

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0255

- NOTES**
1. Do not scale off drawings. *(If in doubt ask.)*
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install selected smoke alarm system to comply with AS3786.
 5. All storm water to be connected to street gutters as per council requirements.
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be verified by the builder.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.

NEW RETAINING WALLS AS PER STRUCTURAL ENGINEERS DETAILS AND DESIGNS.

REMOVE RETAINING WALL & MAKE GOOD ADJOINING SURFACES AS NECESSARY.

REMOVE BRICK PAVERS

POOL FENCE MUST BE IN ACCORDANCE WITH THE AUSTRALIA STANDARDS FOR FENCE AND GATES FOR PRIVATE SWIMMING POOLS (AS 1926.1-2012).

POINT "F"
4000mm INHEIGHT AND 45° SIDE BOUNDARY ENVELOPE AT NATURAL GROUND LEVEL.

POINT "E"
4000mm INHEIGHT AND 45° SIDE BOUNDARY ENVELOPE AT NATURAL GROUND LEVEL.

REMOVE EXISTING SHED & MAKE GOOD ADJOINING SURFACES AS NECESSARY.

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE

APPROX LOCATION SEDIMENT OR SILT FENCE

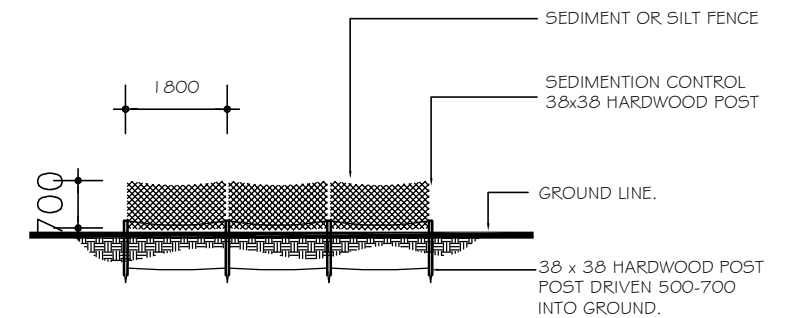
NEW R.F. CONCRETE DRIVEWAY AS PER ENG'S DETAIL.

REMOVE EXISTING DRIVEWAY AND PATH & MAKE GOOD ADJOINING SURFACES AS NECESSARY.




LANDSCAPING TO BE LOWERED BY 100mm AS PER NB CONSULTING ENGINEERS OVERLAND FLOW ASSESSMENT REPORT PAGE 13.
MARK IN BLUE

REMOVE CARPORT & MAKE GOOD ADJOINING SURFACES AS NECESSARY.

POINT "D"
4000mm INHEIGHT AND 45° SIDE BOUNDARY ENVELOPE AT NATURAL GROUND LEVEL.



SEDIMENT FENCE DETAIL X
NOT TO SCALE

DESIGN CALCULATION	LEGEND:
LANDSCAPE AREA SITE AREA = 713.4m ² PROPOSED = 287m ² = 40.229%	 LANDSCAPE AREAS OVER 4m ²
LANDSCAPE AREA SITE AREA = 713.4m ² PROPOSED = 318m ² = 44.5%	 LANDSCAPE AREAS OVER 4m ²  LANDSCAPE AREAS UNDER 4m ² AND UNDER EAVES AREA.

PROPOSED SITE PLAN
SCALE 1:200



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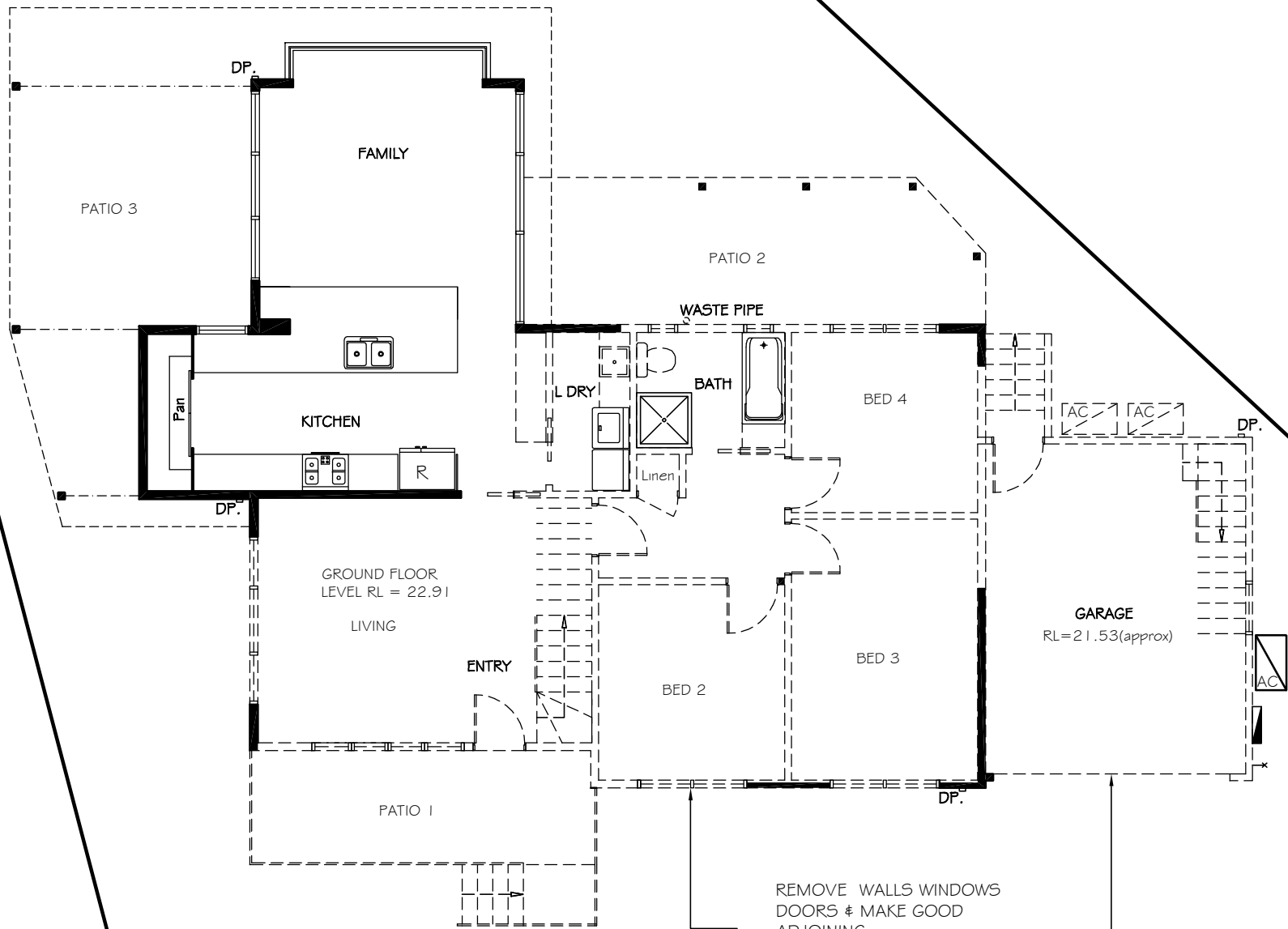
DA2020/0255

LEGEND:

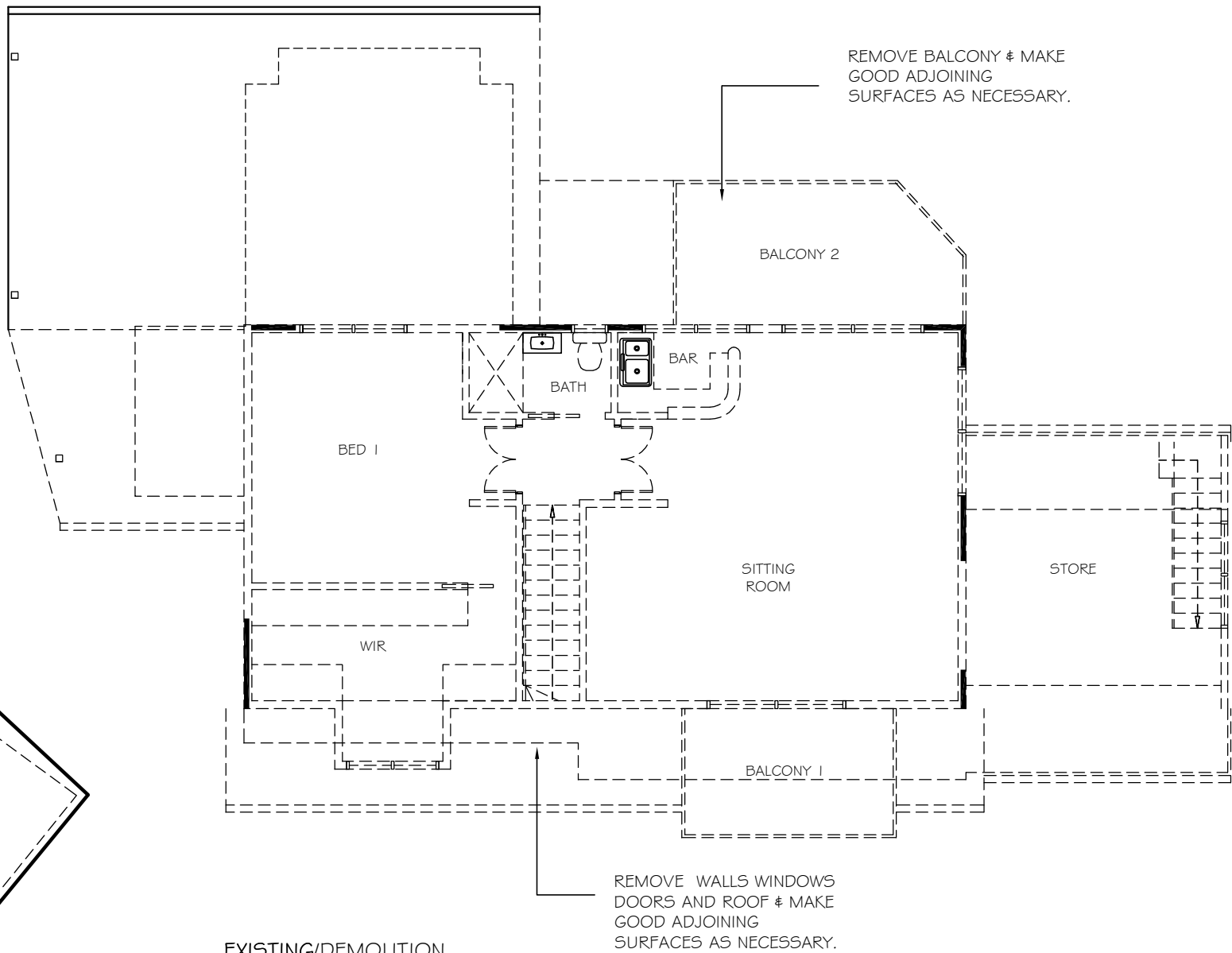
Ⓢ	SMOKE ALARM
Ⓣ	FAN MECHANICAL
DP.	DOWN PIPE
↓ tap	EXTERNAL TAP
⏏	METER BOX
⏏	GAS METER
⏏	RIANNI
⏏	AIR-CONDITION UNIT
⏏	SKYLIGHT
⏏	FLOOR WASTE
—	EXISTING WALLS
- - -	DEMOLITION WALLS
==	NEW WALLS

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EXISTING/DEMOLITION
GROUND FLOOR PLAN
SCALE 1:100



EXISTING/DEMOLITION
FIRST FLOOR PLAN
SCALE 1:100

Sammy Fedele

abn 36 627 664 311

Architectural Drafting
Services
0404 037 606

email:sammyfedele@primus.com.au

V AND J TURNER

PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE

ADDRESS : 24 PENIRTH AVE
WHEELER HEIGHTS
NSW 2097

DP 512855
LOT 2

PLAN

SCALE: 1:100

DATE: 20.11.2019

REV:

JOB: 18/18

SHEET No :
DA02

A2

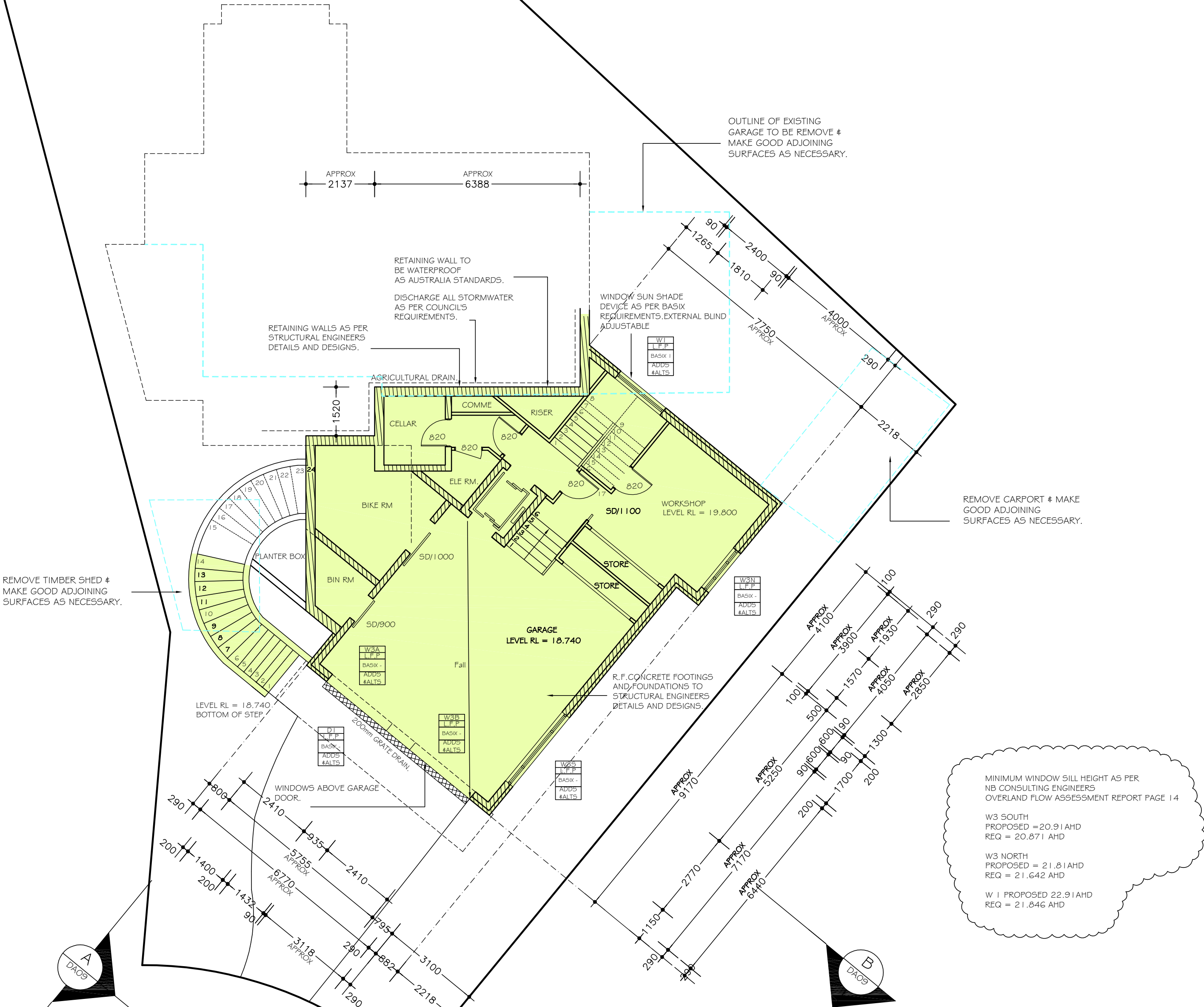


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LEGEND:	
	SMOKE ALARM
	FAN MECHANICAL
	DOWN PIPE
	EXTERNAL TAP
	METER BOX
	GAS METER
	RIANNI
	AIR-CONDITION UNIT
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	EXISTING WALLS
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PROPOSED
LOWER FLOOR PLAN
SCALE 1:100

abn 36 627 664 311

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V AND J TURNER		PLAN	
PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE) TO EXISTING RESIDENCE		SCALE: 1:100	SHEET No : DA03
ADDRESS : 24 PENIRTH AVE WHEELER HEIGHTS NSW 2097		DP 512855 LOT 2	DATE: 20.11.2019
		REV:	JOB: 18/18









A2

 northern
beaches
council

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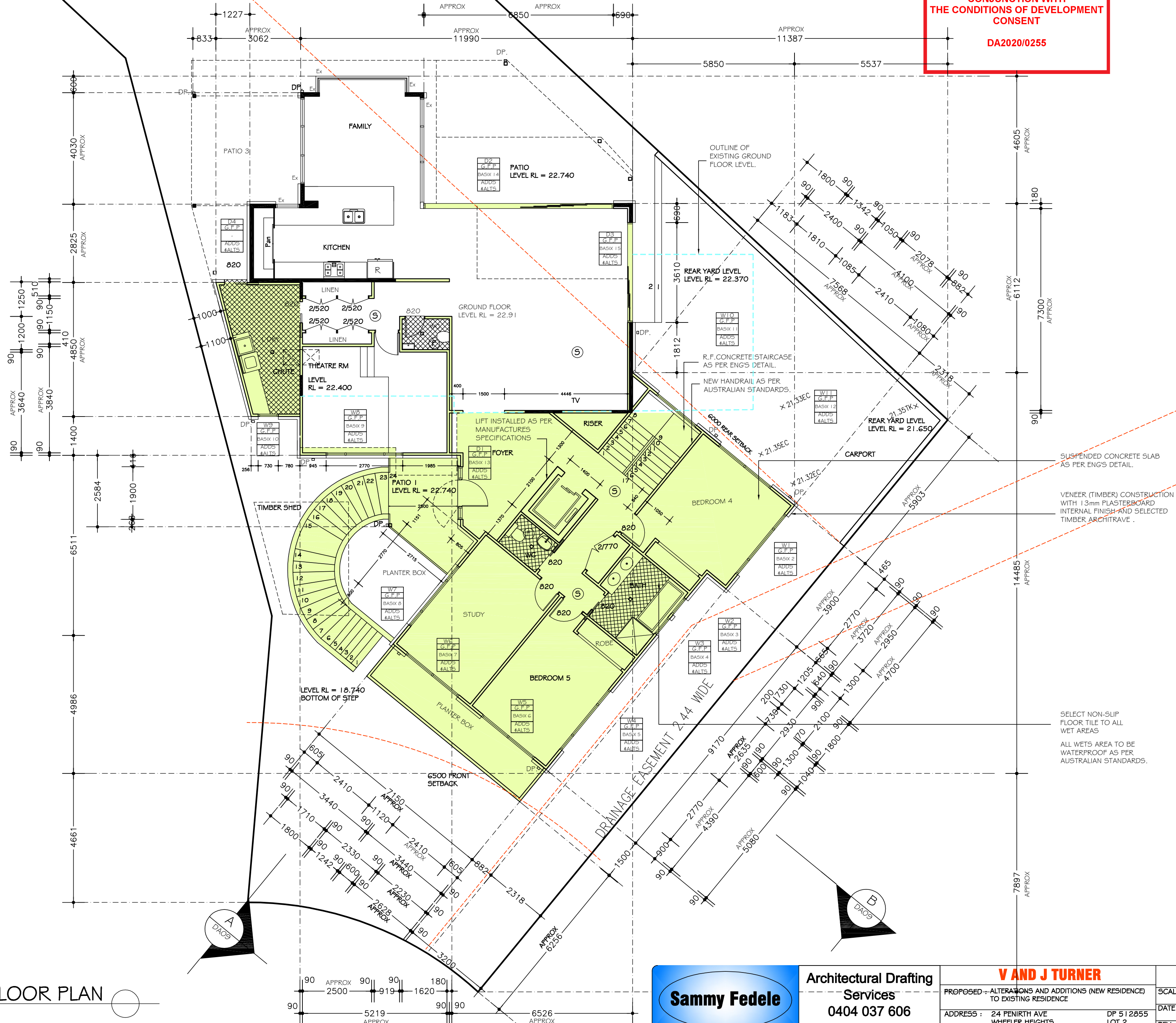
DA2020/0255

LEGEND:

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Ⓣ	FAN MECHANICAL
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tap	EXTERNAL TAP
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	GAS METER
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	AIR-CONDITION UNIT
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PROPOSED
GROUND FLOOR PLAN
SCALE 1:100

Sammy Fedele

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V AND J TURNER

PROPOSED ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE
ADDRESS : 24 PENRITH AVE
WHEELER HEIGHTS
NSW 2097

DP 512855
LOT 2

PLAN

SCALE: 1:100
DATE: 20.11.2019
REV: JOB: 18/18

DA04














A2



northern
beaches
council

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PROPOSED
FIRST FLOOR PLAN

SCALE 1:100

Sammy Fedele

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Architectural Drafting
Services

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V AND J TURNER

PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE

ADDRESS : 24 PENIRTH AVE
WHEELER HEIGHTS
NSW 2097

DP 512855
LOT 2

PLAN

SCALE: 1:100

DATE: 20.11.2019

REV: JOB: 18/18

SHEET No :
DA05

A2



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beaches
council

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CONSENT

DA2020/0255

BASIX NOTES

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: other/undecided	R1.30 (down) (including construction)	
suspended floor above garage: other/undecided	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: other/undecided	R1.70 (including construction)	
internal wall shared with garage: single skin masonry (R0.18)	nil	
skated ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	1.09	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2	E	1.66	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3	E	1.93	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W4	E	1.92	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W5	E	1.66	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W6	S	2.9	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7	S	2.9	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8	W	1.66	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W9	SE	1.66	0	0	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W10	SE	8.76	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W11	N	5.5	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W12	N	2.9	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W13	SW	4	0	0	eave/verandah/pergola/balcony ≥900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W14	NW	14.4	0	0	eave/verandah/pergola/balcony ≥900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W15	NE	7.6	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W16	E	1.66	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W17	E	8.76	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W18	E	1.66	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W19	SE	0.51	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W20	SE	0.51	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W21	SE	0.51	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W22	SE	0.876	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W23	NW	0.876	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W24	NW	0.876	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W25	NW	3.32	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W26	NW	5.77	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W27	NE	2.172	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W28	NE	2.172	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W29	N	2.172	0	0	eave/verandah/pergola/balcony ≥800 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W30	S	8.91	0	0	eave/verandah/pergola/balcony ≥900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

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CORRUGATED ROOFING
COLOUR AS SELECTED
BY OWNERS.

COLOURBOND GUTTERS &
DOWN PIPES AS SELECTED
BY OWNERS.

PROPOSED
ROOF PLAN
SCALE 1:100

Sammy Fedele

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V AND J TURNER

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TO EXISTING RESIDENCE

ADDRESS : 24 PENIRTH AVE
WHEELER HEIGHTS
NSW 2097

DP 512855
LOT 2

ROOF PLAN AND BASIX

SCALE: 1:100

DATE: 20.11.2019

REV: JOB: 18/18

SHEET No :

DA06

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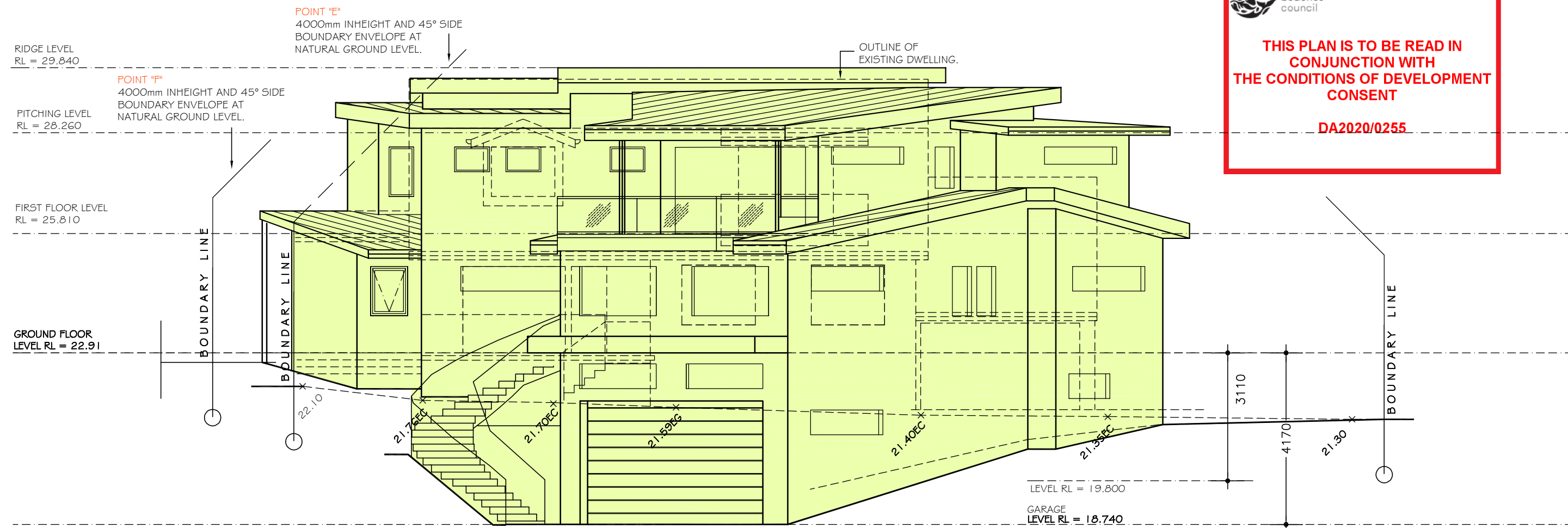
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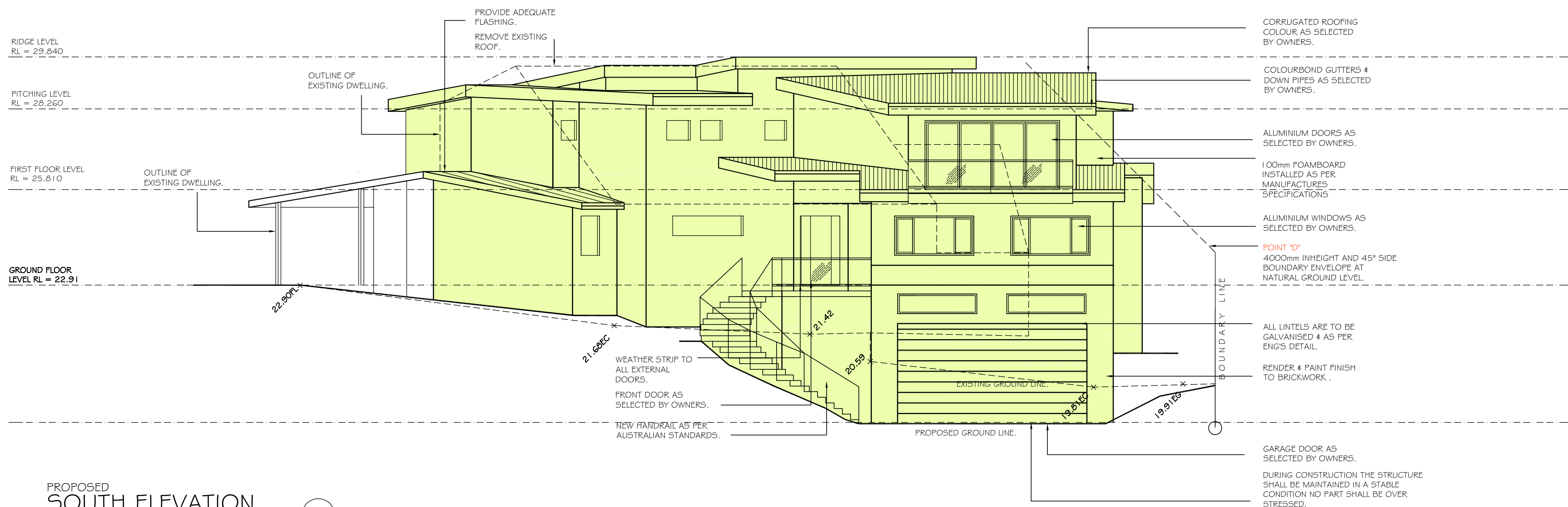
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PROPOSED
SOUTH EAST ELEVATION
SCALE 1:100



PROPOSED
SOUTH ELEVATION
SCALE 1:100

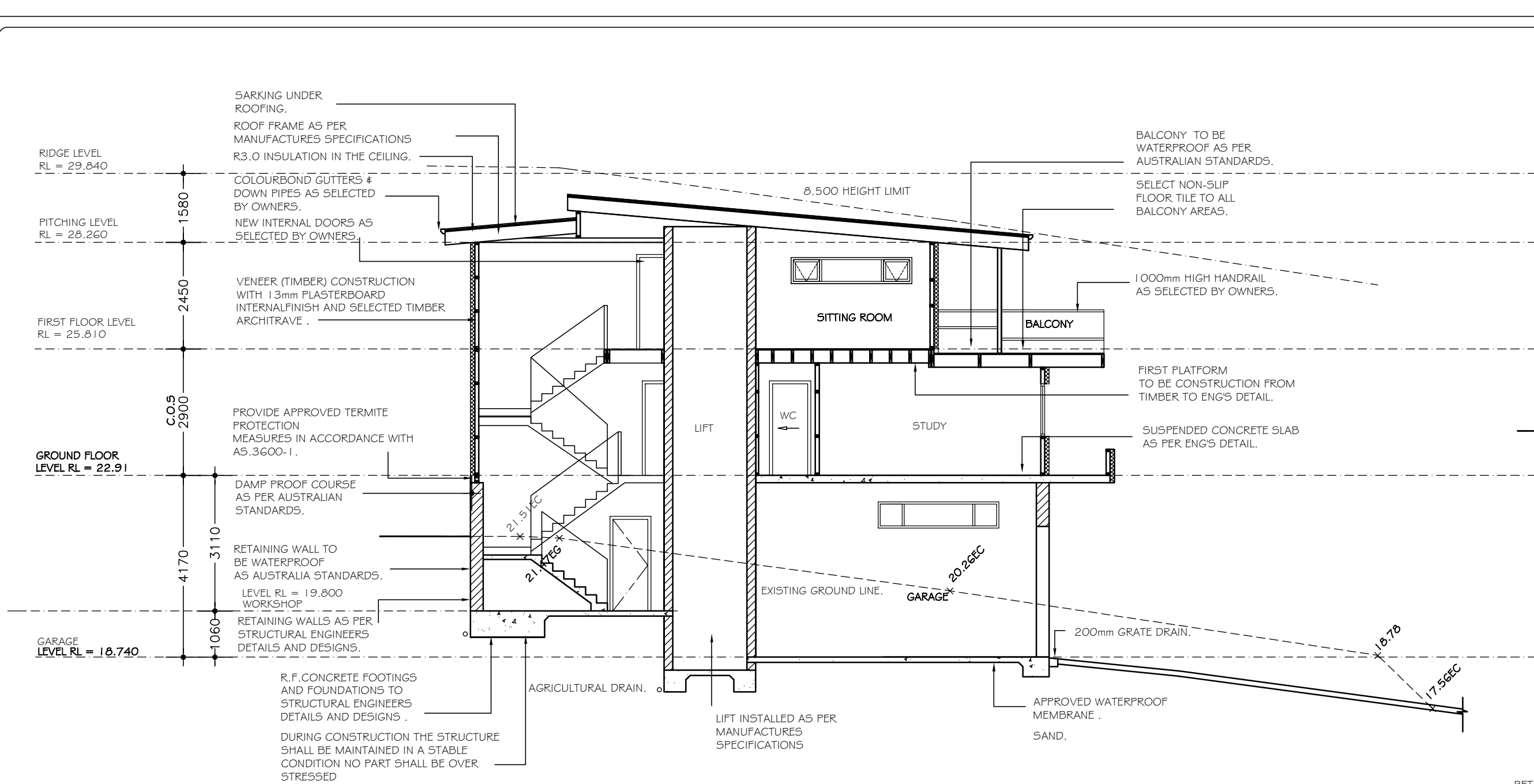


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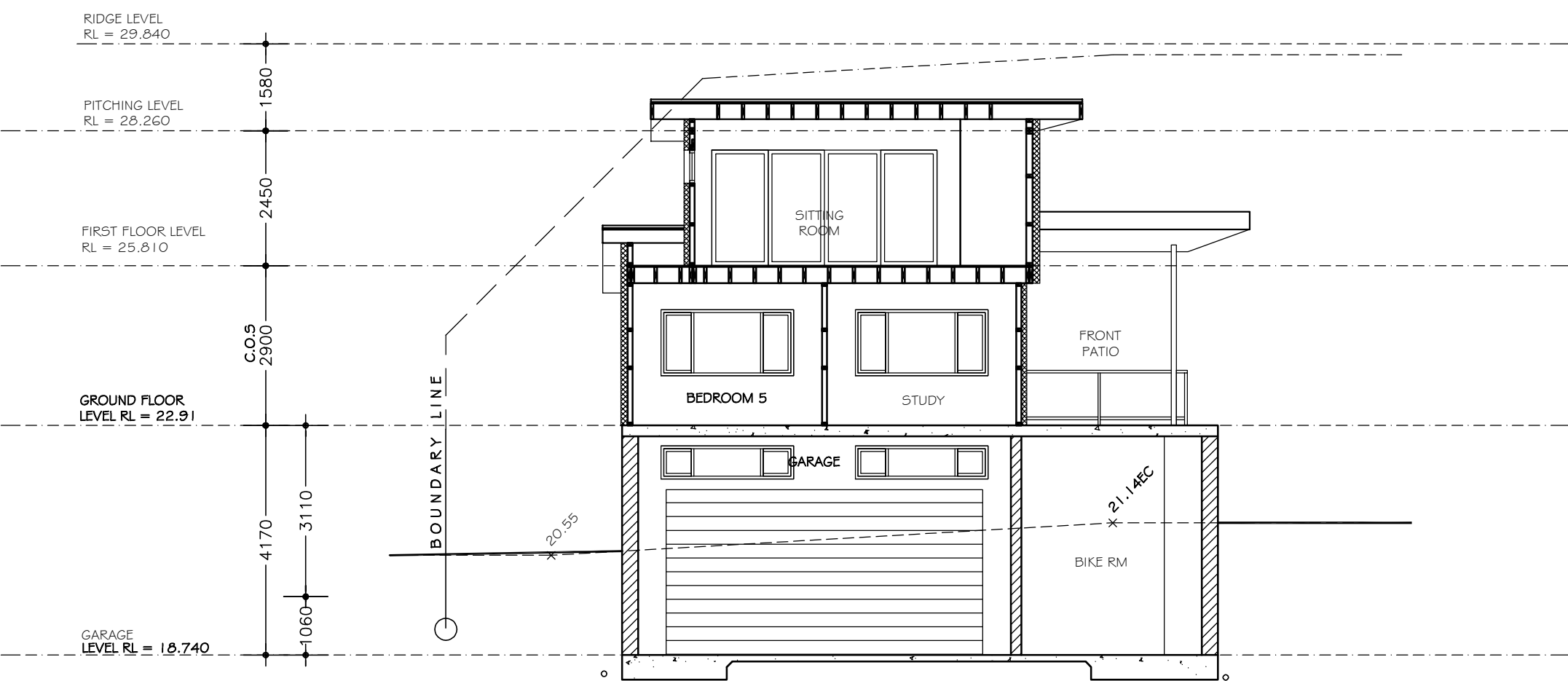
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A2



PROPOSED
SECTION A
SCALE 1:100



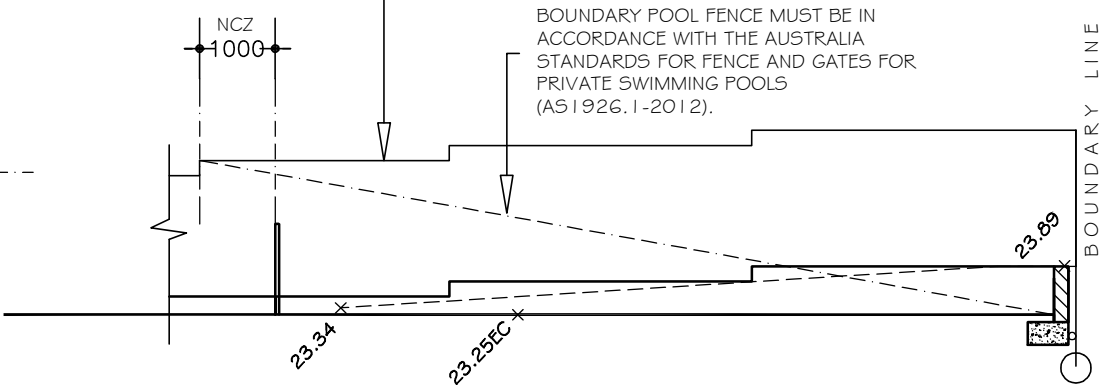
PROPOSED
SECTION B
SCALE 1:100



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PROPOSED
ELEVATION H
SCALE 1:100

POOL FENCE MUST BE IN ACCORDANCE
WITH THE AUSTRALIA STANDARDS FOR
FENCE AND GATES FOR PRIVATE
SWIMMING POOLS (AS 1926.1-2012).

REMOVE EXISTING
RETAINING WALL & MAKE
GOOD ADJOINING
SURFACES AS NECESSARY.
BOUNDARY POOL FENCE MUST BE IN
ACCORDANCE WITH THE AUSTRALIA
STANDARDS FOR FENCE AND GATES FOR
PRIVATE SWIMMING POOLS
(AS 1926.1-2012).

RETAINING WALL TO
BE WATERPROOF
AS AUSTRALIA STANDARDS.

POOL LEVEL
RL = 23.250

AGRICULTURAL DRAIN.

R.F. CONCRETE FOOTINGS
AND FOUNDATIONS TO
STRUCTURAL ENGINEERS
DETAILS AND DESIGNS.

DURING CONSTRUCTION THE STRUCTURE
SHALL BE MAINTAINED IN A STABLE
CONDITION NO PART SHALL BE OVER
STRESSED

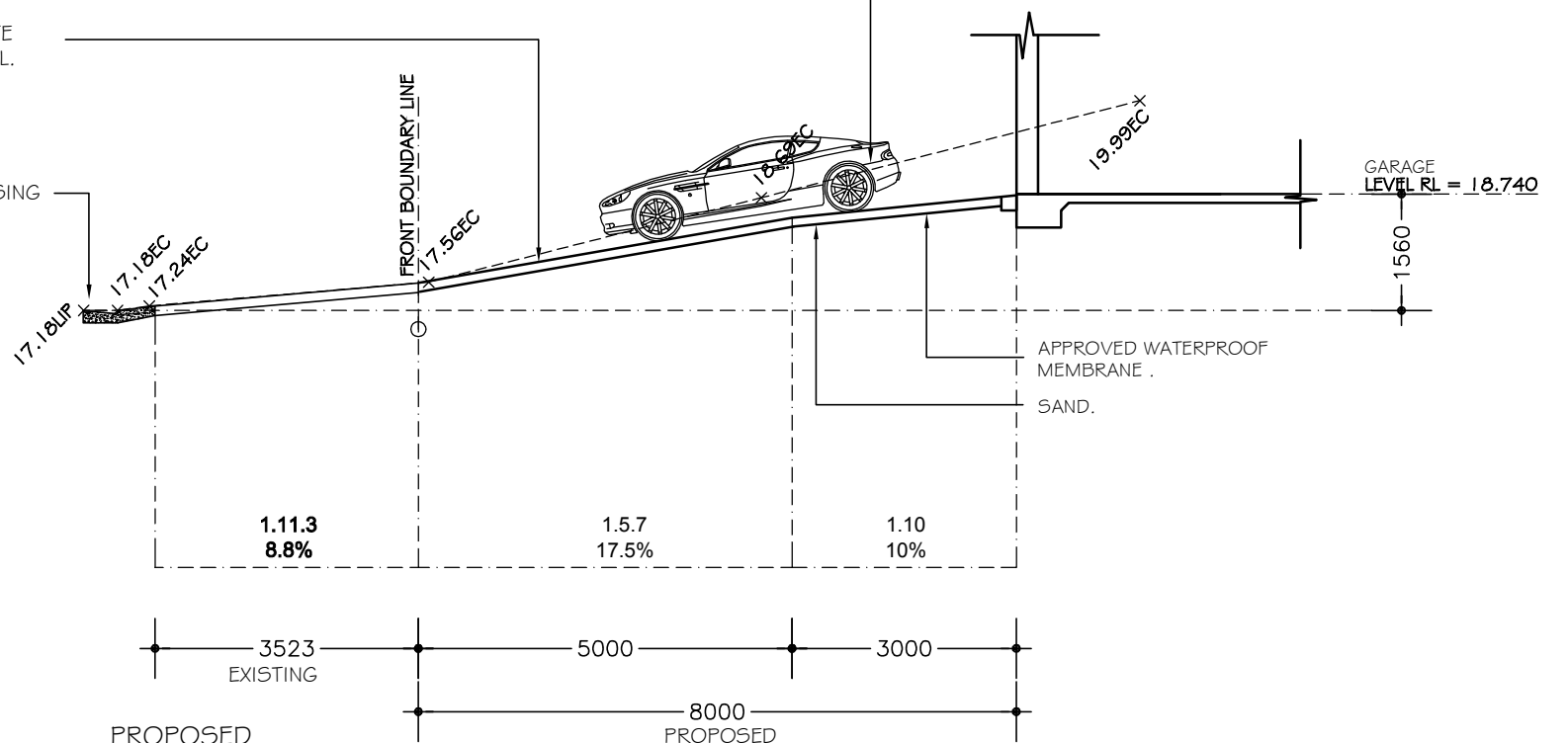
RETAINING WALLS AS PER
STRUCTURAL ENGINEERS
DETAILS AND DESIGNS.

PROPOSED
ELEVATION G
SCALE 1:100

EXISTING GROUND LINE

PROPOSED NEW R.F. CONCRETE
DRIVEWAY AS PER ENG'S DETAIL.

EXISTING LAYBACK AND CROSSING



PROPOSED
SECTION C
SCALE 1:100

NOTES

1. Do not scale off drawings. (If in doubt ask.)
2. All measurements to be checked on site prior to commencement of construction.
3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
4. Supply & install selected smoke alarm system to comply with AS3786.
5. All storm water to be connected to street gutters as per council requirements.
6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
7. Setting out dimensions shown on the drawings shall be verified by the builder.
8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
9. Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
10. Supply and install lift off hinges to all wet area doors.

Sammy Fedele

abn 36 627 664 311

Architectural Drafting
Services
0404 037 606

email:sammyfedele@iprimus.com.au

V AND J TURNER

PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE

ADDRESS : 24 PENIRTH AVE
WHEELER HEIGHTS
NSW 2097

DP 512855
LOT 2

SCALE: 1:100

DATE: 20.11.2019

REV: JOB: 18/18

SECTION

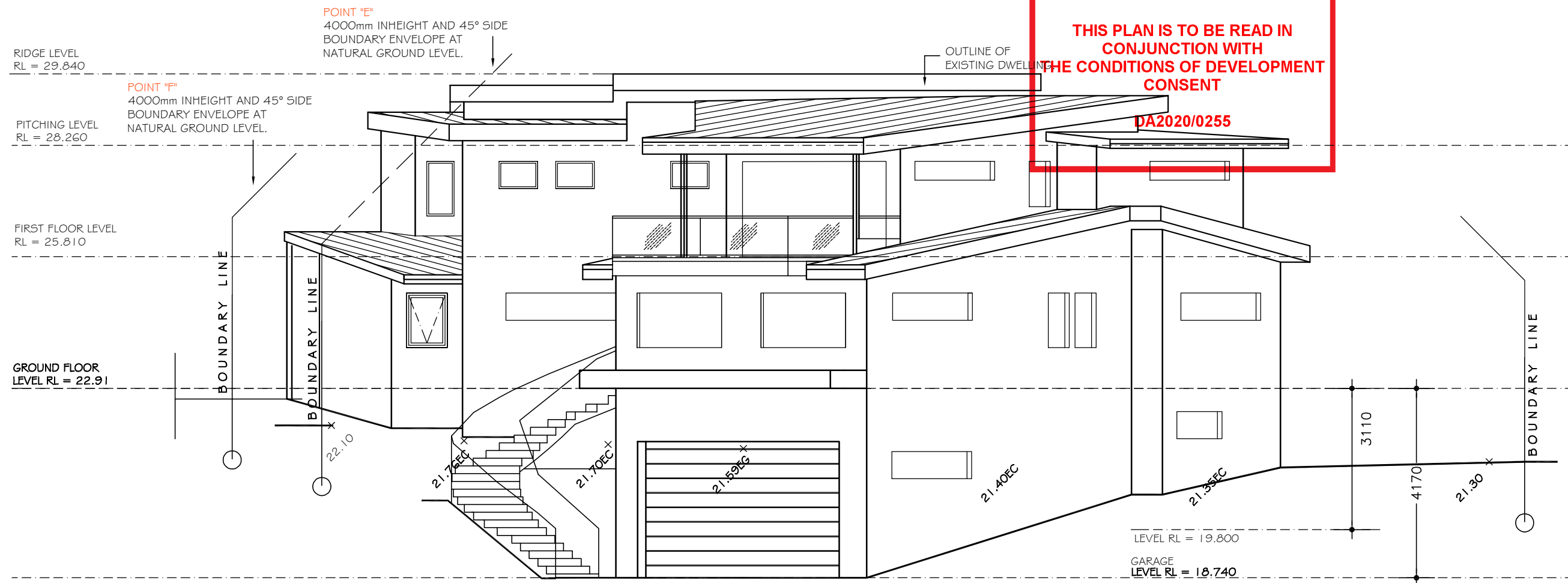
SHEET No :

DA010

A2

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0255



PROPOSED SOUTH EAST ELEVATION

SCALE 1:100

PLEASE NOTE
COLOURS AS SELECTED OR SIMILAR

EXTERNAL COLOURS AND FINISHES

WINDOW AND DOORS	ROOF	GARAGE DOOR	GUTTER = IRONSTONE FASCIA = WHITE/IRONSTONE DOWNPipes = TO MATCH WALLS
ALUMINIUM DOORS AND WINDOWS COLOUR: WHITE OR SIMILAR	ROOF COLOUR IRONSTONE OR SIMILAR		
		TIMBER OR COLOURBOND	

ROOF IRONSTONE
PLEASE NOTE
COLOURS AS SELECTED OR SIMILAR



WALLS
RENDERED AND PAINTED
PLEASE NOTE
COLOURS AS SELECTED OR SIMILAR

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V AND J TURNER

PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE
ADDRESS : 24 PENIRTH AVE WHEELER HEIGHTS
NSW 2097
DP 512855
LOT 2

EXTERNAL COLOURS AND FINISHES

SCALE: 1:100
DATE: 20.11.2019
REV: JOB: 18/18

SHEET No :
DA15

A3