



3d View from Whistler Street



Locality Map

NOT TO SCALE




DEVELOPMENT APPLICATION

21 Whistler Street
MANLY

DRAWING LIST

ARCHITECTURAL DRAWINGS		ARCHITECTURAL DRAWINGS	
00	COVER / LOCATION PLAN	DA11	NORTH ELEVATION
DA01	BASEMENT	DA12	SOUTH ELEVATION
DA02	GROUND	DA13	WEST ELEVATION
DA03	LEVEL 1 FLOOR PLAN	DA14	STREET ELEVATIONS
DA04	LEVEL 2 FLOOR PLAN	DA15	3D STREETVIEW
DA05	LEVEL 3 FLOOR PLAN	COMPLIANCE DRAWINGS	
DA06	LEVEL 4 FLOOR PLAN	C01	SITE ANALYSIS
DA07	ROOF	C02	GFA CALCULATIONS
DA08	SECTION AA	C03	ADAPTABLE
DA09	SECTION BB	C04	SHADOW DIAGRAMS
DA10	EAST ELEVATION	C05	VIEWS FROM THE SUN
		C06	FINISHES
		V01	PHOTOMONTAGE

BASIX
COMMITMENTS

Project summary		
Project name	21 Whistler Street MANLY	
Street address	21 Whistler Street MANLY 2095	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 368451	
Lot no.	B	
Section no.	-	
No. of residential flat buildings	1	
No. of units in residential flat buildings	8	
No. of multi-dwelling houses	0	
No. of single dwelling houses	0	
Project score		
Water	 41	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 37	Target 35
Certificate Prepared by		
Name / Company Name: Senica Consultancy Group Pty Ltd		
ABN (if applicable): 48612864249		

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 963724M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 03 October 2018
To be valid, this certificate must be lodged within 3 months of the date of issue.



ARCHITECT:

WOLSKI . COPPIN

ARCHITECTURE

SUITE 3, LEVEL 1, 507 MILITARY ROAD

MOSMAN NSW 2088

T: 9953 8477

E: info@wolskicoppin.com.au

DAVID WOLSKI

NSW ARB No. 5297

CONSULTANTS

ACCESS	Access Building Solutions
ACOUSTIC	Acoustic Logic
BASIX	Senica Consultancy Group
GEOTECH	Crozier Geotechnical
BCA	Private Certifiers Australia
HERITAGE	Heritage 21
HYDRAULICS	Burgess Arnott & Grava
LANDSCAPE ARCHITECT	Wallman Partners Pty Ltd
SOLAR	Linarch
SURVEY	Norton Survey Partners
PLANNER	Boston Blyth Fleming Pty. Ltd
TRAFFIC	Transport & Traffic Planning Associates

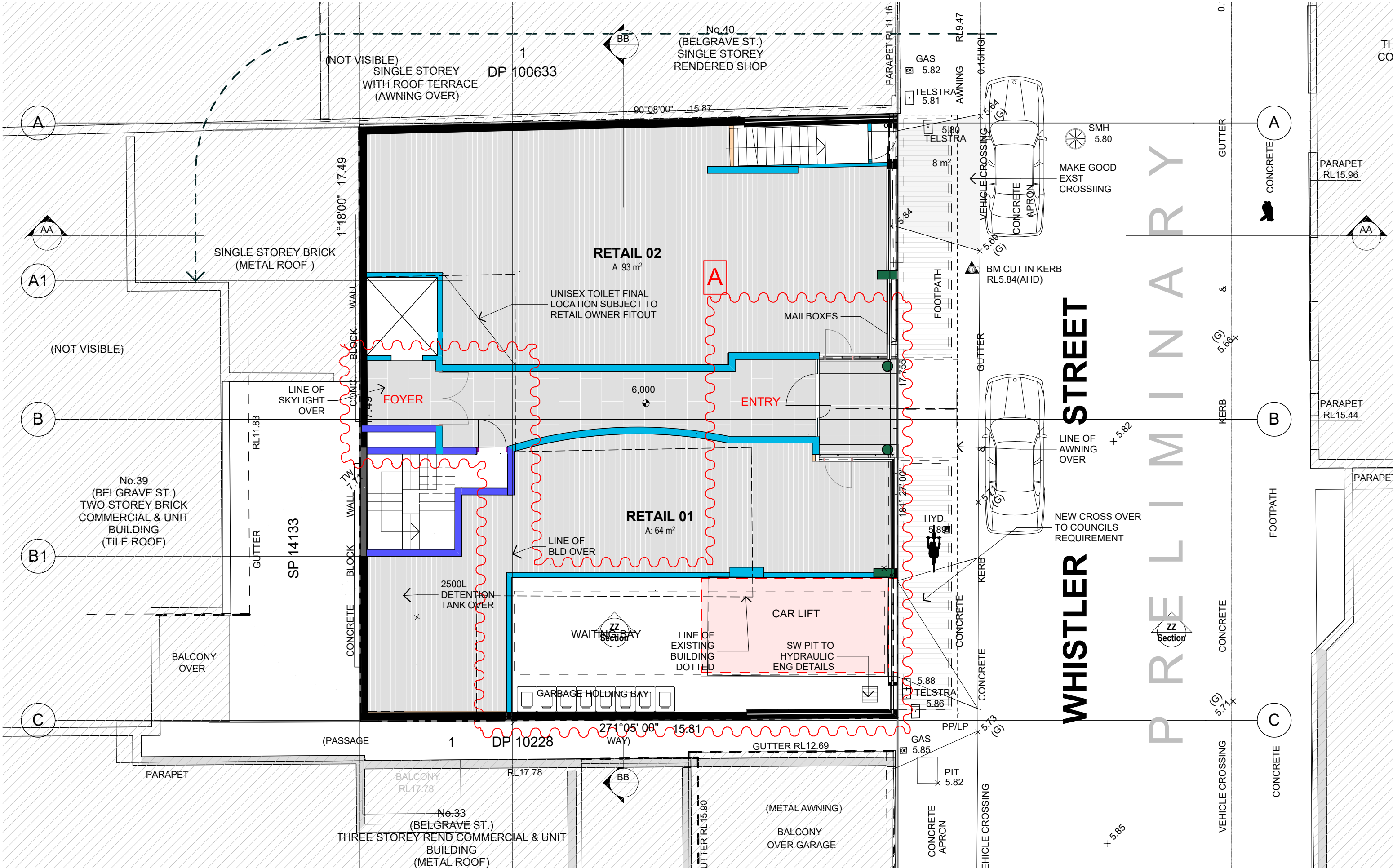
AMENDED SUBMISSION JUNE 2019

FILE PATH

BIM Server: BMSRV01 - BIM Server 20/21806 21 Whistler Street

PLOT DATE:

4 / 0 6 / 2 0 1 9



NOTES:

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.

THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.

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REVISIONS:

DATE	REV	DESCRIPTION
25 03 19	A	RECONFIGURE ENTRY & LIFT FOYER ADDED WAITING BAY NEW LOCATION OF BIN AREA RECONFIGURE RETAIL 01/02
04 06 19	B	CHANGE OF STONE AT BASE REORGANIZATION OF WAITING BAYS AT STREET RECONFIGURATION OF STREET FACADE

PROJECT TITLE:

RESIDENTIAL DEVELOPMENT
21 WHISTLER ST MANLY

CLIENT:

Urban Partners

ARCHITECT:

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DRAWING TITLE:

GROUND FLOOR

DRAWING No:

DA02

PROJECT No:

21806

REVISION:

B

NORTH POINT:

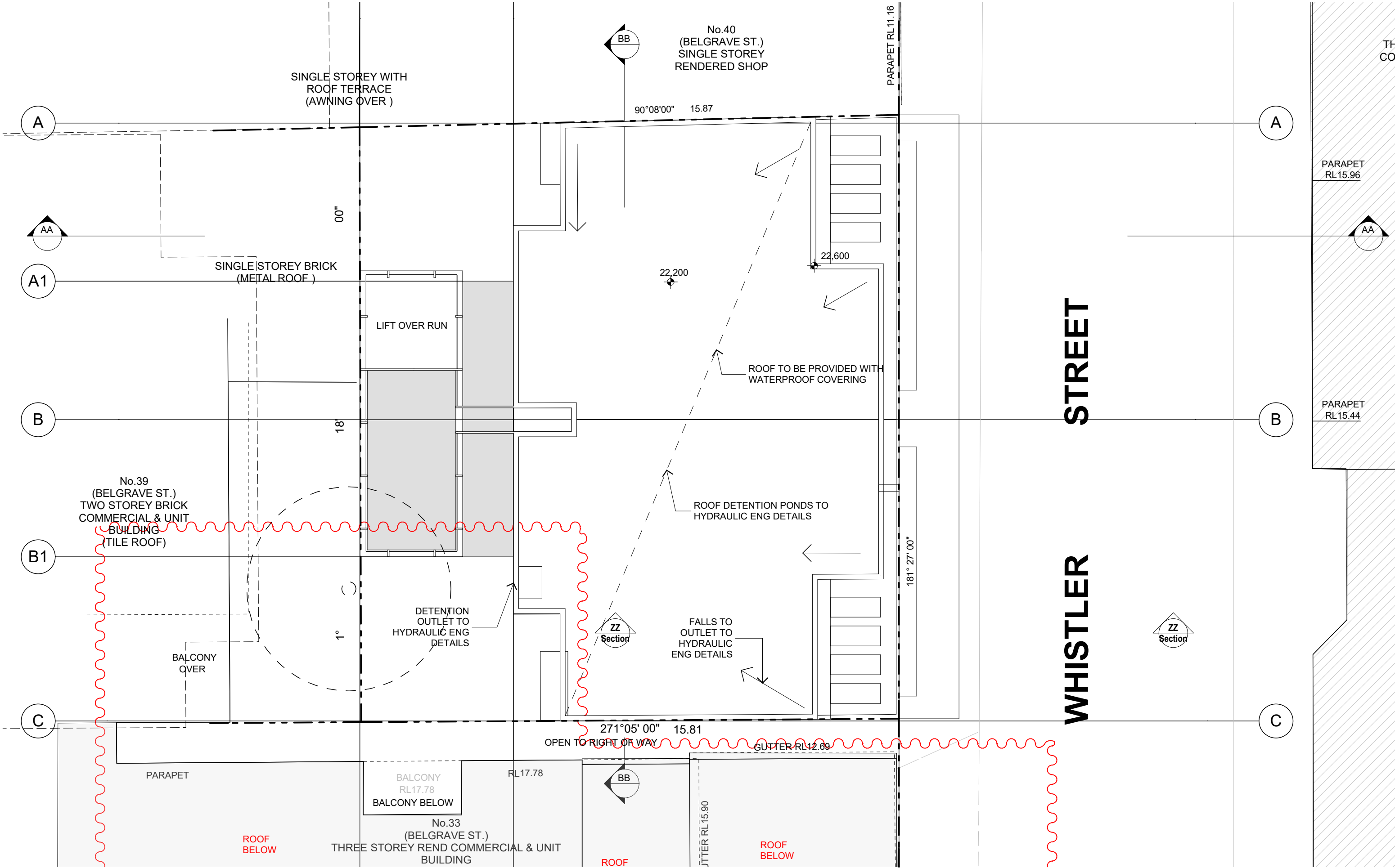
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SCALE:

1:100 @ A3

DATE:

4/06/2019



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REVISIONS:

DATE	REV	DESCRIPTION
20 03 19	A	ADDED INFORMATION TO ADJOINING BUILDING NO.33
04 06 19	B	CHANGE OF STONE AT BASE REORGANIZATION OF WAITING BAYS AT STREET RECONFIGURATION OF STREET FACADE

PROJECT TITLE:

RESIDENTIAL DEVELOPMENT

21 WHISTLER ST MANLY

CLIENT:

Urban Partners

ARCHITECT:

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DAVID WOLSKI NSW ARB No. 5297

DRAWING TITLE:

ROOF

DRAWING No:

DA07

PROJECT No:

21806

REVISION:

B

NORTH POINT:

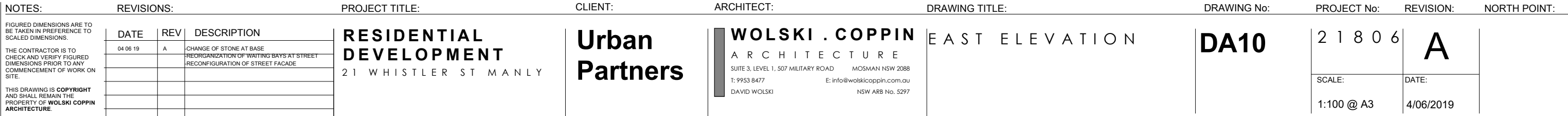
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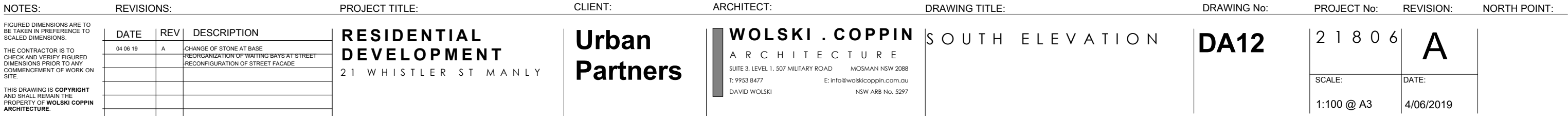
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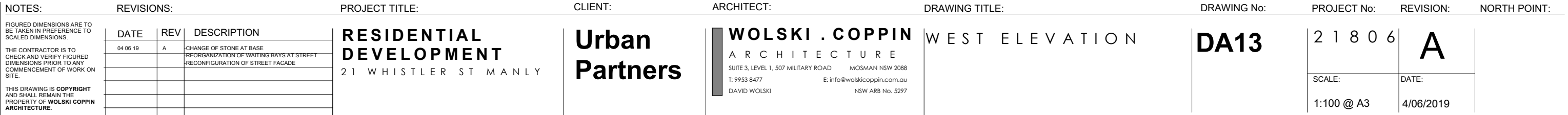
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DATE:

4/06/2019





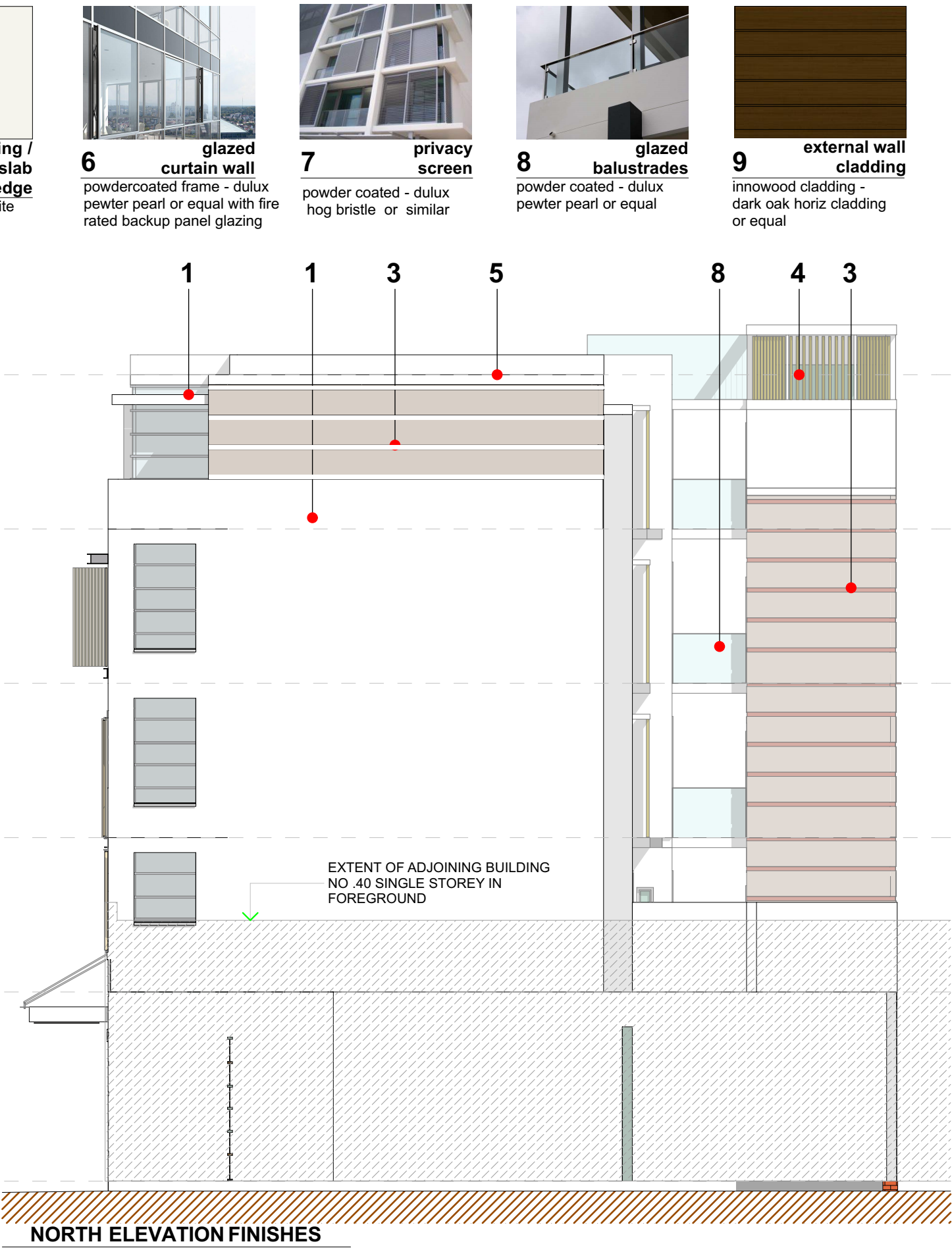
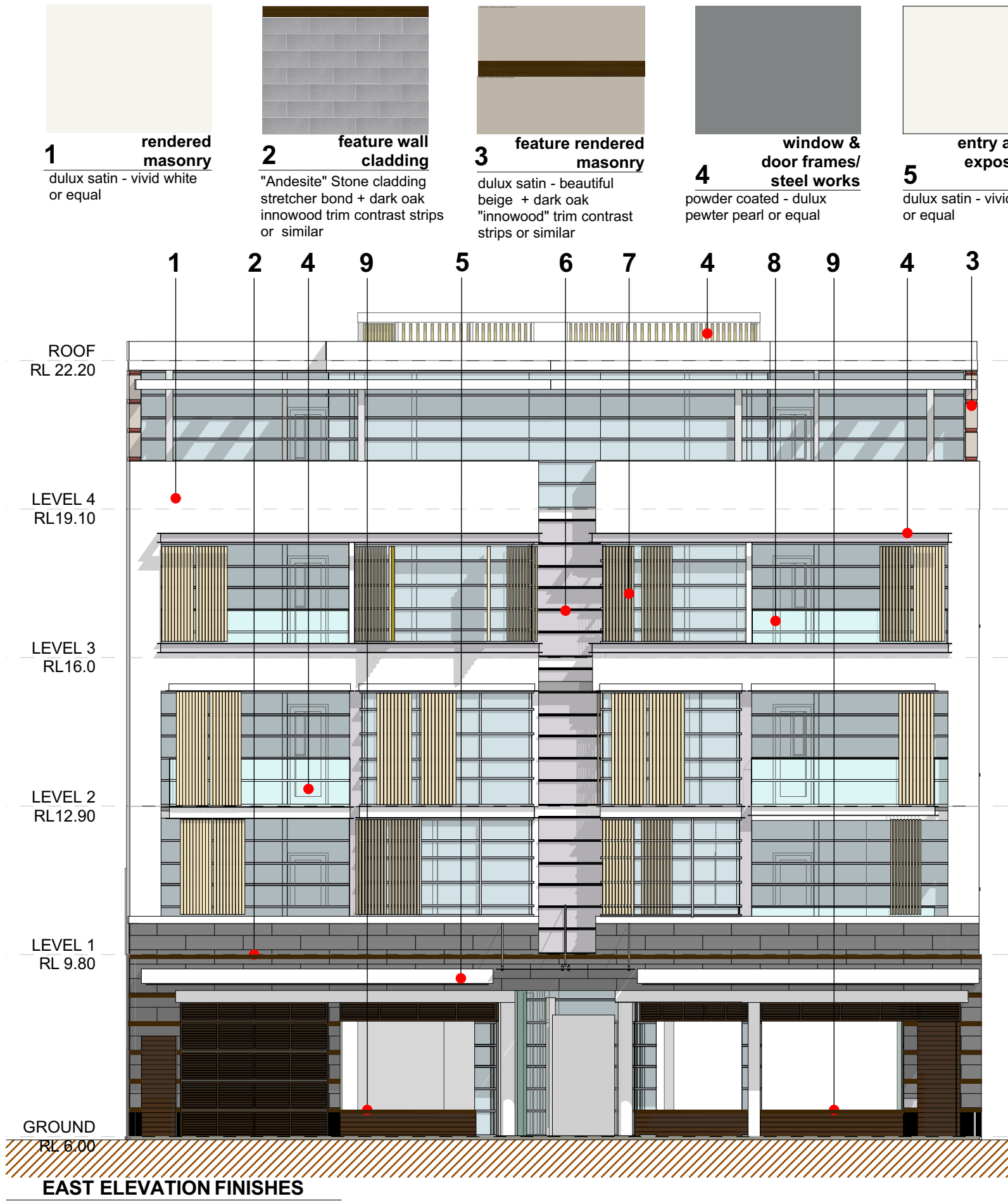




NORTH POINT:



<div>NOTES:</div> <div>FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.</div> <div>THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.</div> <div>THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.</div>	REVISIONS:		PROJECT TITLE:	CLIENT:	ARCHITECT:	DRAWING TITLE:	DRAWING No:	PROJECT No:	REVISION:	NORTH POINT:
	DATE	REV	DESCRIPTION	<div>RESIDENTIAL DEVELOPMENT</div> <div>21 WHISTLER ST MANLY</div>	<div>Urban Partners</div>	<div>WOLSKI . COPPIN</div> <div>ARCHITECTURE</div> <div>SUITE 3, LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088</div> <div>T: 9953 8477 E: info@wolskicoppin.com.au</div> <div>DAVID WOLSKI NSW ARB No. 5297</div>	3 D STREETVIEW 01	DA 15	2 1 8 0 6	A
	04 06 19	A	CHANGE OF STONE AT BASE							
			REORGANIZATION OF WAITING BAYS AT STREET							
			RECONFIGURATION OF STREET FACADE							
									SCALE: 1:84.03, 1:125 @ A3	DATE: 4/06/2019



NOTES:

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REVISIONS:

DATE	REV	DESCRIPTION
26 06 19	A	REVISED FINISHES SCHEDULE

PROJECT TITLE:

**RESIDENTIAL
DEVELOPMENT**
21 WHISTLER ST MANLY

CLIENT:

**Urban
Partners**

ARCHITECT:

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DAVID WOLSKI NSW ARB No. 5297

DRAWING TITLE:

FINISHES

DRAWING No:

C06

PROJECT No:

2 1 8 0 6

REVISION:

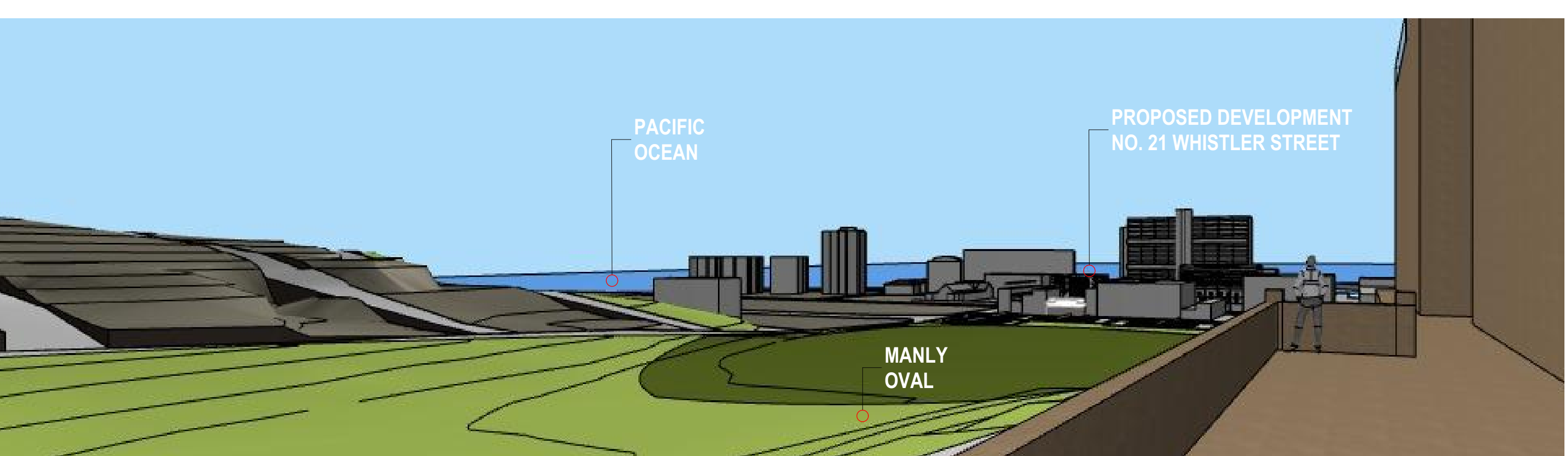
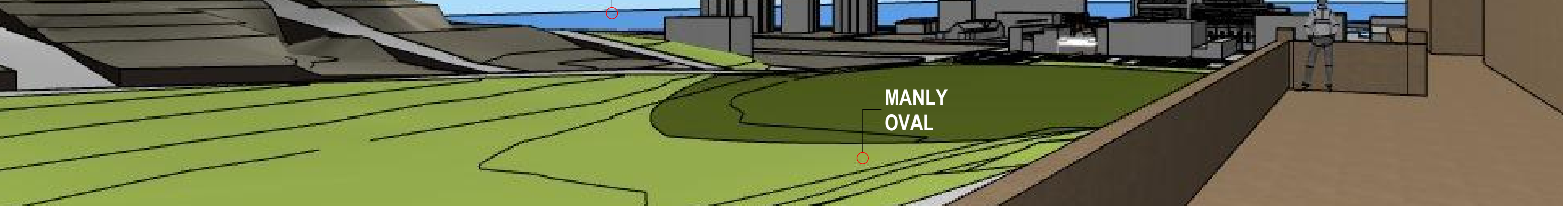
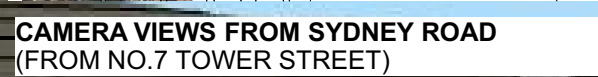
A

NORTH POINT:

DATE:

26/06/2019

1: 100 @a3



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DATE	REV	DESCRIPTION

RESIDENTIAL DEVELOPMENT

21 WHISTLER ST MANLY

Urban Partners

WOLSKI . COPPIN

ARCHITECTURE

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DAVID WOLSKI NSW ARB No. 5297

View from Lower balcony of No. 7 Tower St (Off Sydney Rd.

3d V01

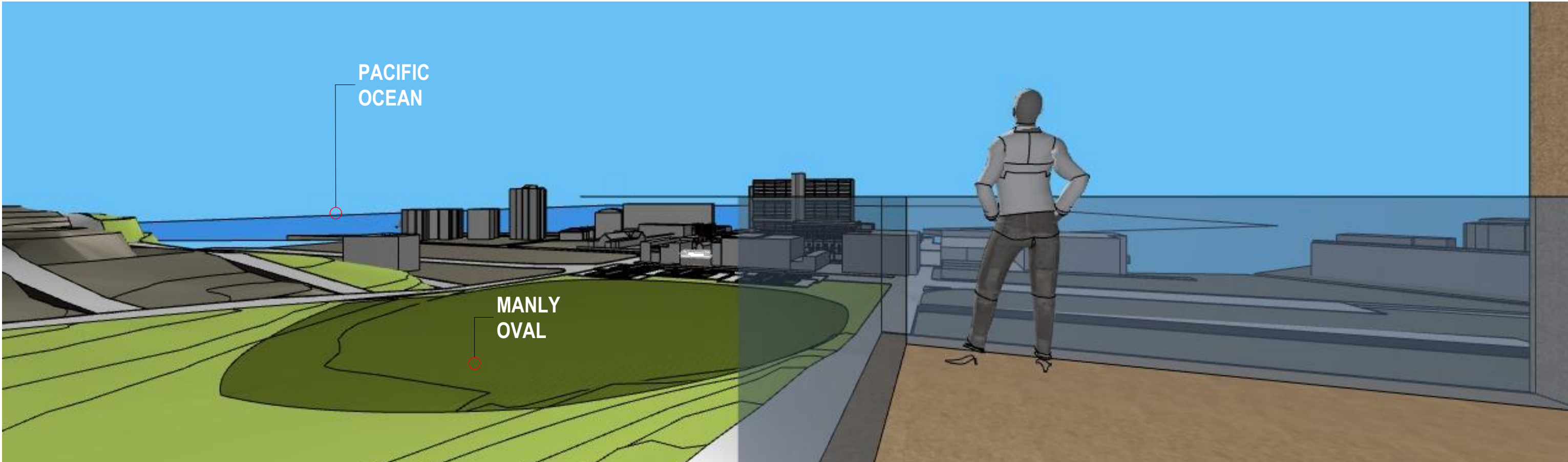
21806

SCALE:

DATE:

4/06/2019

PLOT DATE: 4/06/2019



1 Camera View from Roof Top (Exist)

VIEW LOSS ANALYSIS 02



1 Camera View from Roof Top (New)

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REVISIONS:

DATE	REV	DESCRIPTION

PROJECT TITLE:

RESIDENTIAL
DEVELOPMENT
21 WHISTLER ST MANLY

CLIENT:

Urban
Partners

ARCHITECT:

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DAVID WOLSKI NSW ARB No. 5297

DRAWING TITLE:

View from Roof top
of No. 7 Tower St
, Manly

DRAWING No:

3d V02

PROJECT No:

2 1 8 0 6

REVISION:

DATE:

4/06/2019

NORTH POINT:

PLOT DATE: 4/06/2019

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\21 Whistler St Manly view loss use only_.pln