

Certificate number: 1065350S

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Fixtures | | | |
| The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development. | | ✓ | ✓ |
| The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. | | ✓ | ✓ |
| The applicant must install taps with a minimum rating of 4 star in the kitchen in the development. | | ✓ | |
| The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development. | | ✓ | |
| Alternative water | | | |
| Rainwater tank | | | |
| The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✓ | ✓ | ✓ |
| The applicant must configure the rainwater tank to collect rain runoff from at least 176 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). | | ✓ | ✓ |
| The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the development | | ✓ | ✓ |
| <ul style="list-style-type: none">the cold water tap that supplies each clothes washer in the development | | ✓ | ✓ |
| <ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) | | ✓ | ✓ |
| Thermal Comfort Commitments | | | |
| Simulation Method | | | |
| The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. | | | |
| The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. | | | |
| The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate. | | | |
| The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. | ✓ | ✓ | ✓ |
| The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | ✓ | ✓ |
| The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |

| Floor and wall construction | Area |
|--------------------------------------|---|
| floor - concrete slab on ground | All or part of floor area square metres |
| floor - suspended floor above garage | All or part of floor area |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Hot water | | | |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars. | ✓ | ✓ | ✓ |
| Cooling system | | | |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5 | | ✓ | ✓ |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5 | | ✓ | ✓ |
| The cooling system must provide for day/night zoning between living areas and bedrooms. | | ✓ | ✓ |
| Heating system | | | |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5 | | ✓ | ✓ |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5 | | ✓ | ✓ |
| The heating system must provide for day/night zoning between living areas and bedrooms. | | ✓ | ✓ |
| Ventilation | | | |
| The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a | | ✓ ✓ ✓ | ✓ ✓ ✓ |
| Artificial lighting | | | |
| The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 4 of the bedrooms / study; | | ✓ | ✓ |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------------|
| <ul style="list-style-type: none">at least 4 of the living / dining rooms;the kitchen;all bathrooms/toilets;the laundry;all hallways; | | ✓ ✓ ✓ ✓ ✓ | ✓ ✓ ✓ ✓ ✓ |
| Natural lighting | | | |
| The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. | ✓ | ✓ | ✓ |
| The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting. | ✓ | ✓ | ✓ |
| Other | | | |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. | | ✓ | |
| The applicant must install a fixed outdoor clothes drying line as part of the development. | | ✓ | |



Certificate no.: 0004440376

Assessor Name: Ian Fry

Accreditation no.: VIC/BDAV/12/1441

Certificate date: 09 Dec 2019

Dwelling Address: 73 Lorikeet Grove
Warriewood, NSW
2102


www.nathers.gov.au



| AREAS | |
|---------------|-----------|
| SITE: | 344.10 m² |
| GROUND FLOOR: | 96.13 m² |
| FIRST FLOOR: | 109.58 m² |
| GARAGE: | 33.18 m² |
| PORCH: | 8.00 m² |
| BALCONY: | 5.80 m² |
| ALFRESCO: | 25.98 m² |
| | m² |
| TOTAL: | 278.67 m² |

| 2.5 | SITE COVERAGE & LANDSCAPE |
|-------|-----------------------------|
| 2.4 | NEIGHBOUR NOTIFICATION PLAN |
| 2.3 | SHADOW DIAGRAM |
| 2.2 | SITE ANALYSIS PLAN |
| 2.1 | CONSTRUCTION MANAGEMENT |
| 10 | WET AREA DETAILS |
| 9 | WET AREA DETAILS |
| 8 | ELECTRICAL LAYOUT |
| 7 | SECTION |
| 6 | ELEVATIONS |
| 5 | ELEVATIONS |
| 4 | FIRST FLOOR PLAN |
| 3 | GROUND FLOOR PLAN |
| 2 | SITE PLAN |
| 1 | COVER SHEET |
| SHEET | DESCRIPTION |

CLIENT'S SIGNATURE: _____ DATE: _____



BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of CLARENDON HOMES (NSW) P/L
Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 26
Hamptons
R/H Garage

Sapphire Specification
Master Issued: 22.08.19 Revision: B

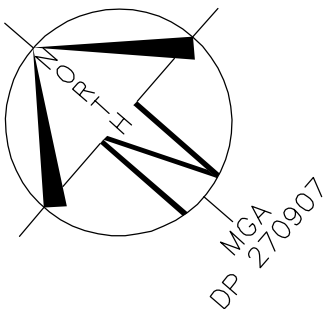
CLIENT:
Mr. CARRAGHER
Mrs. CARRAGHER

SITE ADDRESS:
Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

DA DRAWINGS

| | | |
|-----------------|-------------------------|---------------|
| DRAWN: PG. | DATE: 26.11.19 | Rev: G |
| RATIO @ A3: N/A | CHECKED: J.S | |
| SHEET: 1 | JOB No: 29913970 | NSW |

NORTH



PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
(BB) EASEMENT TO DRAIN WATER 2.5 WIDE
(CC) EASEMENT TO DRAIN WATER 2 WIDE
(EE) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE
(HH) EASEMENT TO DRAIN WATER 1.5 WIDE
(O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE

LOT 3

D.P: 270907

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16

SITE AREA 344.1 m²

ROOF AREA 176.2 m²

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 94.1 m²
(MIN. DIMENSION OF 3.0m) 27.3 %

MIN. REQUIRED BY COUNCIL: 35 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 103.3 m²
(MIN. DIMENSION OF 3.0m)

MIN. REQUIRED BY COUNCIL: 80 m²

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 10.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS
MAY NOT COMPLY WITH REQUIREMENTS)

Maximum 1000mm CUT
Maximum 1000mm FILL

WIND CLASSIFICATION: "N2 "

SLAB CLASSIFICATION: "H2 "

NOTE:

ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

STORMWATER TO
STREET VIA
RAINWATER TANK

REFER TO HYDRAULIC DETAILS

APPROX. LOCATION
OF SIP (REFER TO
HYDRAULICS)

LOT 2
VACANT
LOCATION OF 3000L
SLIMLINE ABOVE GROUND
RAINWATER TANK
(2700Lx870Wx1560H)

APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER HANDOVER

LOCATION OF METER BOX

DROP EDGE BEAM
0.899H F.F.L TO F.G.L

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 26
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mr. CARRAGHER
Mrs. CARRAGHER

SITE ADDRESS:
Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

DA DRAWINGS

| | | |
|----------------------|---------------------|------------------|
| DRAWN: BG | DATE: 11.11.19 | Rev: G |
| RATIO @ A3: 1:200 | CHECKED: BG | |
| SHEET: 2 | JOB No: 29913970 | NSW |

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

DP ○ DOWN PIPE LOCATION

TAP X GARDEN TAP LOCATION

COB LIFT OFF HINGES

SP_o STEEL POST

TSP_o TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

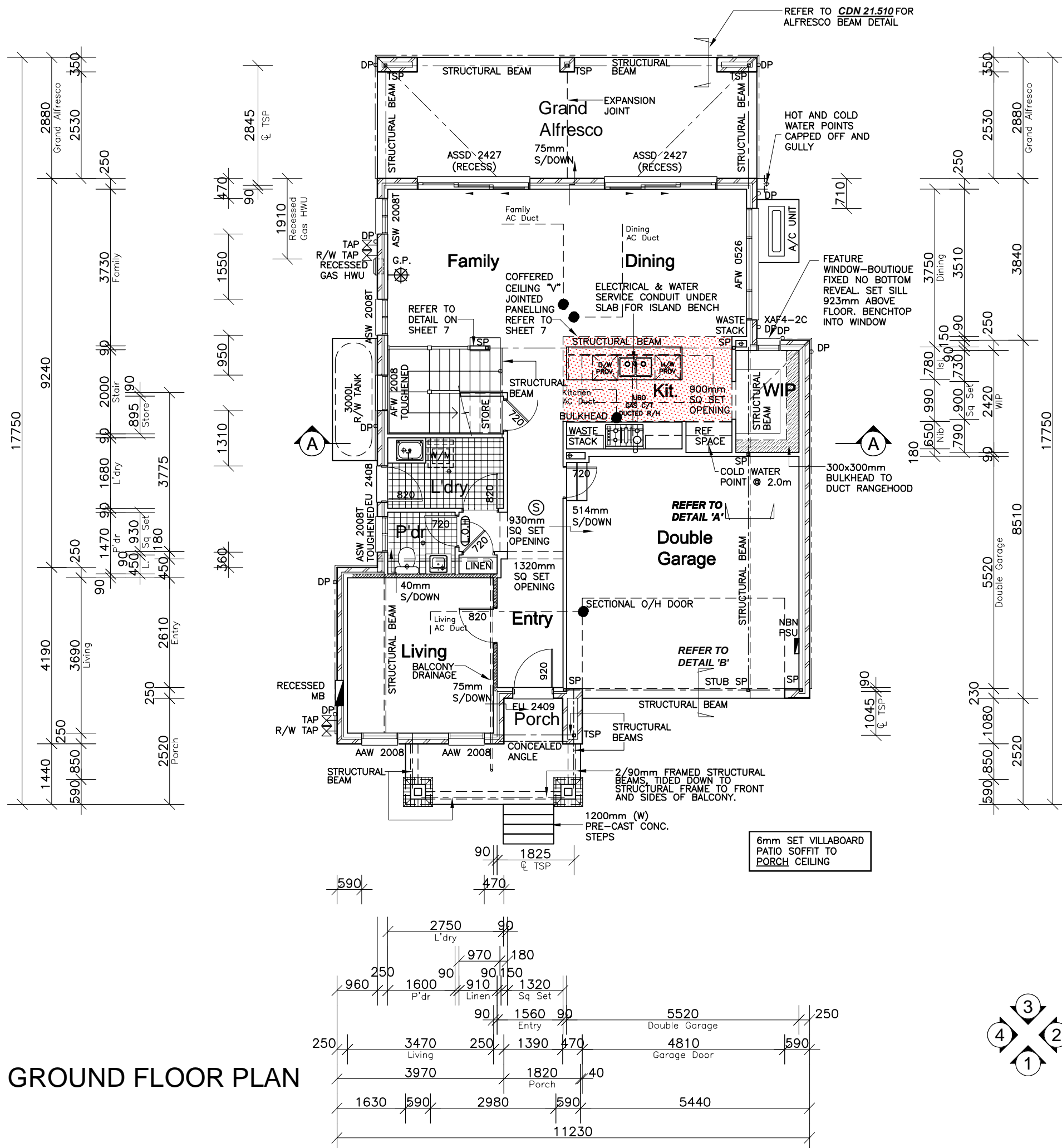
⊗ EXHAUST FAN

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

PROVIDE SOUND INSULATION WALL BATTS TO INTERNAL WALLS OF LIVING (ONLY)

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO GROUND FLOOR TO BE 2340mm(H)

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



GROUND FLOOR PLAN

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 26
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mr. CARRAGHER
Mrs. CARRAGHER

SITE ADDRESS:
Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

DA DRAWINGS

| | | |
|----------------------|---------------------|------|
| DRAWN: PG. | DATE: 26.11.19 | Rev: |
| RATIO @ A3: 1:100 | CHECKED: J.S | G |
| SHEET: 3 | JOB No: 29913970 | NSW |

SMOKE ALARM

DOWN PIPE LOCATION

LIFT OFF HINGES

STEEL POST

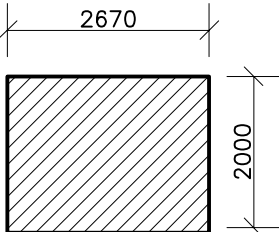
TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

EXHAUST FAN

AIR CONDITIONING DUCT

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

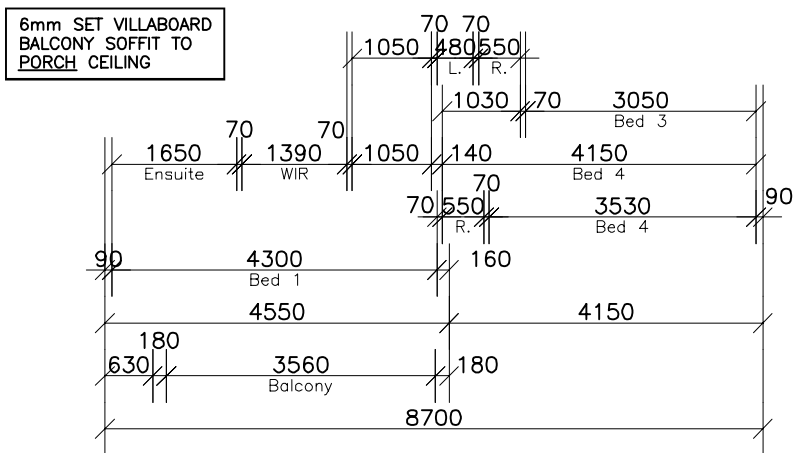
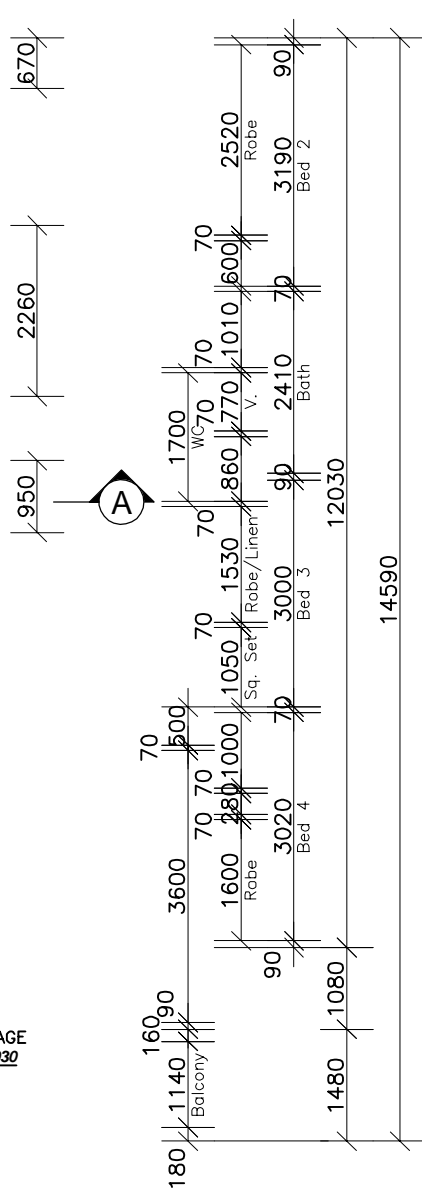
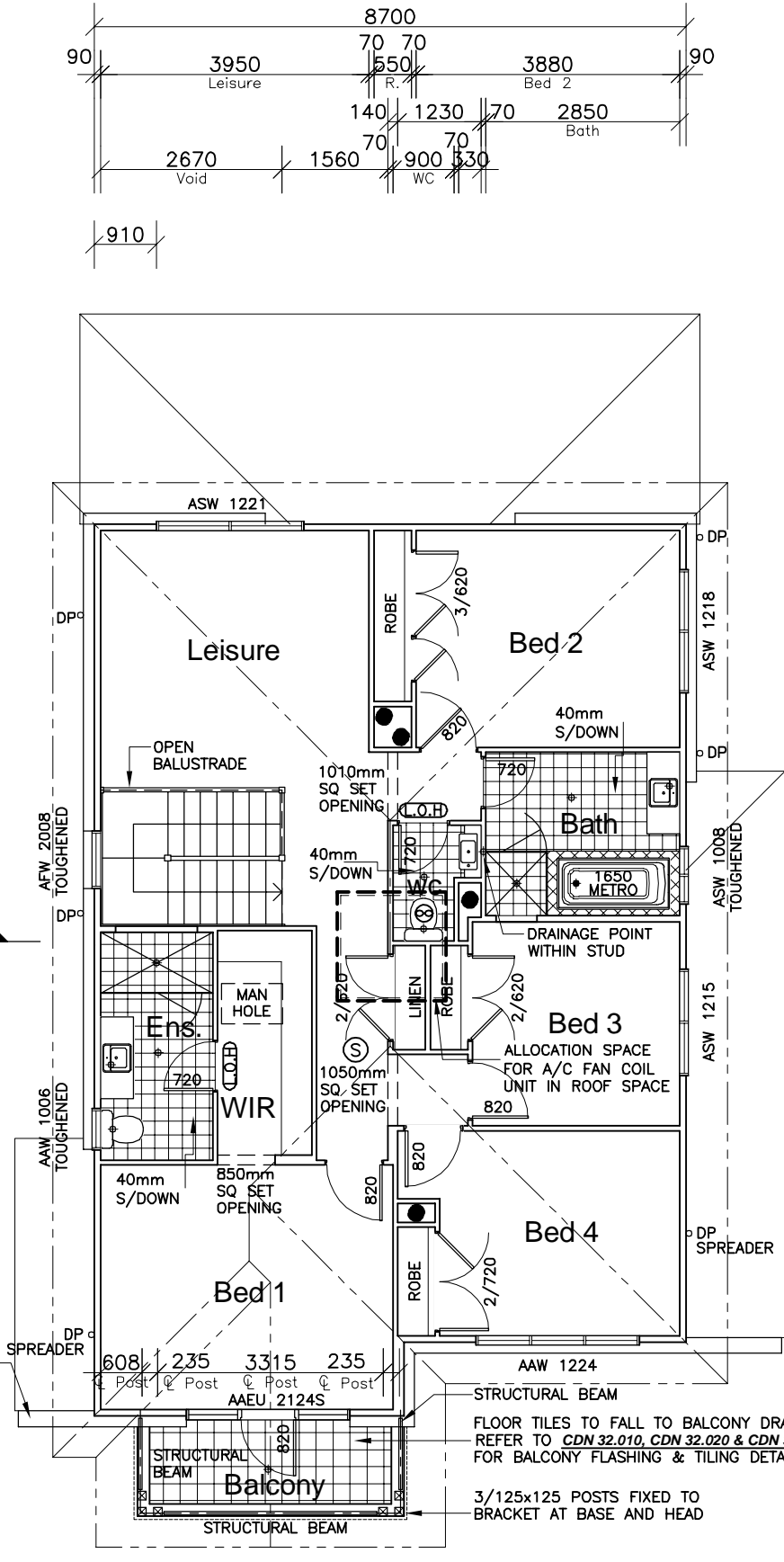
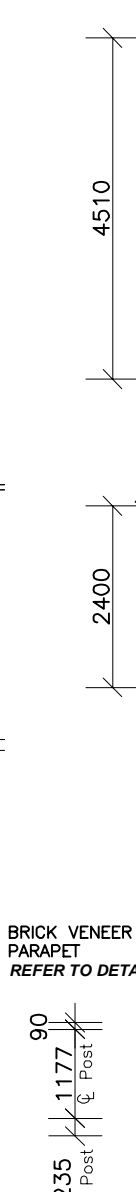
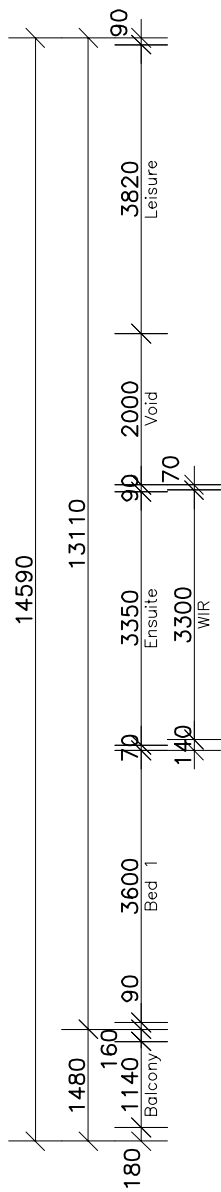


STAIR CUTOUT
SCALE 1:100

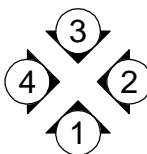
NOTE:
ALL FIRST FLOOR BEDROOM & LIVING
WINDOWS TO BE FITTED WITH A
RESTRICTING DEVICE COMPLIANT
WITH PART 3.9.2.5 OF THE B.C.A -
PROTECTION OF OPENABLE WINDOWS

NOTE:
SHOWER NOOK/RECESS REFER TO
CDN 54.240 & SHEET 10 FOR DETAILS

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



FIRST FLOOR PLAN



CLIENT'S SIGNATURE: DATE:

ClarendonHomes
BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 26
Hamptons
R/H Garage
Sapphire Specification

CLIENT:
Mr. CARRAGHER
Mrs. CARRAGHER
SITE ADDRESS:
Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

| DA DRAWINGS | | |
|----------------------|----------------------------|------------------|
| DRAWN: PG. | DATE: 26.11.19 | Rev: G |
| RATIO @ A3: 1:100 | CHECKED: J.S | |
| SHEET: 4 | JOB No: 29913970 | NSW |

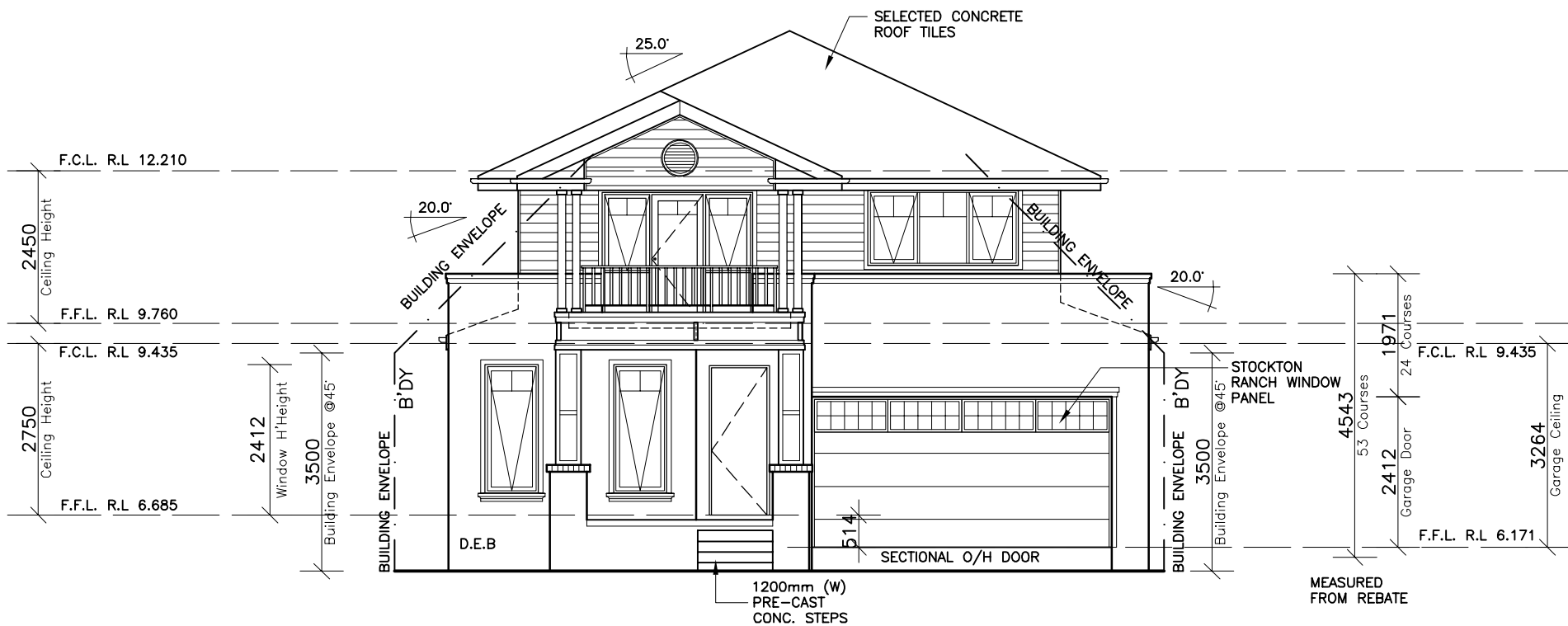
NOTE:
REFER TO SHEETS 13, 14 & 15 FOR ALL
MOULDING & TIMBER TRIM DETAILS

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

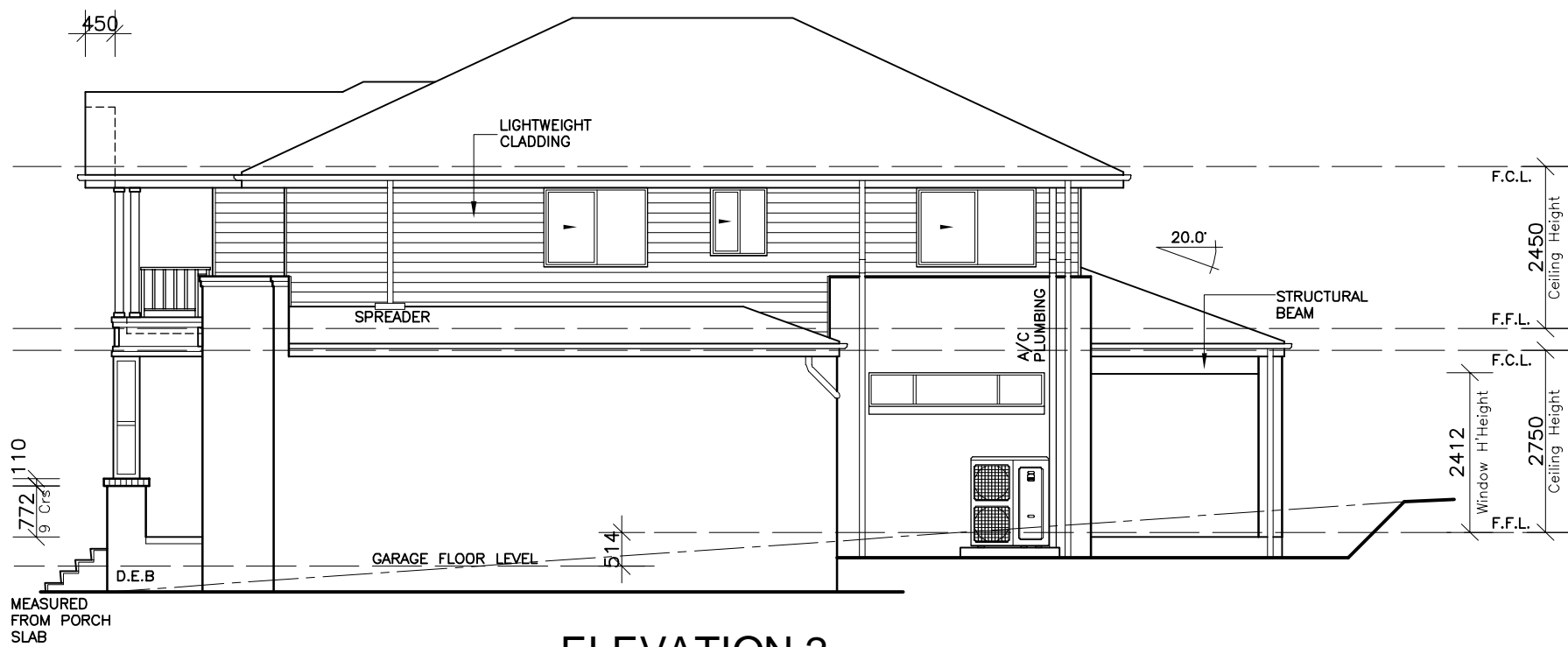
NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



ELEVATION 1
-SOUTH WEST-



ELEVATION 2
-SOUTH EAST-

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 26
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mr. CARRAGHER
Mrs. CARRAGHER
SITE ADDRESS:
Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

DA DRAWINGS

| | | |
|----------------------|----------------------------|------------|
| DRAWN: PG. | DATE: 26.11.19 | Rev: |
| RATIO @ A3: 1:100 | CHECKED: J.S | G |
| SHEET: 5 | JOB No: 29913970 | NSW |

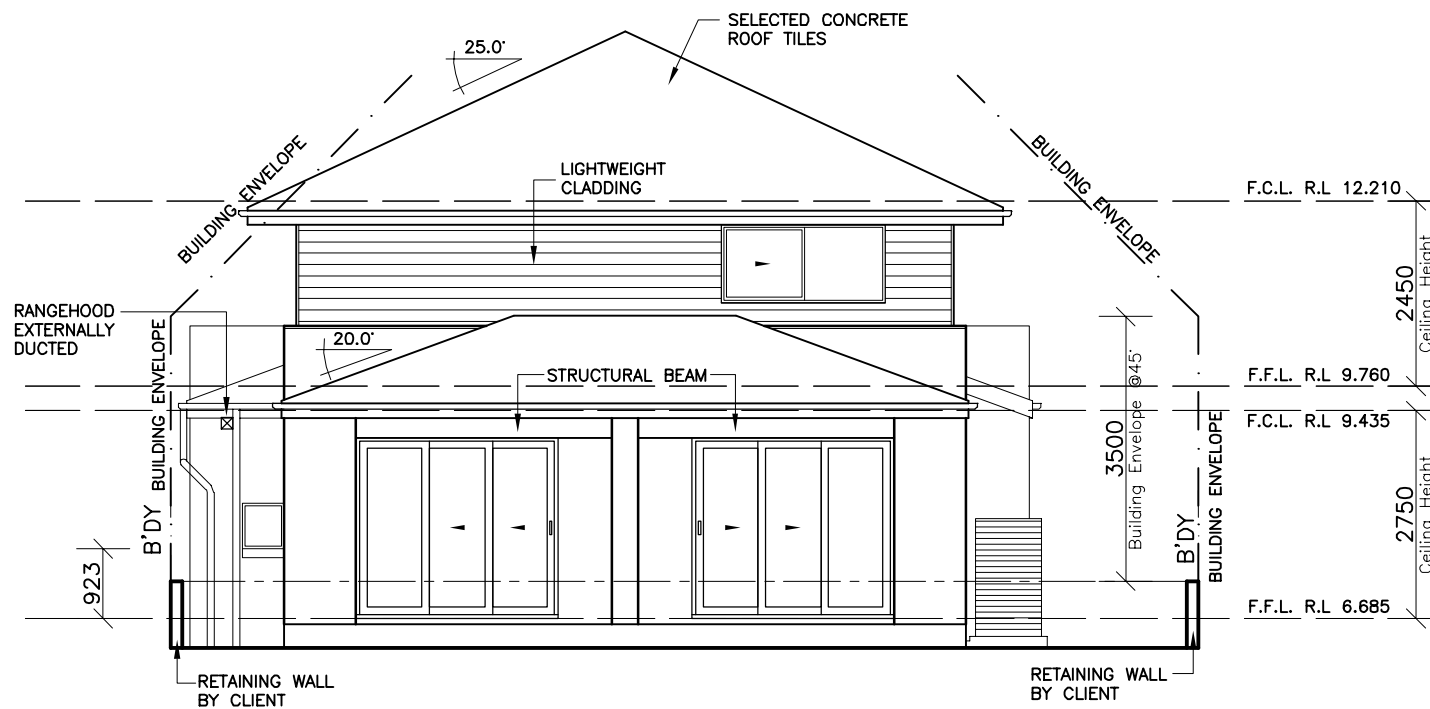
NOTE:
REFER TO SHEETS 13, 14 & 15 FOR ALL
MOULDING & TIMBER TRIM DETAILS

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



ELEVATION 3
-NORTH EAST-



ELEVATION 4
-NORTH WEST-

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 26
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mr. CARRAGHER
Mrs. CARRAGHER
SITE ADDRESS:
Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

DA DRAWINGS

| | | |
|----------------------|----------------------------|------------|
| DRAWN: PG. | DATE: 26.11.19 | Rev: |
| RATIO @ A3: 1:100 | CHECKED: J.S | G |
| SHEET: 6 | JOB No: 29913970 | NSW |

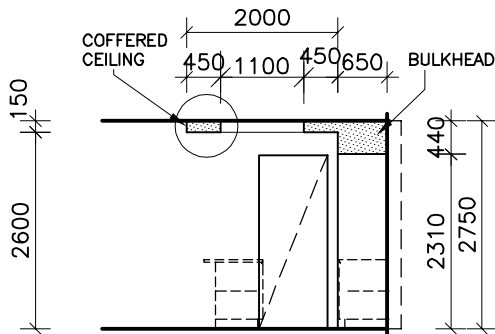
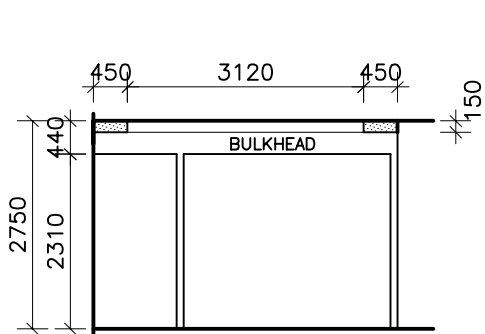
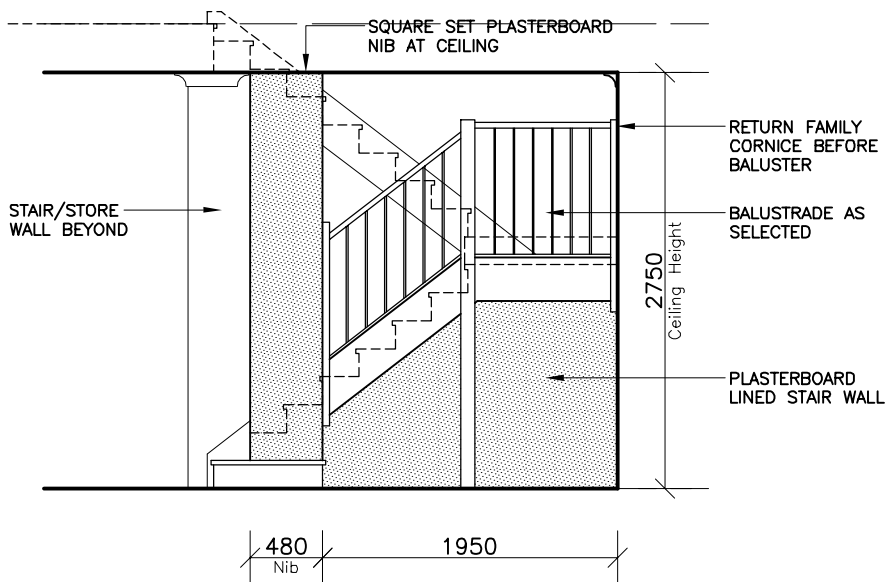
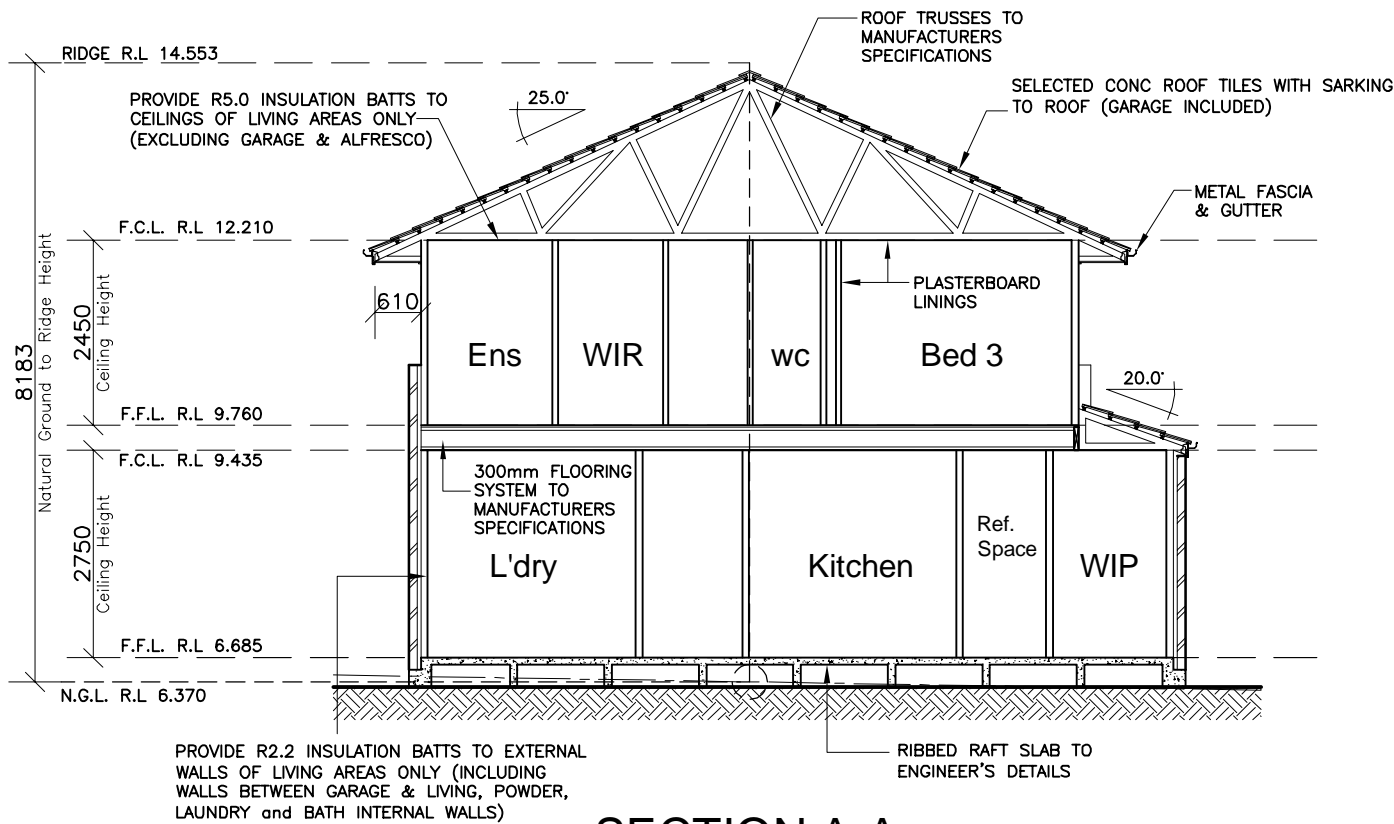
NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



NOTE:
PROVIDE THE FOLLOWING DUE TO
PROXIMITY TO COASTAL WATERS:
* EXPOSURE GRADE BRICKS,
* STAINLESS STEEL WALL TIES,
* LINTELS AND EXPOSED
STRUCTURAL STEEL IN
ACCORDANCE WITH THE B.C.A.,
* COLORBOND VALLEY GUTTERS,
* EXPOSURE GRADE MORTAR

PROVIDE R2.2 INSULATION BATTS TO CEILING
JOISTS BETWEEN GARAGE & FIRST FLOOR and
PORCH & FIRST FLOOR CANTILEVER (BED 1)



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 26
Hamptons
R/H Garage

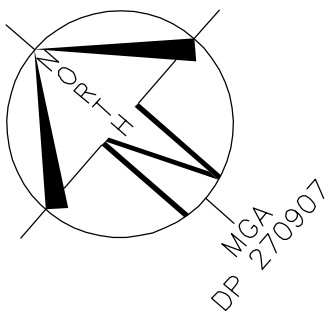
Sapphire Specification

CLIENT:
Mr. CARRAGHER
Mrs. CARRAGHER
SITE ADDRESS:
Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

DA DRAWINGS

| | | |
|----------------------|---------------------|------|
| DRAWN: PG. | DATE: 26.11.19 | Rev: |
| RATIO @ A3: 1:100 | CHECKED: J.S | G |
| SHEET: 7 | JOB No: 29913970 | NSW |

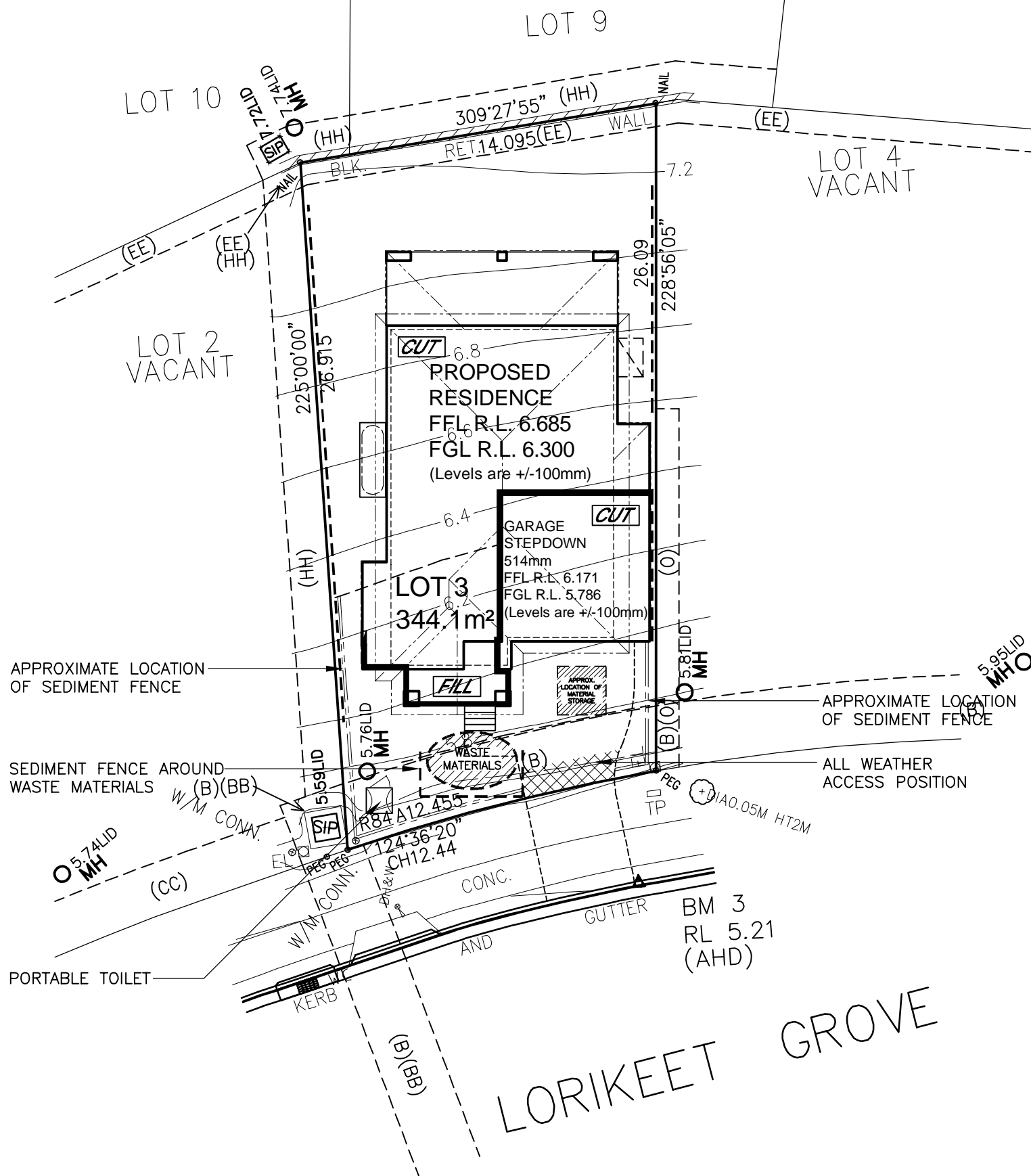
NORTH



- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
(BB) EASEMENT TO DRAIN WATER 2.5 WIDE
(CC) EASEMENT TO DRAIN WATER 2 WIDE
(EE) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE
(HH) EASEMENT TO DRAIN WATER 1.5 WIDE
(O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE

LOT 3
D.P: 270907
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16**



APPROXIMATE LOCATION
OF SEDIMENT FENCE

SEDIMENT FENCE AROUND
WASTE MATERIALS (B)(BB)

PORTABLE TOILET

APPROXIMATE LOCATION
OF SEDIMENT FENCE

ALL WEATHER
ACCESS POSITION

CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 26
Hamptons
R/H Garage

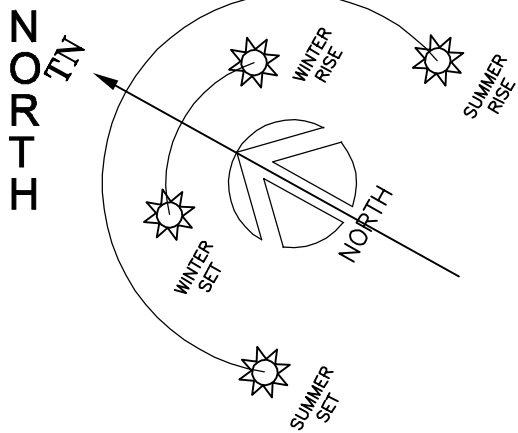
Sapphire Specification

CLIENT:
Mr. CARRAGHER
Mrs. CARRAGHER

SITE ADDRESS:
Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

DA DRAWINGS

| | | |
|----------------------|----------------------------|------------------|
| DRAWN: PG. | DATE: 26.11.19 | Rev: G |
| RATIO @ A3: 1:200 | CHECKED: J.S | |
| SHEET: 2.1 | JOB No: 29913970 | NSW |



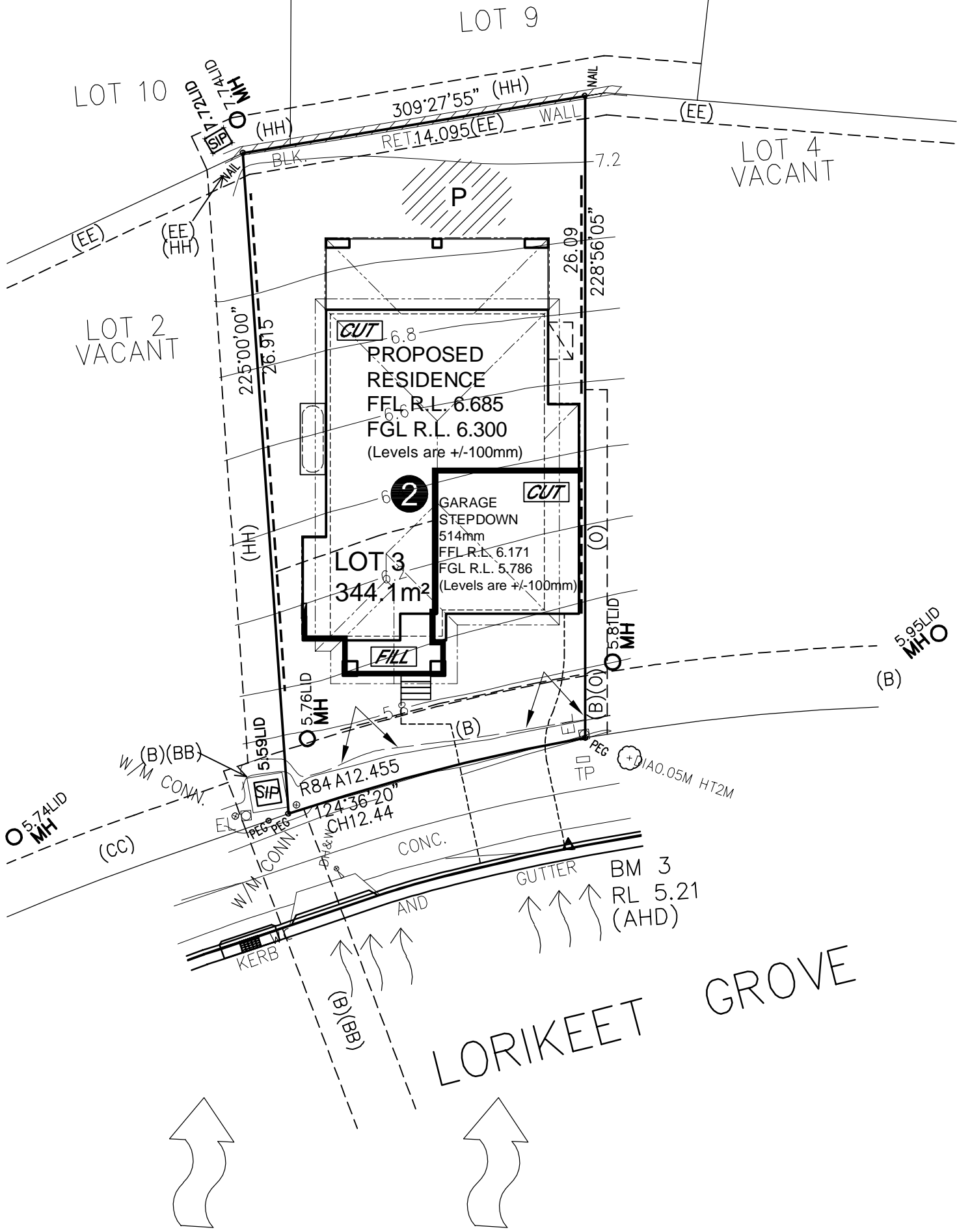
- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
- (BB) EASEMENT TO DRAIN WATER 2.5 WIDE
- (CC) EASEMENT TO DRAIN WATER 2 WIDE
- (EE) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE
- (HH) EASEMENT TO DRAIN WATER 1.5 WIDE
- (O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE

LOT 3

D.P: 270907

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16



DENOTES EXISTING TREES TO BE RETAINED

NUMBER OF STOREYS

PRINCIPAL PRIVATE OPEN SPACE

MAIN VIEWS

NOISE IMPACT

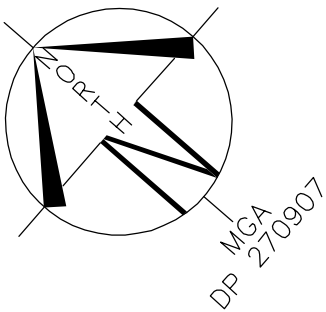
PREVAILING WINDS

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

| | | | | | | |
|--|---|--|--|----------------------|---------------------|----------------------|
| <div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div> | <div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div> | <div>PRODUCT:</div> <div>BRONTE 26 Hamptons R/H Garage</div> <div>Sapphire Specification</div> | <div>CLIENT:</div> <div>Mr. CARRAGHER Mrs. CARRAGHER</div> <div>SITE ADDRESS:</div> <div>Lot 3 No.73, D.P: 270907 Lorikeet Grove WARRIEWOOD 2102</div> | DA DRAWINGS | | |
| | | | | DRAWN: PG. | DATE: 26.11.19 | Rev: <div>G</div> |
| | | | | RATIO @ A3: 1:200 | CHECKED: J.S | |
| | | | | SHEET: 2.2 | JOB No: 29913970 | NSW |

NORTH



- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
(BB) EASEMENT TO DRAIN WATER 2.5 WIDE
(CC) EASEMENT TO DRAIN WATER 2 WIDE
(EE) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE
(HH) EASEMENT TO DRAIN WATER 1.5 WIDE
(O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE

LOT 3
D.P: 270907
L.G.A: NORTHERN BEACHES

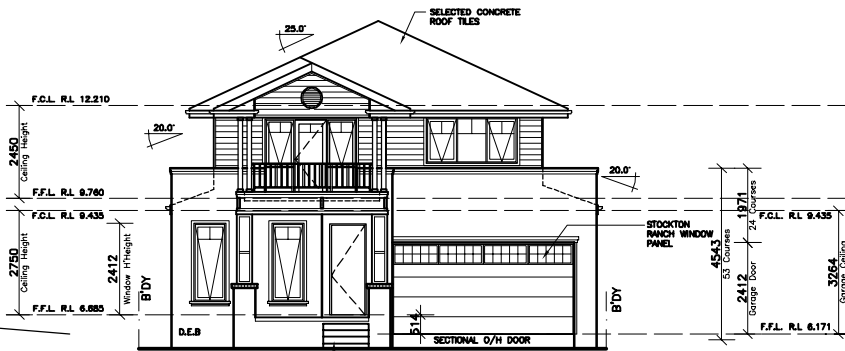
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16

LOT 9

LOT 10

LOT 2
VACANT

LOT 4
VACANT



ELEVATION 1
-SOUTH WEST-



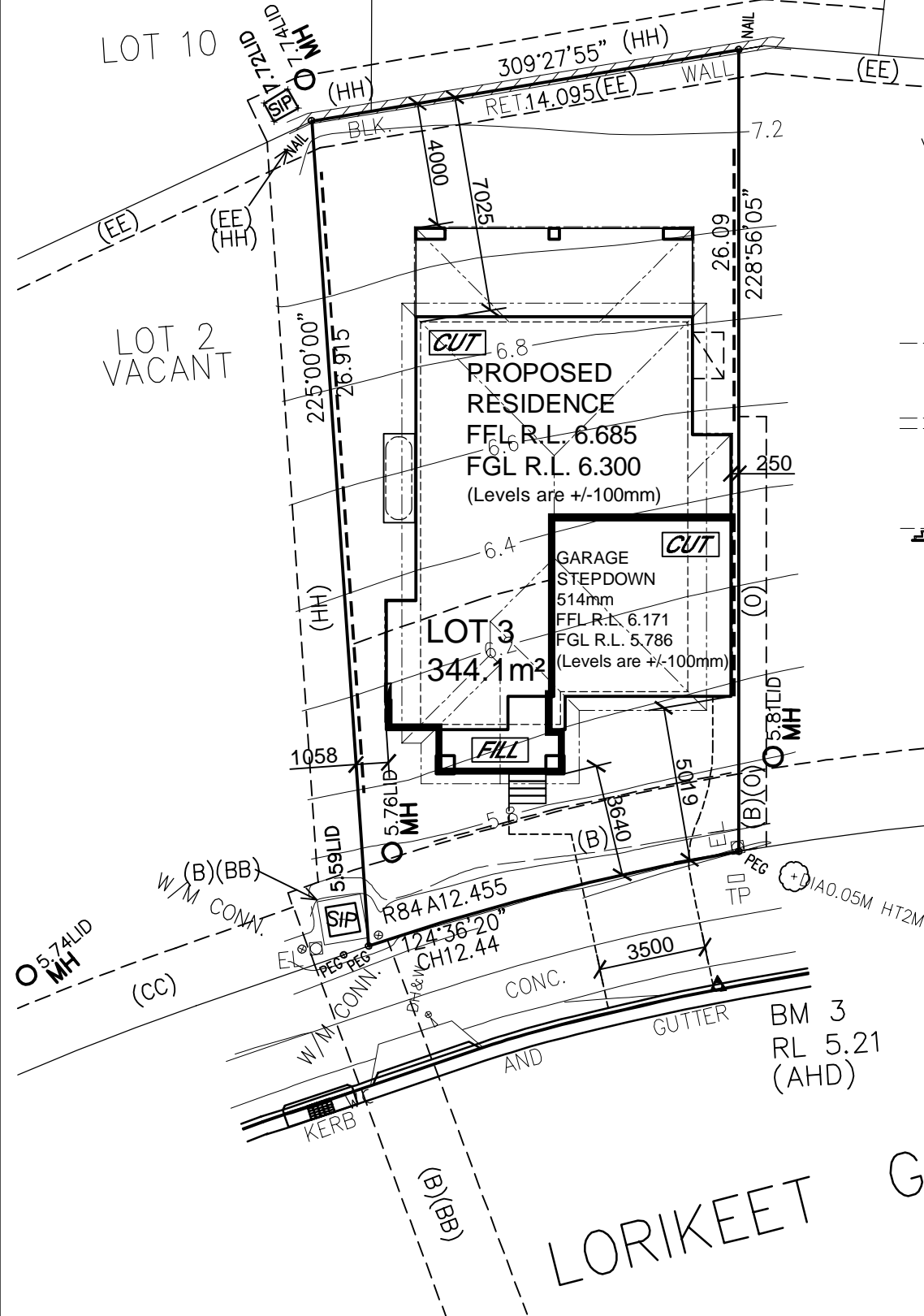
ELEVATION 2
-SOUTH EAST-



ELEVATION 3
-NORTH EAST-



ELEVATION 4
-NORTH WEST-



LORIKEET GROVE

NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 26
Hamptons
R/H Garage
Sapphire Specification

CLIENT:
Mr. CARRAGHER
Mrs. CARRAGHER
SITE ADDRESS:
Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

DA DRAWINGS

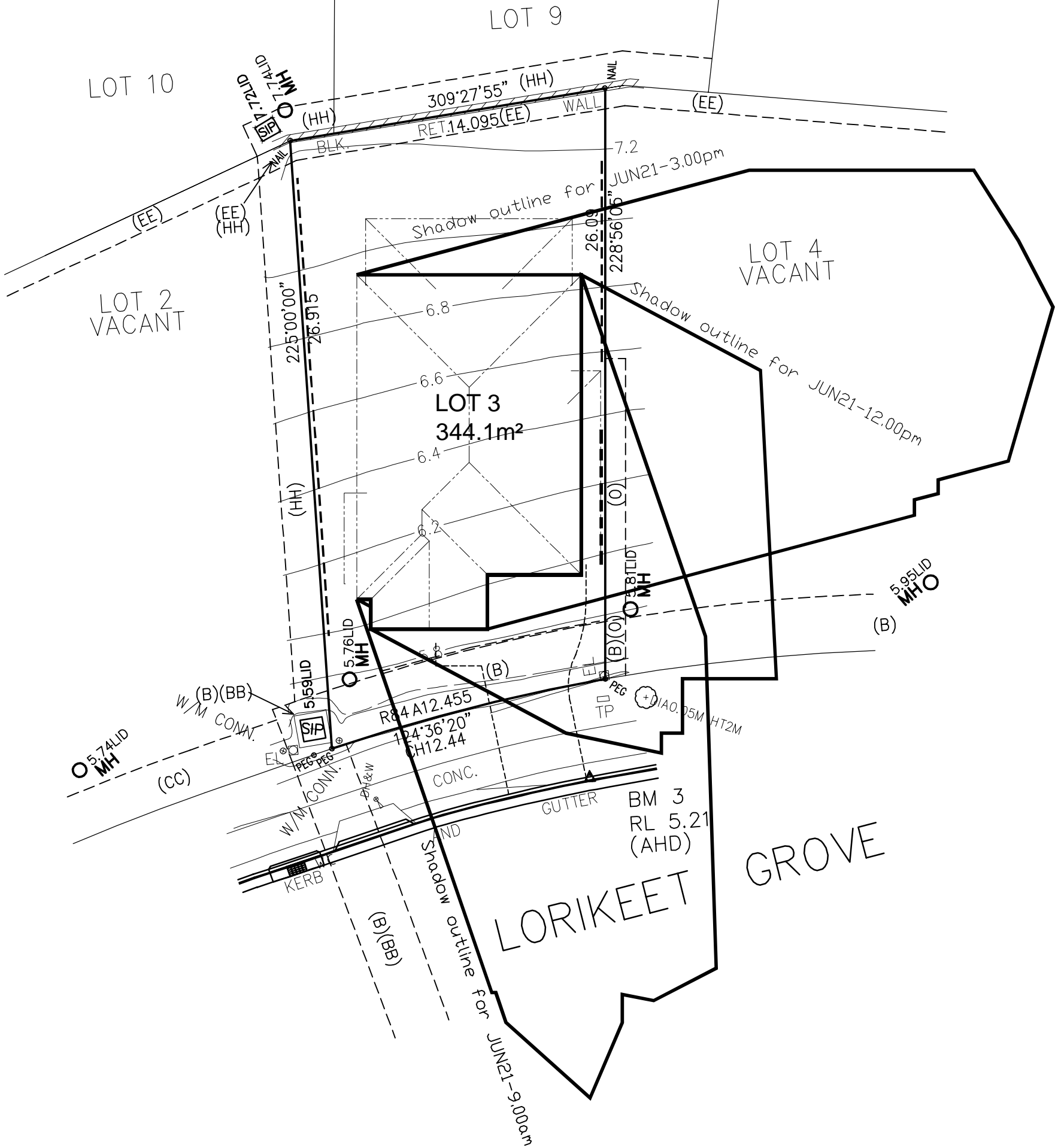
| | | |
|----------------------|---------------------|------|
| DRAWN: PG. | DATE: 26.11.19 | Rev: |
| RATIO @ A3: 1:200 | CHECKED: J.S | G |
| SHEET: 2.3 | JOB No: 29913970 | NSW |

(B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
(BB) EASEMENT TO DRAIN WATER 2.5 WIDE
(CC) EASEMENT TO DRAIN WATER 2 WIDE
(EE) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE
(HH) EASEMENT TO DRAIN WATER 1.5 WIDE
(O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE

NORTH
TN
MGA 270907
DP 270907

LOT 3
D.P: 270907
L.G.A: NORTHERN BEACHES

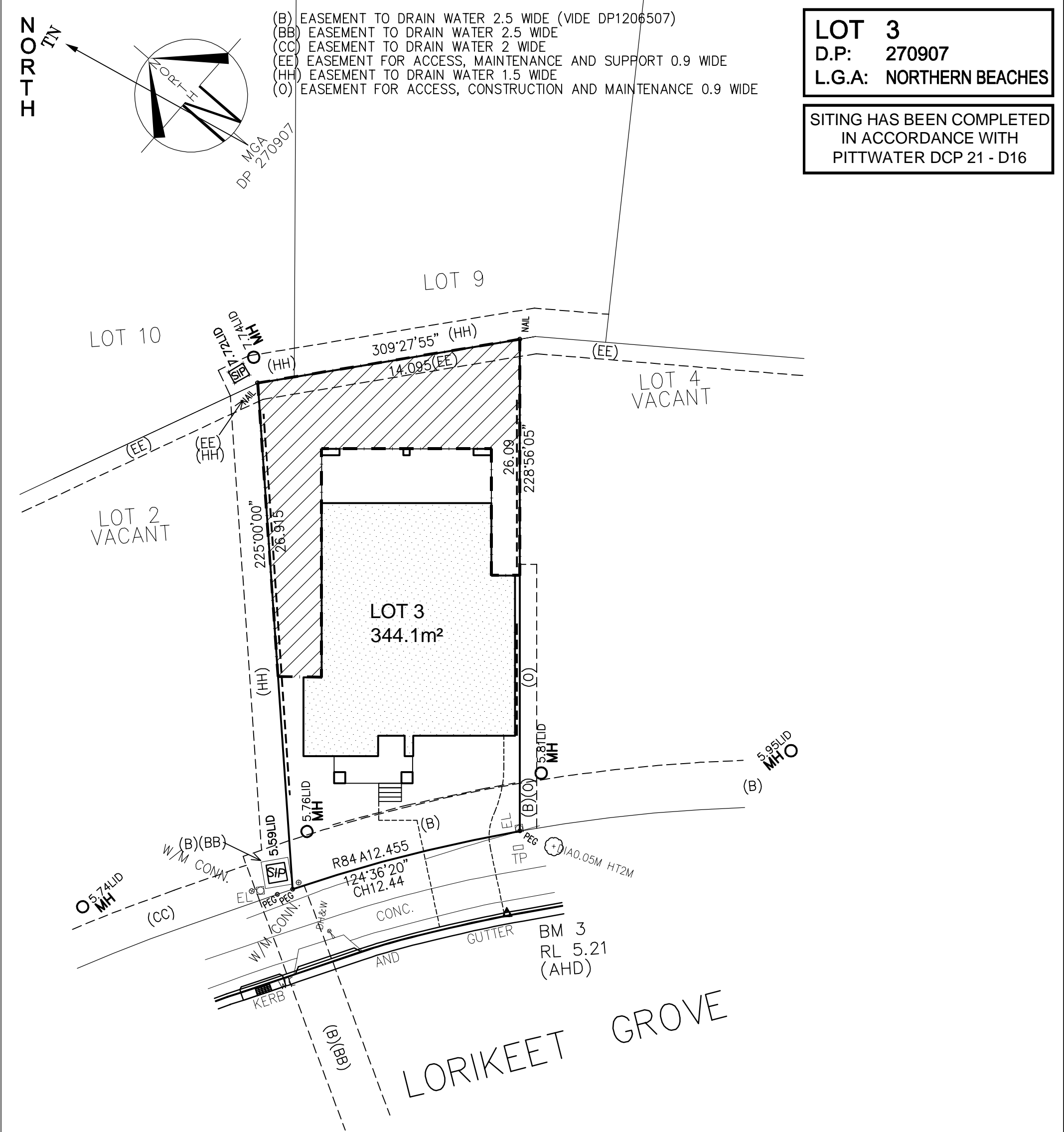
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16



SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: _____ DATE: _____

| | | | | | | |
|---|--|--|---|----------------------|----------------------------|------------------|
| ClarendonHomes <small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300 | © ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING. | PRODUCT: BRONTE 26 Hamptons R/H Garage Sapphire Specification | CLIENT: Mr. CARRAGHER Mrs. CARRAGHER SITE ADDRESS: Lot 3 No.73, D.P: 270907 Lorikeet Grove WARRIEWOOD 2102 | DA DRAWINGS | | |
| | | | | DRAWN: PG. | DATE: 26.11.19 | Rev: G |
| | | | | RATIO @ A3: 1:200 | CHECKED: J.S | |
| | | | | SHEET: 2.4 | JOB No: 29913970 | NSW |



- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
- (BB) EASEMENT TO DRAIN WATER 2.5 WIDE
- (CC) EASEMENT TO DRAIN WATER 2 WIDE
- (EE) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE
- (HH) EASEMENT TO DRAIN WATER 1.5 WIDE
- (O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE

LOT 3

D.P: 270907

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16

PRIVATE OPEN SPACE AREA = 107.30m²

LANDSCAPE AREA = 97.30m²

SITE COVERAGE AREA = 129.82m²

SITE COVERAGE & LANDSCAPE PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:

BRONTE 26
Hamptons
R/H Garage

Sapphire Specification

CLIENT:

Mr. CARRAGHER
Mrs. CARRAGHER

SITE ADDRESS:

Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

DA DRAWINGS

DRAWN: PG.

DATE: 26.11.19

Rev: G

RATIO @ A3: 1:200

CHECKED: J.S

SHEET: 2.5

JOB No: 29913970

NSW

LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

| TYPE | SYMBOL | BOTANIC NAME | COMMON NAME | MATURE HEIGHT X WIDTH | NATIVE? | QTY | POT SIZE |
|-----------------------------|--------|------------------------------|------------------|-----------------------|---------|-----|----------|
| TREES | | | | | | | |
| | CA | CUPANIOPSIS ANACARDIOIDES | TUCKEROO | 8M X 4M | YES | 1 | 45LTR |
| SHRUBS | | | | | | | |
| | AcI | ACACIA 'LIMELIGHT' | LIMELIGHT | 1M X 1M | YES | 3 | 200MM |
| | Wf | WESTRINGIA FRUITICOSA | COASTAL ROSEMARY | UP TO 1.5M TRIMMED | YES | 14 | 200MM |
| GRASSES & STRAP LEAF PLANTS | | | | | | | |
| | Dtr | DIANELLA TASMANICA 'TAS RED' | TAS RED DIANELLA | 0.45M X 0.45M | YES | 5 | 140MM |

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER 'HAVEN' BRICK EDGING OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR TREATED TIMBER EDGING SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENACE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

a) REPLACEMENTS: ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

b) WATERING: REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.


c) GARDEN BEDS: GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

d) LAWN AREAS: LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFED IN THE PLAN.

e) PRUNING: ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

f) FERTILISING: 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

| Revision Schedule | | | |
|-------------------|-----------------|-----|----------|
| Issue: | Description: | By: | Date: |
| A | Submission Plan | JS | 09/12/19 |
| | | | |
| | | | |
| | | | |

| | |
|------------------|---|
| Drafted: JS | Scale: 1:200  |
| Sheet: 2 of 4 | Reference: LP 01 |

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes

| SITE CALCULATIONS | | |
|-----------------------|------------|---------|
| LOT AREA | 344.1 sq m | |
| | | |
| LANDSCAPED AREA TOTAL | 94.1 sq m | 27.345% |

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Carragher**
Mrs Carragher

Client Signatures:
1.
2.

Job No. **190433**

Drawing: **Plant List/Specification**

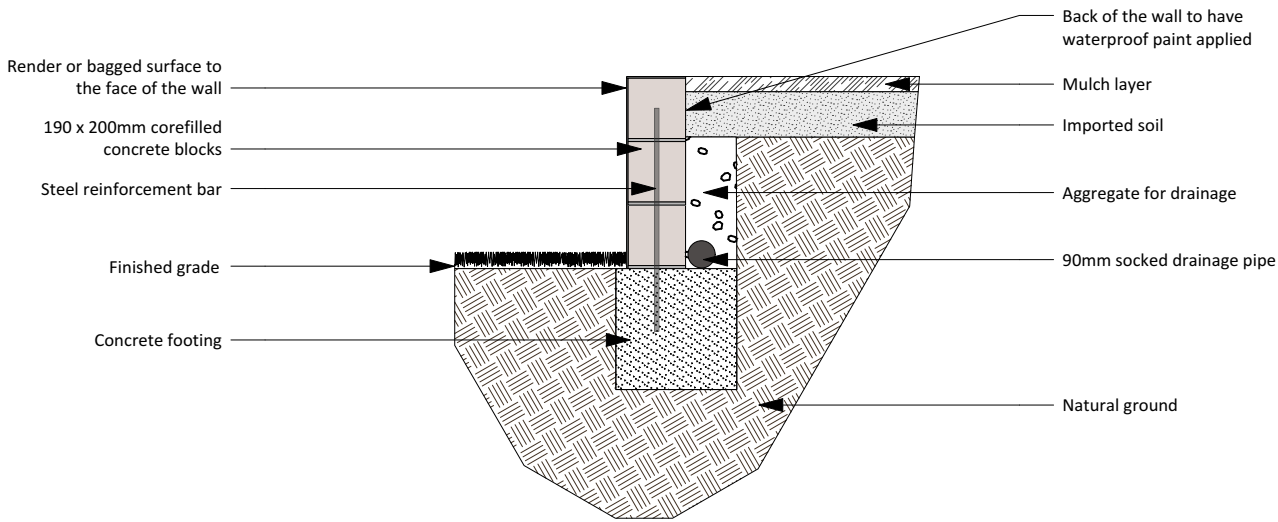
Address: **Lot 3, No.73 Lorikeet Grove**
Warriewood

Council: **Northern Beaches**



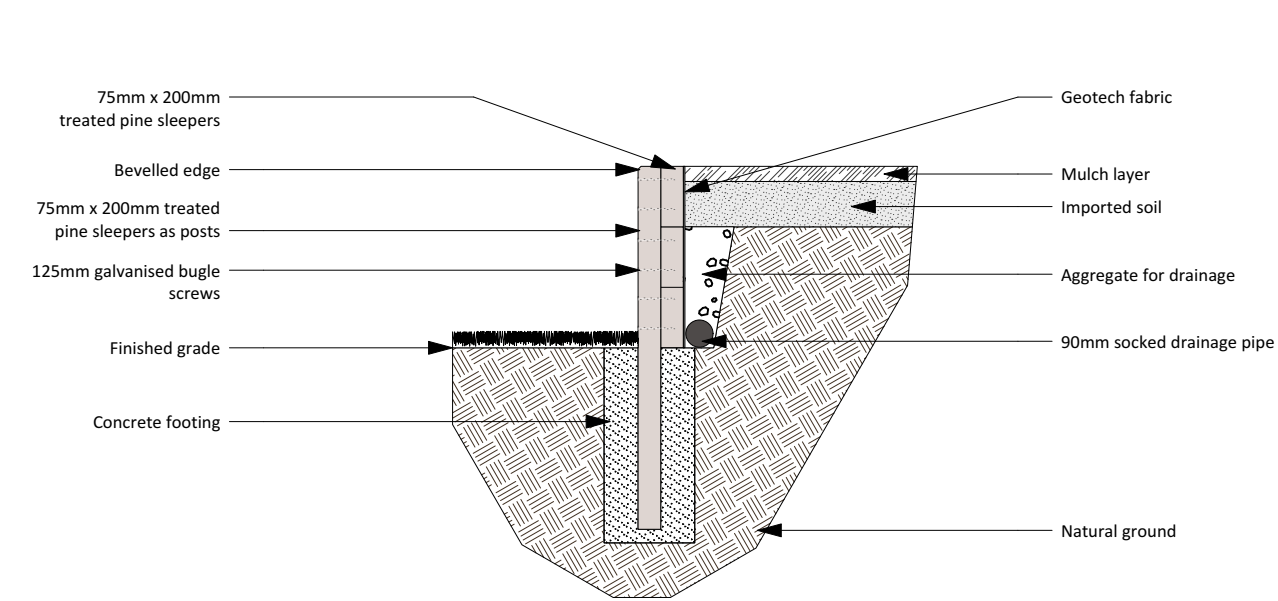
Ph: 0437 043 112
www.dappledesigns.com.au

[Click Here to View Our Plant Profiles!](#)



DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT
3. REFER TO PLAN FOR HEIGHTS
4. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS



DETAILS

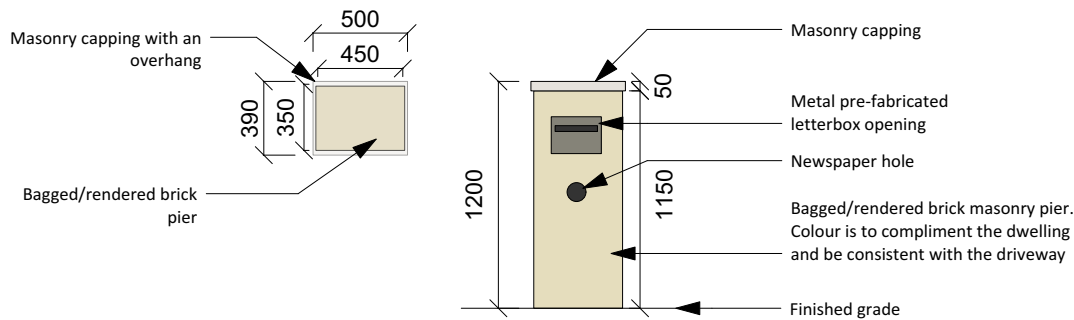
1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT OR SLIGHTLY SLANTED TOWARDS THE SOIL BEING RETAINED
3. TIMBER IS TO BE FREE OF CRACKS AND KNOTS
4. REFER TO PLAN FOR HEIGHTS
5. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS

RENDERED/BAGGED RETAINING WALL DETAIL
SCALE 1:25

TREATED TIMBER RETAINING WALL DETAIL
SCALE 1:25

TOP VIEW

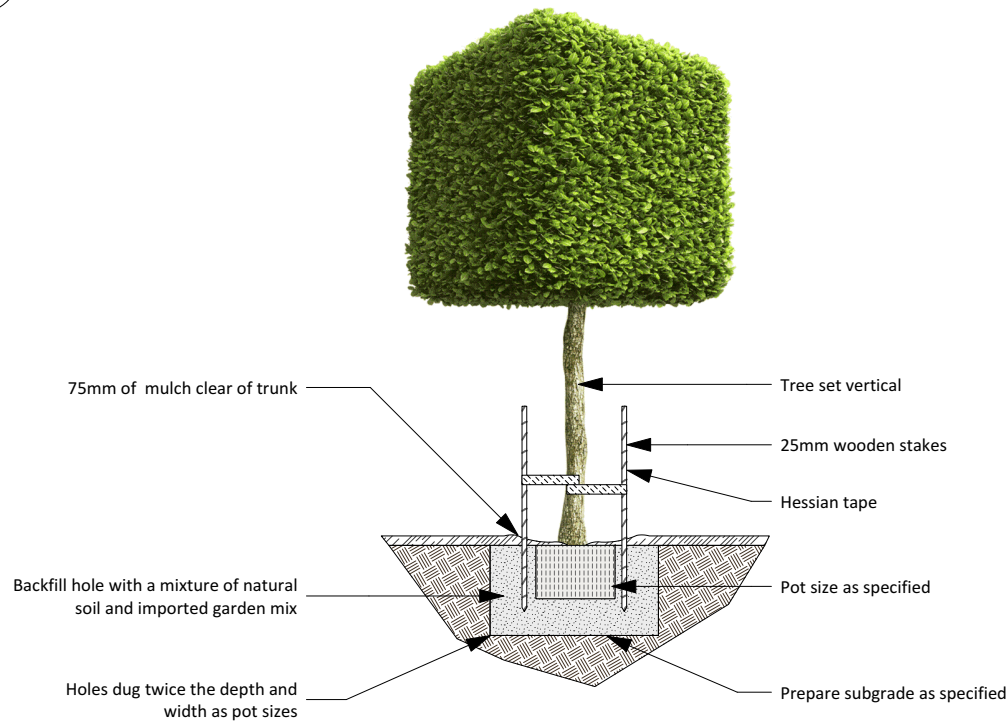
FRONT VIEW



DETAILS

1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
3. BRICK PIER IS TO LEVEL AND STRAIGHT

LETTERBOX DETAIL
SCALE 1:40



DETAILS

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. WATER THROUROUGHLY AFTER PLANTING

TREE PLANTING DETAIL
SCALE 1:40

Revision Schedule

| Issue: | Description: | By: | Date: |
|--------|-----------------|-----|----------|
| A | Submission Plan | JS | 09/12/19 |
| | | | |
| | | | |
| | | | |

| | |
|------------------|-----------------------------|
| Drafted: JS | Scale: 1:200 0 0 1 2 3 M |
| Sheet: 3 of 4 | Reference: LP 01 |

Designed by:

Julian Saw
Diploma of Horticulture
(Landscape Design)

- General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
 2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
 3. All relevant Australian standards are to be adhered to.
 4. Any structural items are to be installed as per the manufacturer/engineers specifications.
 5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS

| | | |
|-----------------------|------------|---------|
| LOT AREA | 344.1 sq m | |
| LANDSCAPED AREA TOTAL | 94.1 sq m | 27.345% |

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Carragher**
Mrs Carragher

Client Signatures:

- 1.
- 2.

Job No. **190433**

Drawing: **Construction Details**

Address: **Lot 3, No.73 Lorikeet Grove**
Warriewood


Council: **Northern Beaches**

DappleDesigns

Ph: 0437 043 112
www.dappledesigns.com.au

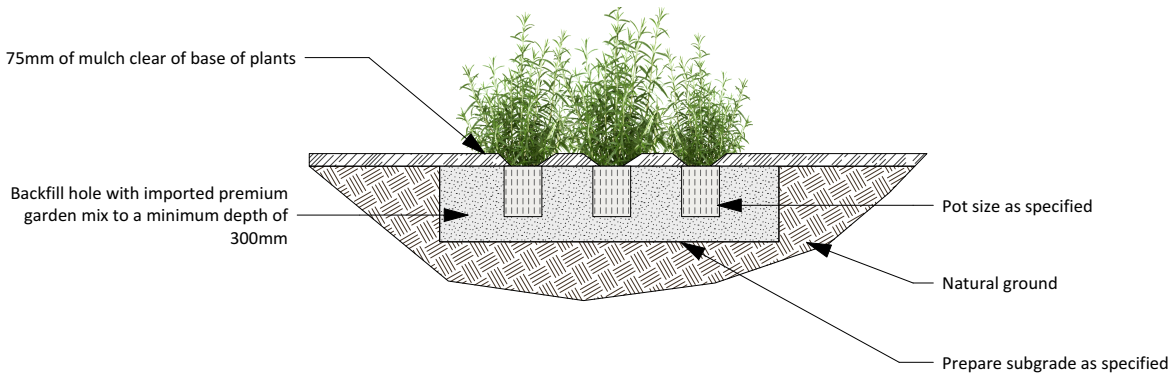


- DETAILS
1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
 2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
 3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
 4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED




TURF LAYING DETAIL

SCALE 1:20



- DETAILS
1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
 2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
 3. WATER THOROUGHLY AFTER PLANTING
 4. REFER TO PLAN FOR QUANTITIES AND SPACING




SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30

Revision Schedule

| Issue: | Description: | By: | Date: |
|--------|-----------------|-----|----------|
| A | Submission Plan | JS | 09/12/19 |
| | | | |
| | | | |
| | | | |

Drafted:
JS

Scale: 1:200


Sheet:
4 of 4

Reference:
LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:

1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant Australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes

| SITE CALCULATIONS | | |
|-----------------------|------------|---------|
| LOT AREA | 344.1 sq m | |
| | | |
| LANDSCAPED AREA TOTAL | 94.1 sq m | 27.345% |

[Click Here to View Our Plant Profiles!](#)

Client:

Mr Carragher
Mrs Carragher

Client Signatures:

1.
2.

Job No.

190433

Drawing:

Planting Details

Address:

Lot 3, No.73 Lorikeet Grove
Warriewood

Council:

Northern Beaches

DappleDesigns

Ph: 0437 043 112
www.dappledesigns.com.au








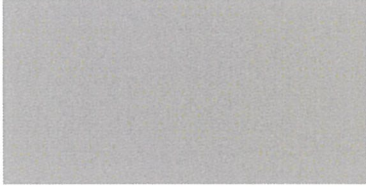



LIFESTYLE

- STUDIO -

BY CLARENDON HOMES

| | | | |
|----------------------|--|--------------------|---------------------------------|
| Client: | Mrs Gillian Ann & Mr Michael John Carragher | | |
| Site Address: | Lot 3, 73 Lorikeet Grove WARRIEWOOD NSW 2102 | | |
| Job Number: | 29913970 | House Type: | Bronte 26 |
| Date Issued: | 15/01/2020 | Developer: | Colonial Credits-Karinya Estate |

| | | | |
|---------------------------|------|---------------------------|------|
| Roof BASIX Rating: | Dark | Wall BASIX Rating: | Dark |
|---------------------------|------|---------------------------|------|

| | | |
|---|--|--|
| Main Brick: Austral Wilderness 'Silver Birch'  | Window Frame Colour: Surfmist  | Roof Type/Style: Boral Concrete / Contour Colour: Gunmetal  |
| Gutter: Surfmist Fascia: Surfmist  | Watertank: Basalt  | Moulding/Wall Vent/Window Timber Trim: T-M Surfmist CB 23  |
| Front Entry Door Colour: T-M Monument CB 66  | Lightweight Cladding/Downpipes: T-M Grey Bonnet T15 26.4  | Garage Door Type: Ranch with Stockton Windows Garage Door Colour: Surfmist  |
| Balustrade Style: Hamptons Façade Picket Colour: Surfmist  | Painted Blueboard/Timber Trim to Blueboard/Balcony Posts: T-M Surfmist CB 23  | Letterbox/Driveway: To compliment facade *By client after handover |

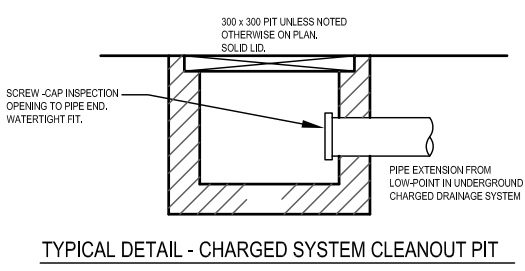
NOTE: Colours are indicative only and should not be used as a true representation of the product.

| | |
|---|--------------|
| Signature  | Date 15/1/20 |
|---|--------------|

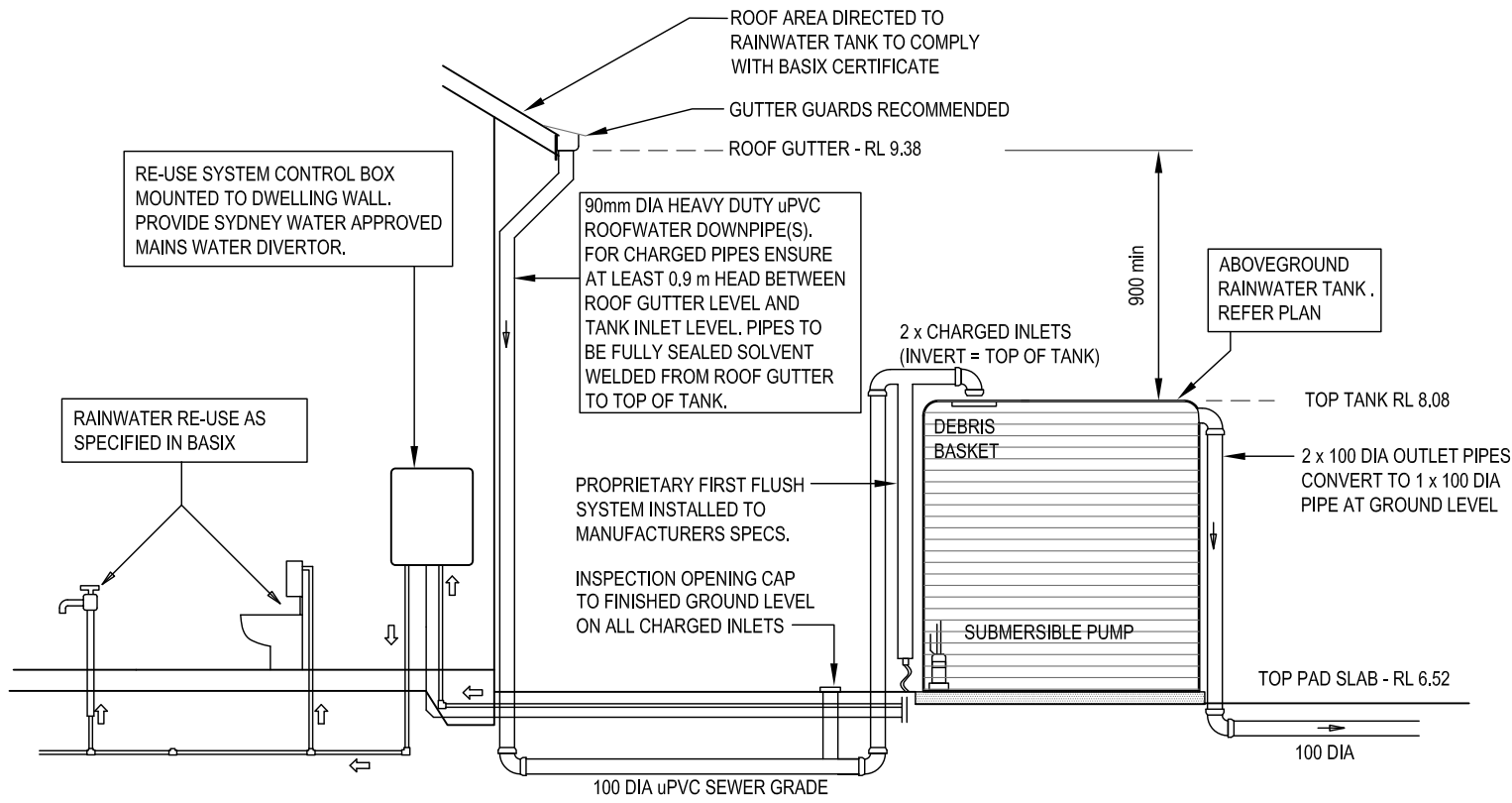
STORMWATER MANAGEMENT PLAN

PROPOSED SINGLE DWELLING DEVELOPMENT

Lot 3, No 73 LORIKEET GROVE, WARRIEWOOD



TYPICAL DETAIL - CHARGED SYSTEM CLEANOUT PIT



TYPICAL DETAIL - RAINWATER RE-USE TANK

LEGEND

- GRATED INLET PIT
- 450 SQUARE INTERNAL
- GRATE LEVEL = 75.54
- INVERT LEVEL = RL 75.12
- PROPOSED DOWNPIPE No 5.
90mm dia. or 100mm x 50mm min.
- EXISTING TREE
- GRATED TRENCH DRAIN
- PROPOSED ROOF GUTTER FALL
- PROPOSED DOWNPIPE SPREADER
- STORMWATER PIPE 100mm dia min UNO
- SUBSOIL PIPE
- INSPECTION OPENING
- CONNECTION No 02, REFER SHEET D3 FOR CONTINUATION
- RAINWATER HEAD
- SUBSOIL CLEANOUT
- BALCONY OUTLET

GENERAL NOTES

1. FINAL LOCATION OF NEW DOWNPIPES TO BE DETERMINED BY BUILDER/ARCHITECT AT TIME OF CONSTRUCTION.
2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTS AND OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
3. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH AS/NZS 3500.3:2003 STORMWATER DRAINAGE, BCA AND LOCAL COUNCIL POLICY/CONSENT/REQUIREMENTS.
4. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER ON-SITE PRIOR TO COMMENCEMENT OF WORKS. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS NOR TO BE USED FOR SETOUT PURPOSES.
5. ALL SURVEY INFORMATION AND PROPOSED BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
6. THESE DRAWINGS DEPICT THE DESIGN OF SURFACE STORMWATER RUNOFF DRAINAGE SYSTEMS ONLY AND DO NOT DEPICT ROOF DRAINAGE OR SUBSOIL DRAINAGE SYSTEMS UNLESS NOTED OTHERWISE. THE DESIGN OF ROOF AND SUBSOIL DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF OTHERS.
7. ALL STORMWATER DRAINAGE PIPES ARE TO BE 100mm DIAMETER uPVC AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.
8. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES OR OTHER STRUCTURES WHICH MAY AFFECT/BE AFFECTED BY THIS DESIGN PRIOR TO COMMENCEMENT OF WORKS.
9. ALL PITS WITHIN DRIVEWAYS TO BE 150mm THICK CONCRETE OR EQUAL.
10. THIS PLAN IS THE PROPERTY OF STORMCIVIL AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM STORMCIVIL.

| MINIMUM PIPE COVER (FROM FINISHED SURFACE TO TOP OF PIPE) | | |
|--|-----------------------------|-------------------------------|
| LOCATION | MINIMUM COVER (mm) | |
| | CAST/DUCTILE IRON GAL STEEL | OTHER AUTHORISED PRODUCTS (*) |
| 1. NOT SUBJECT TO VEHICULAR LOADING: | | |
| A. WITHOUT PAVEMENT: | | |
| I. FOR SINGLE DWELLINGS - | 0 | 100 |
| II. OTHER THAN SINGLE DWELLINGS - | 0 | 300 |
| B. WITH PAVEMENT OF BRICK/UNREINFORCED CONCRETE - | 0 (**) | 50 (**) |
| 2. SUBJECT TO VEHICULAR LOADING: | | |
| A. OTHER THAN ROADS: | | |
| I. WITHOUT PAVEMENT - | 300 | 450 |
| II. WITH PAVEMENT OF: | | |
| - REINF. CONC. FOR HEAVY VEHICLES - | 0 (** #) | 100 (** #) |
| - BRICK/UNREINF. CONC LIGHT VEHICLES - | 0 (** #) | 75 (** #) |
| B. ROADS | | |
| I. SEALED | 300 | 500 (#) |
| II. UNSEALED | 300 | 500 (#) |
| 3. SUBJECT TO CONSTRUCTION VEHICLES OR IN EMBANKMENT CONDITIONS | 300 | 500 (#) |
| (*) INCLUDES OVERLAY ABOVE THE TOP OF THE PIPE OF NOT LESS THAN 50mm THICK | | |
| (**) BELOW THE UNDERSIDE OF THE PAVEMENT | | |
| #) SUBJECT TO COMPLIANCE WITH AS1170.2, AS2033, AS/NZS 2966.1, AS3725 OR AS 4080 | | |

| ISS | DATE | AMENDMENT |
|-----|------------|--|
| C | 11.02.2020 | DPs - DA ISSUE |
| B | 10.02.2020 | DPs and ADDITIONAL DRAINAGE POINT - DA ISSUE |
| A | 11.12.2019 | DA ISSUE |

| | |
|-------------------|---------------------------------|
| ARCHITECT/BUILDER | ARCH. REF : 29913970 |
| CLARENDON HOMES | |
| OWNER | |
| CARRAGHER | |
| LGA | NORTHERN BEACHES (ex PITTWATER) |

Consulting Engineers
Civil & Environmental,
Stormwater Management.

3 Gresham Street,
Cowan NSW 2250
ph/fax (02) 9456 7233
mobile : 0424023047
mark@stormcivil.com.au

Pty Ltd. ABN 71 612 151 461

| | |
|---------------|---|
| DWG TITLE | LEGEND, NOTES, DETAILS, CALCULATIONS |
| PROJECT TITLE | PROPOSED SINGLE DWELLING DEVELOPMENT Lot 3, No 73 LORIKEET GROVE, WARRIEWOOD |

| | | | |
|------------|--------|---|-------|
| StormCivil | | APPROVED ON BEHALF OF STORMCIVIL PTY LTD | |
| JOB No | DWG No | No IN SET | ISSUE |
| 304137 | D1 | 2 | C |



TREE PRESERVATION NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF THOSE WORKS.

RAINWATER/RE-USE BASIX TANK
3000 litre min. ABOVE GROUND TANK.
CATCHMENT = ROOF AREA AS PER BASIX (TO BE CONFIRMED PRIOR COMMENCEMENT WORKS).
TANK : USE "KINGSPAN SLIMLINE" OR SIMILAR
DIMENSIONS : 1560 h x 2700 lg x 870 w = 3000 litres
FOR RE-USE AS SPECIFIED BY BASIX CERTIFICATE.
REFER TYPICAL DETAIL DRAWING D1.
TANK INVERT = TOP OF PAD = RL 6.52
TANK TOP = RL 8.08
NOTES :
1. TANK TO HAVE 2 x SEPERATE CHARGED INLETS AS SHOWN.
2. TANK TO HAVE 2 x 100 DIA (or 1 x 150 DIA) OVERFLOW PIPES CONVERTING TO 1 x 100 DIA AT GROUND LEVEL.

TANK TO BE INSTALLED BY LICENSED PLUMBER TO MANUFACTURERS SPECIFICATIONS, AS/NZS 3500:2003 AND NSW CODE OF PRACTICE PLUMBING AND DRAINAGE 2006.

PIT P2 : 450 x 450
GRATE : 6.40 nom
INVERT : 5.95 nom
100 DIA OUTLET

PROVIDE 100mm DIA CAPPED EXTENSIONS OF MAIN LINES INTO PIT TO ALLOW PERIODIC FLUSH-OUT OF CHARGED SYSTEM. REFER CHARGED SYSTEM CLEANOUT TYPICAL DETAIL.

100 DIA ROOF ONLY. CHARGED LINE SEWER GRADE uPVC SOLVENT WELDED. NOTE CHARGED SYSTEM TO BE FULLY SEALED FROM ROOF GUTTER LEVEL TO TOP RAIN TANK. ROOF GUTTER RL = 9.38 TOP TANK RL = 8.80 DIFFERENTIAL HEAD = 1.30 m

PROVIDE CAPPED UPTURN FOR FUTURE STORMWATER CONNECTION BY OWNER / LANDSCAPER

PIT P1 : 450 x 450
GRATE : 5.40 nom
INVERT : 5.10 nom
100 DIA OUTLET

100 DIA 1% MIN uPVC SEWER GRADE

CONNECT TO KERB TO COUNCIL SPECIFICATION. GUTTER RL 5.02 TO BE CONFIRMED PRIOR COMMENCEMENT WORKS.

GRATED TRENCH DRAIN. 100 WIDE CHAMBER. 100 DIA OUTLET.

LORIKEET GROVE

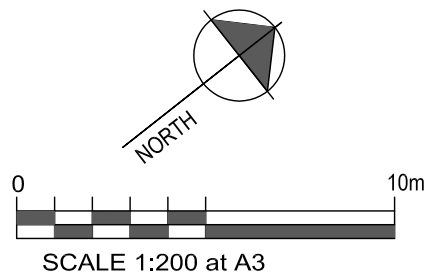
STORMWATER MANAGEMENT PLAN

SCALE 1:200 A3

NOTE
THIS PLAN MANAGES STORMWATER RUNOFF DERIVED FROM ROOF AND DRIVEWAY SURFACES ONLY AS SHOWN ON ARCHITECTURAL DRAWINGS . ALL OTHER SURFACE RUNOFF WATER TO BE MANAGED BY SEPARATE SYSTEM BY OWNER IN ACCORDANCE WITH AS 3500.3 AND BCA PART 3.1.2

NOTE
THIS DRAWING DEPICTS THE DESIGN OF SURFACE STORMWATER RUNOFF DRAINAGE SYSTEMS ONLY AND DOES NOT DEPICT ROOF DRAINAGE OR SUBSOIL DRAINAGE SYSTEMS UNLESS NOTED OTHERWISE. THE DESIGN OF ROOF AND SUBSOIL DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF OTHERS.

NOTE
ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3:2003 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3:2003.



NOTE
THIS DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS BY : CLARENDON HOMES REF : 29913970

NOTE
THIS DRAWING IS NOT TO BE USED FOR SETOUT PURPOSES - REFER TO ARCHITECTURAL DRAWINGS

| ISS | DATE | AMENDMENT |
|-----|------------|--|
| C | 11.02.2020 | DPs - DA ISSUE |
| B | 10.02.2020 | DPs and ADDITIONAL DRAINAGE POINT - DA ISSUE |
| A | 11.12.2019 | DA ISSUE |

| | |
|-------------------|---------------------------------|
| ARCHITECT/BUILDER | ARCH. REF : 29913970 |
| CLARENDON HOMES | |
| OWNER | |
| CARRAGHER | |
| LGA | NORTHERN BEACHES (ex PITTWATER) |



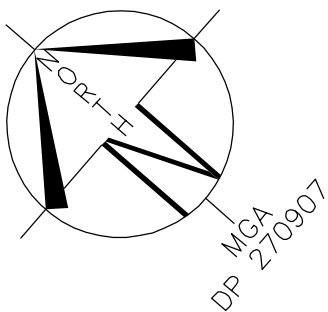
Consulting Engineers
Civil & Environmental.
Stormwater Management.
3 Gresham Street,
Cowan NSW 2250
ph/fax (02) 9456 7233
mobile : 0424023047
mark@stormcivil.com.au

Pty Ltd. ABN 71 612 151 461

| | |
|---------------|---|
| DWG TITLE | STORMWATER MANAGEMENT PLAN |
| PROJECT TITLE | PROPOSED SINGLE DWELLING DEVELOPMENT Lot 3, No 73 LORIKEET GROVE, WARRIEWOOD |

| | | | |
|------------|--------|--|-------|
| StormCivil | | APPROVED ON BEHALF OF STORMCIVIL PTY LTD Mark Taylor MIE Aust CP Eng NER 173333 | |
| JOB No | DWG No | No IN SET | ISSUE |
| 304137 | D2 | 2 | C |

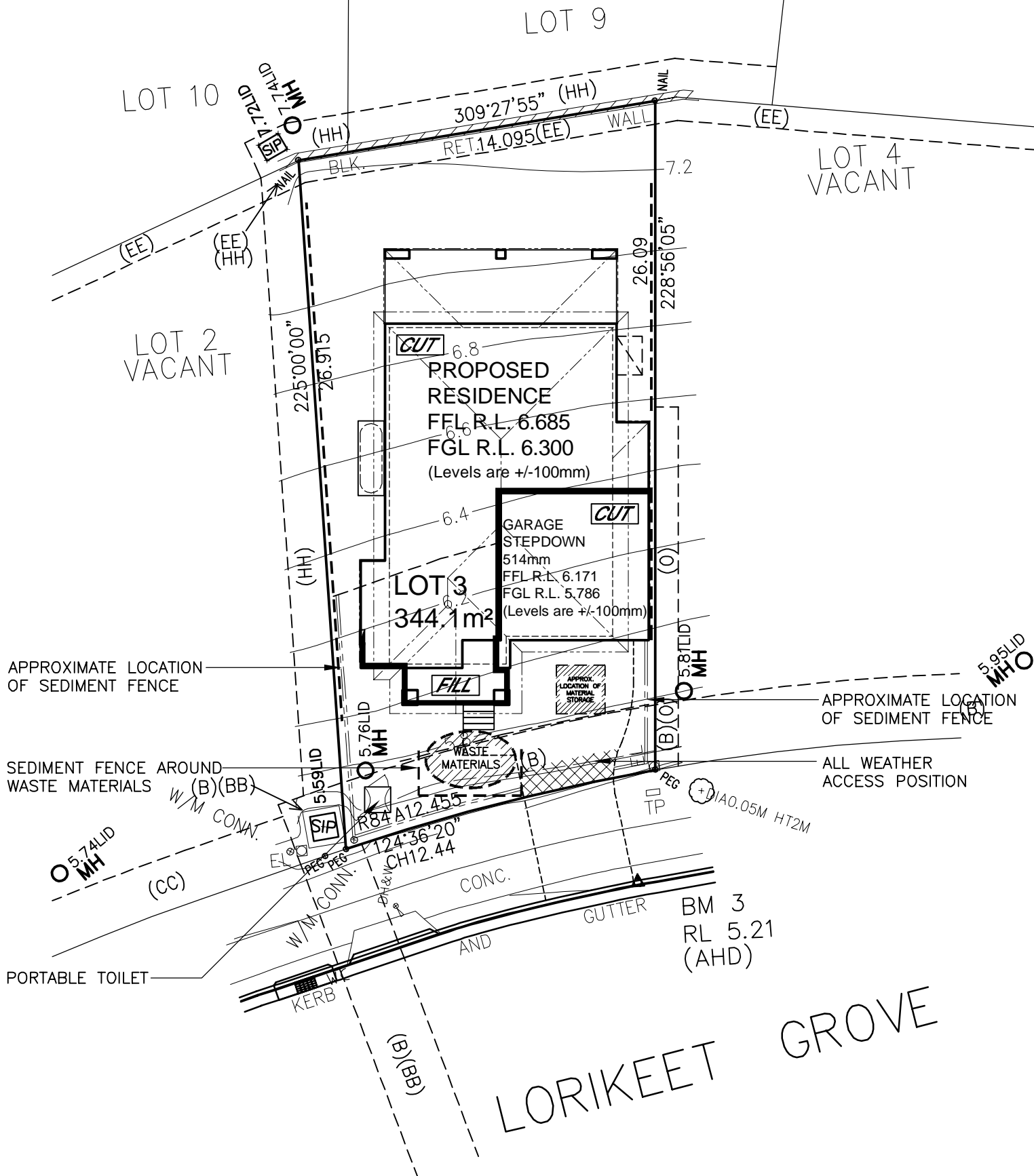
NORTH



- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
(BB) EASEMENT TO DRAIN WATER 2.5 WIDE
(CC) EASEMENT TO DRAIN WATER 2 WIDE
(EE) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE
(HH) EASEMENT TO DRAIN WATER 1.5 WIDE
(O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE

LOT 3
D.P: 270907
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16



LORIKEET GROVE

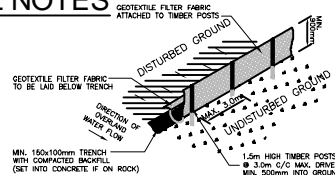
NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 26
Hamptons
R/H Garage

Sapphire Specification

CLIENT:
Mr. CARRAGHER
Mrs. CARRAGHER

SITE ADDRESS:
Lot 3 No.73, D.P: 270907
Lorikeet Grove
WARRIEWOOD 2102

DA DRAWINGS

| | | |
|----------------------|----------------------------|------------------|
| DRAWN: PG. | DATE: 26.11.19 | Rev: G |
| RATIO @ A3: 1:200 | CHECKED: J.S | |
| SHEET: 2.1 | JOB No: 29913970 | NSW |