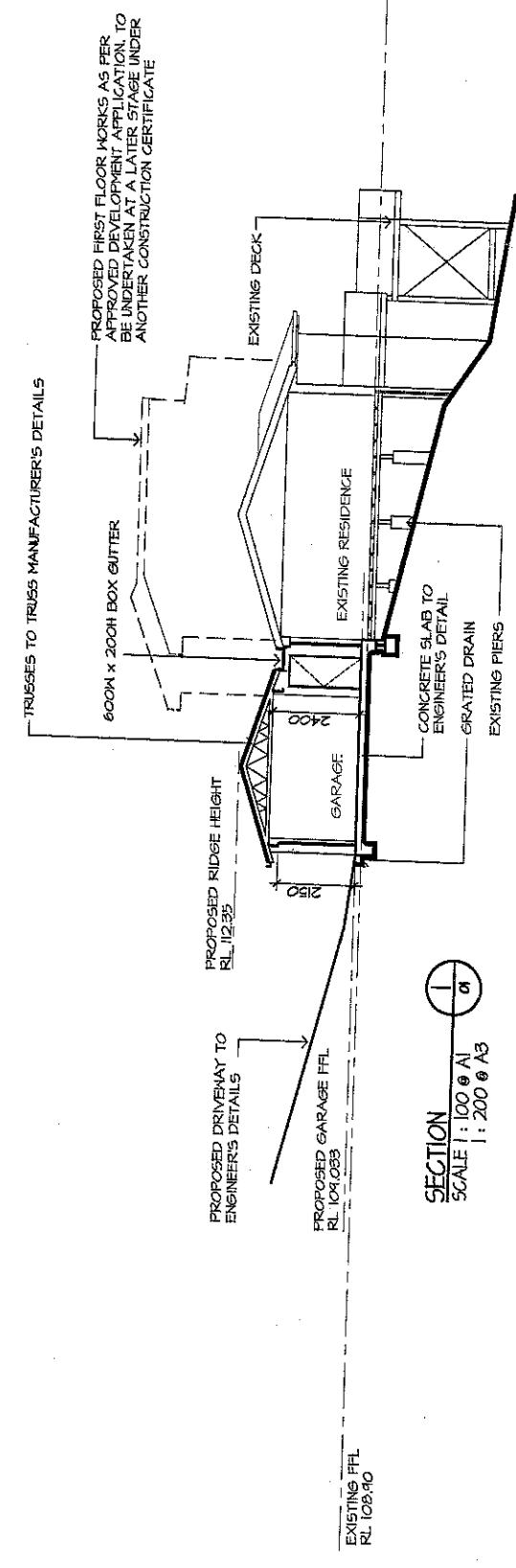
EASTERN ELEVATION
SCALE 1:100 @ A1
1:200 @ A3



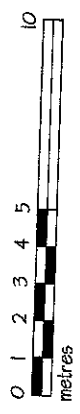
SOUTHERN ELEVATION
SCALE 1:100 @ A1
1:200 @ A3



WESTERN ELEVATION
SCALE 1:100 @ A1
1:200 @ A3



SECTION
SCALE 1:100 @ A1
1:200 @ A3



FINISHES SCHEDULE	
	FACE BRICKWORK TO MATCH EXISTING
	PAINTED FC WALL SHEETING
	ROOF TILES TO MATCH EXISTING

0716/04
Submitted plans, if approved, to be associated with the following documents:
Submitted by: *[Signature]*
04 NOV 2004

D	21/02/04	GARAGE ROOF LINE ADJUSTED	DC
C	21/02/04	UPDATED DRAWINGS FOR CC	DC
B	16/10/03	DESIGN ATTENDED TO COUNCIL REQUIREMENTS	HS
A	05/07/01	ISSUED FOR APPROVAL	HS
No.	DATE	REVISION	BY

CLIENT
G & C BARBER

PROJECT
PROPOSED EXTENSIONS TO EXISTING PREMISES AT 15 THE OUTLOOK BILGOLA NSW 2107

TITLE
ELEVATIONS & SECTIONS

DRAWN	MCHP	DATE	19/03/2001
A3	SCALE	A1	SCALE
DRAWING No.		REVISION	
00-006 / 02		1:100	

MCHP Architects Pty Ltd
28 CHANDOS STREET PHONE (02) 9458 2722
ST. LEONARDS 2065 FAX (02) 9458 1340
EMAIL architects@mchp.com.au

1. Property will drain to Sydney Water's Sewer with Ground Levels as at Date of Survey.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainlayer.
3. Position of structure in relation to Sydney Water's assets is satisfactory.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Water Board (Corporation) Act 1994 AS 3500 and the Plumbing Code of Practice.
5. All Inspection Shafts and Boundary Traps must not be placed under any Roof, Balcony, Verandah, floor or other cover unless otherwise approved by Sydney Water.

Acc. No. 3487975
CHATSWOOD CUSTOMER CENTRE

STATSWOOD CUSTOMER CENTRE
Wendy 5/9/00
WEY WATER CORPORATION

0716/04

14 NOV 2003

MCHP Architects Pty Ltd

ABN 21 096 632 450

28 CHANDOS STREET, ST LEONARDS N.S.W. 2065
Phone (02) 9436 2222 Fax (02) 9439 1340 Email architects@mchp.com.au**F A C S I M I L E T R A N S M I T T A L****TO:**

Contact Name Carl Georgeson
Company Name Pittwater Council
Facsimile Number 9970 1246

CC:**FROM:**

Contact Name David Cahill
Number of Pages 4 (including header)

Date 25.10.2004

SUBJECT: 19 The Outlook, Bilgola*IF YOU DO NOT RECEIVE ALL PAGES, PLEASE CONTACT US IMMEDIATELY*

Dear Carl,

As requested, please find attached additional information –

- Part drawings indicating eaves line minimum of 675mm from boundary.

Letter from Jack Hodgson re: DCP E3 "Driveways and Internal Driveways".

We also note that the extent of proposed works on this Construction Certificate shall be limited to the new garage, new doorway between the garage and house, new stairs from garage to the rear yard and the new driveway. It includes the demolition of the existing driveway and carport – as per drawing 00-006/01-C and 00-006-02-C. Please note the Sydney Water approved stamped plan shows the whole DA approval – not the extent that we are applying for with this Construction Certificate (CC).

This CC excludes the first floor addition and first floor deck, the plunge pool, the gate and retaining wall surrounding the plunge pool, new laundry, removal of internal walls within the existing house and the internal staircase. The remaining works shall be applied for as another CC at a later date.

Should there be any further queries please do not hesitate to contact me.

Kind Regards,

David Cahill

RECEIVED	
Date CC 07/16/04	
[Signature]	
04 NOV 2004	

14' EXIS
SETE

07/16/04

04 NOV 2004



LINE OF
BEAM OVER

LINE OF
ROOF OVER

DP

7420 OVERALL GARAGE
230
6905

GARAGE
STEEL TROWELL
CONCRETE FINISH
RL 109.033

NEW OPENING TO WALL
AND INSTALL NEW DOOR
AND STEPS

NEW CONCRETE STEPS
AND LANDING AND
BALUSTRADE TO
MATCH REAR DECK

1855
1200

4300

230

5560

230

6020 OVERALL GARAGE

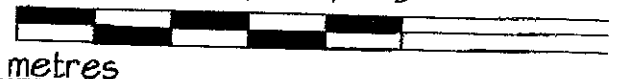
5140 WALL SETBACK



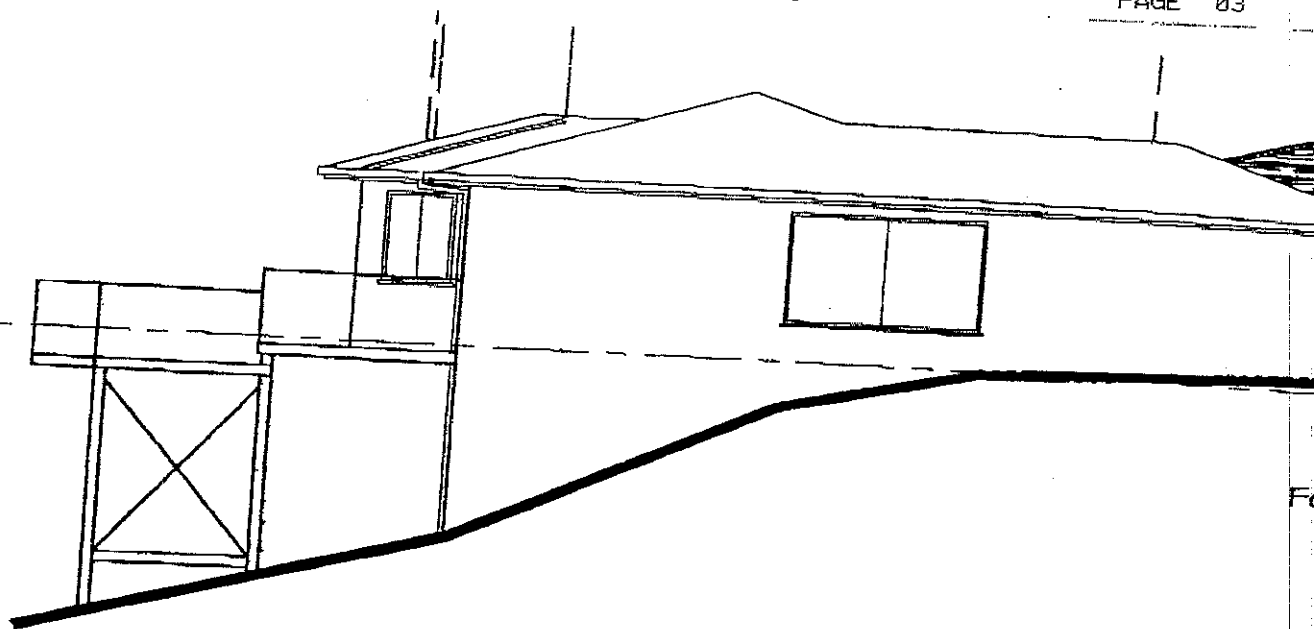
EAVES FASCIA TO BE
A MINIMUM OF 675mm
FROM BOUNDARY.

GROUND FLOOR PL
SCALE 1:100 @ A1 ; 1:200 @

0 1 2 3 4 5

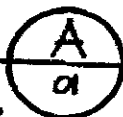


metres

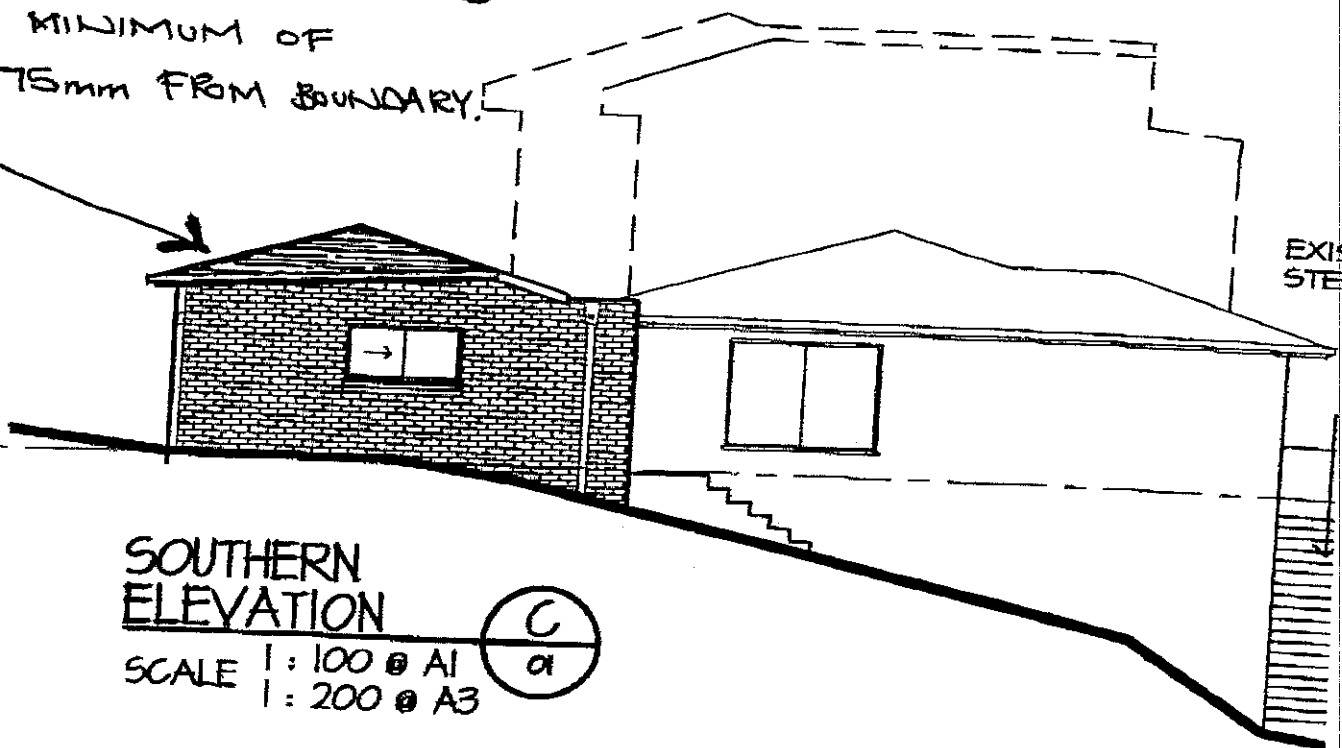


NORTHERN ELEVATION

SCALE 1 : 100 @ A1
1 : 200 @ A3

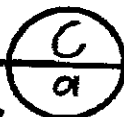


• EAVES FASCIA TO BE
A MINIMUM OF
675mm FROM BOUNDARY.



SOUTHERN ELEVATION

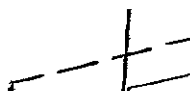
SCALE 1 : 100 @ A1
1 : 200 @ A3



Project No 0716/04	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	04 NOV 2004

TRUSSES TO

600W x 200H



VP 21958B.
27th October, 2004.
Page 1.

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

Dear Sir,

19 THE OUTLOOK, BILGOLA PLATEAU.

We refer to our Drawing No. 21958-C1B showing the proposed driveway at the subject address. This driveway conforms to DCP E3.

The Council requirement for the driveway is a width of 3.0 metres at the boundary. As will be noted from the drawing it is not possible to attain this width and keep a satisfactory entry to the garage. The width on our drawing is 5.15 metres.

It is recommended that Council approve this variation from the details given on the Road levels Form so that the access to the garage conforms to normal turning curves.

JACK HODGSON CONSULTANTS PTY. LIMITED.

**J. D. Hodgson M.Eng.Sc.,
F.I.E.Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.**

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