



Pittwater Council

ABN 61 340 837 871

All Correspondence to be addressed to General Manager

Units 9, 11 & 12/ 5 Vuko Place
WARRIEWOOD NSW 2102

Avalon Customer Service Centre
59A Old Barrenjoey Road, AVALON 2107
Environmental Compliance

8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

Postal Address
P.O. Box 882
MONA VALE NSW 1660
DX 9018MONA VALE

Telephone (02)9970 1111
Facsimile (02) 9970 7150
Internet www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au

COPY

20 April 2004

JULIE WARWICK
1064 BARRENJOEY ROAD
PALM BEACH NSW 2108

Dear Sir/Madam

Re: Construction Certificate CC0206/04
Property: 1064 BARRENJOEY ROAD PALM BEACH NSW 2108

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed **Notification of Commencement Form** has been submitted to Council at least two (2) days prior to starting work? To assist you please find enclosed a Notification of Commencement Form and Information Sheet.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

An Officer will contact you in the next few days to discuss your development and help ensure your development progresses smoothly.

Yours faithfully

Development Compliance Group

Per: 



Pittwater Council

Construction Certificate No: CC0206/04

COPY

Site Details: **1064 BARRENJOEY ROAD PALM BEACH NSW 2108**
Legal Description: **Lot A DP 327726**
Type of Development: **Building Work**
Description: **Amended roof form and roof top terrace to dwelling**
Associated Development Consent No: **N0550/03** Dated: **05/03/2004**
Building Code of Australia Certification: **Class 1a**

Details of plans, documents or Certificates to which this Certificate relates:

- **Architectural plans prepared by PlanArt; Project No. A-001; Sheet 1 of 2 to Sheet 2 of 2; Amendment A; dated March 2003**
- **Structural Engineers Drawings prepared by Jack Hodgson Consultants Pty Limited; Job No. 20921-1; dated 2 June 2003**

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: N0550/03

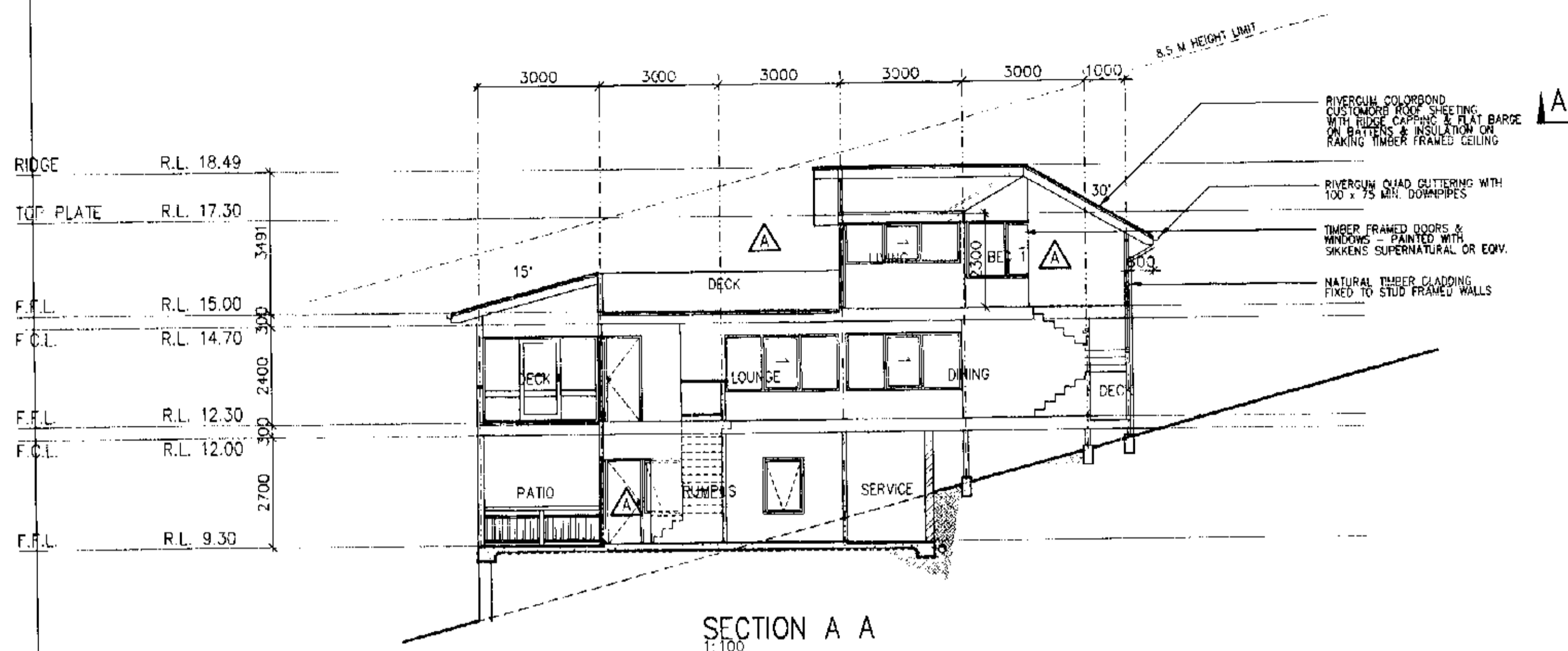
Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.



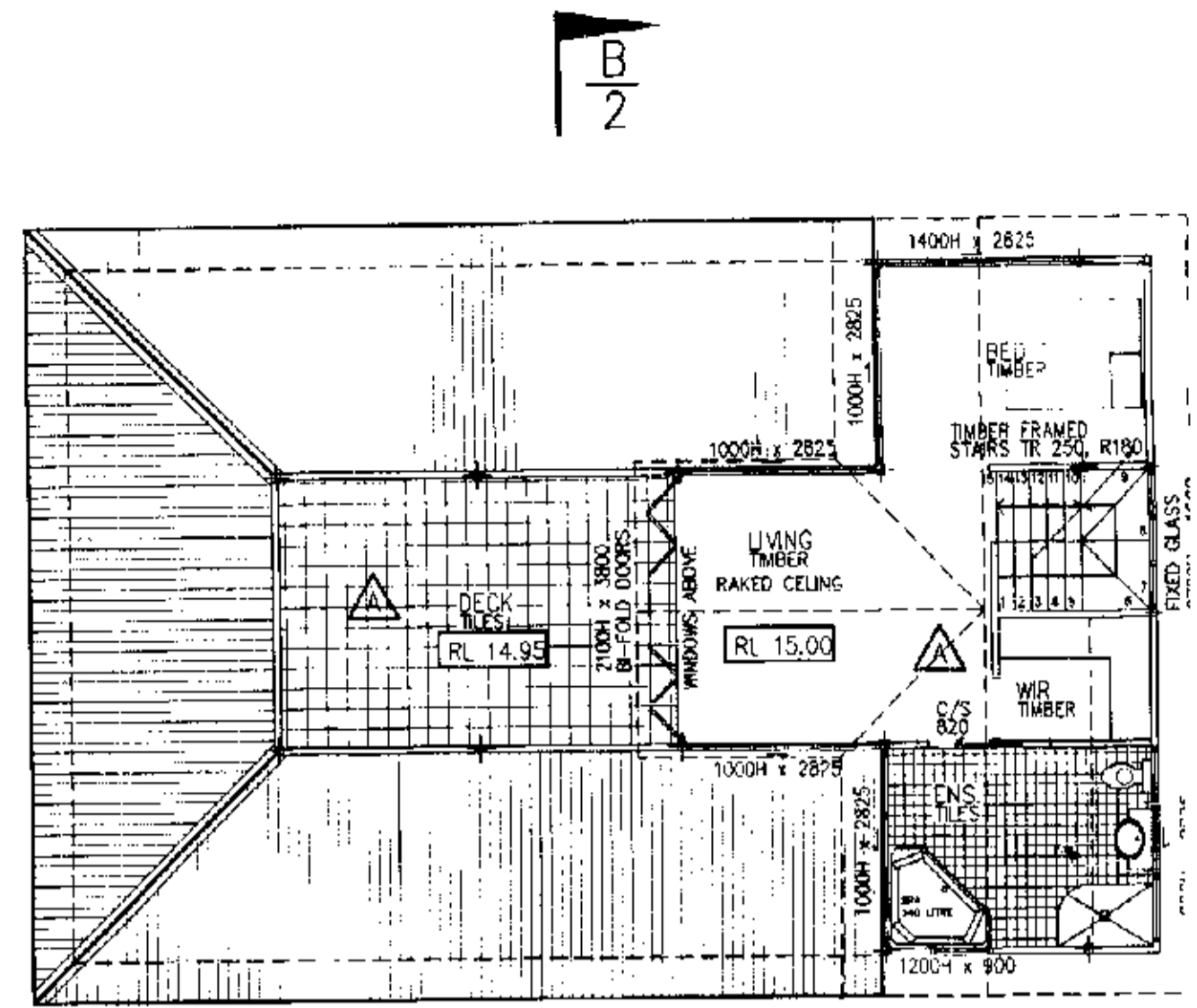
Darren Greenow
Development Compliance Group

20 April 2004
Date of Endorsement

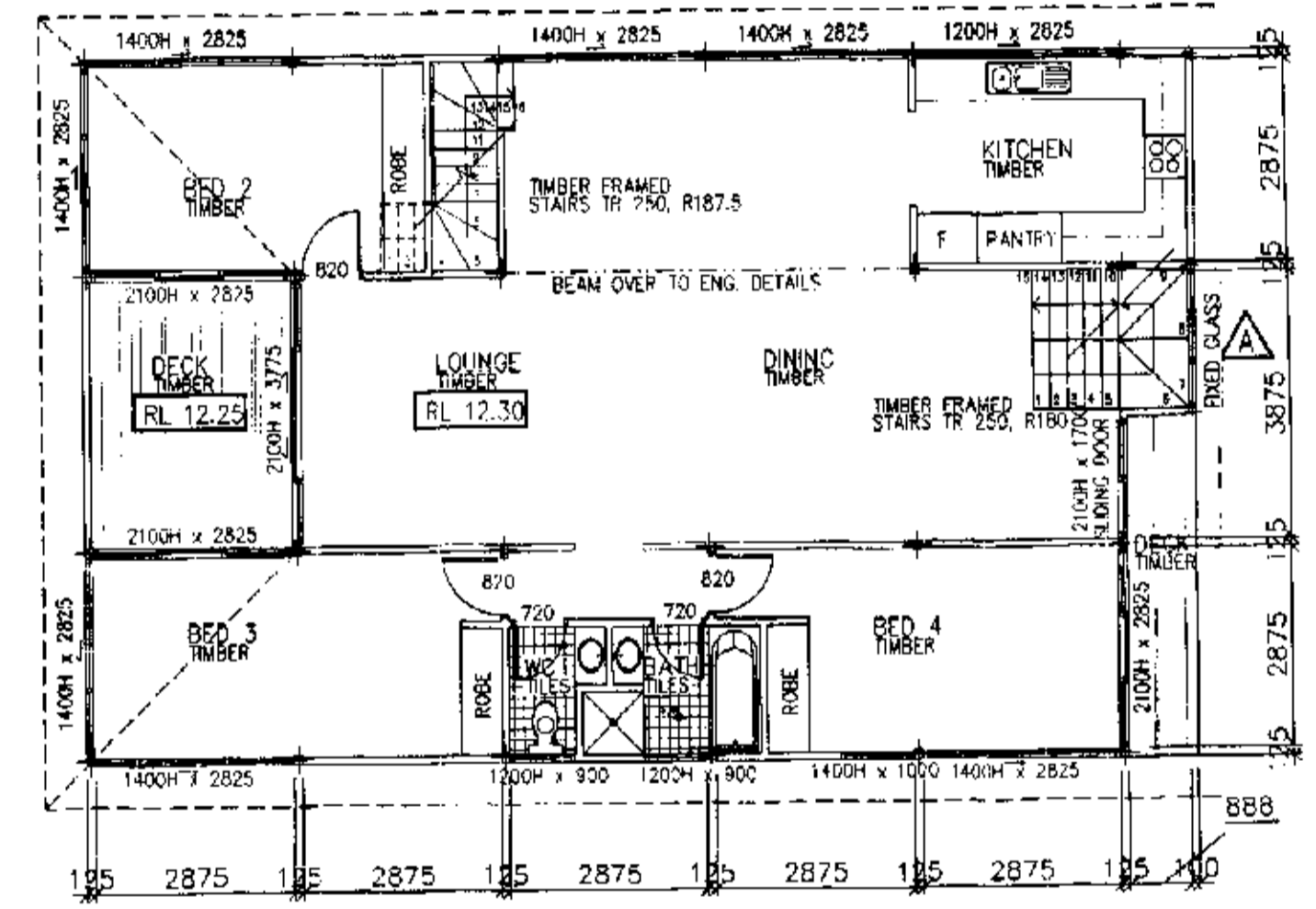
Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.



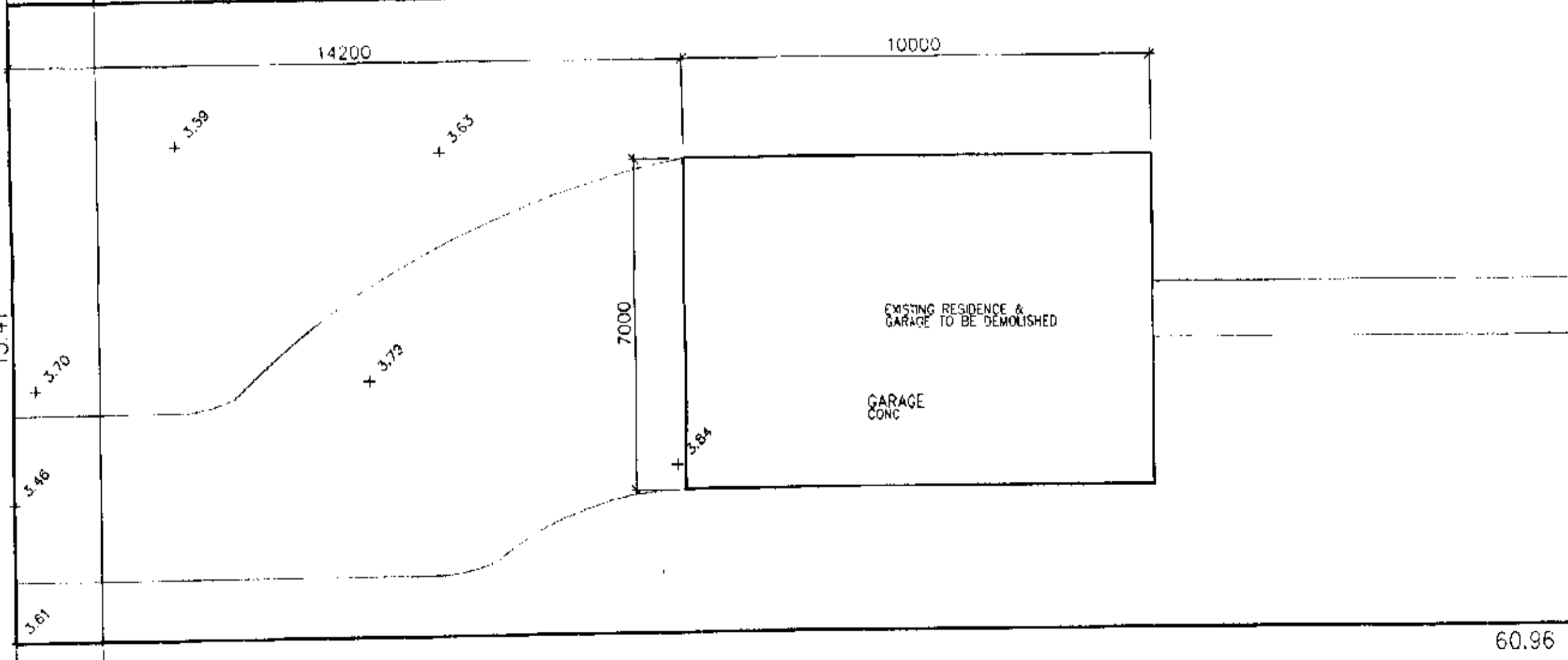
SECTION A A
1:100



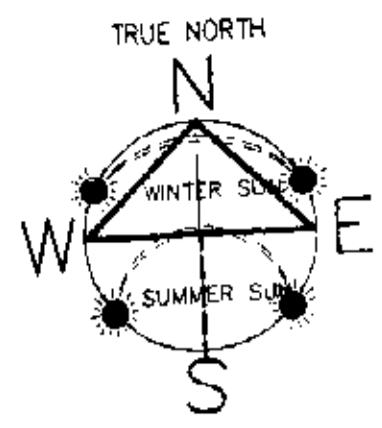
ROOF PLAN
1:100



GROUND FLOOR PLAN
1:100



LOWER GROUND FLOOR PLAN
1:100



PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

CONSTRUCTION CERTIFICATE
Number: CC 02266104
This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate
Endorsed by: [Signature]
Date: 20 APR 2004

- NOTES
1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER BEFORE COMMENCING WORK.
 2. ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT SAA BUILDING CODES AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
 3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
 4. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
 5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684.
 6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
 7. THE POSITION OF ALL DOWNPIPES TO BE DECIDED BY THE BUILDER.
 8. ALL STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A REGISTERED STRUCTURAL ENGINEER.
 9. ALL FINISHES TO BE TO THE FINISH HEIGHT DATUM.
 10. ALL ELECTRICAL AND PLUMBING OUTLETS AS DETERMINED BY OWNER.
 11. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
 12. ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

5/3/2003 SECTION 96
SUBJECT OF APPROVAL
SA No 1074/00, CC No CC0061/00

AMENDMENT:

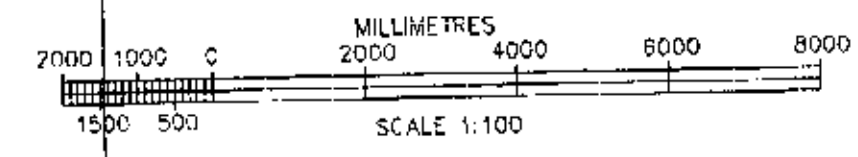
drawing by
PLANART

PH. 0973 4746 OR 0407 238 066 PO BOX 5 AVALON NSW 2107
PETER PARKER EMAIL: planart66@gmail.com.au

PROJECT
PROPOSED NEW RESIDENCE A1
1064 BARRENJOEY ROAD, PALM BEACH 2108
MR. & MRS. WARWICK

THIS DRAWING
WORKING DRAWINGS -
SITE & FLOOR PLANS,
SECTION

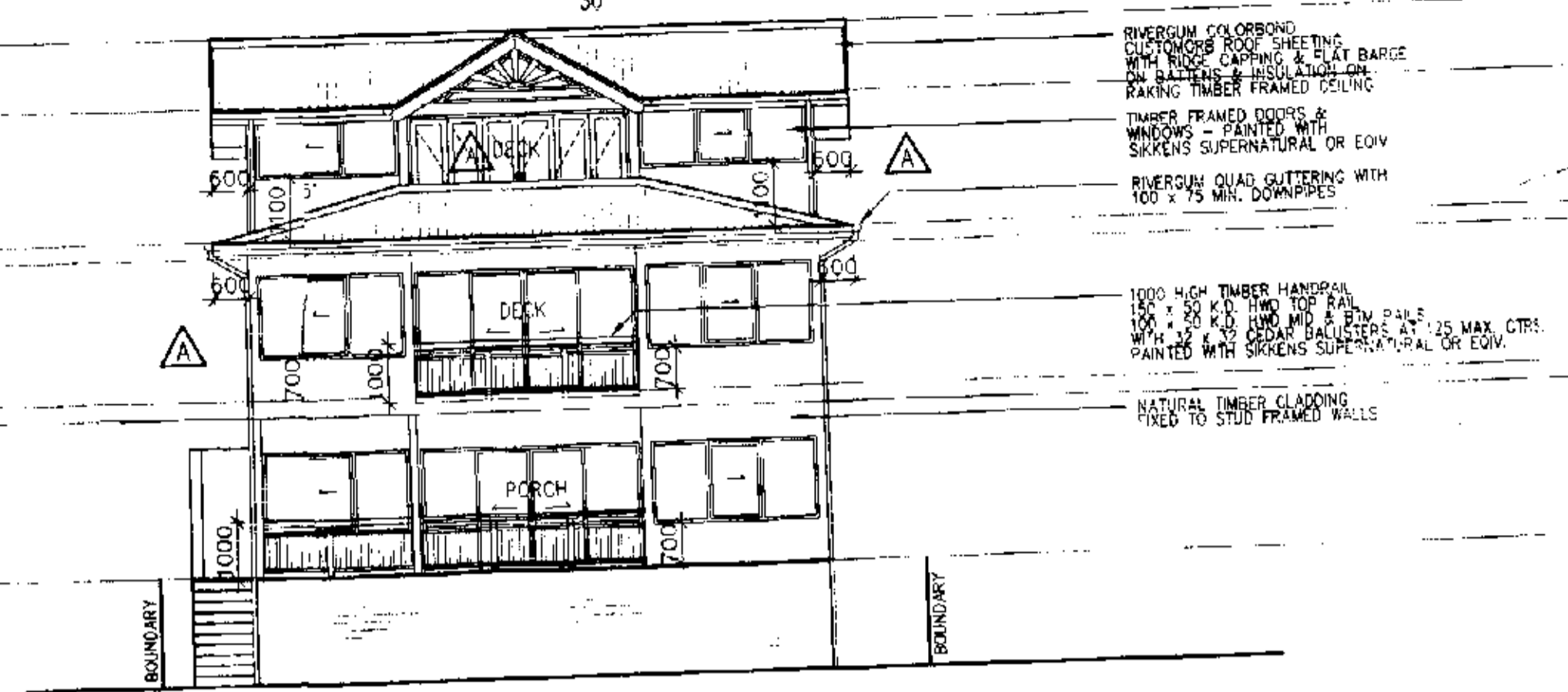
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DRAWN	CHECKED	PROJECT No	AMENDMENT
A.P.		A-001	A



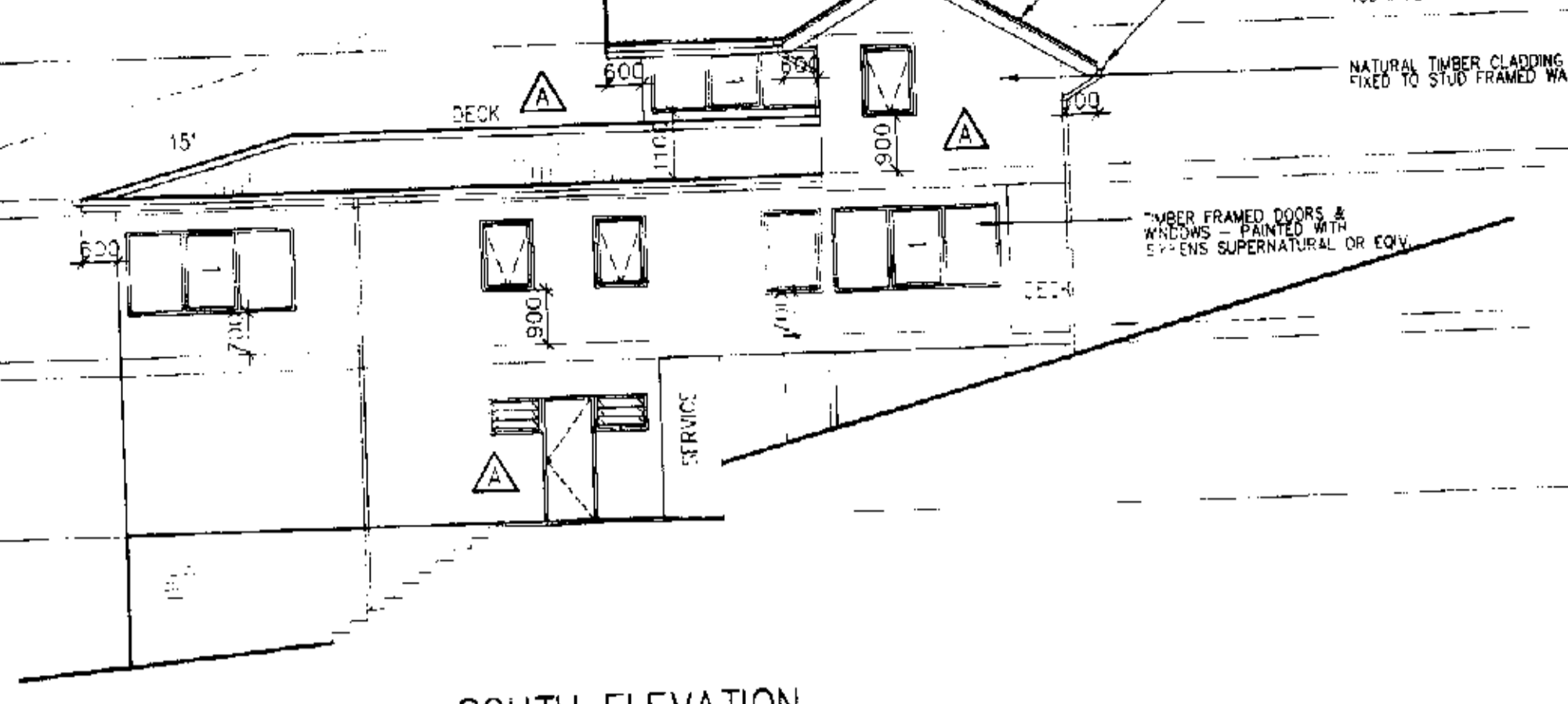
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

CONSTRUCTION CERTIFICATE
 0206104
 Submitted plans, documents & fees with the issue of Certificate
 20 APR 2004

RIDGE	R.L. 18.49
TOP PLATE	R.L. 17.30
F.F.L.	R.L. 15.00
F.C.L.	R.L. 14.70
F.F.L.	R.L. 12.30
F.C.L.	R.L. 12.00
F.F.L.	R.L. 9.30

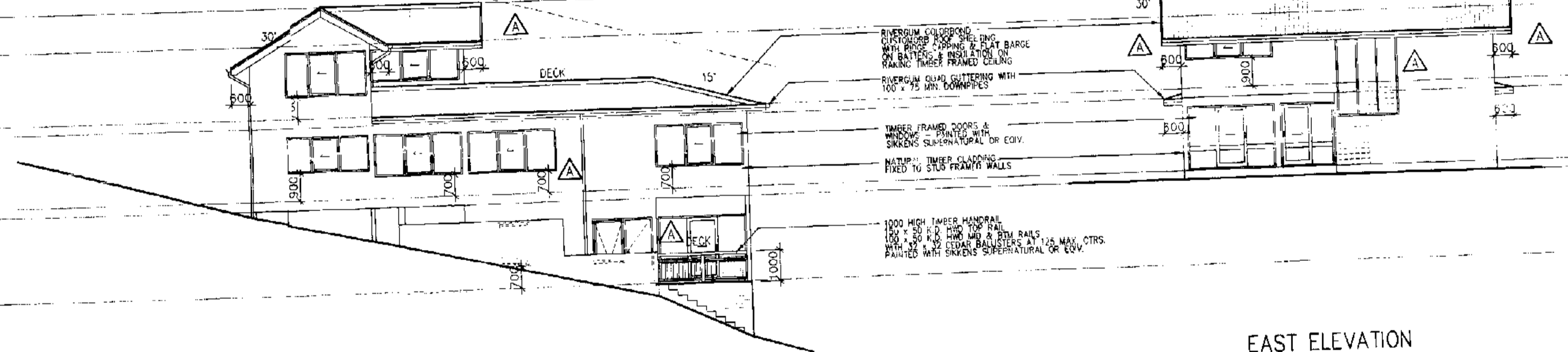


WEST ELEVATION
 1:100



SOUTH ELEVATION
 1:100

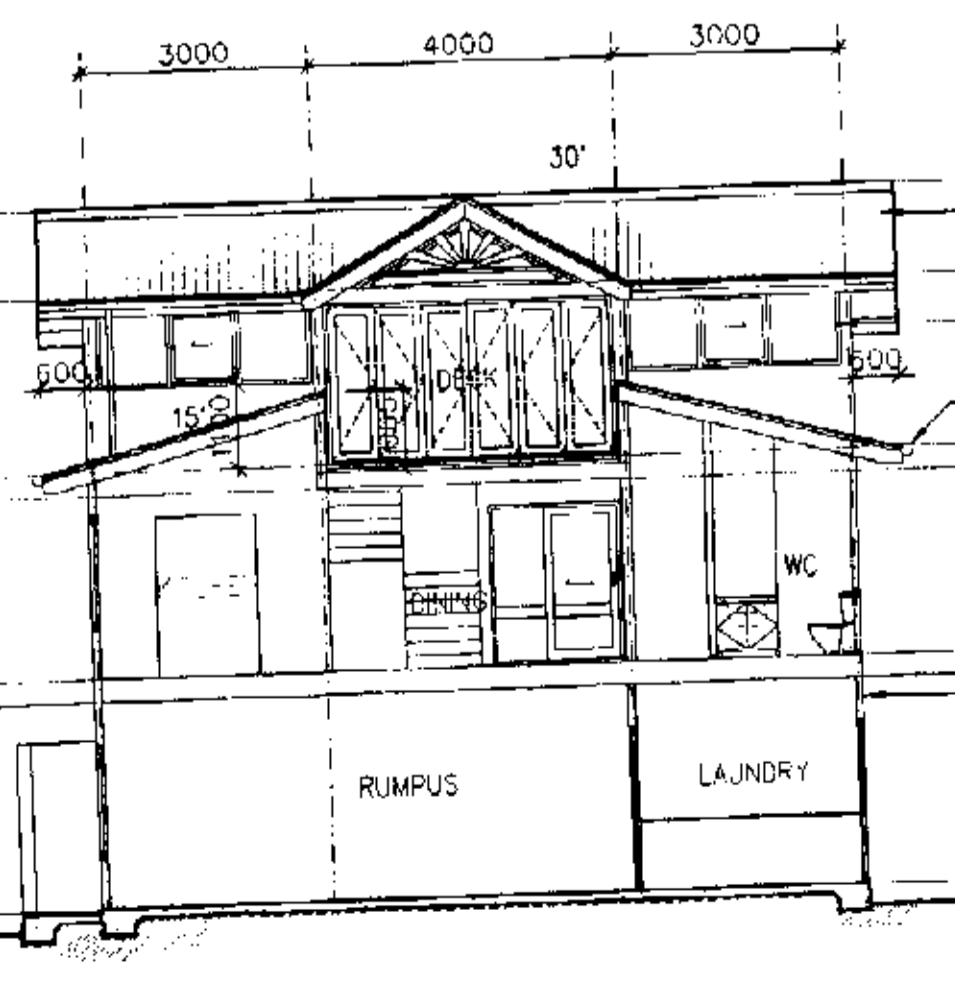
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TOP PLATE	R.L. 17.30
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F.C.L.	R.L. 14.70
F.F.L.	R.L. 12.30
F.C.L.	R.L. 12.00
F.F.L.	R.L. 9.30



NORTH ELEVATION
 1:100

EAST ELEVATION
 1:100

RIDGE	R.L. 18.49
TOP PLATE	R.L. 17.30
F.F.L.	R.L. 15.00
F.C.L.	R.L. 14.70
F.F.L.	R.L. 12.30
F.C.L.	R.L. 12.00
F.F.L.	R.L. 9.30



SECTION B-B
 1:100

- NOTES**
1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER BEFORE COMMENCING WORK.
 2. ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT S.A.A. BUILDING CODES AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
 3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
 4. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
 5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684.
 6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
 7. FINAL POSITION OF ALL DOWNPIPER TO BE DECIDED BY ROOF PLUMBER.
 8. ANY STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A STRUCTURAL ENGINEER.
 9. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
 10. ALL ELECTRICAL POWER & LIGHT OUTLETS AS DETERMINED BY OWNER.
 11. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
 12. ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

A	5/3/2003	SECTION 96 AMENDMENT OF APPROVAL DA No N0074/00, CC No C00051/00
WORK	DATE	AMENDMENT

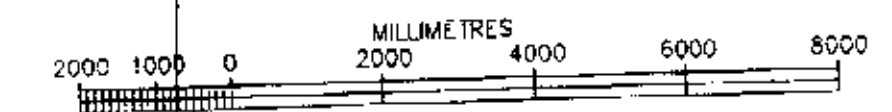
drawing by
PLANART

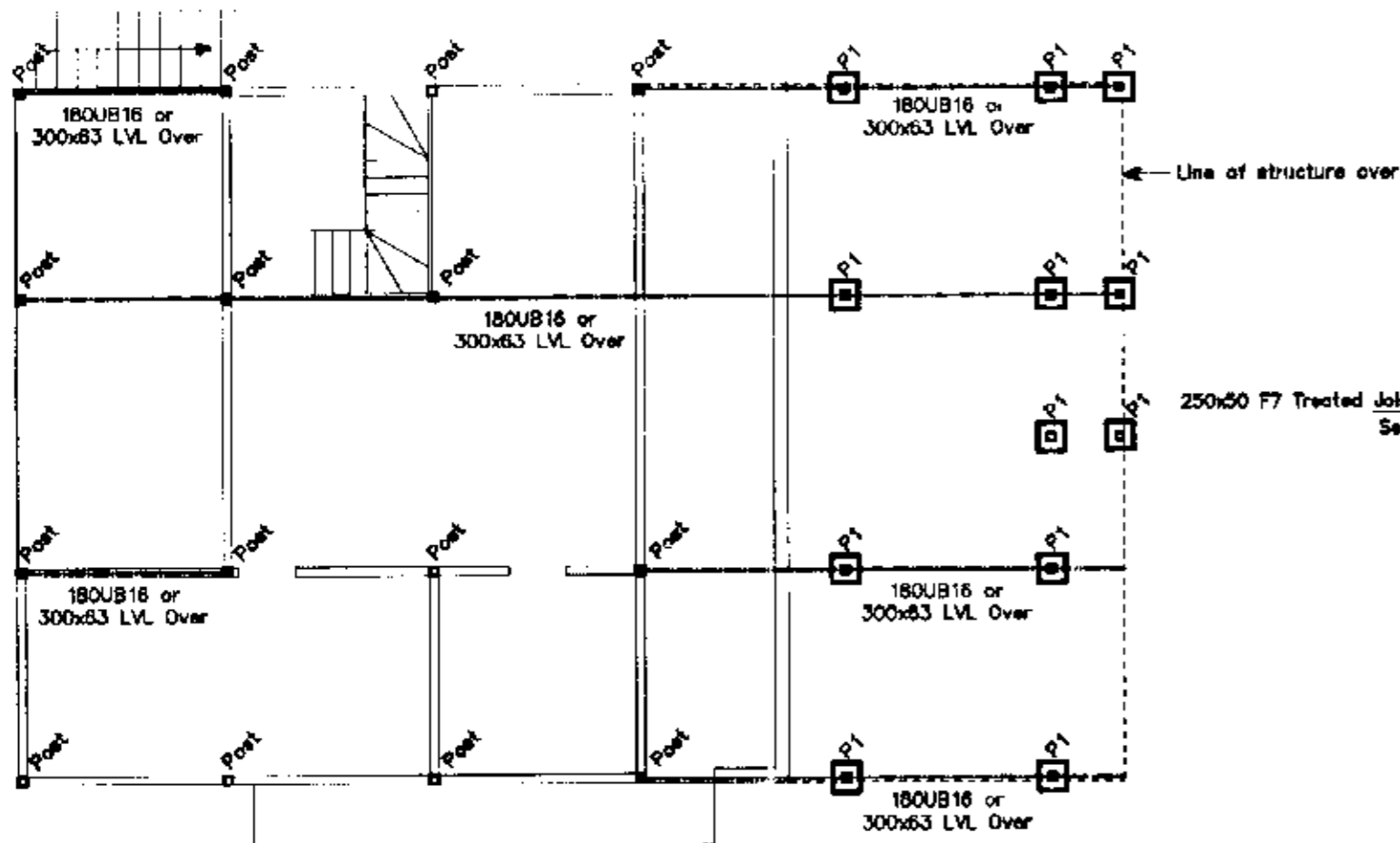
PH. 9973 4746 OR 0407 236 066 PO BOX 5 AVALON NSW 2107
 PETER BARKER EMAIL: planart@bigpond.com.au

PROJECT
 PROPOSED NEW RESIDENCE AT
 1064 BARRENJOEY ROAD, PALM BEACH 2108
MR. & MRS. WARWICK

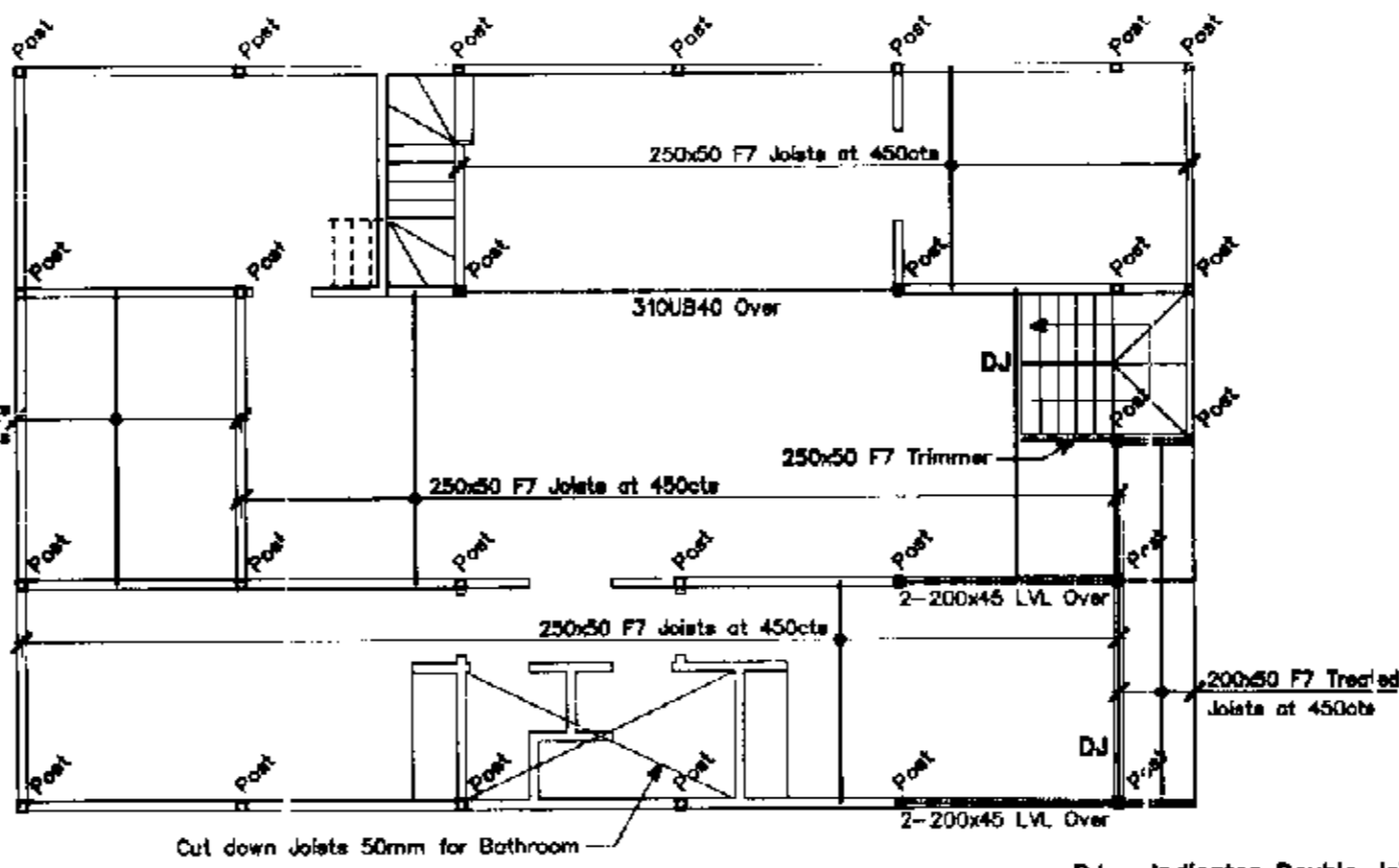
THIS DRAWING
WORKING DRAWINGS - ELEVATIONS AND SECTION

SCALE	DATE	SHEET No.	OF
1:100	MARCH 2003	2	2
DRAWN	CHECKED	PROJECT No.	AMENDMENT
A.H.		A-001	A



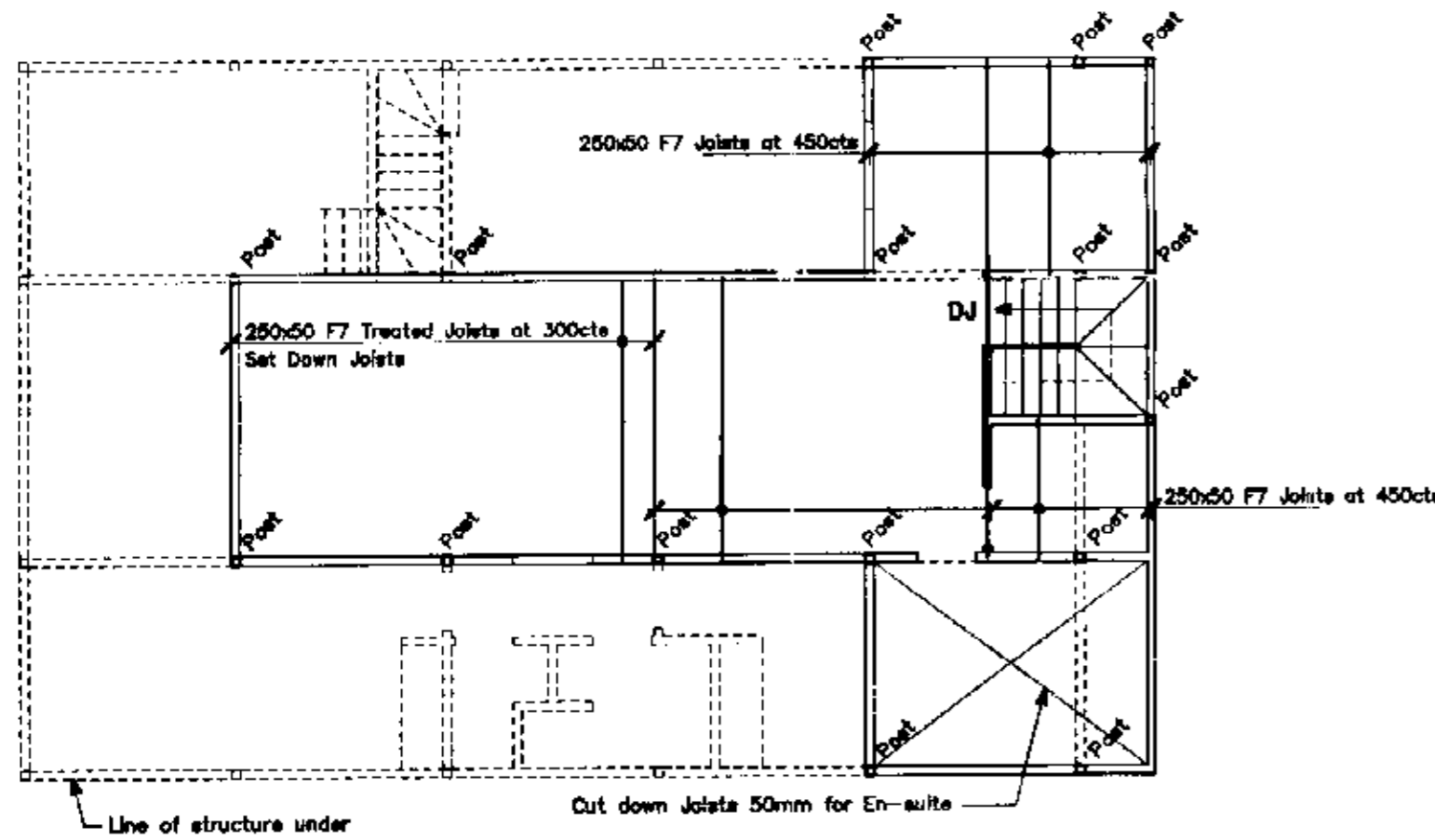


FOOTING / LOWER GROUND MARKING PLAN
Scale 1:100

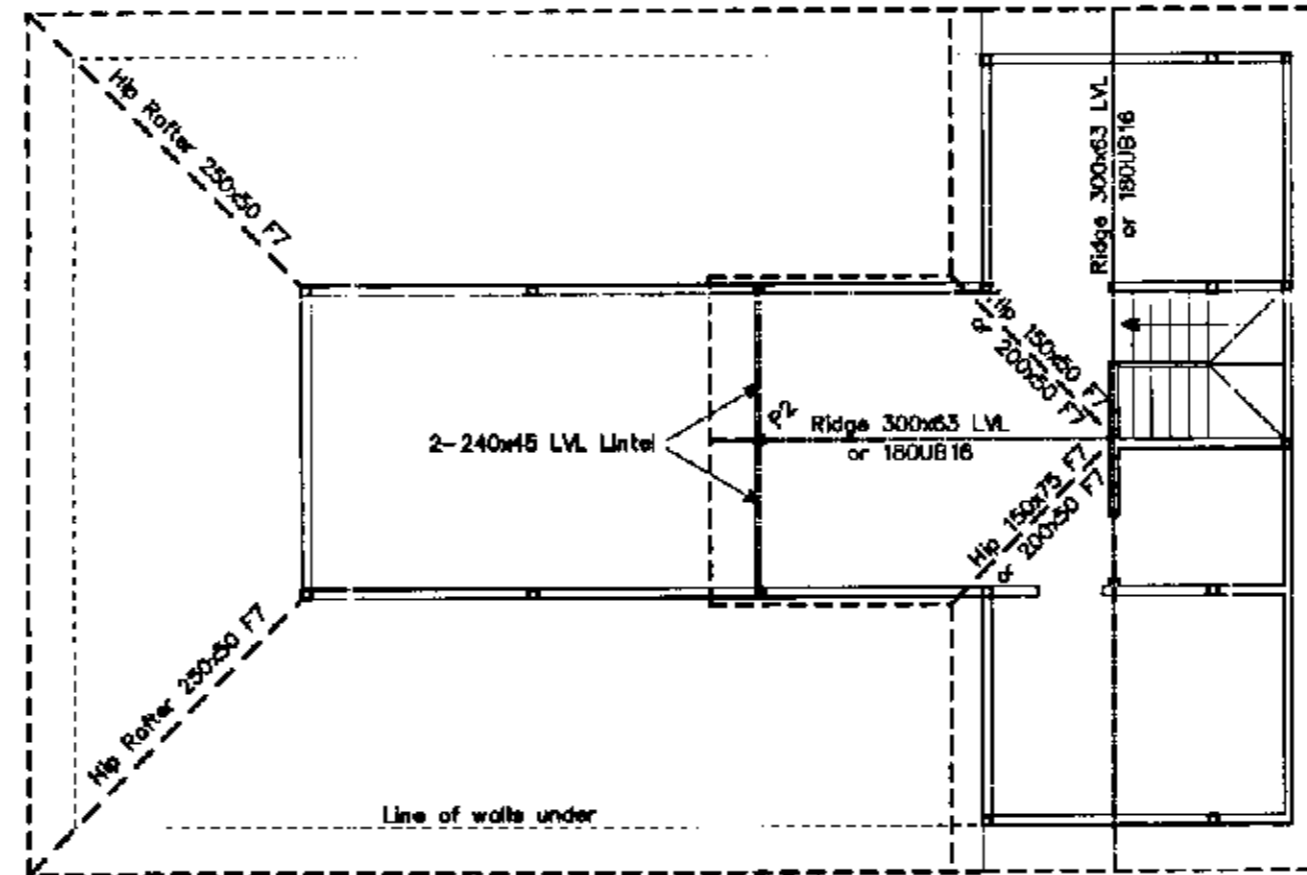


GROUND FLOOR MARKING PLAN
Scale 1:100

DJ = Indicates Double Joists



UPPER FLOOR MARKING PLAN
Scale 1:100

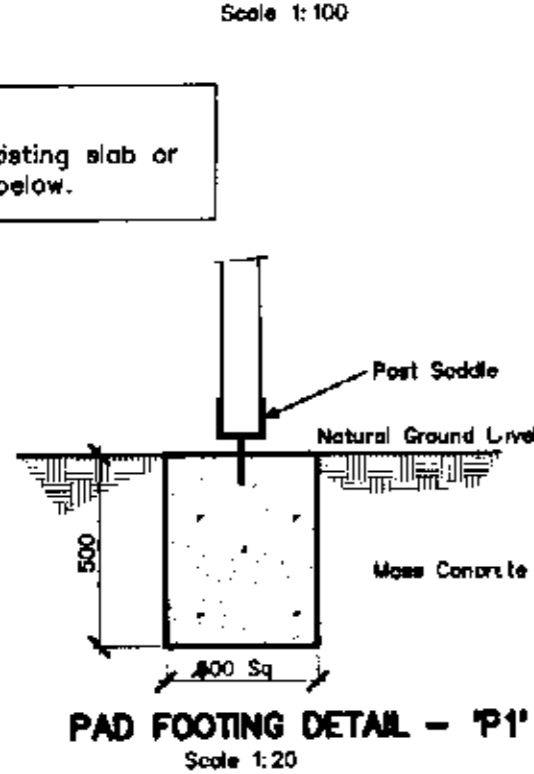


ROOF MARKING PLAN
Scale 1:100

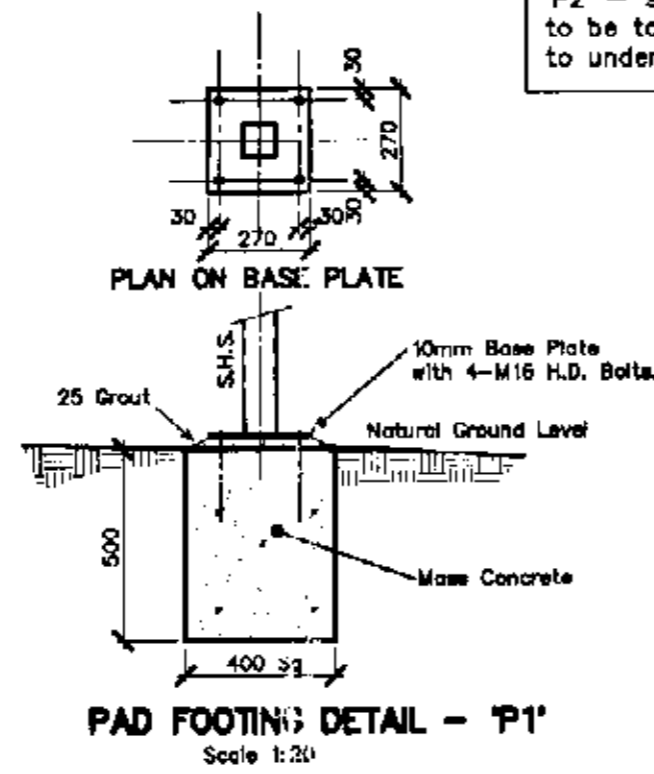
Note:
"P2" - 50x50 F7 Timber Post to be taken from top of Lintel to underside of Ridge.

Note:
All Posts to be 80x80x5.0 S.H.S. or 90x90 F7 Treated Timber.
All Rafters 150x50 F7 at 800c/c.

Note:
Posts to be taken off existing slab or new footings, as shown below.

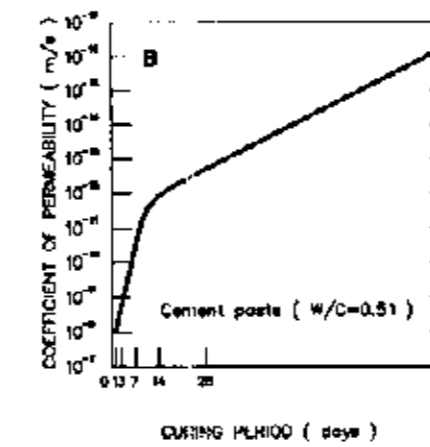
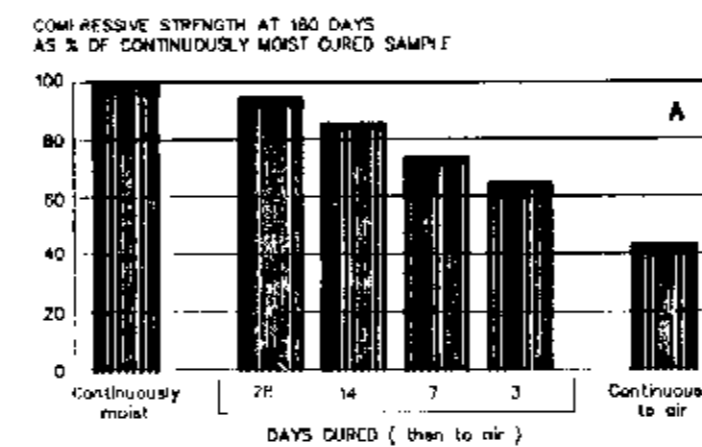


PAD FOOTING DETAIL - 'P1'
Scale 1:20



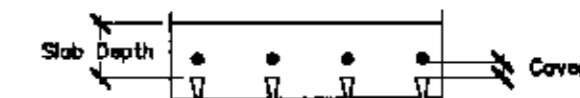
PAD FOOTING DETAIL - 'P2'
Scale 1:20

IMPORTANCE OF CURING CONCRETE



Effect of curing duration on : (A) compressive strength; and (B) concrete permeability
Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HB84:1996)

- CONCRETE NOTES:**
- All concrete work to be in accordance with AS 3600.
 - $f_{ck} = 40$ MPa for All external slabs & columns.
= 25 MPa for slabs, piers and beams.
= 20 MPa for block filling and footings.
 - Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
 - Slump = 80.
 - All concrete, including block filling, to be vibrated.
 - Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
 - Bar Chairs to be no more than 800mm ctr to ctr spacing.
 - Reinforcing Steel to comply with AS/NZS 4671:2001, and to be D500N unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
 - Reinforcement to be tied at every other intersection minimum.



- STEELWORK NOTES**
- Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1554 and the Specification.
 - Do not obtain dimensions by scaling the structural elements.
 - Chop all welds free of slag.
 - All steelwork to be Hot Dipped Galvanised. Unless Otherwise Noted.
 - Unless otherwise noted use:
a) 8mm continuous fillet weld
b) 10mm thick gusset, fin and end plates, weld all round.
c) 16mm dia. 4.6/s bolts
 - Minimum end bearing 150mm.

- TIMBER NOTES :**
- All work (including bracing, wind bracing & tie downs) shall be carried out in accordance with AS 1684.2, AS 1720.1 & the specification.
 - Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
 - All timber shall be free of Gum veins, pockets, knots holes or splits within 255mm of any connection.
 - Refer to specification for preservatives and finishes to timbers.
 - All bolts, nuts, washers and timber connectors shall be hot dip galvanised unless noted otherwise.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.
A.S.1170., A.S.1170.1, A.S.1170.2, A.S.1684., A.S.2870.1.,A.S.3600., A.S.3700
A.S.4100

Jack D. Hodgson *[Signature]*
Name Date Signature

No.	Amendment	Drawn	Date

STRUCTURAL PLANS AND DETAILS

PROPOSED ALTERATIONS AND ADDITIONS
1084 BARRENJOEY ROAD
PALM BEACH

MR. & MRS. WARWICK

The Structural Details shown on this Drawing are Not to change under any circumstance. No Certificate will be issued for work Not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungon Street, MONA VALE, P.O. Box 389, Post Code 2103,
Telephone (02) 9979 8733. Facsimile (02) 9979 6926. A.C.N. 063 405 011

Designed	JDH	Drawn	ED	Job No.	Drawing No.
Checked	JDH	Scale	1:100, 20 uno	20921-1	
Date	2 JUNE 2003				

0206/04

20 APR 2004