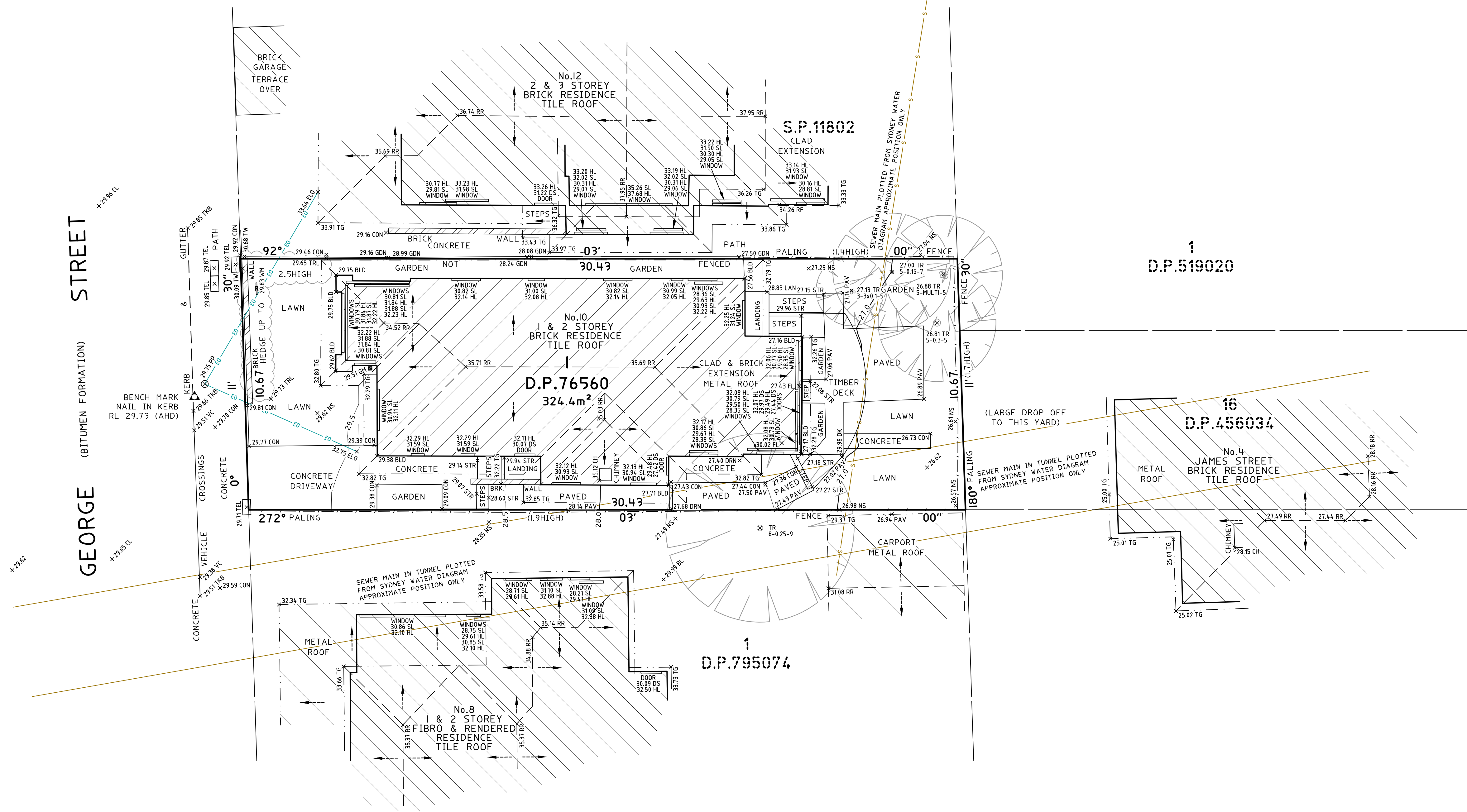
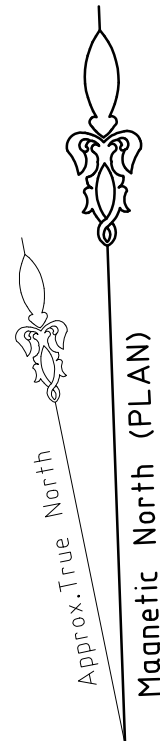


**LEGEND:**

BL = BALCONY
 BLD = EXTERNAL BUILDING
 CH = CHIMNEY
 CL = CENTRELINE
 CON = CONCRETE
 DK = DECK
 DRN = DRAIN
 ELO = ELECTRICITY LINE OVERHEAD
 FL = FLOOR LEVEL
 GDN = GARDEN
 GH = GAS METER
 HL = HOOD LEVEL
 LAN = LANDING
 NS = NATURAL SURFACE
 PAV = PAVING
 PP = POWER POLE
 RET = RETAINING
 RF = TOP OF ROOF
 RR = ROOF RIDGE
 STR = STAIRS
 TEL = TELSTRA
 TG = TOP OF GUTTER
 TKB = TOP OF KERB
 TRL = TREE LINE
 TW = TOP WALL
 VC = VEHICLE CROSSING
 WM = WATER METER
 ELO = ELECTRICITY OVERHEAD
 S = SEWER UNDERGROUND



TREE SPREAD-DIAMETER-HEIGHT

0 1 2 3 4 5 6 7 8 9 10

SCALE 1:100

TITLE INDICATES THAT LOT 1 IN D.P.76560 IS SUBJECT TO:
 - RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S).

NOTES

- BOUNDARIES HAVE NOT BEEN DEFINED (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
- A BASIC BOUNDARY SURVEY HAS BEEN UNDERTAKEN SUITABLE FOR COUNCIL DA SUBMISSION (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
- IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED.
- THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF MANI BROWN.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (pb 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADJUSTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2017.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

HORIZONTAL DATUM:
 CO-ORDINATE SYSTEM: ASSUMED

VERTICAL DATUM:
 DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
 B.M. ADOPTED: PM 899
 R.L. 27.177 (ORDER L2)
 SOURCE: S.C.I.M.S. (04/07/17)

I FIRST ISSUE 11/07/17

CLIENT:
MANI BROWN
c/- MM + J ARCHITECTS
1/36-42 SYDNEY ROAD
MANLY NSW 2095

SURVEY PLAN
SHOWING DETAIL & LEVELS
OVER LOT 1 IN D.P.76560
10 GEORGE STREET
MANLY NSW 2095

C.M.S. Surveyors
Pty Limited

ACN: 096 240 201

PO Box 463 Dee Why
 NSW 2099
 2/99A South Creek Road,
 Dee Why NSW 2099
 Telephone: (02) 9971 4802
 Facsimile: (02) 9971 4822
 E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES SHEET 1 OF 1

SURVEYED B.S.	DRAWN R.N.	CHECKED B.S.	APPROVED DR
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SURVEY INSTRUCTION 9107A	SCALE 1:100	DATE OF SURVEY 05/07/17
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DRAWING NAME 9107A detail	ISSUE 1
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CAD FILE 9107A detail 1.dwg
