

DEVELOPMENT APPLICATION

45/45A OAKS AVENUE, DEE WHY 2099

SEPP 2021 (HOUSING) - PART 2 DIVISION 1: IN-FILL AFFORDABLE HOUSING



UNIT SCHEDULE						
	UNIT	BEDROOMS	AREA (m2)	POS	(AREA m2)	UNIT STORE (m3)
GROUND FLOOR						
	G01	2 BED + STUDY	95.00	10.37		8.00
	G02 (A)	1 BED + STUDY	65.35	16.50		6.00
	G03	2 BED	75.13	16.50		4.10
FIRST FLOOR						
	101	3 BED	96.08	13.78		10.00
	102 (AF) (S)	1 BED+STUDY	65.40	11.54		6.00
	103 (AF)	2 BED	75.00	13.96		4.10
SECOND FLOOR						
	201	3 BED	96.08	13.78		10.00
	202 (S)	1 BED+STUDY	63.17	13.97		6.00
	203	2 BED	75.00	13.96		4.10
THIRD FLOOR						
	301	3 BED	118.00	18.32		10.00

AFFORDABLE CALCULATIONS

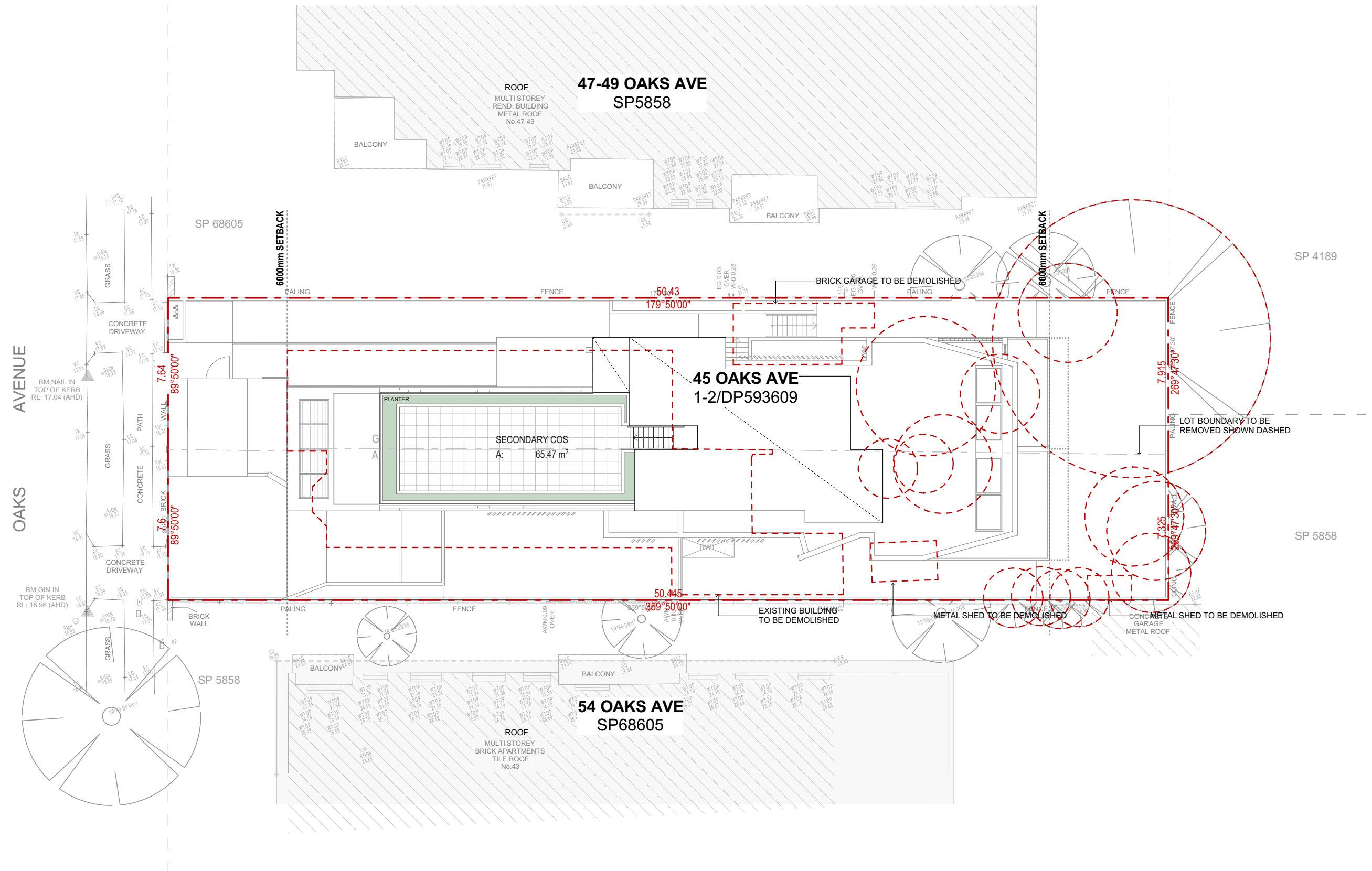
TOTAL GROSS FLOOR AREAS	
	AREA (m2)
GROUND FLOOR	255.89
FIRST FLOOR	250.37
SECOND FLOOR	249.29
THIRD FLOOR	126.75
	882.30 m²
15 % OF TOTAL GFA	132.3 m²
PROPOSED AFFORDABLE GFA	140.4 m²

SCHEDULE ABBREVIATIONS

(A) ADAPTABLE UNIT
(S) SILVER LEVEL UNIT
(AF) AFFORDABLE HOUSING UNIT

DRAWING SCHEDULE

DRAWING NAME		ISSUE	SCALE
A0000 GENERAL INFORMATION			
A0001	COVERPAGE	D	
A0006	SITE PLAN	D	1:200
A1000 GENERAL ARRANGEMENT PLAN			
A1001	BASEMENT PLAN	D	1:200
A1002	GROUND FLOOR PLAN	D	1:50, 1:200
A1003	FIRST FLOOR PLAN	D	1:200
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A1006	ROOF & COS PLAN	D	1:200
A2000 ELEVATIONS			
A2001	NORTH & SOUTH ELEVATIONS	D	1:200
A2002	EAST & WEST ELEVATIONS	D	1:200
A2003	STREETSCAPE ELEVATION	D	1:350
A2100 SECTIONS			
A2101	SECTION A	D	1:200
A3000 ADDITIONAL INFO			
A3001	LANDSCAPE + DEEP SOIL CALC.	D	1:200
A3002	COMMUNAL OPEN SPACE	D	1:200
A3003	CROSS-VENTILATION	D	1:300
A3004	SAMPLE BOARD	D	1:300
A4000 SOLAR ACCESS			
A4001	SOLAR ACCESS 1/2	D	
A4002	SOLAR ACCESS 2/2	D	
A4100 SHADOW DIAGRAMS			
A4101	SHADOW DIAGRAMS (9-11am)	D	1:850
A4102	SHADOW DIAGRAMS (12-2pm)	D	1:850
A4103	SHADOW DIAGRAMS (3pm)	D	1:850
A4104	47-49 OAKS SHADOW IMPACT STUDY 1/2	D	1:100
A4105	47-49 OAKS SHADOW IMPACT STUDY 2/2	D	1:100
A4106	43 OAKS SHADOW IMPACT STUDY 1/2	D	1:100
A4107	43 OAKS SHADOW IMPACT STUDY 2/2	D	1:100



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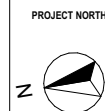
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AMENDMENTS			
No.	REVISION	BY	DATE
B	FOR DA SUBMISSION	S.K. , R.I.	23.05.2024
C	COURT SUBMISSION - SOFAC AMENDMENTS	S.K. , R.I.	17.01.2024
D	POST S34 AMENDMENTS	M.M.	08.04.2025



MULTI RESIDENTIAL DEVELOPMENT
PROJECT
45/45A OAKS AVENUE, DEE
WHY 2099

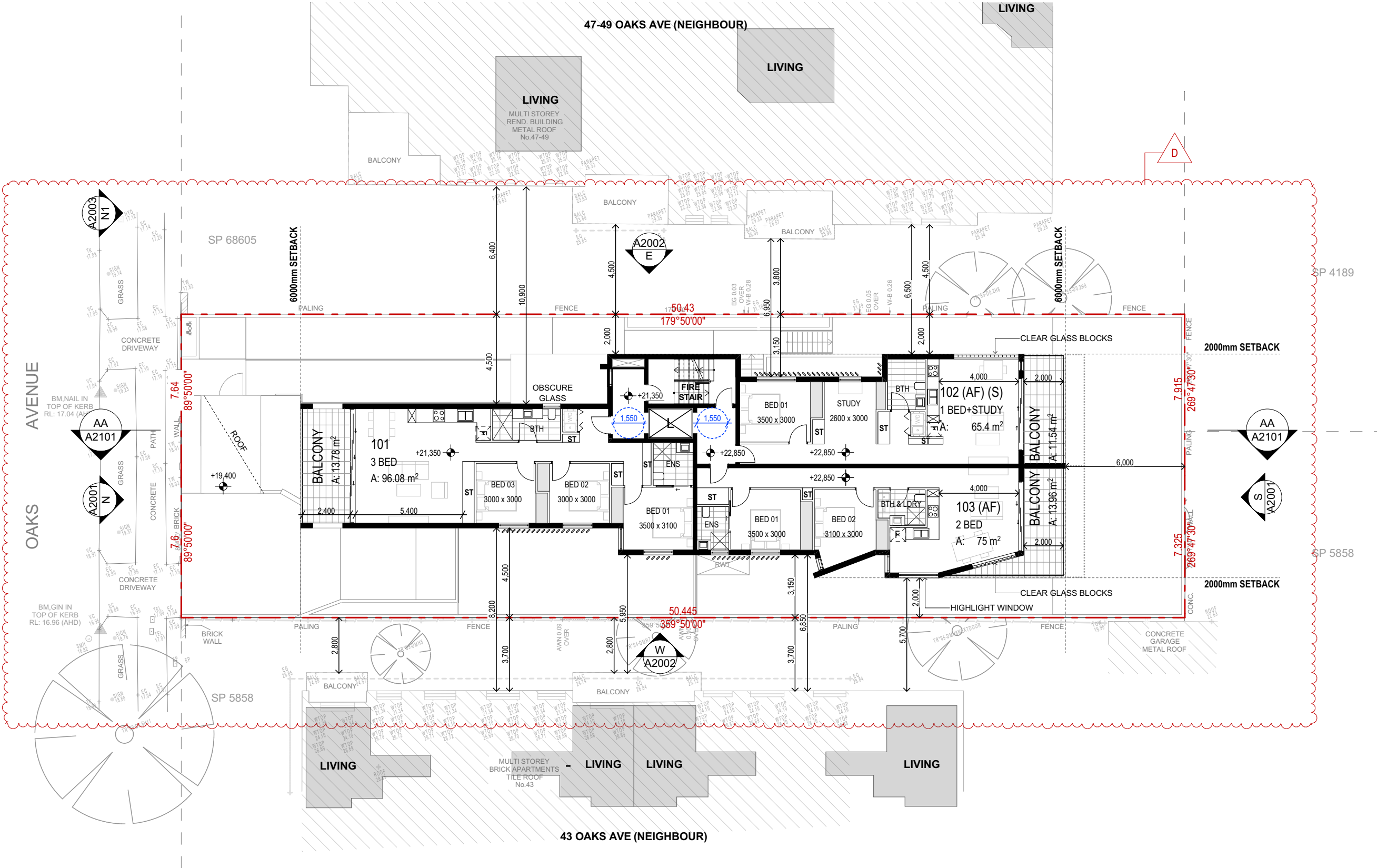
DRAWING:
SITE PLAN

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SCALE:
1:200@A3

DRAWING NO.:
A0006

ISSUE:
D



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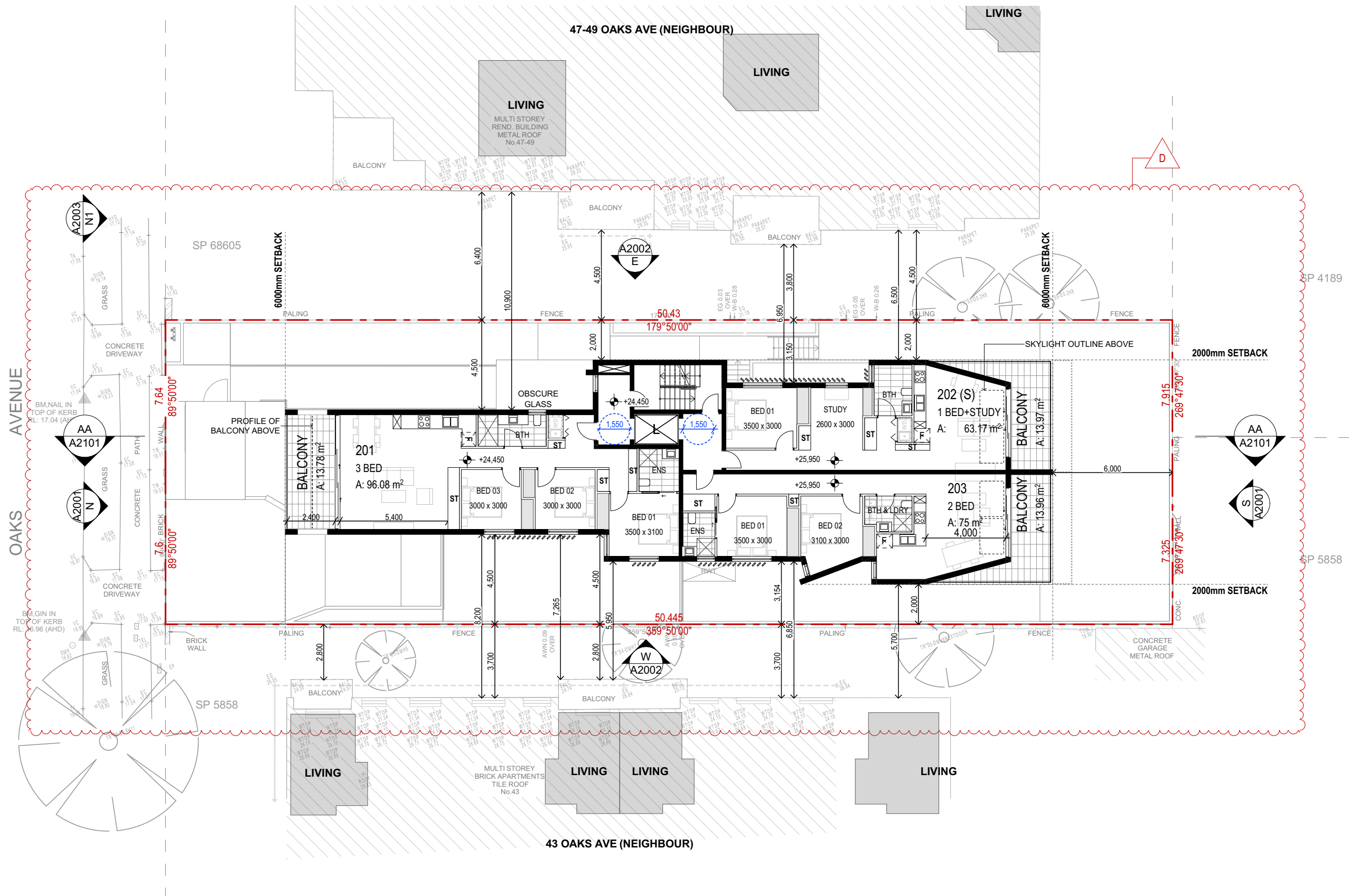
DRAWING:
FIRST FLOOR PLAN

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D.M.

SCALE:
1:200@A3

DRAWING NO.:
A1003

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PROJECT NORTH



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PROJECT
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DRAWING:

SECOND FLOOR PLAN

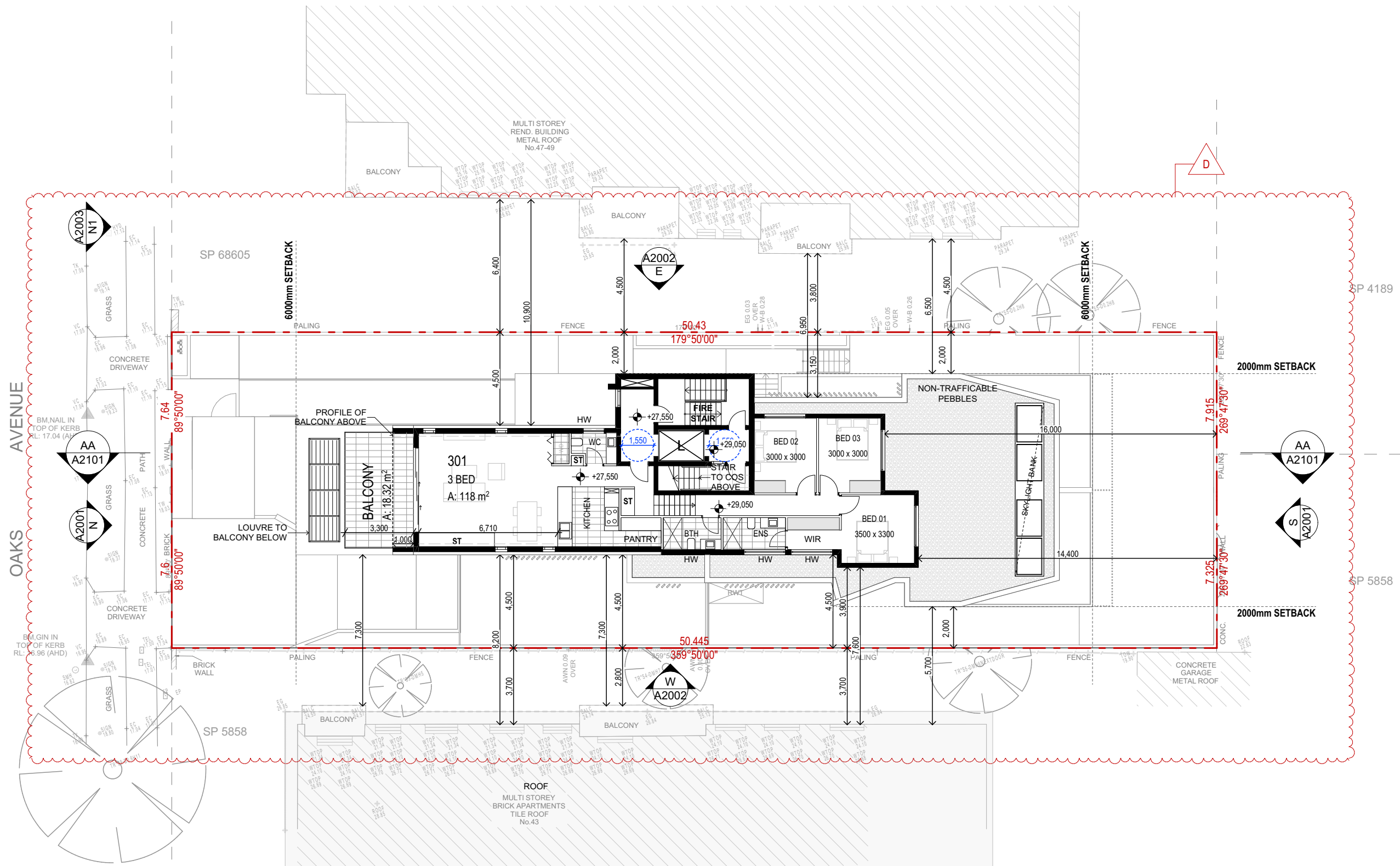
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SCALE:
1:200@A3

DRAWING NO.:
A1004

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D



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DRAWING:
THIRD FLOOR PLAN

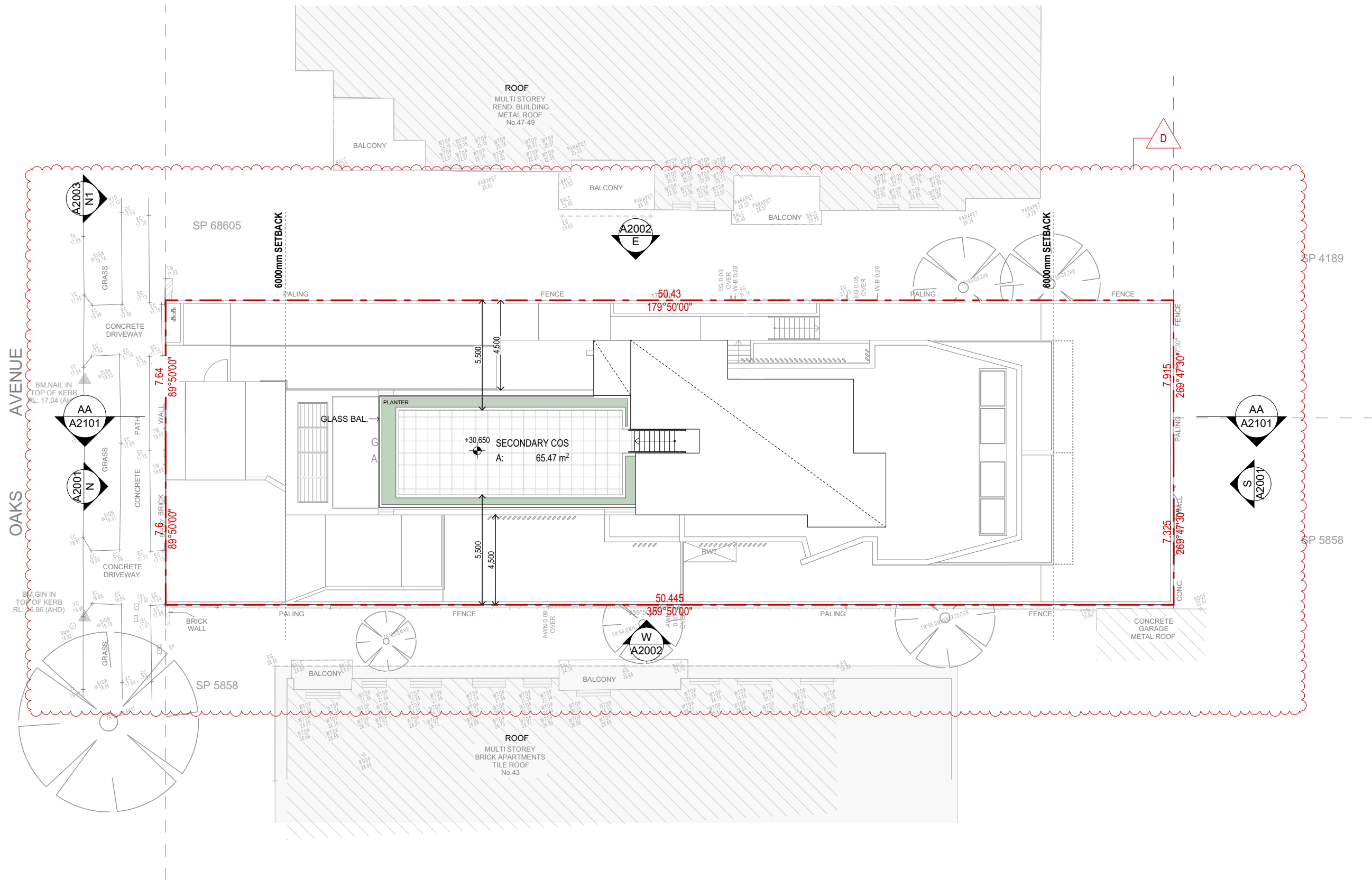
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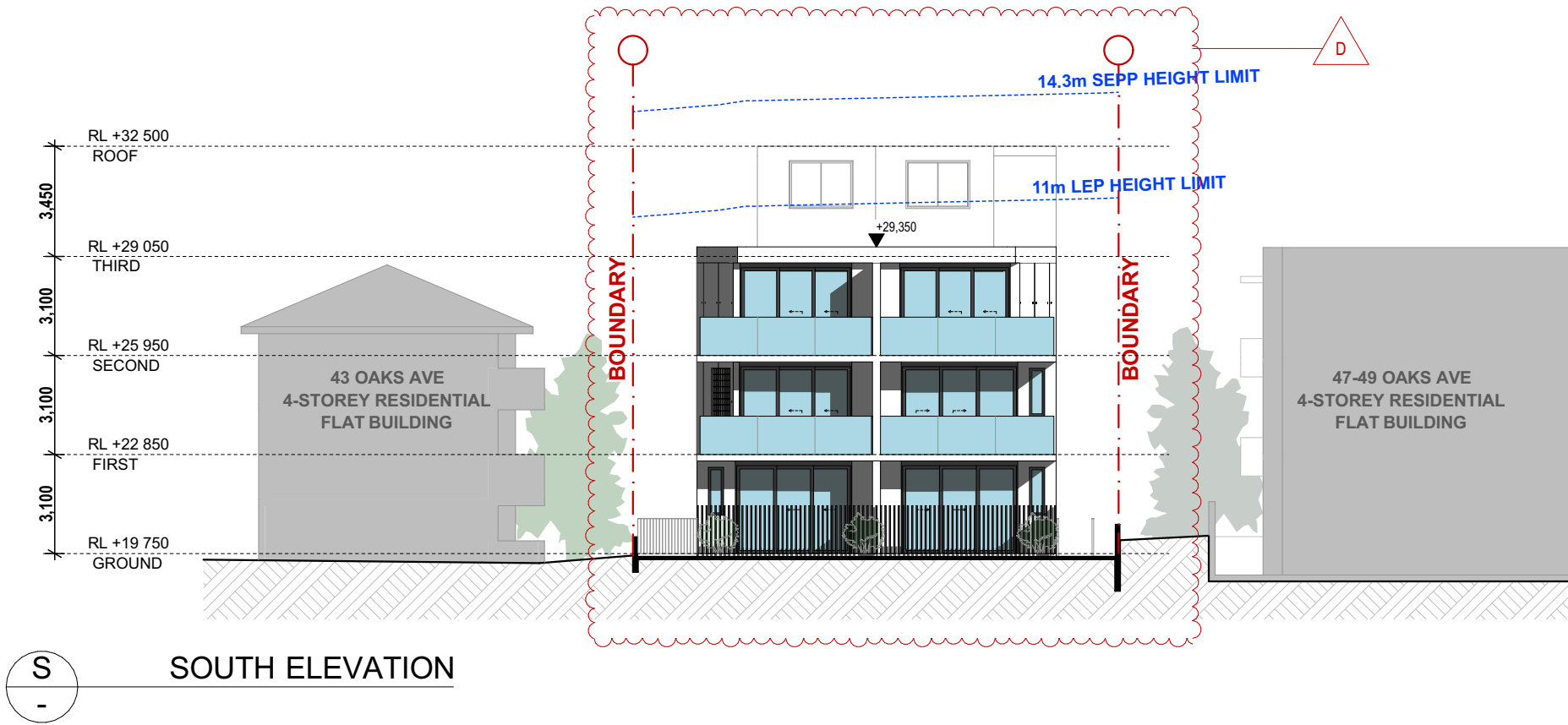
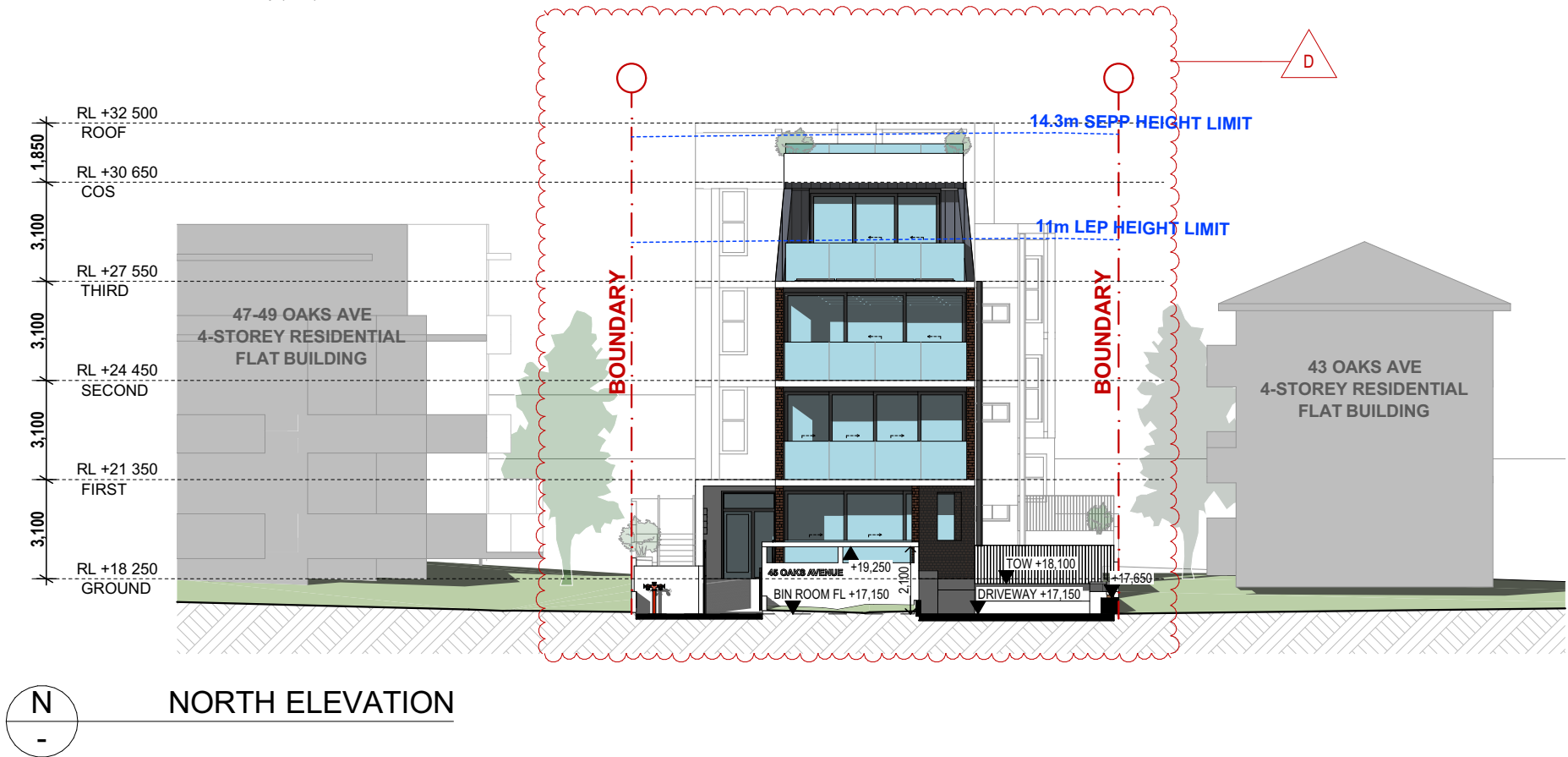
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A1005

ISSUE:
D

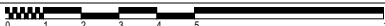




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WHY 2099**

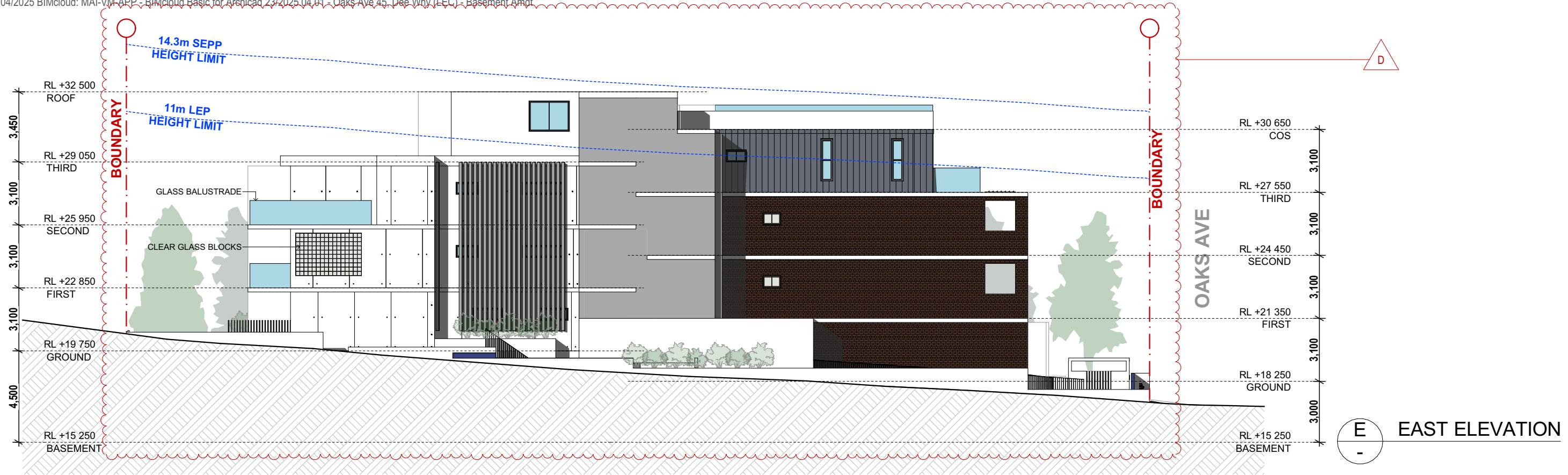
DRAWING:
NORTH & SOUTH ELEVATIONS

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SCALE:
1:200@A3

DRAWING NO.:
A2001

ISSUE:
D



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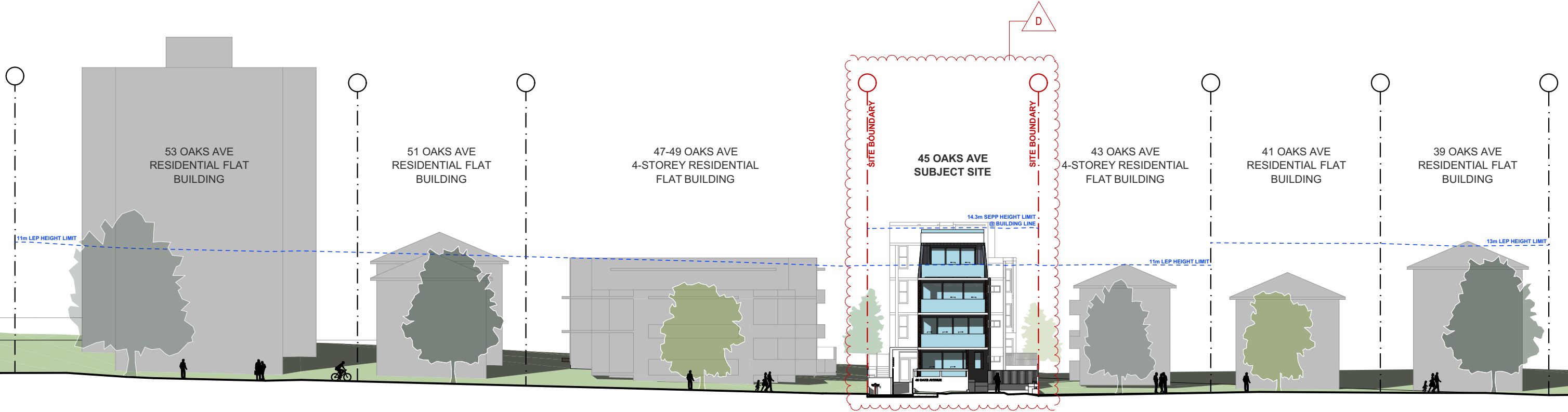
DRAWING:
EAST & WEST ELEVATIONS

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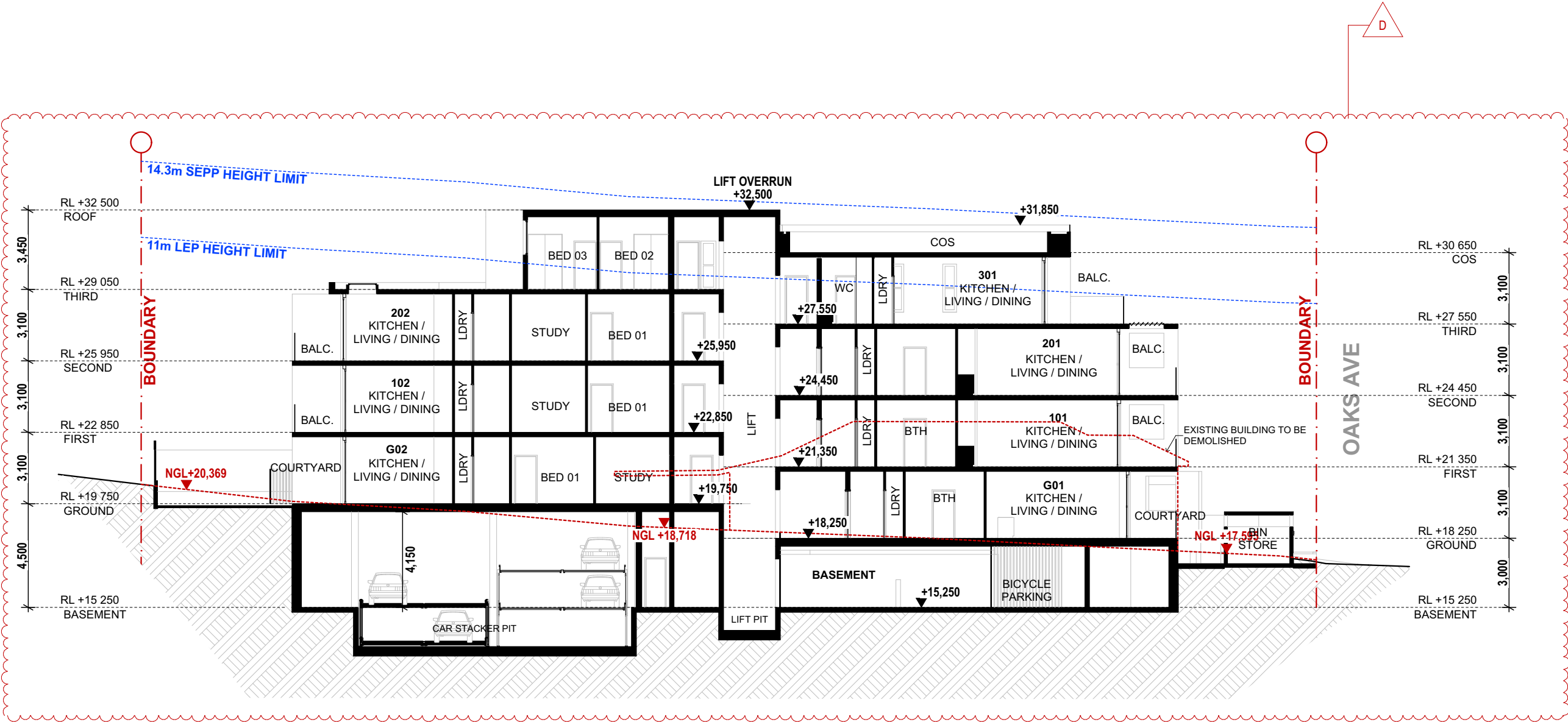
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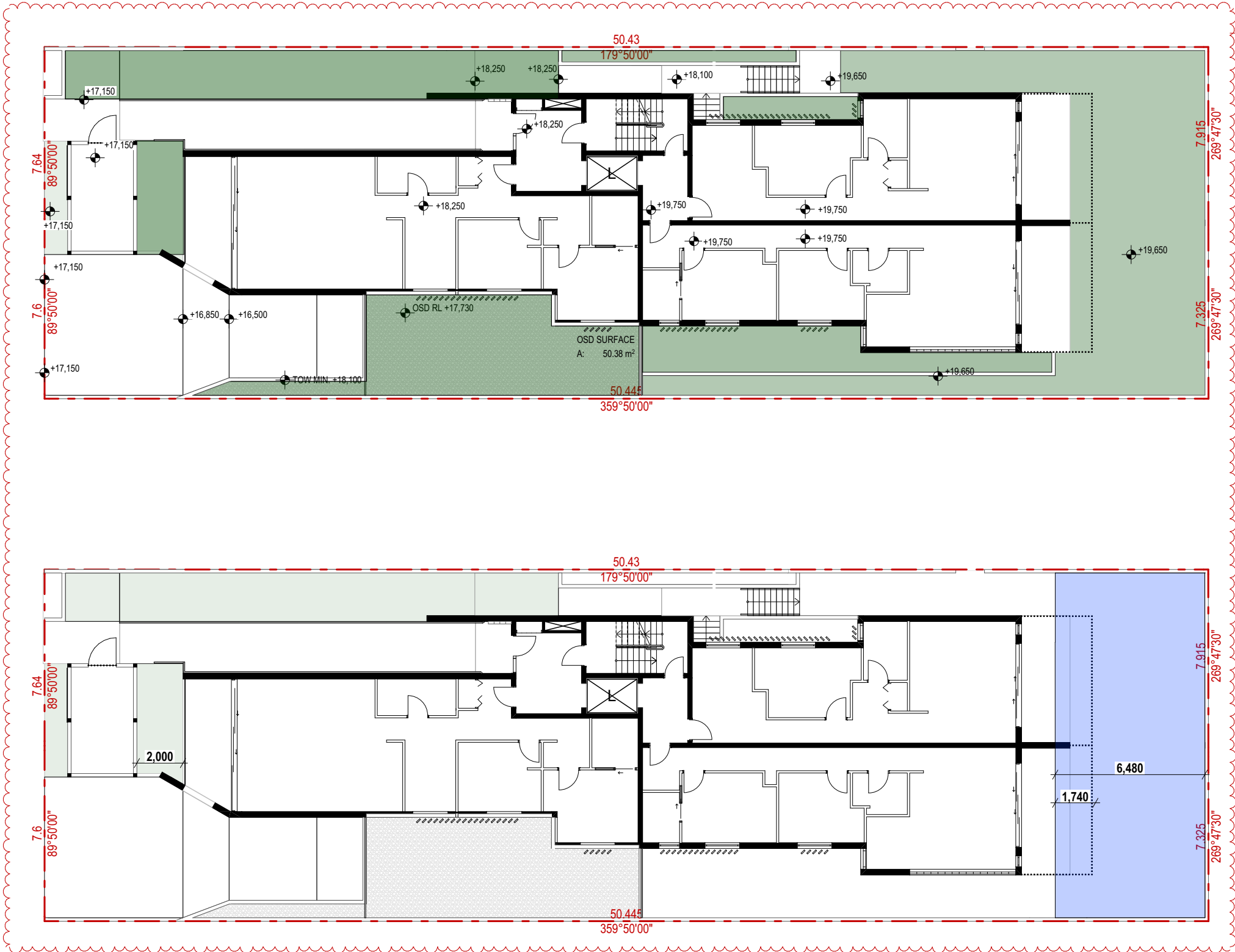
ISSUE:
D



N1
-

STREETSCAPE ELEVATION - OAKS AVE





AREAS MEASURED	
LANDSCAPE	281.14 m²
LANDSCAPE CALCULATIONS	
SITE AREA	768.7m²
SEPP MIN. LANDSCAPE %	30%
SEPP MIN. LANDSCAPE m²	230.61m²
PROPOSED LANDSCAPE %	36.57%
PROPOSED LANDSCAPE m²	281.14m²

AREAS MEASURED	
DEEP SOIL AREAS	96.96 m²
DEEP SOIL CALCULATIONS	
SITE AREA	768.7m²
ADG MIN. DEEP SOIL %	7%
ADG MIN. DEEP SOIL m²	53.8m²
PROPOSED DEEP SOIL %	12.61%
PROPOSED DEEP SOIL m²	96.96m²



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PROJECT
45/45A OAKS AVENUE, DEE WHY 2099

DRAWING:
LANDSCAPE + DEEP SOIL CALC.

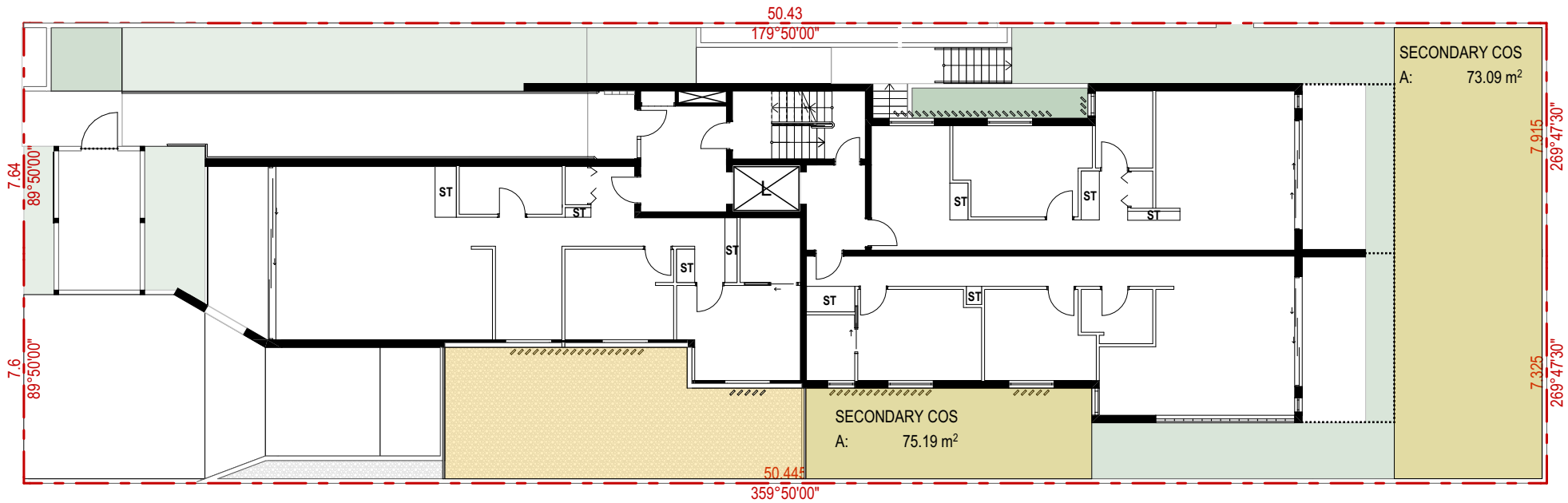
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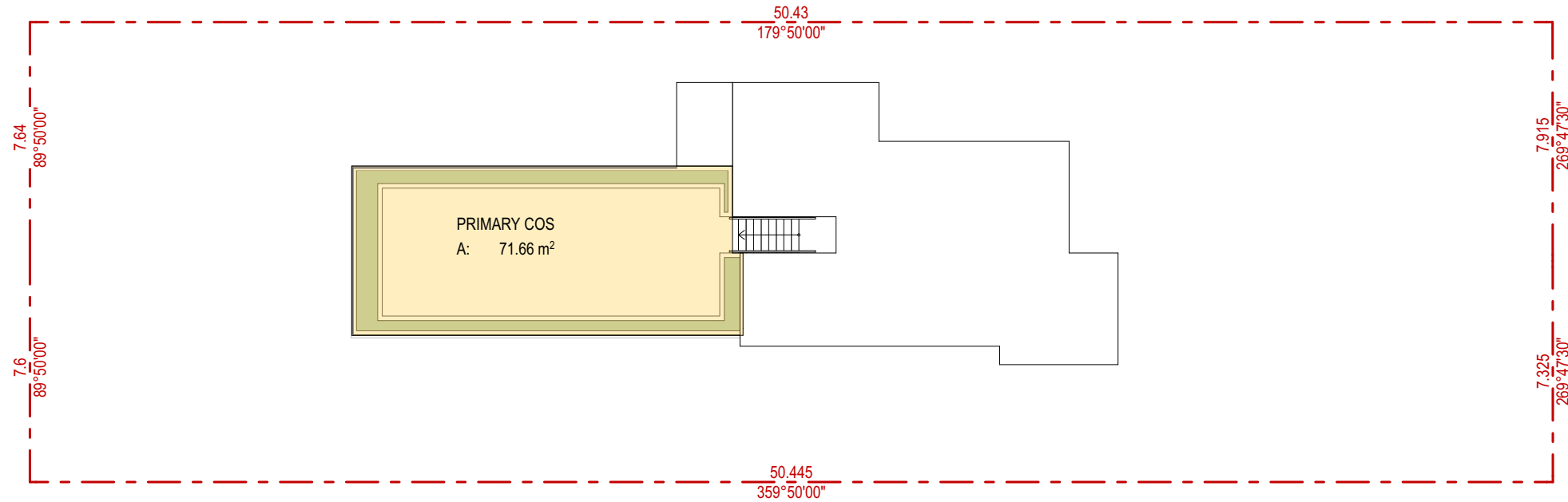
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ISSUE:
D

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1
-
GROUND FLOOR

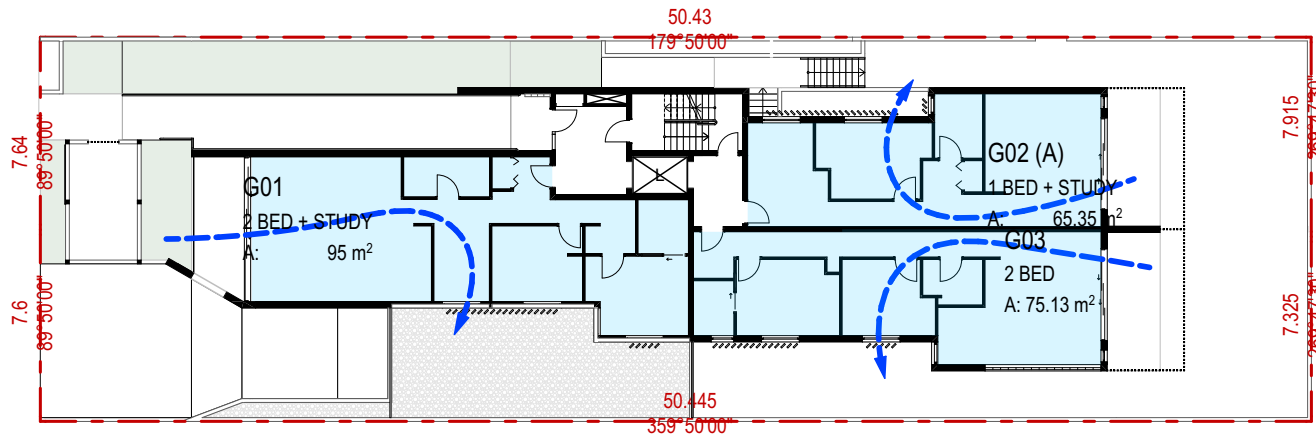


2
-
COS

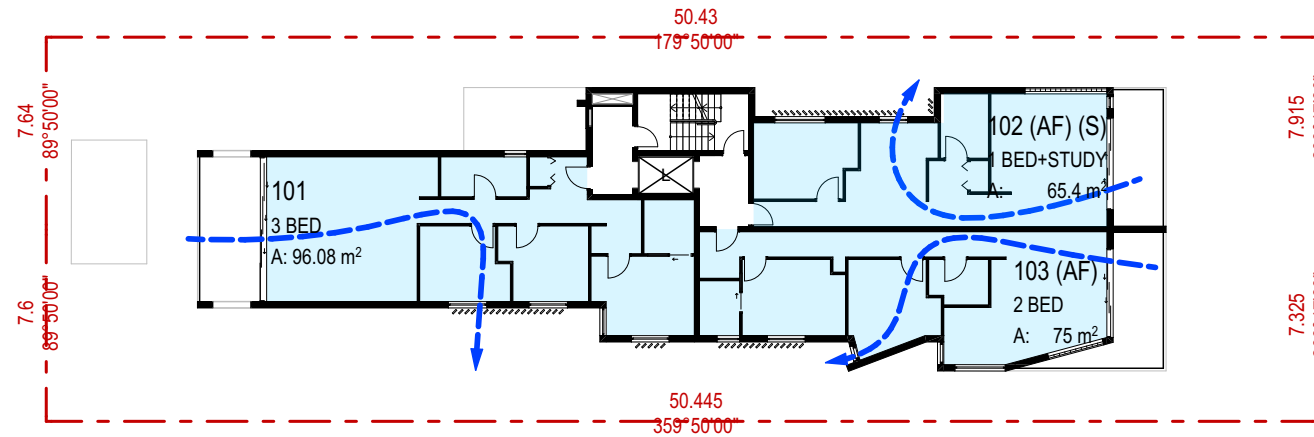
PRINCIPLE COS AREAS	
	AREA (m2)
GROUND FLOOR	73.09
GROUND FLOOR	75.19
COS	71.66
	219.94 m²

AREAS MEASURED	
	COMMUNAL OPEN SPACE
	219.94 m²

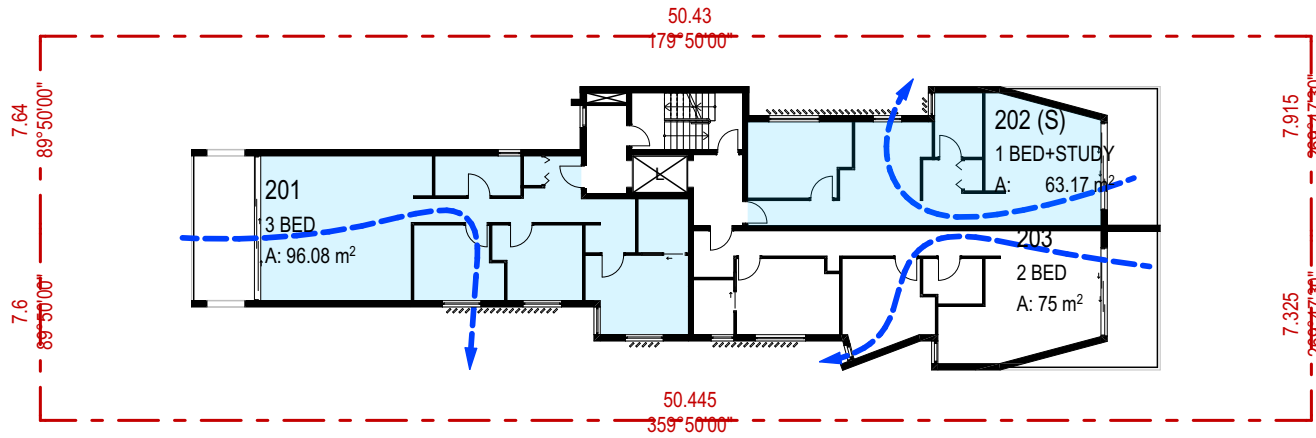
COS CALCULATIONS	
SITE AREA	768.7m²
ADG MINIMUM COS%	25%
ADG MINIMUM COS m²	192.18m²
PROPOSED COS %	28.58%
PROPOSED COS m²	219.94m²



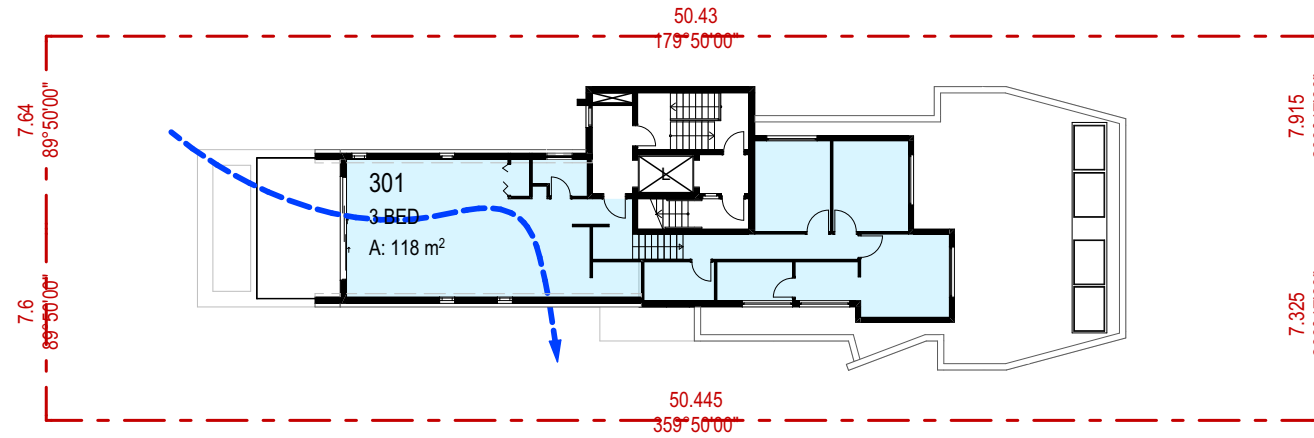
1. GROUND FLOOR - CROSS VENTILATION



2. FIRST FLOOR - CROSS VENTILATION



3. SECOND FLOOR - CROSS VENTILATION



4. THIRD FLOOR - CROSS VENTILATION

CROSS VENTILATION ACCESS CALCULATIONS

TOTAL NUMBER OF UNITS	10
ADG REQUIRED UNITS WITH CROSS VENTILATION %	60 %
ADG REQUIRED UNITS WITH CROSS VENTILATION	6
PROPOSED UNITS WITH CROSS VENTILATION %	100 %
PROPOSED UNITS WITH CROSS VENTILATION	10



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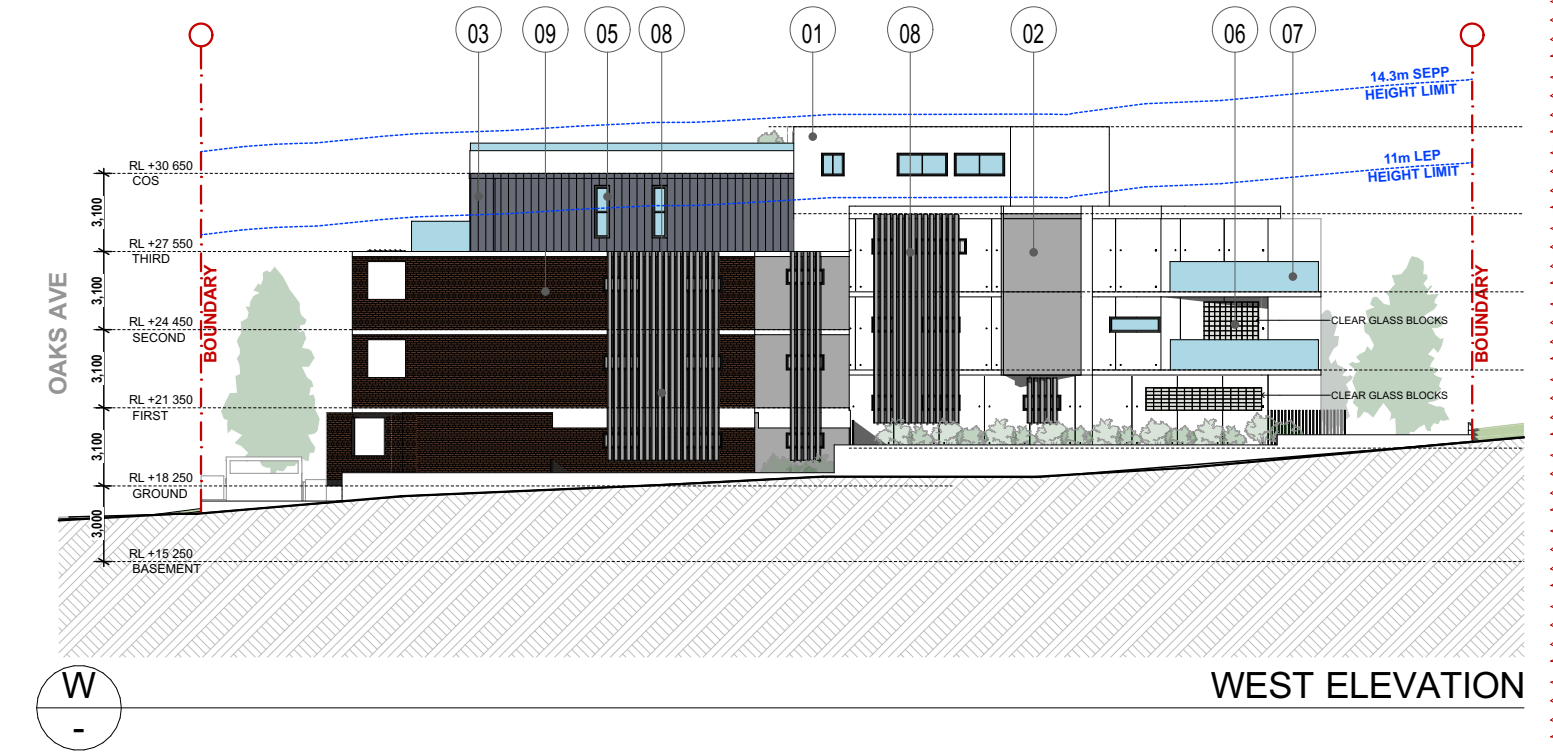
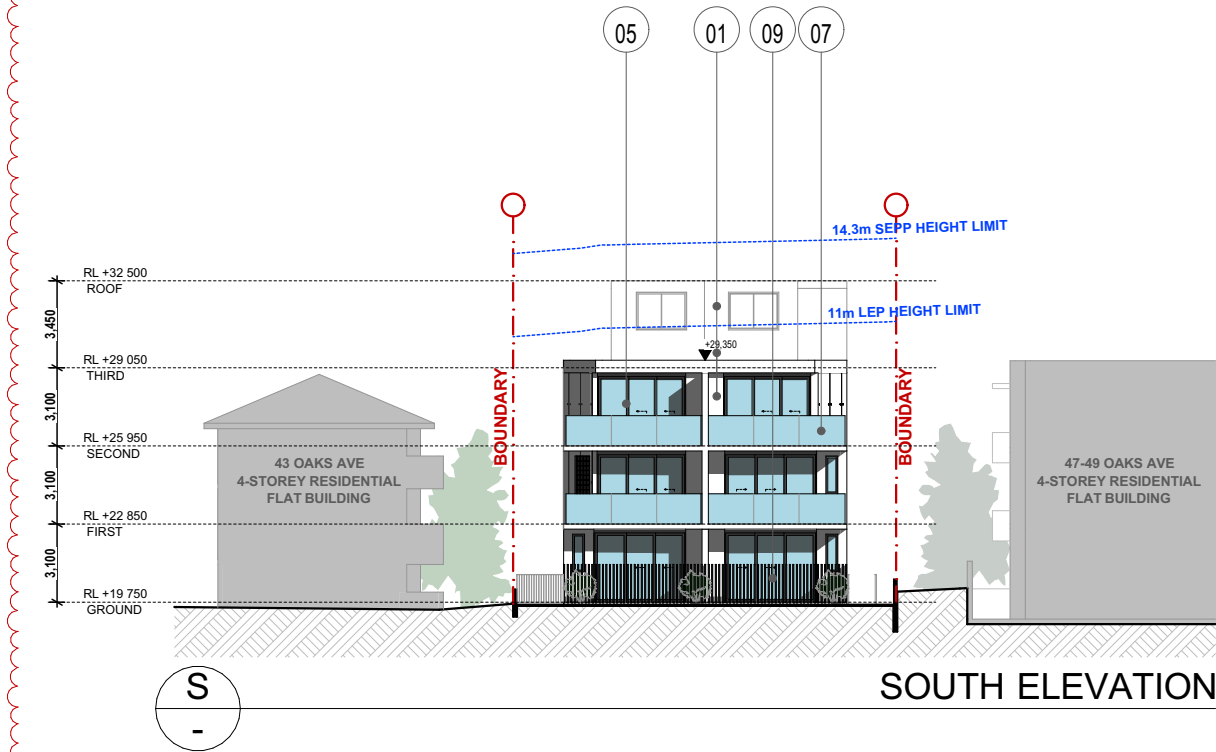
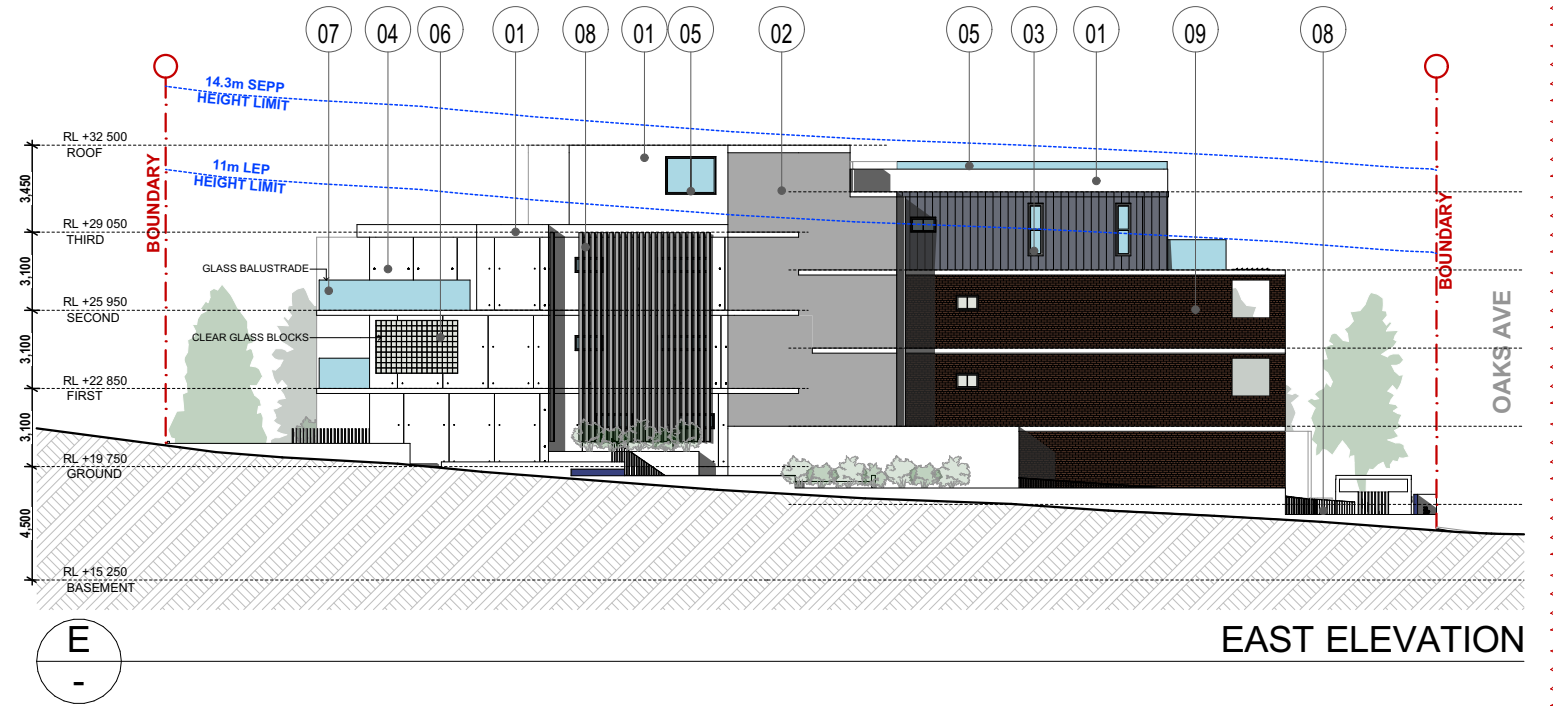
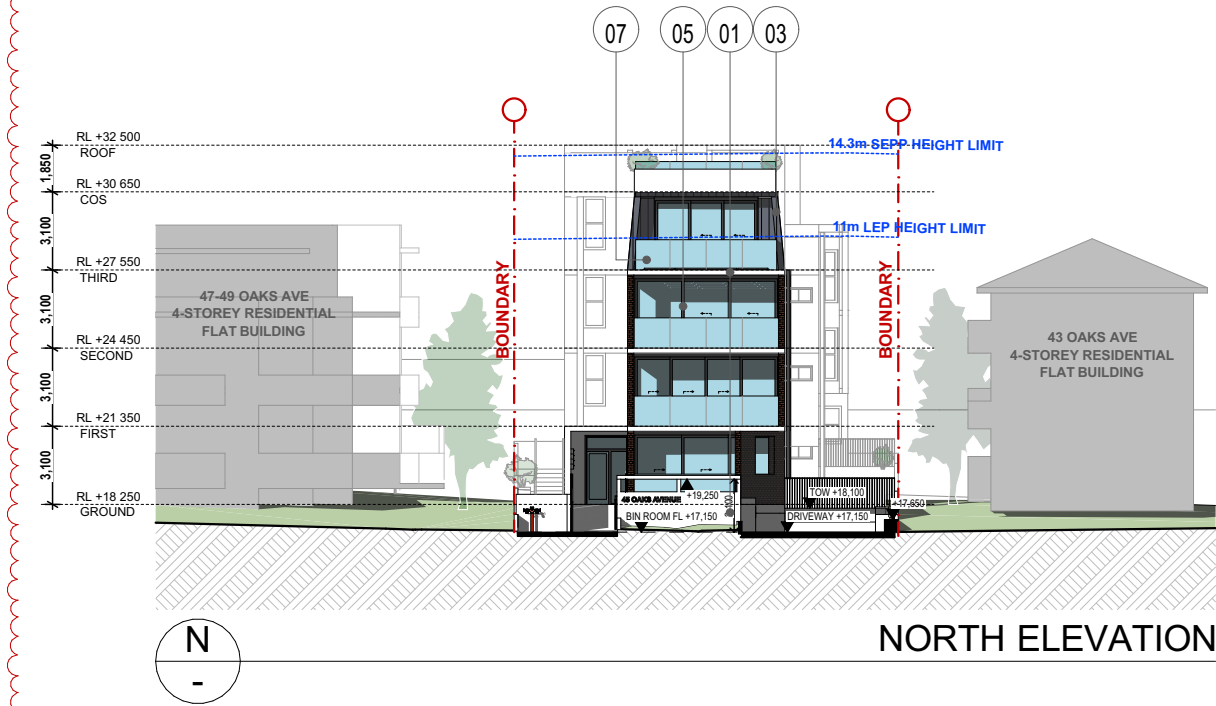
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MULTI RESIDENTIAL DEVELOPMENT
PROJECT
**45/45A OAKS AVENUE, DEE
WHY 2099**

DRAWING: CROSS-VENTILATION			
DRAWN BY S.K. , R.I.	SCALE: 1:300@A3	DRAWING NO.: A3003	ISSUE: D
CHECKED BY D.M.			



1. ELEMENT: EXTERNAL WALL
FINISH/MATERIAL: CEMENT & RENDER
COLOUR: DULUX LEXICON QUARTER OR EQUIVALENT

2. ELEMENT: EXTERNAL WALL
FINISH/MATERIAL: CEMENT & RENDER
COLOUR: COLORBOND BASALT OR EQUIVALENT

3. ELEMENT: EXTERNAL WALL
FINISH/MATERIAL: METAL CLADDING
COLOUR: LYSAGHT MONUMENT OR EQUIVALENT

4. ELEMENT: EXTERNAL WALL
FINISH/MATERIAL: PRE-CAST CONCRETE PANEL (SMOOTH FINISH)
COLOUR: NATURAL

5. ELEMENT: WINDOW & DOOR GLAZING FIXTURES
FINISH/MATERIAL: ALUMINIUM & GLAZING
COLOUR: DULUX MONUMENT OR EQUIVALENT

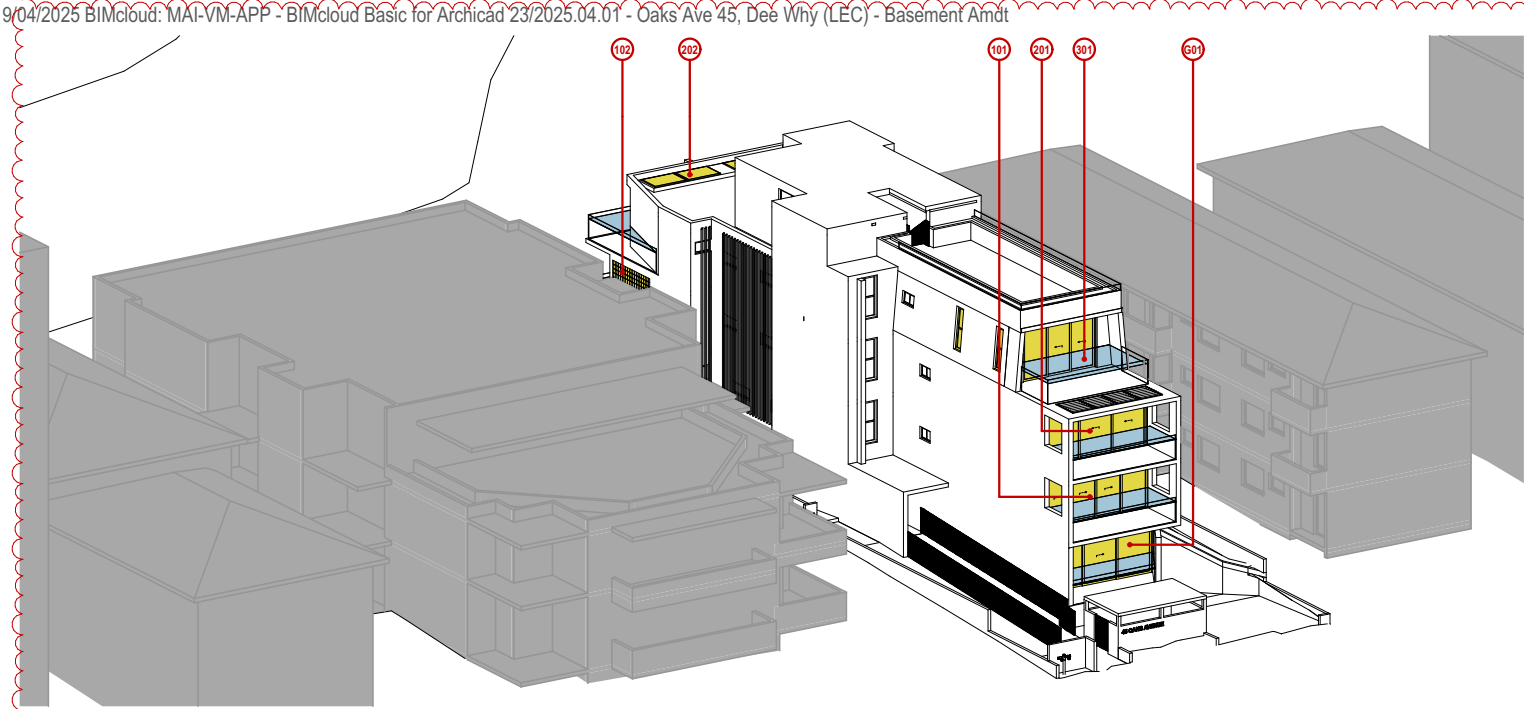
6. ELEMENT: EXTERNAL GLASS WALL BLOCK
FINISH/MATERIAL: FIXED GLASS
COLOUR: CLEAR GLASS

7. ELEMENT: EXTERNAL WALL BALUSTRADE
FINISH/MATERIAL: FIXED GLASS
COLOUR: CLEAR GLASS

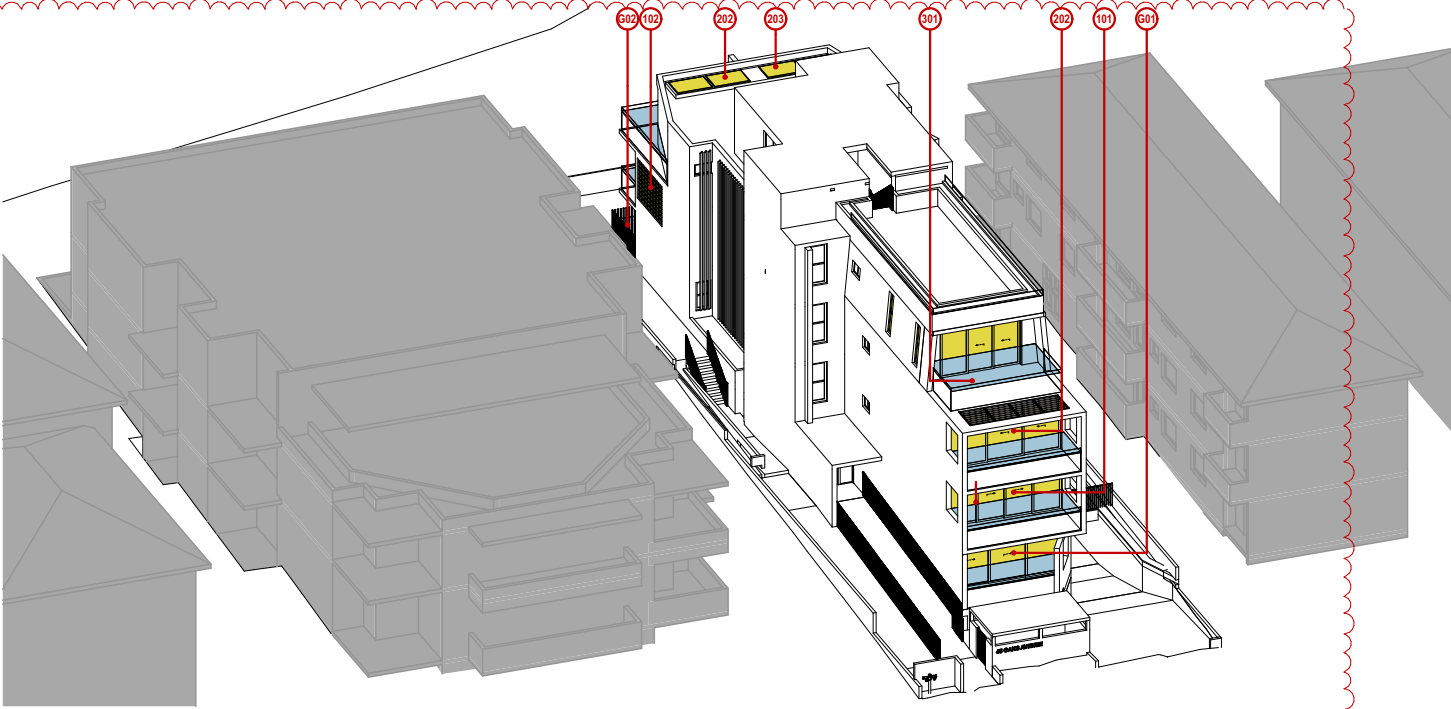
8. ELEMENT: EXTERNAL LOUVRE
FINISH/MATERIAL: POWDERCOATED STEEL
COLOUR: COLORBOND BASALT OR EQUIVALENT

8. ELEMENT: EXTERNAL FENCING
FINISH/MATERIAL: POWDERCOATED STEEL
COLOUR: COLORBOND BASALT OR EQUIVALENT

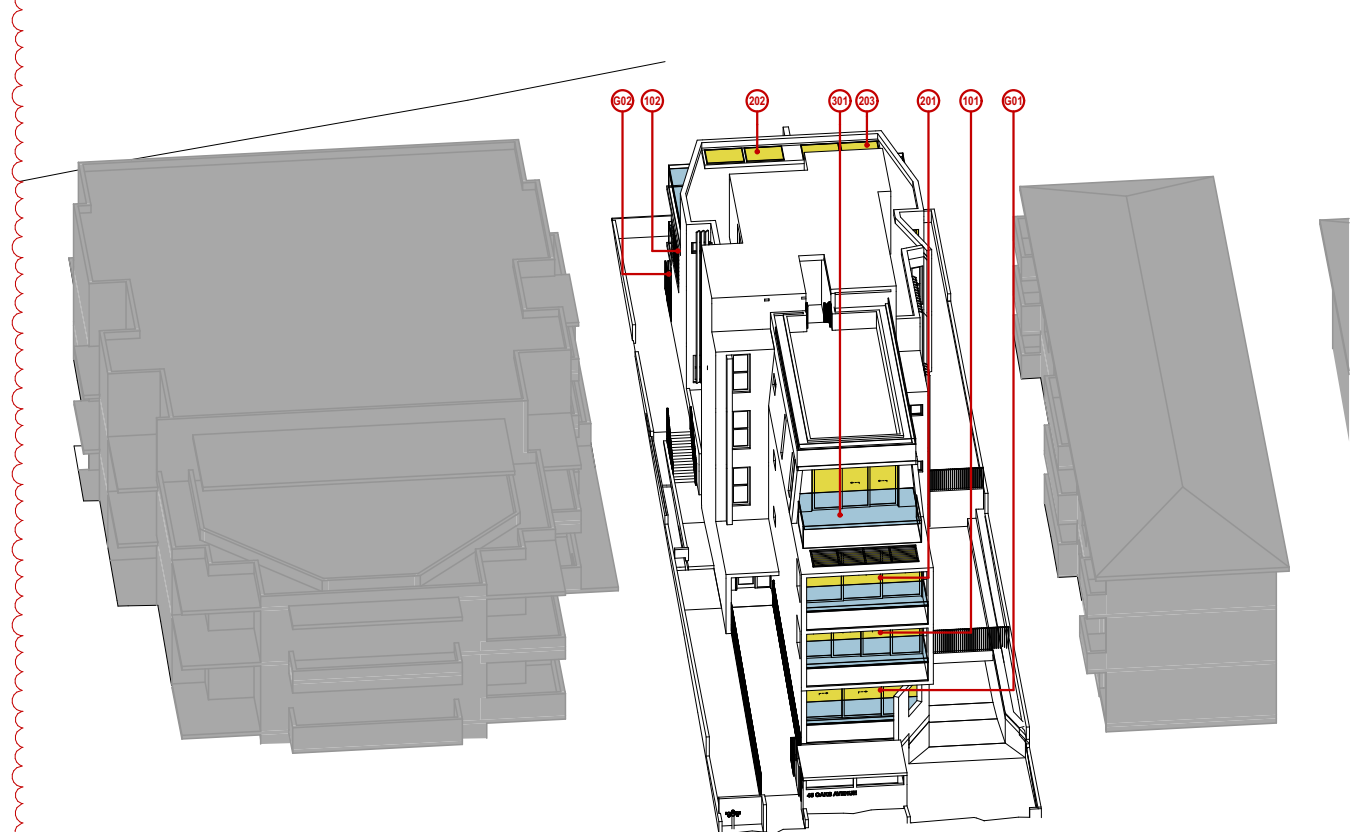
9. ELEMENT: EXTERNAL WALLS
FINISH/MATERIAL: BRICK
COLOUR: BOWRAL BLUE OR EQUIVALENT



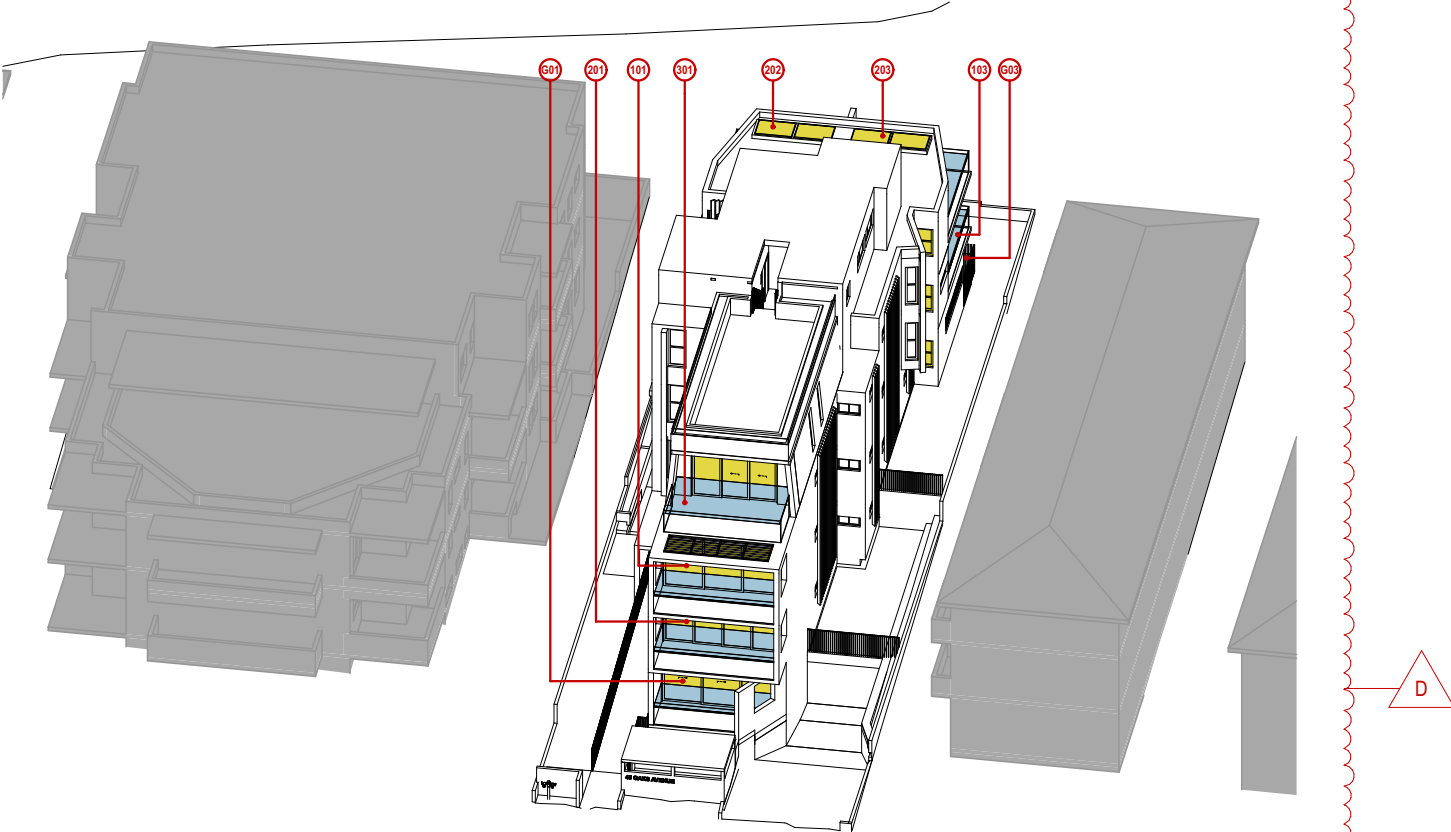
SOLAR 9AM 21 JUNE



SOLAR 10AM 21 JUNE



SOLAR 11AM 21 JUNE



SOLAR 12PM 21 JUNE



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PROJECT NORTH

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PROJECT
**45/45A OAKS AVENUE, DEE
WHY 2099**

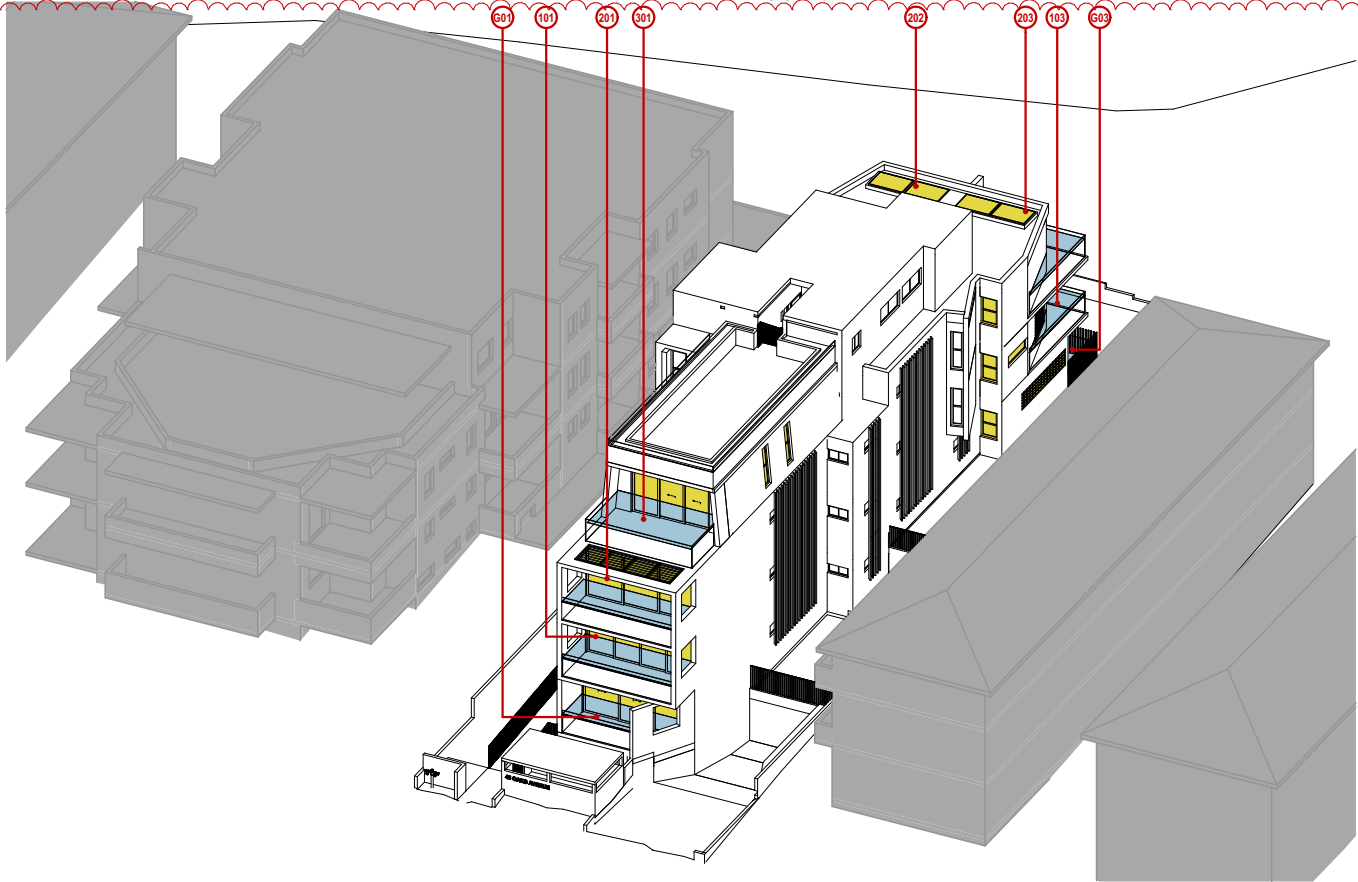
DRAWING:
SOLAR ACCESS 1/2

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S.K. , R.I.
CHECKED BY
D.M.

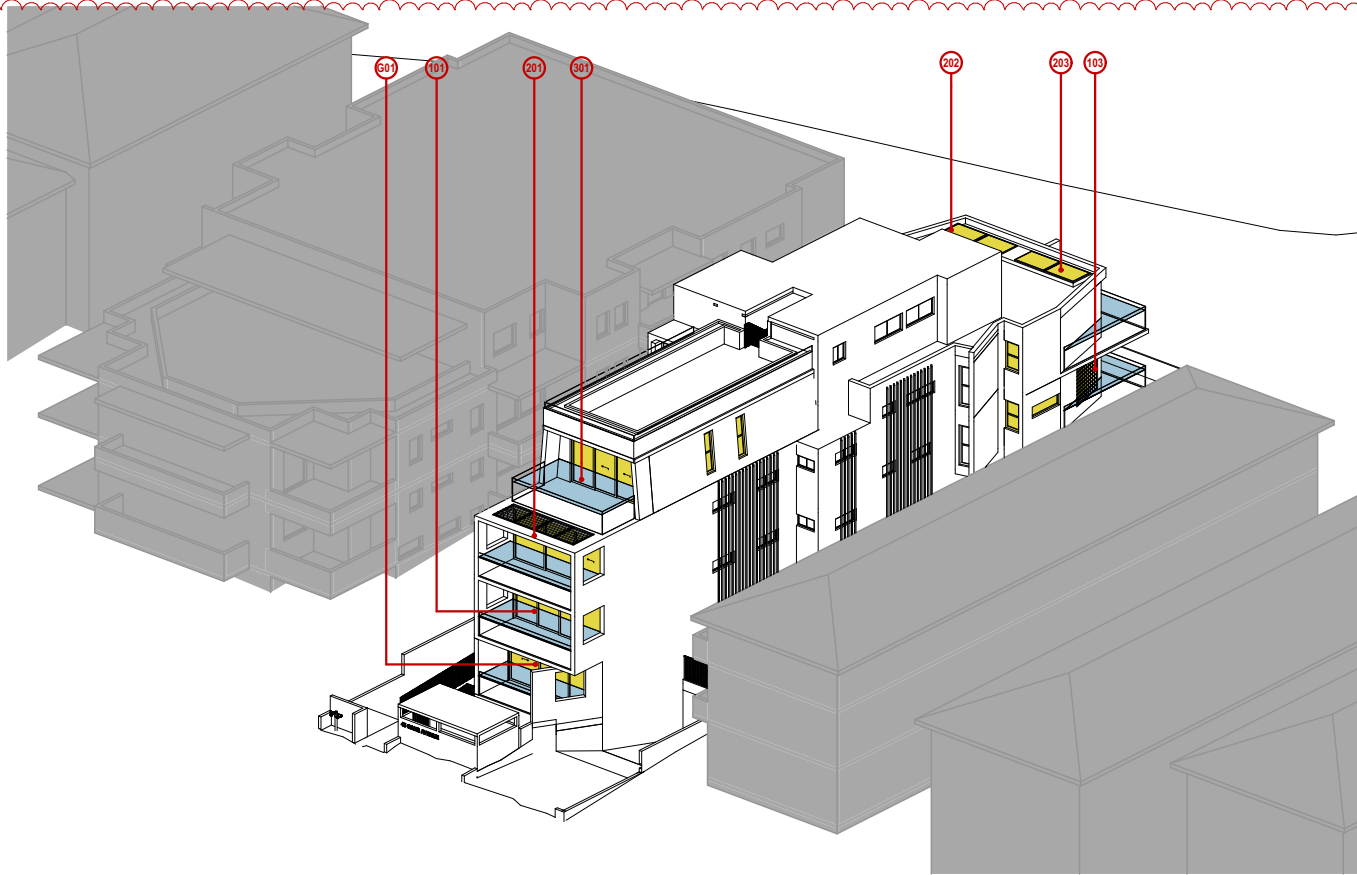
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DRAWING NO.:
A4001

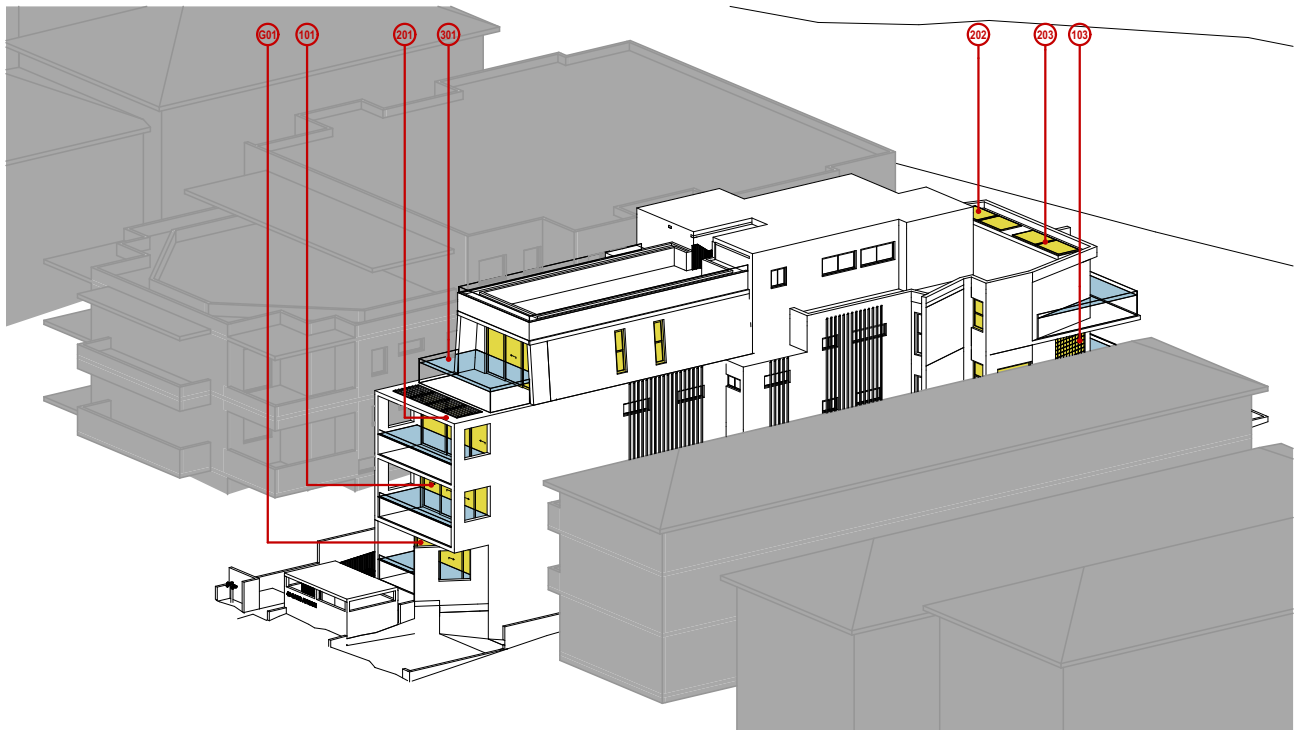
ISSUE:
D



SOLAR 1PM 21 JUNE



SOLAR 2PM 21 JUNE



SOLAR 3PM 21 JUNE

ADG OBJECTIVE 4A-1 TO OPTIMISE THE NUMBER OF APARTMENTS RECEIVING SUNLIGHT TO HABITABLE ROOMS, PRIMARY WINDOWS AND POS.

DESIGN CRITERIA: 1. LIVING ROOMS AND POS. OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 2 HOURS DIRECT SULIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER IN THE SYDNEY METROPOLITAN AREA.

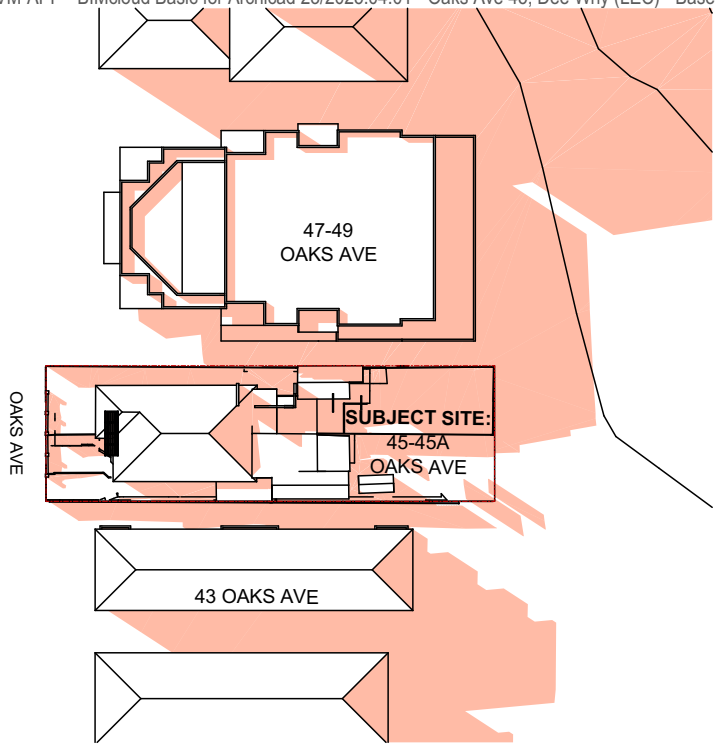
REFERENCES:

- SOLAR ACCESS TO LIVING AREAS
- SOLAR ACCESS TO POS
- ACHIEVING ≥2 HOURS OF SOLAR ACCESS TO POS AND LIVING AREAS

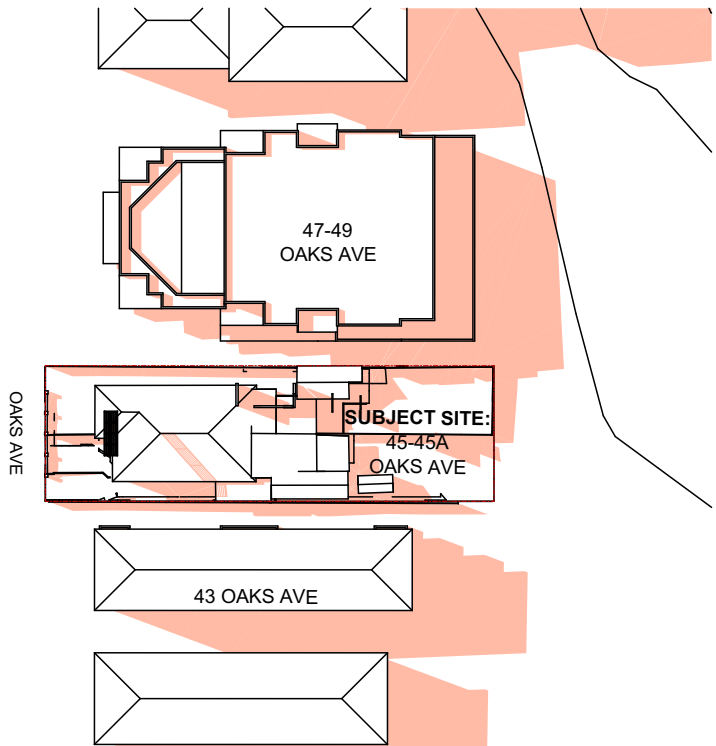
SOLAR SCHEDULE							
UNIT NUMBER	9AM-10-AM	10AM-11AM	11AM-NOON	NOON-1PM	1PM-2PM	2PM-3PM	≥2 HOURS OF SOLAR ACCESS
G01							
G02 (A)							
G03							
101							
102 (AF) (S)							
103 (AF)							
201							
202 (S)							
203							
301							

SOLAR ACCESS CALCULATIONS

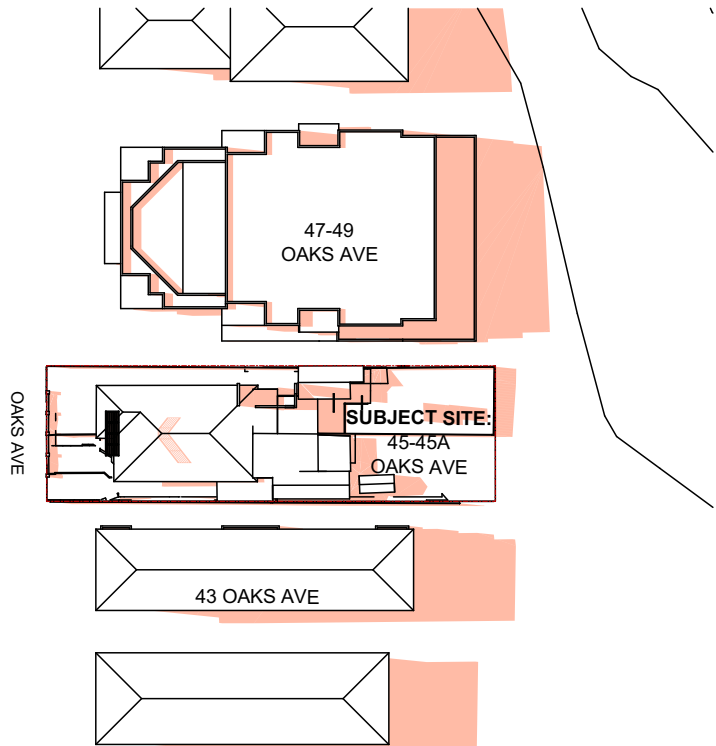
NUMBER OF UNITS	10	PROPOSED NO. OF UNIT TO ACHIEVE 2H SOLAR ACCESS	7
ADG MIN. % OF UNITS TO ACHIEVE 2H SOLAR ACCESS	70%	PROPOSED % OF UNITS TO ACHIEVE 2H SOLAR ACCESS	70%
ADG MIN. NUMBER OF UNITS TO ACHIEVE 2H SOLAR ACCESS	7		



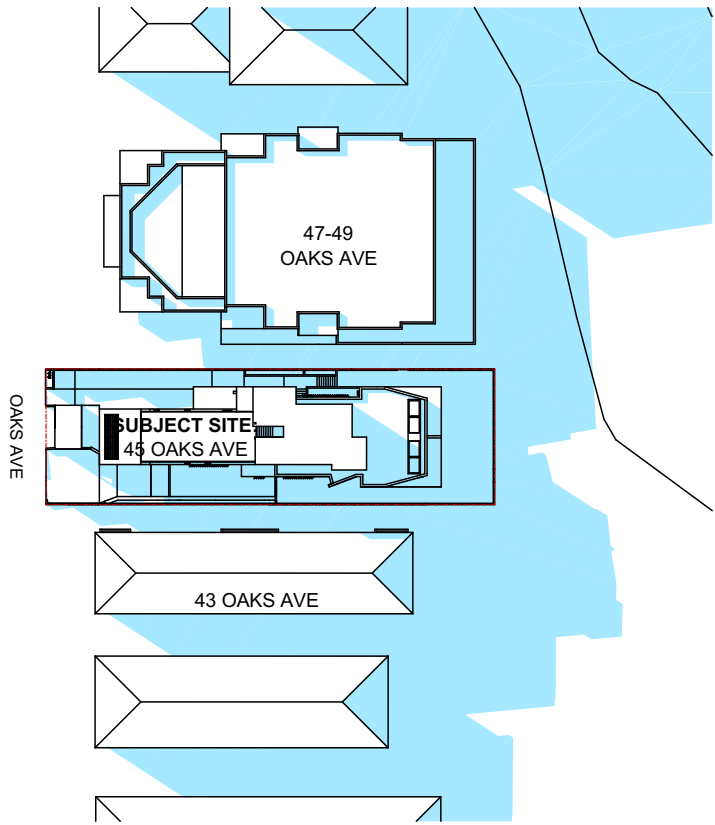
SHADOW DIAGRAM - 9AM - EXISTING



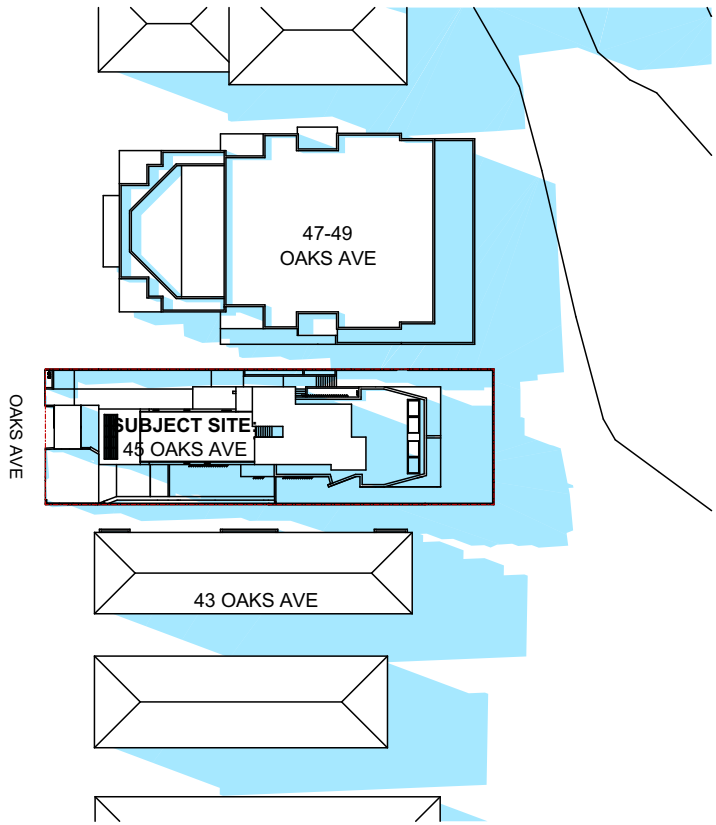
SHADOW DIAGRAM - 10AM - EXISTING



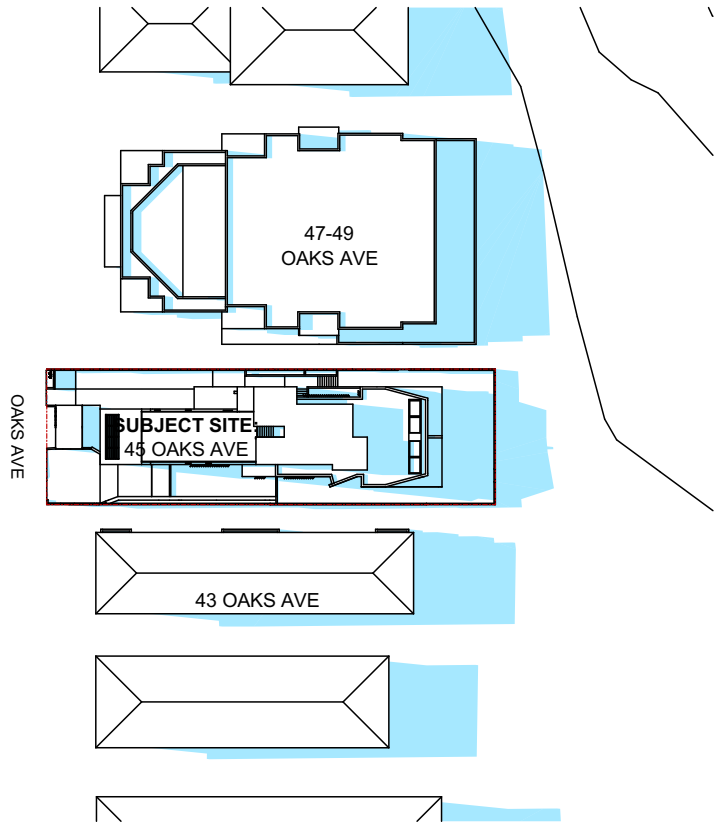
SHADOW DIAGRAM - 11AM - EXISTING



SHADOW DIAGRAM - 9AM - PROPOSED



SHADOW DIAGRAM - 10AM - PROPOSED



SHADOW DIAGRAM - 11AM - PROPOSED



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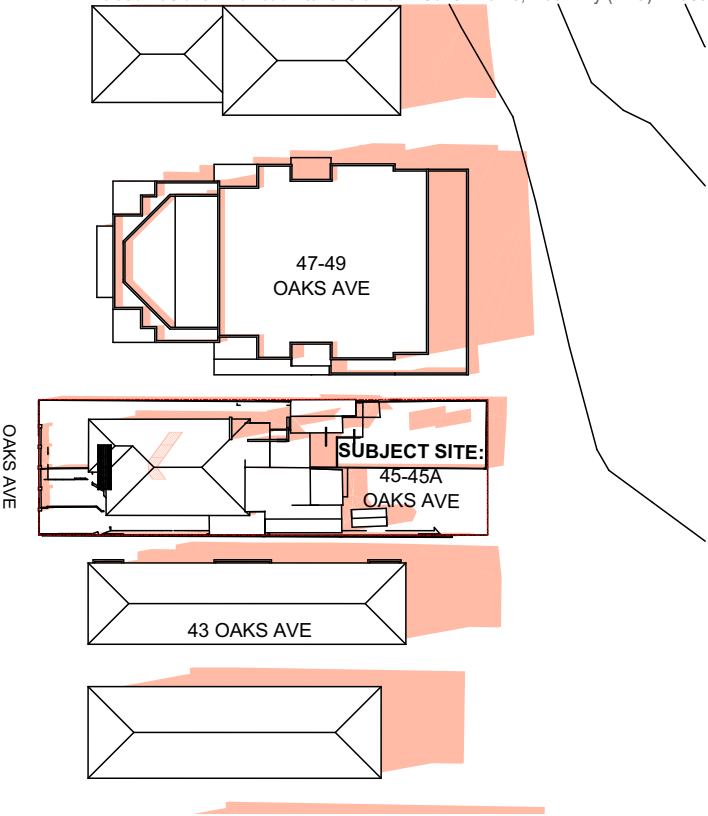
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AMENDMENTS			
No.	REVISION	BY	DATE
B	FOR DA SUBMISSION	S.K. , R.I.	23.05.2024
C	COURT SUBMISSION - SOFAC AMENDMENTS	S.K. , R.I.	17.01.2024
D	POST S34 AMENDMENTS	M.M.	08.04.2025

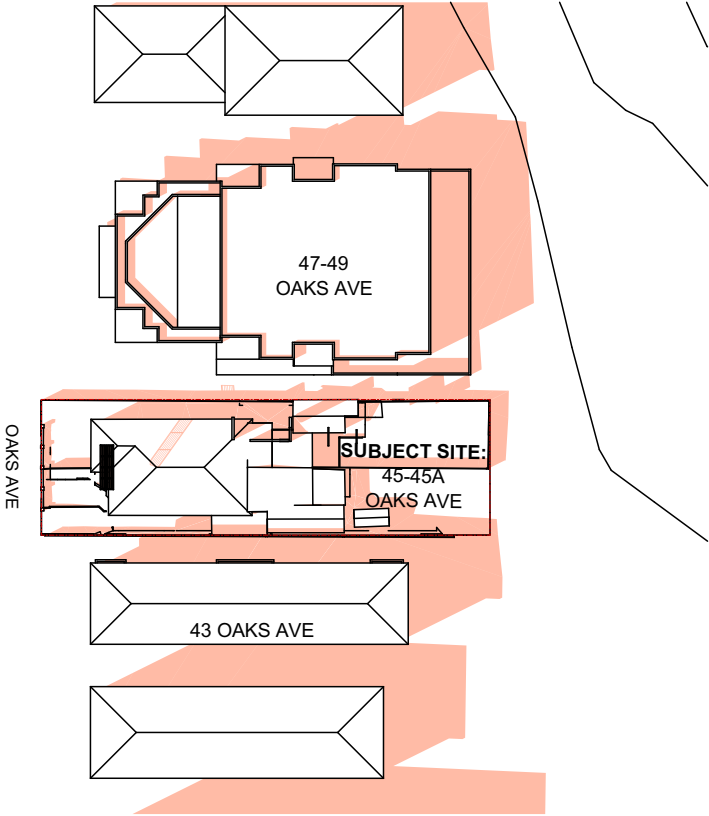


MULTI RESIDENTIAL DEVELOPMENT
PROJECT
45/45A OAKS AVENUE, DEE WHY 2099

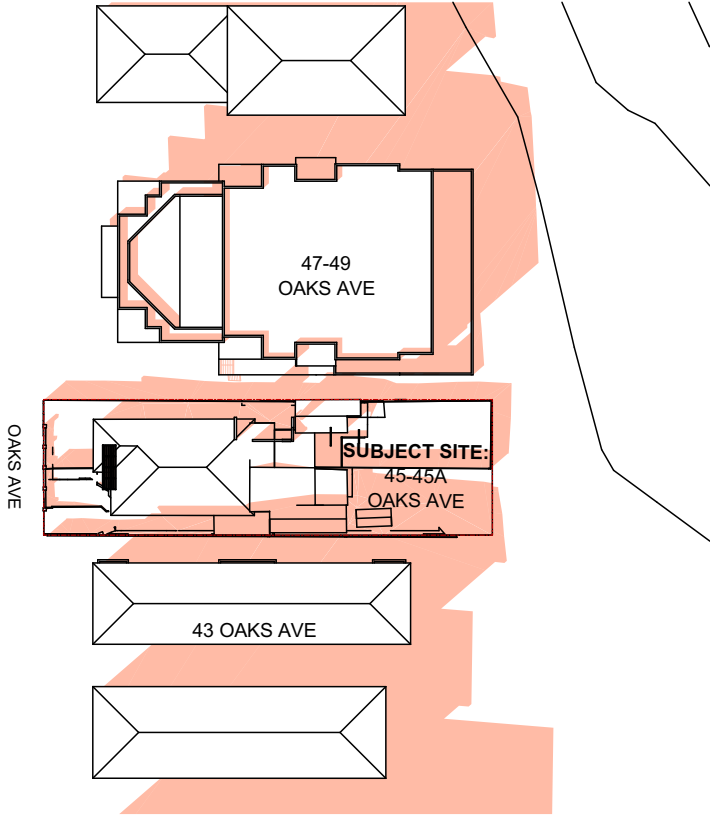
DRAWING: SHADOW DIAGRAMS (9-11am)			
DRAWN BY S.K. , R.I.	SCALE 1:850@A3	DRAWING NO.: A4101	ISSUE: D
CHECKED BY D.M.			



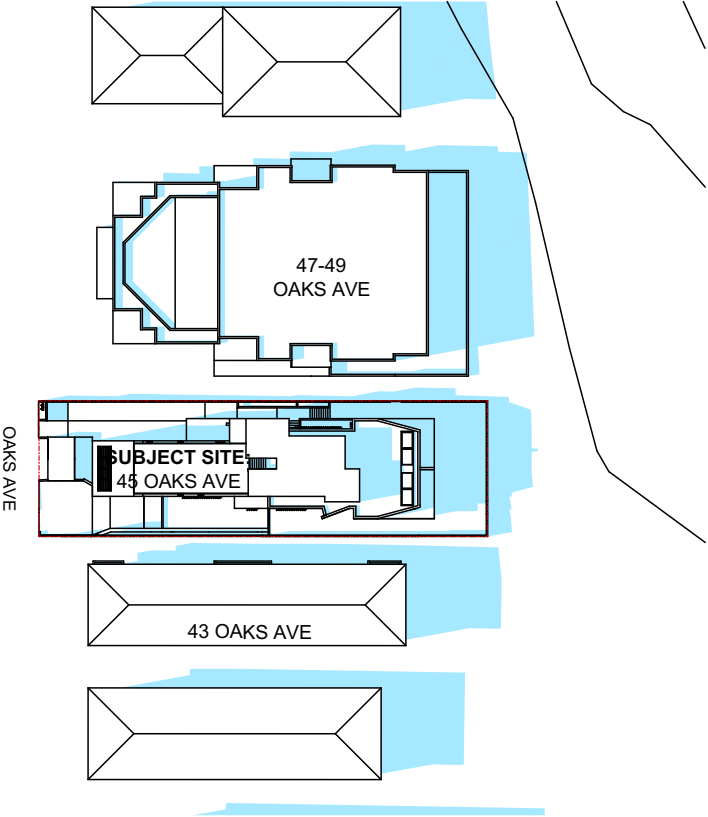
SHADOW DIAGRAM - 12PM - EXISTING



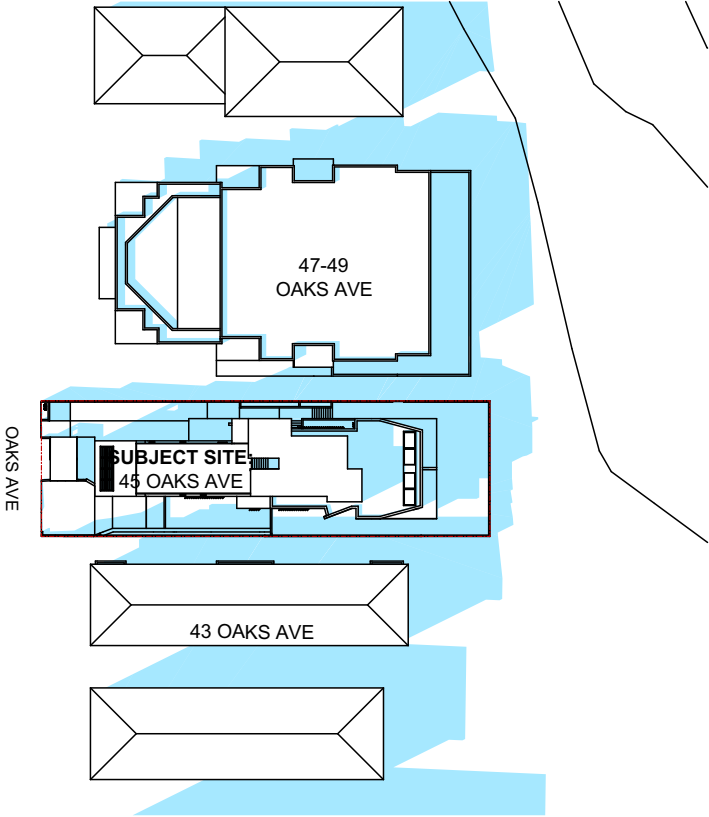
SHADOW DIAGRAM - 1PM - EXISTING



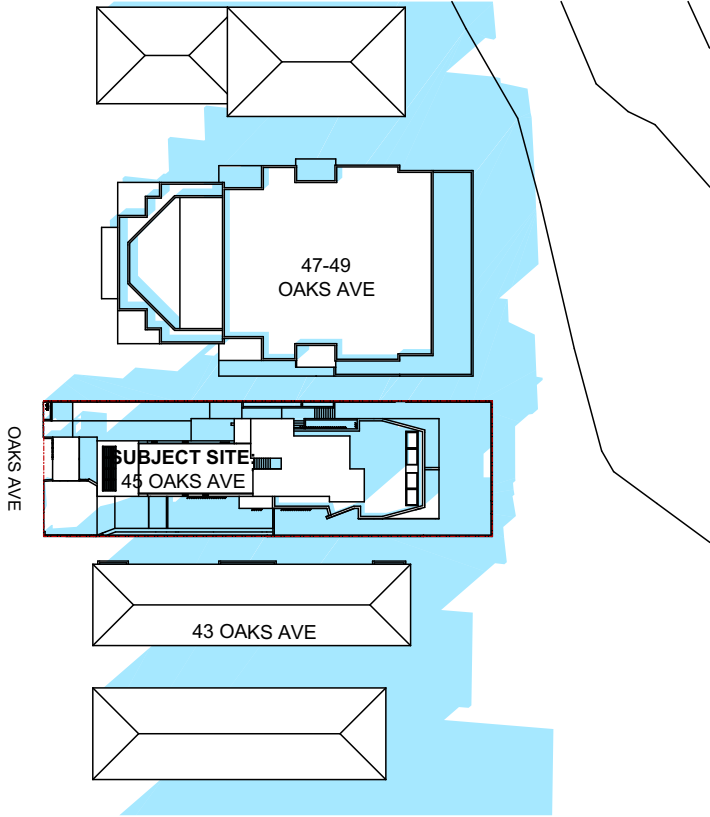
SHADOW DIAGRAM - 2PM - EXISTING



SHADOW DIAGRAM - 12PM - PROPOSED



SHADOW DIAGRAM - 1PM - PROPOSED



SHADOW DIAGRAM - 2PM - PROPOSED



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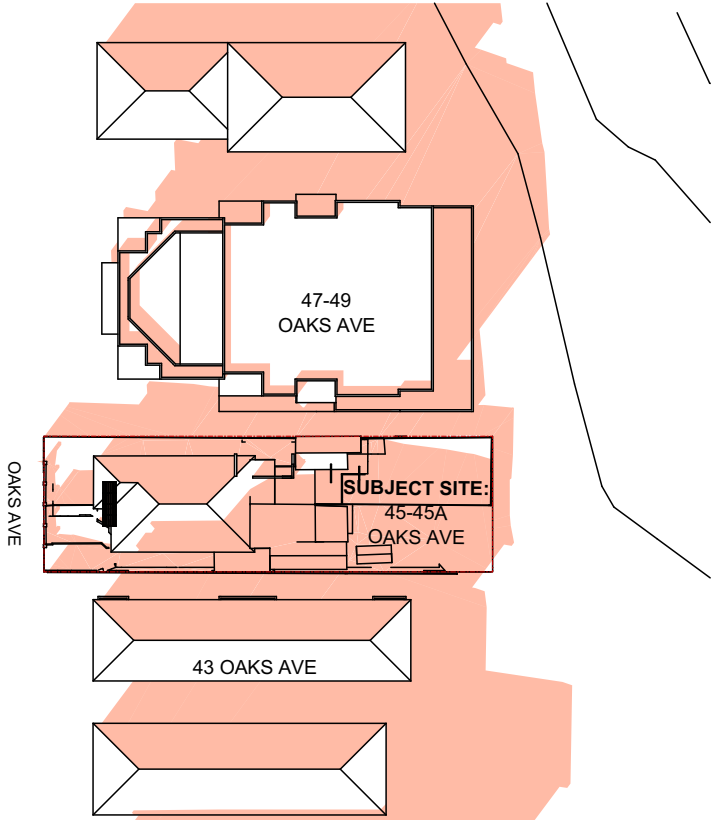
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D	POST S34 AMENDMENTS	M.M.	08.04.2025

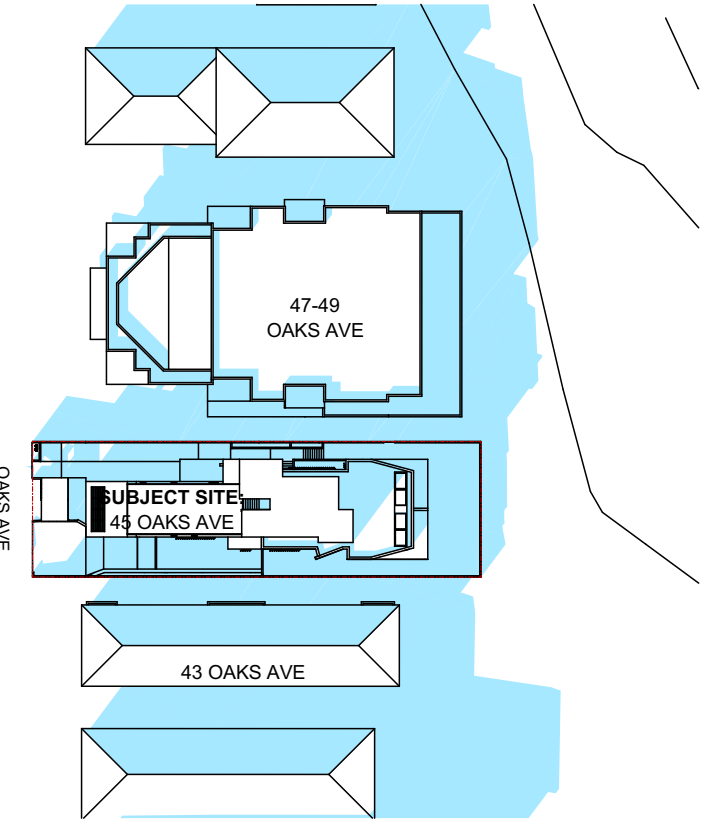


MULTI RESIDENTIAL DEVELOPMENT
PROJECT
45/45A OAKS AVENUE, DEE WHY 2099

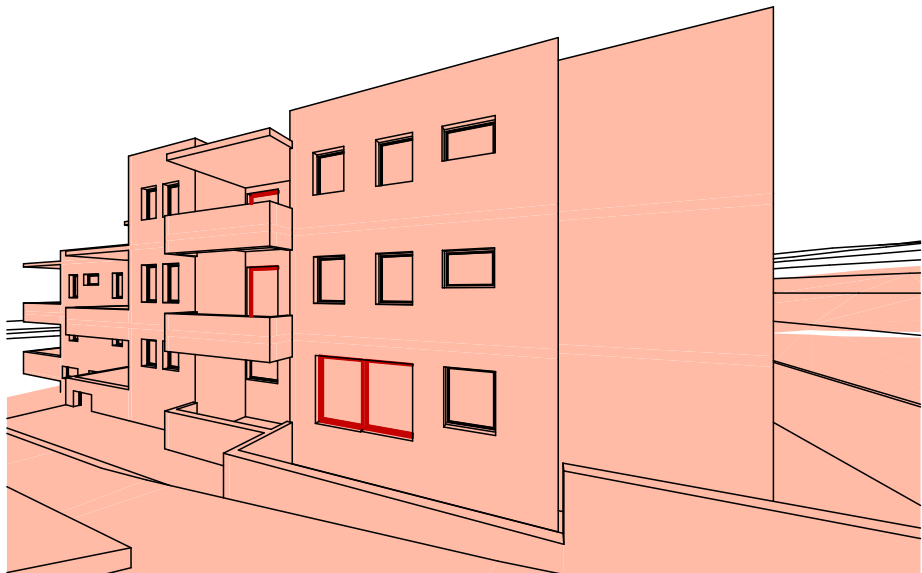
DRAWING: SHADOW DIAGRAMS (12-2pm)			
DRAWN BY S.K. , R.I.	SCALE 1:850@A3	DRAWING NO.: A4102	ISSUE: D



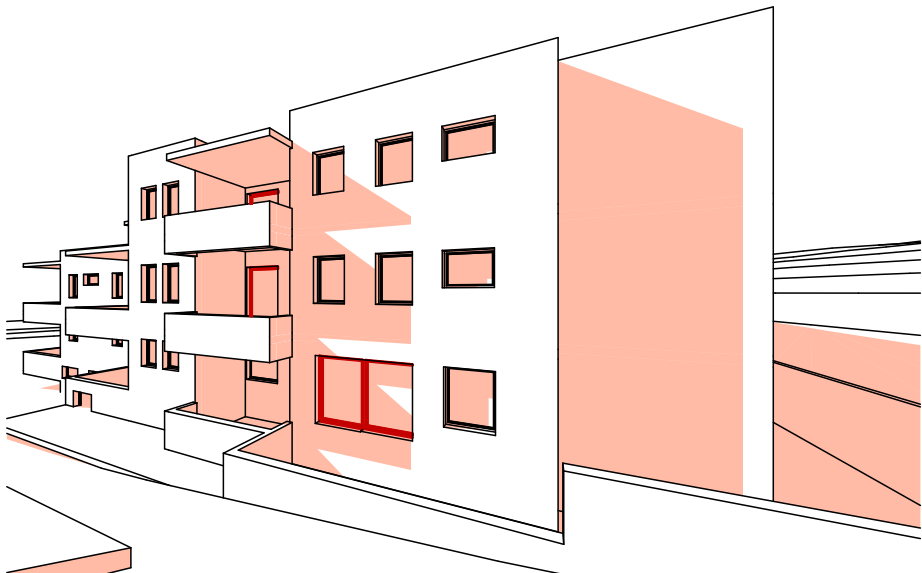
SHADOW DIAGRAM - 3PM - EXISTING



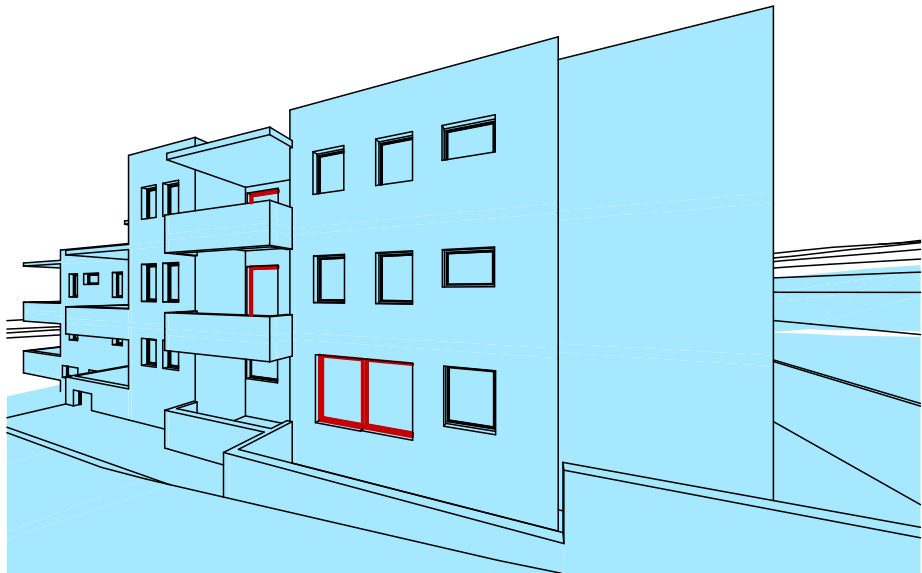
SHADOW DIAGRAM - 3PM - PROPOSED



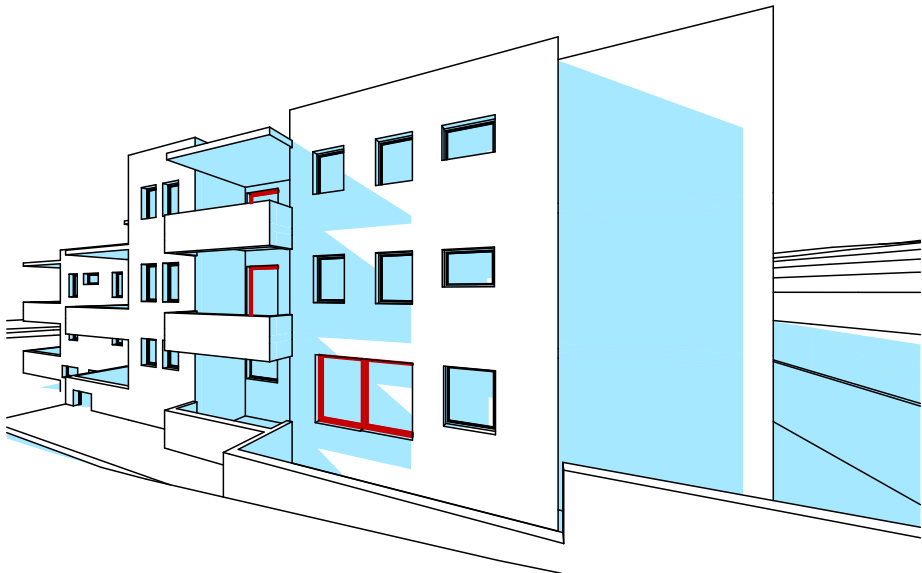
47-49 Oaks Existing Shadows - 9am



47-49 Oaks Existing Shadows - 12pm



47-49 Oaks Proposed Shadows - 9am



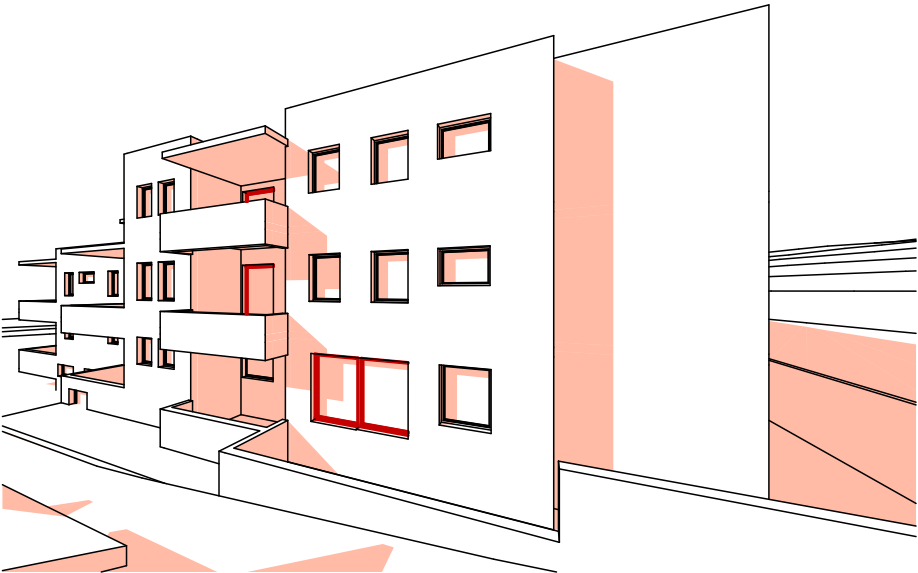
47-49 Oaks Proposed Shadows - 12pm

LEGEND

SHADOWS CAST BY EXISTING DEVELOPMENT

ADDITIONAL SHADOWS CAST BY PROPOSED DEVELOPMENT

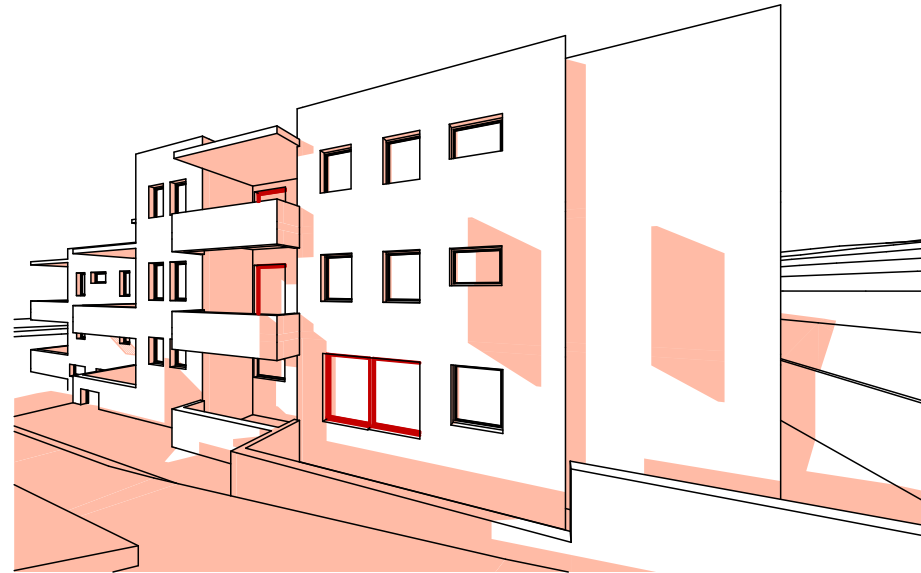
LIVING ROOM LOCATION



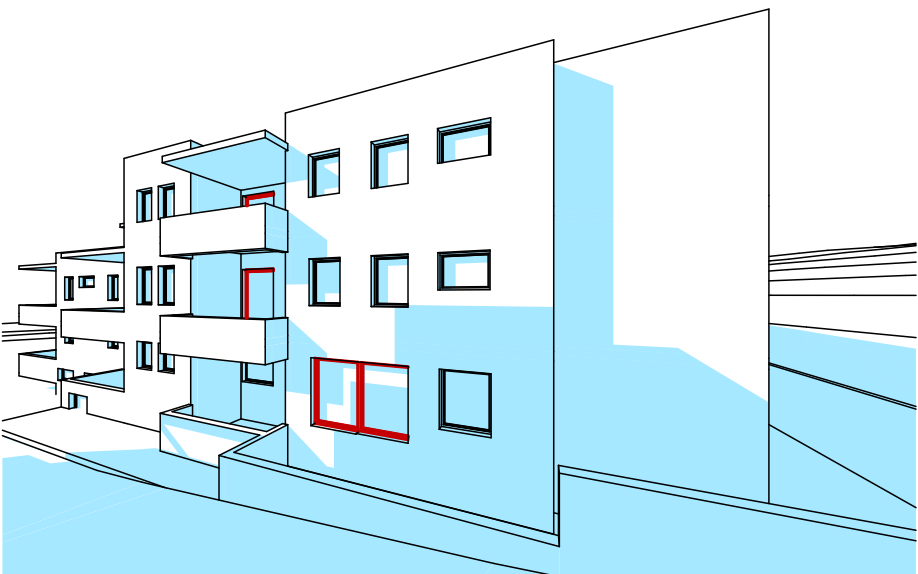
47-49 Oaks Existing Shadows - 1pm



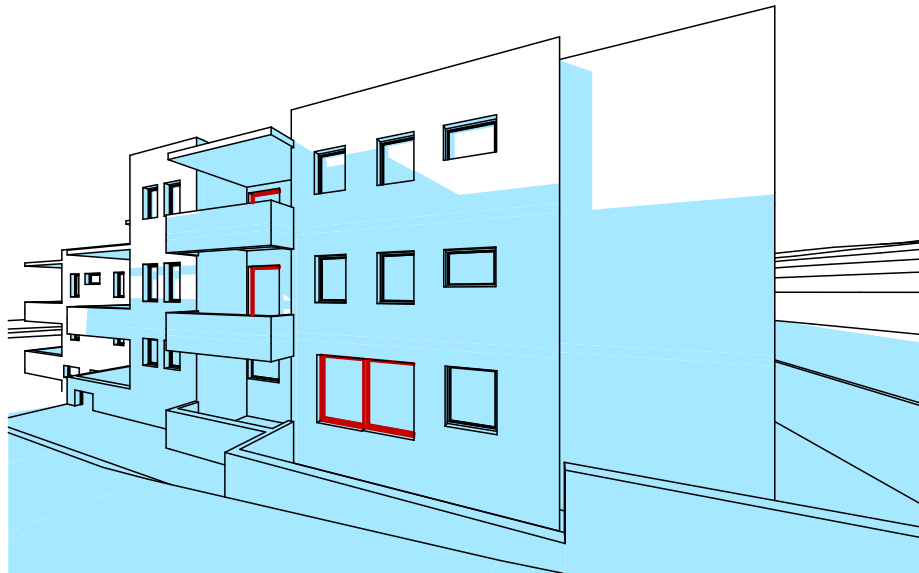
47-49 Oaks Existing Shadows - 2pm



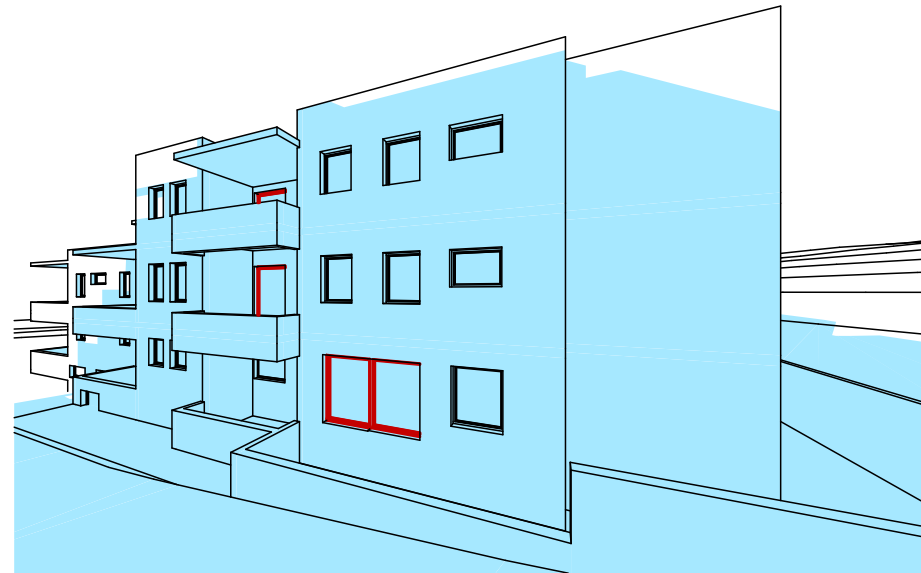
47-49 Oaks Existing Shadows - 3pm



47-49 Oaks Proposed Shadows - 1pm



47-49 Oaks Proposed Shadows - 2pm



47-49 Oaks Proposed Shadows - 3pm

LEGEND

- SHADOWS CAST BY EXISTING DEVELOPMENT
- ADDITIONAL SHADOWS CAST BY PROPOSED DEVELOPMENT
- LIVING ROOM LOCATION

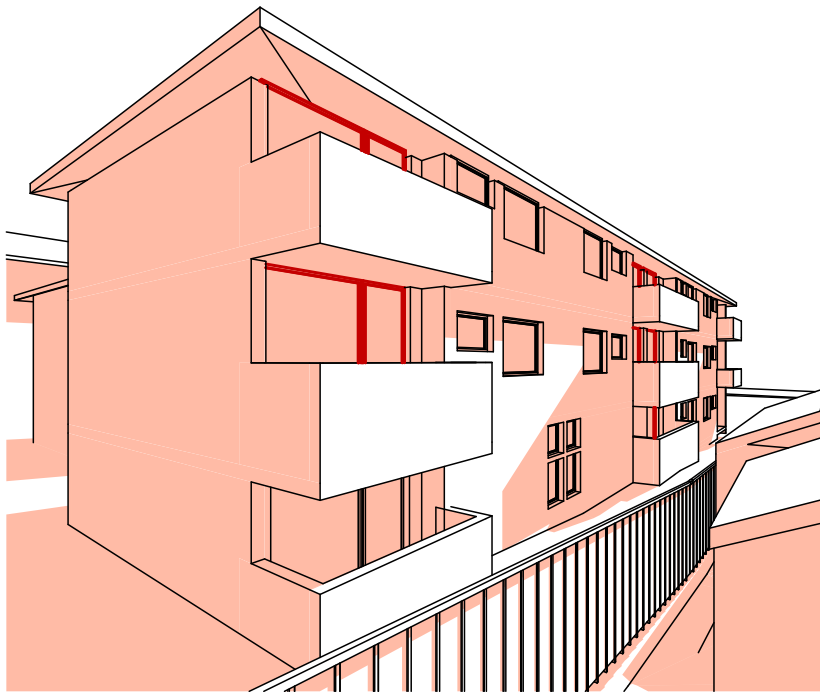
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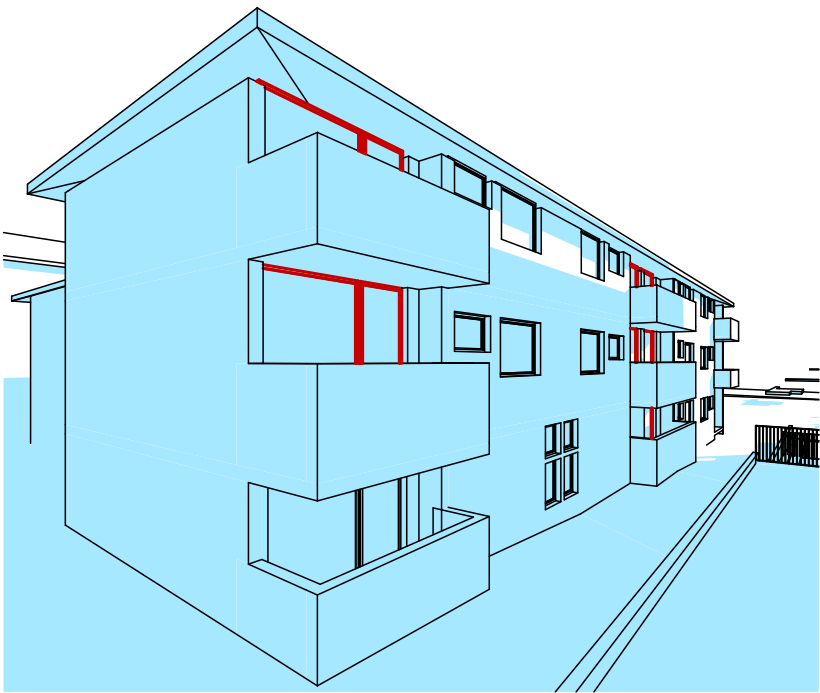
43 Oaks Existing Shadows - 9am



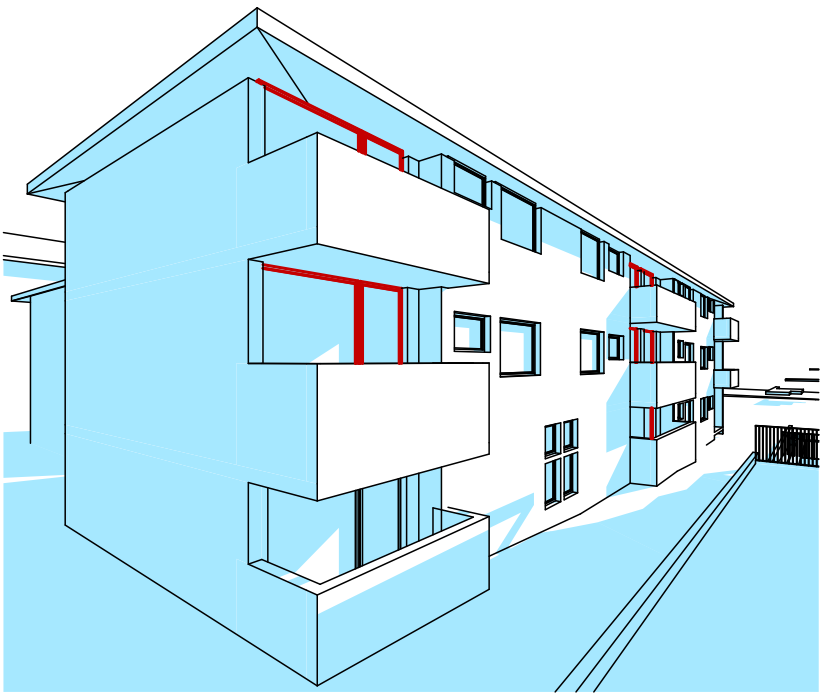
43 Oaks Existing Shadows - 10am



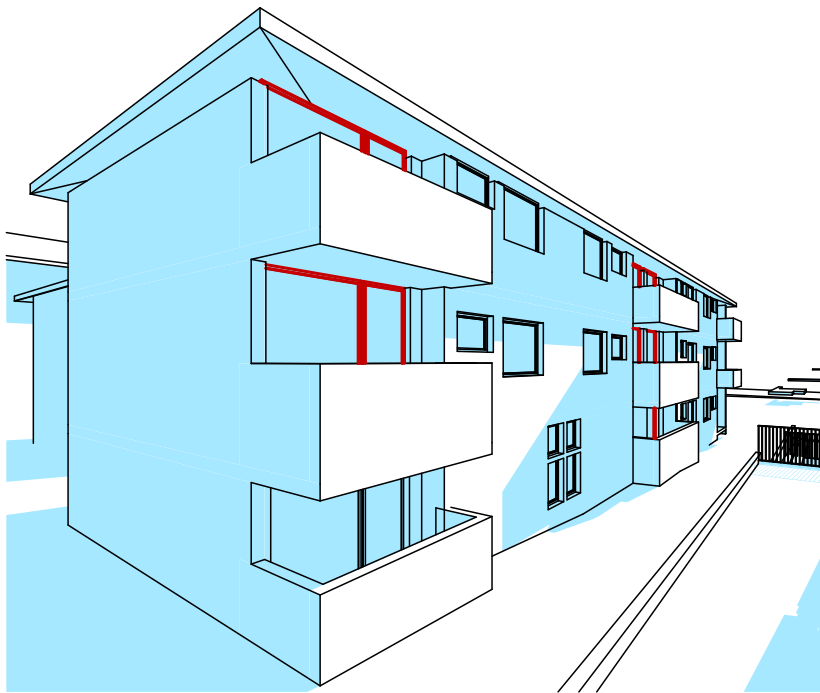
43 Oaks Existing Shadows - 11am



43 Oaks Proposed Shadows - 9am



43 Oaks Proposed Shadows - 10am



43 Oaks Proposed Shadows - 11am

LEGEND

SHADOWS CAST BY EXISTING DEVELOPMENT

ADDITIONAL SHADOWS CAST BY PROPOSED DEVELOPMENT

LIVING ROOM LOCATION



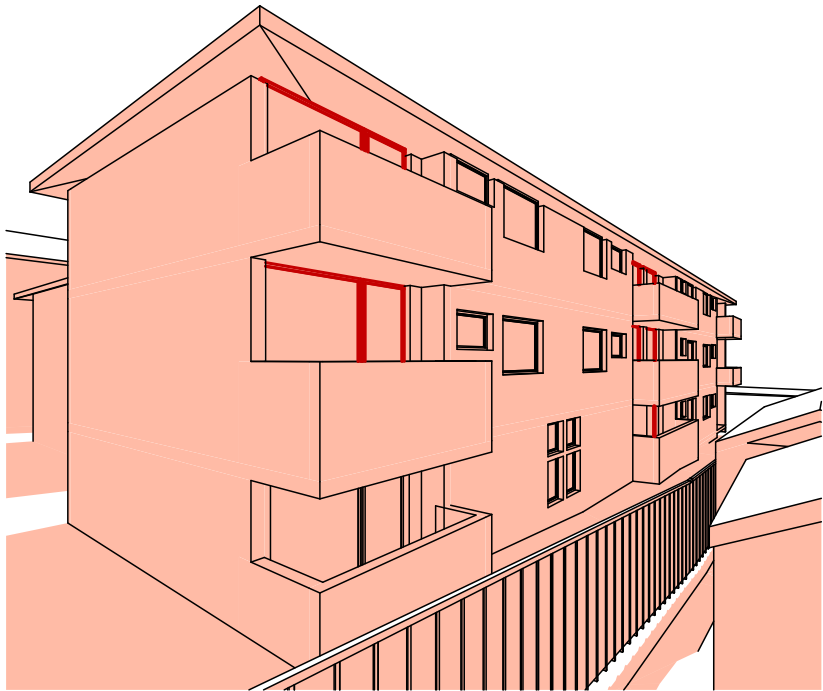
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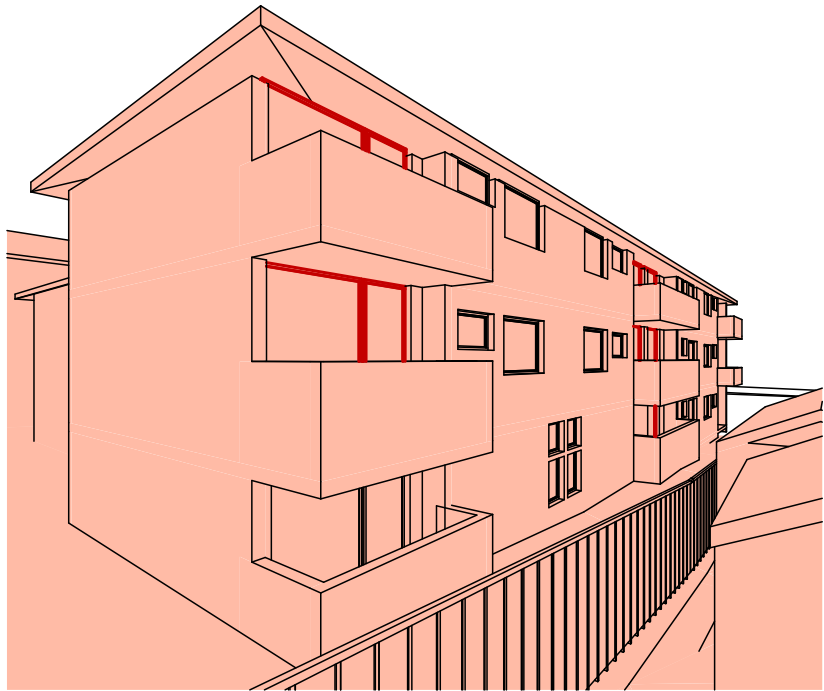
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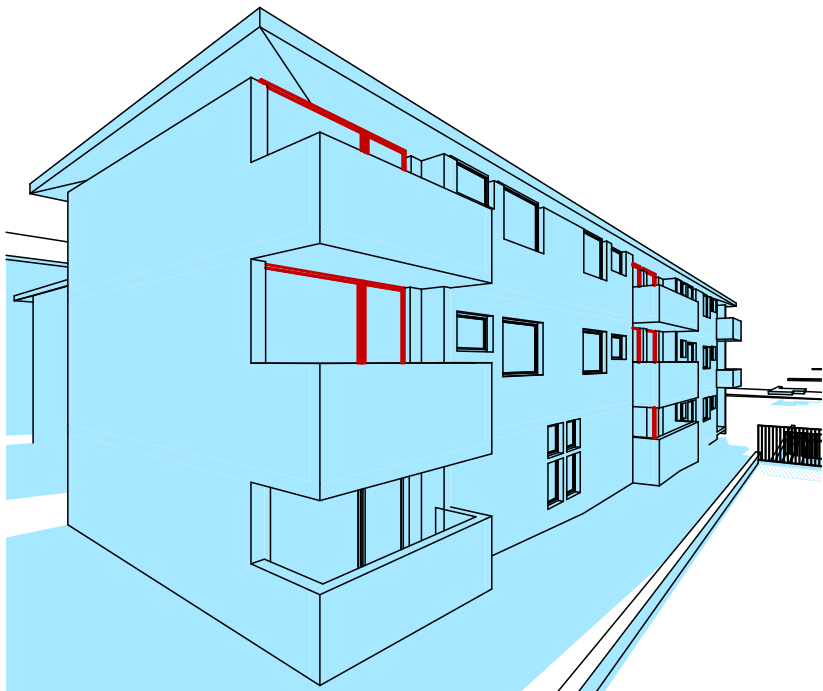
PROJECT NORTH	MULTI RESIDENTIAL DEVELOPMENT		DRAWING:	
	PROJECT		43 OAKS SHADOW IMPACT STUDY 1/2	
45/45A OAKS AVENUE, DEE WHY 2099		DRAWN BY	SCALE:	DRAWING NO.:
		S.K. , R.I.	1:100@A3	A4106
		CHECKED BY		ISSUE:
		D.M.		D



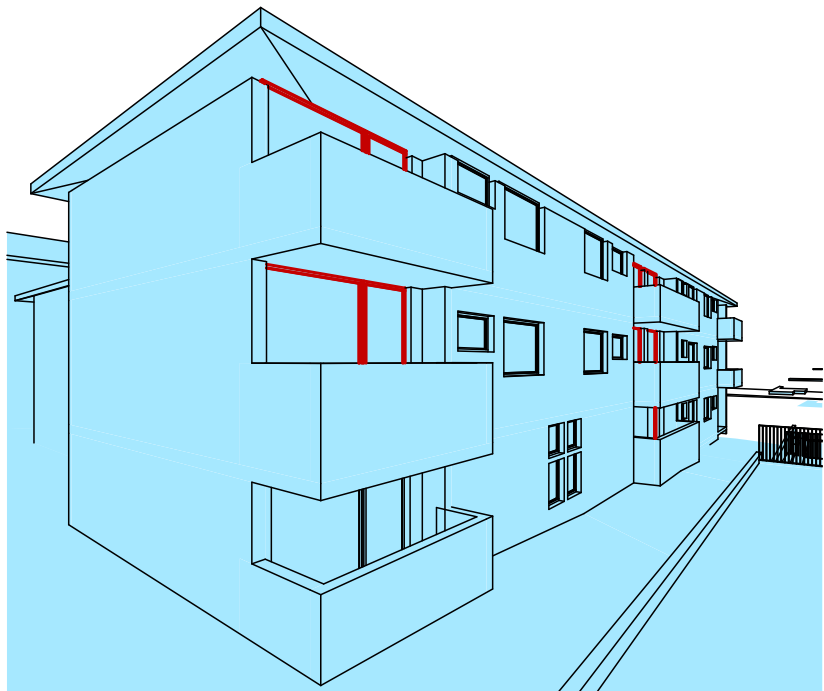
 43 Oaks Existing Shadows - 12pm



 43 Oaks Existing Shadows - 3pm



 43 Oaks Proposed Shadows - 12pm



 43 Oaks Proposed Shadows - 3pm

LEGEND

SHADOWS CAST BY EXISTING DEVELOPMENT

ADDITIONAL SHADOWS CAST BY PROPOSED DEVELOPMENT

LIVING ROOM LOCATION