GENERAL ABBREVIATIONS

apt#	apartment #
bal#	balustrade type #
bsn#	basin type #
bw	blockwork
ck	cooktop
cl	ceiling height
cos	check on site
cpd	cupboards
dp	downpipe
dpc	damp-proof course
dw	dishwasher
drw	drawers
edb	electrical distribution board
eg	eaves gutter
eng	engineer
ent	entry
ev	eaves vent
exg	existing
exist	existing
fcl	finished ceiling level
ffl	finished floor level
fw#	floor waste type #
gd	garage door
hr#	handrail type #
htr	hand towel rail
hws	hot water system
kp	kickplate
lb	letter box
m	mirror
mw#	microwave type #
mx	mixer tap
nom	nominal
ov	oven
pp	powerpoint
ps#	privacy screen
ref	refridgerator
rh	robe hook
rv	roof ventilator
sc	steel column
sk#	skylight #
snk#	sink type #
sp	solar panels
shwr	shower set
hc	tap external
tp#	tap type #
tr	towel rail
trh	toilet roll holder
w	window
wc#	toilet type #
wir	walk in rob

MATERIAL ABBREVIATIONS

cb	concrete blockwork
conc	concrete
cp	concrete pavers
cpt	carpet
wt#	wall tile type #
fb	facebrick
fc	fibre cement sheet
ft#	floor tile type #
lam#	laminate type #
lc#	lightweight cladding type #
mhd	metal hood
mrs	metal roof sheet
ms#	manufactured stone type #
pb	plasterboard
pbk	painted brickwork
pbw	plasterboard - water resistant
ply	marine grade plywood
pt	external paver
pu#	polyurethane finish type #
rb	rendered brickwork
rblk	rendered concrete blockwork
sb	sandstone blockwork
sf	stone flagging
ss	stainless steel
tdk	timber decking boards
tfb	timber floorboards
tmb	timber/hardwood as scheduled
tcld	timber cladding
tlv	timber louvres

Sheet List

MITCHELL TALLOWWOOD HOUSE

DEVELOPMENT APPLICATION
9 + 9A ROWAN STREET, MONA VALE

for
A. G. MITCHELL + C. B. TALLOWWOD

JANUARY, 2025

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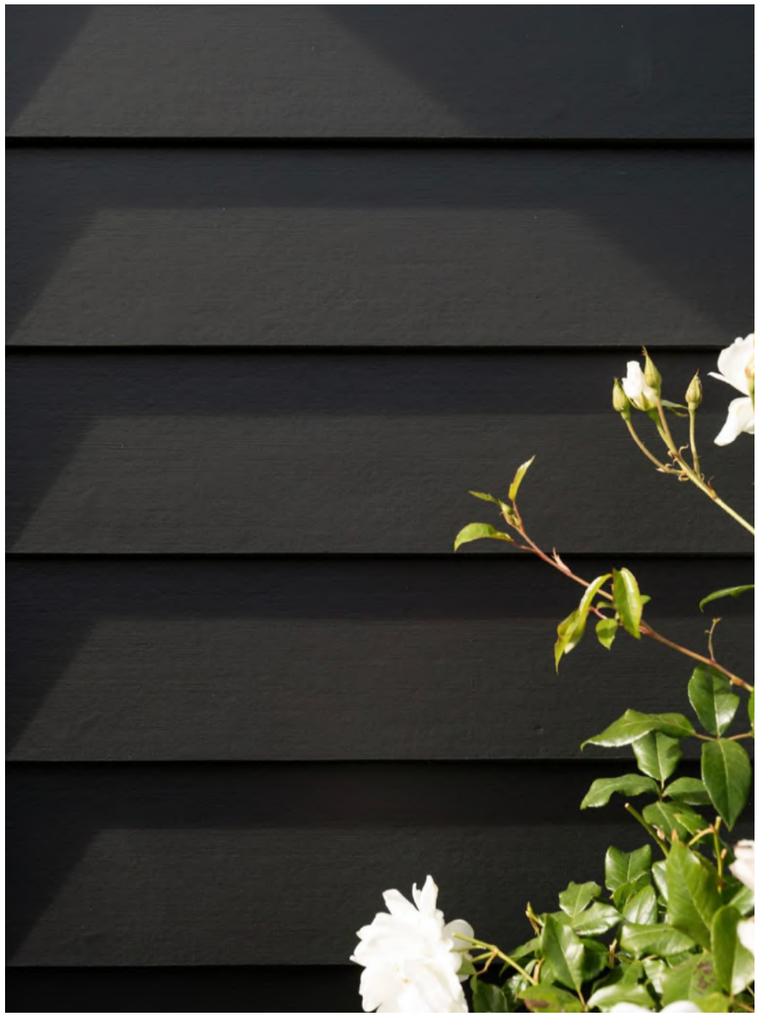

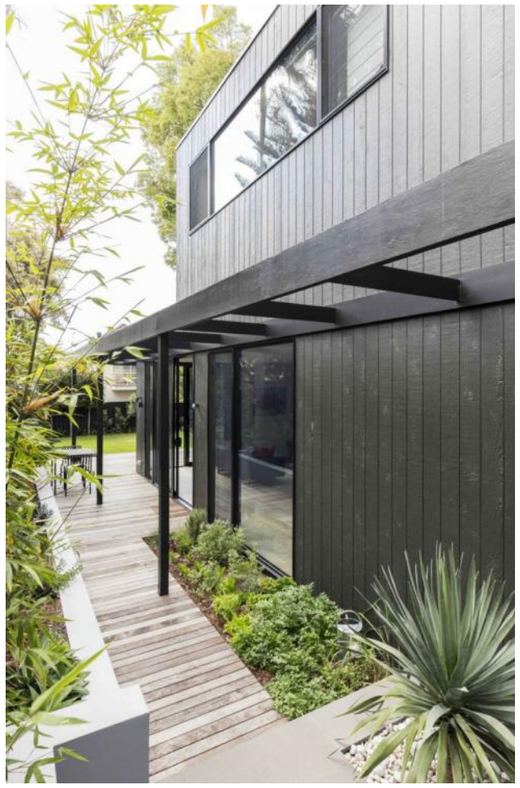

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ISSUE	DATE	AMENDMENT
3	26.11.24	CONCEPT 2 ISSUE 1
4	20.01.25	DA ISSUE 1

ADDRESS:
LOT 3 IN D.P 206600
9 ROWAN STREET, MONA VALE

SHEET TITLE:
EXTERIOR MOOD BOARD

DATE
20.01.25

CLIENT:
MITCHELL + TALLOWWOOD

SCALE:

PROJECT No:
2402

DWG No:
C-01

ISSUE
3

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ISSUE	DATE	AMENDMENT
3	26.11.24	CONCEPT 2 ISSUE 1
4	20.01.25	DA ISSUE 1

ADDRESS:
LOT 3 IN D.P 206600
9 ROWAN STREET, MONA VALE

CLIENT:
MITCHELL + TALLOWWOOD

SHEET TITLE:
EXTERIOR MOOD BOARD

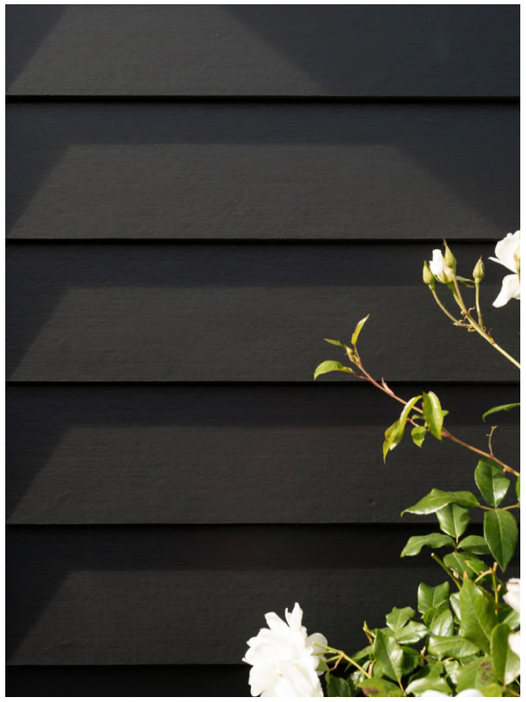
DATE: 20.01.25

SCALE:

PROJECT No: 2402

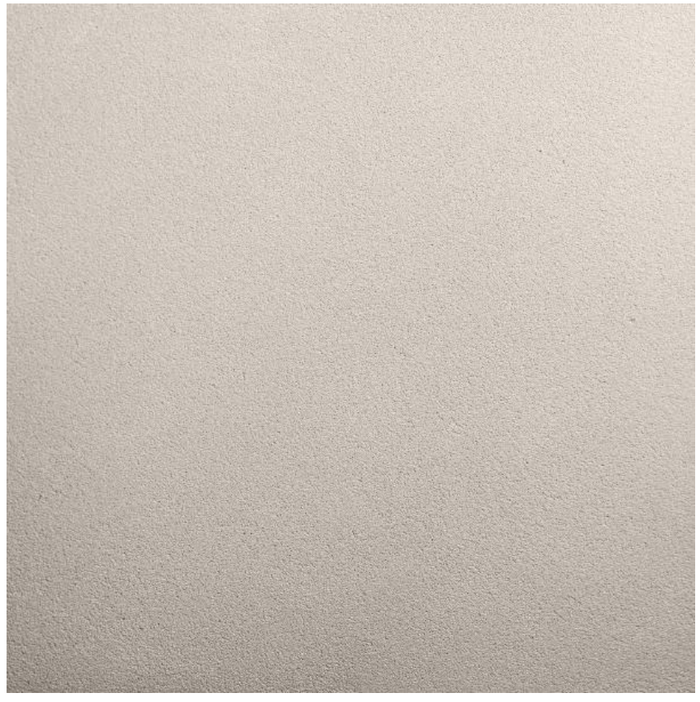
DWG No: C-02

ISSUE: 3

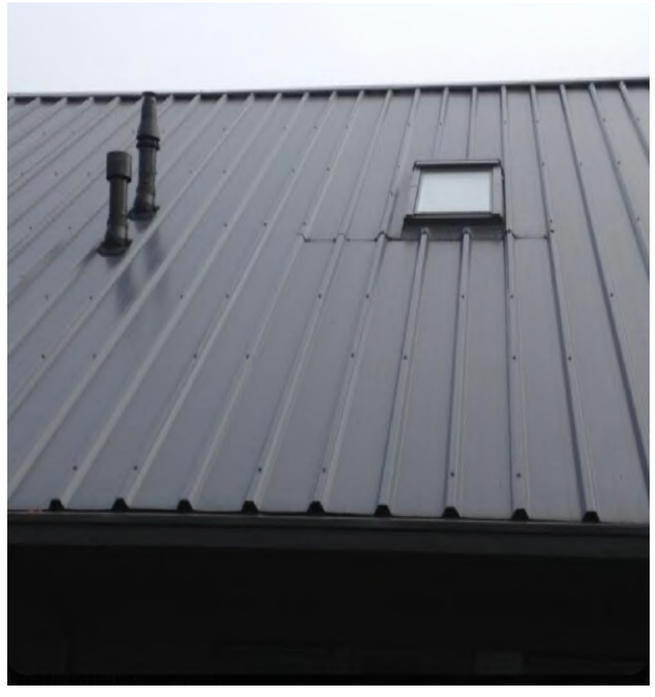


lc1 - James Hardie 180 LINEA cladding
DULUX KLAVIER

lc2 - James Hardie AXON 400 cladding
DULUX KLAVIER

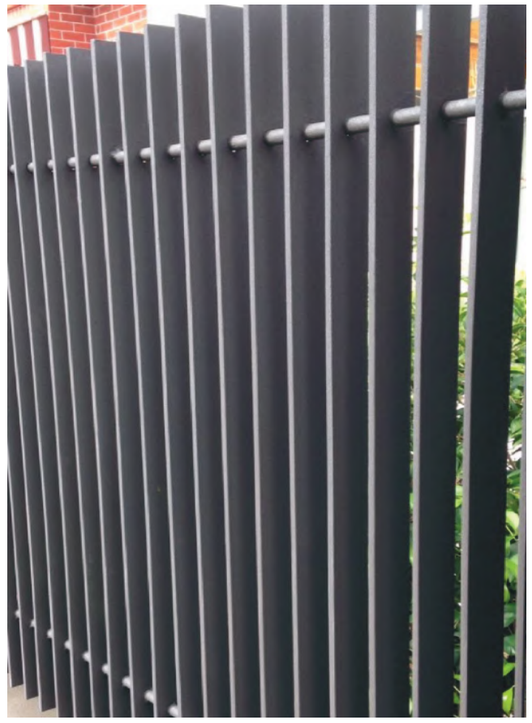


rb/rblk - rendered brickwork/blockwork
DULUX WHITE EXCHANGE HALF



mrs - Colorbond KLIP-LOK metal roof sheeting
COLORBOND MONUMENT

tmb - hardwood timber
SPOTTED GUM or similar



bal - spaced metal fencing
BLACK

example of fixtures - BLACK

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ISSUE	DATE	AMENDMENT
3	26.11.24	CONCEPT 2 ISSUE 1
4	20.01.25	DA ISSUE 1

ADDRESS:
LOT 3 IN D.P 206600
9 ROWAN STREET, MONA VALE

SHEET TITLE:
SCHEDULE OF FINISHES

DATE
20.01.25

CLIENT:
MITCHELL + TALLOWWOOD

SCALE:	PROJECT No:	DWG No:	ISSUE
	2402	C-03	3

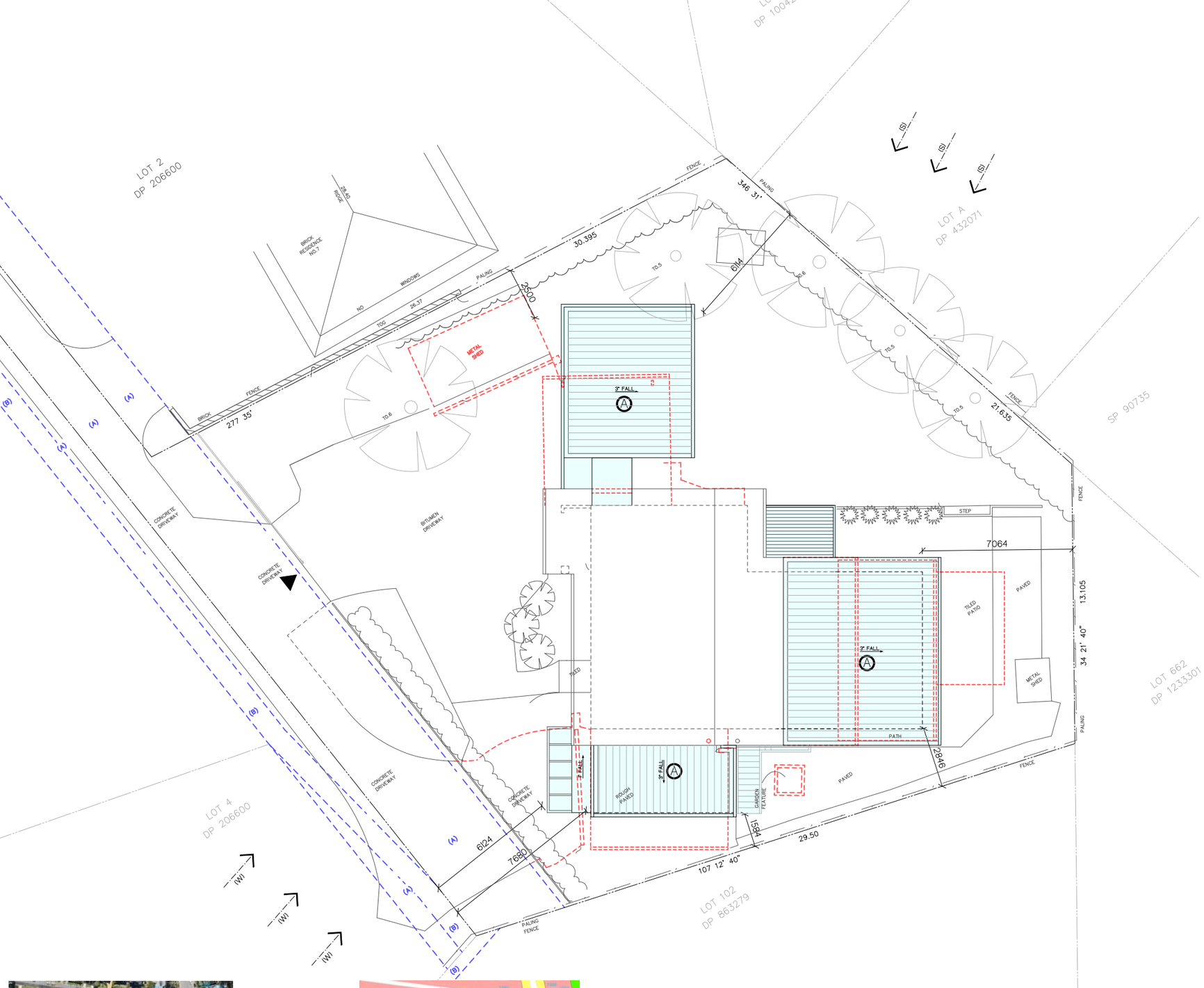
KEY

- CAR ENTRY POINT
- BOUNDARY
- TO BE DEMOLISHED
- EASEMENT
- (S) PREVAILING WINDS (summer)
- (W) PREVAILING WINDS (winter)
- W• WINDOW TO LIVING SPACE IN ADJACENT DWELLING
- 34 EXISTING CONTOURS SLOPE OF LAND
- ROAD NOISE
- (A) PROPOSED ALTERATIONS + ADDITIONS

PROPOSED WORKS

SITE CALCULATIONS

	Required	Proposed
Site Area (Total)	1141m2	
Site Area (excl. shared access handle)	879.7m2	
Setbacks -Dwelling (mm)		
-West (Front)	-	6124 min
-East (Rear)	6500	7064
-North (Side)	2500	2500 min
-South (Side)	1000	1585
EXISTING HARD SURFACE AREA	545.7m2	
PROPOSED HARD SURFACE AREA	516.2m2	
EXISTING LANDSCAPED AREA	341.7m2	
PROPOSED LANDSCAPED AREA	439.85m2	381.9m2



Aerial view of 9 Rowan Street, Mona Vale

Zoning Map of 9 Rowan Street, Mona Vale

0 1 2 4 10

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ISSUE	DATE	AMENDMENT
3	26.11.24	CONCEPT 2 ISSUE 1
4	20.01.25	DA ISSUE 1

ADDRESS: LOT 3 IN D.P 206600, 9 ROWAN STREET, MONA VALE

SHEET TITLE: SITE PLAN + ANALYSIS

DATE: 20.01.25

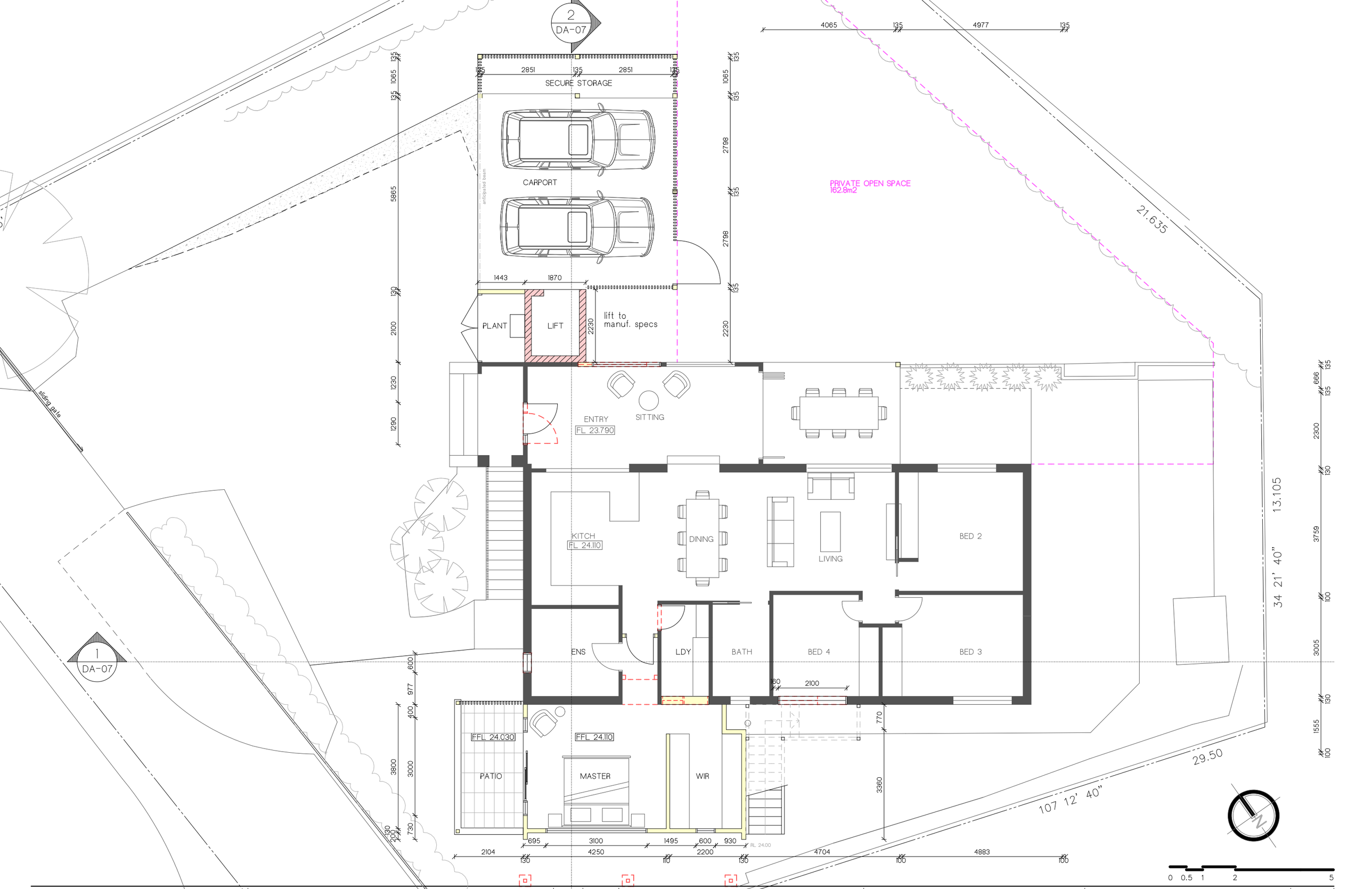
CLIENT: MITCHELL + TALLOWWOOD

SCALE: 1:200 @ A3

PROJECT No: 2402

DWG No: DA-01

ISSUE: 3



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4	20.01.25	DA ISSUE 1

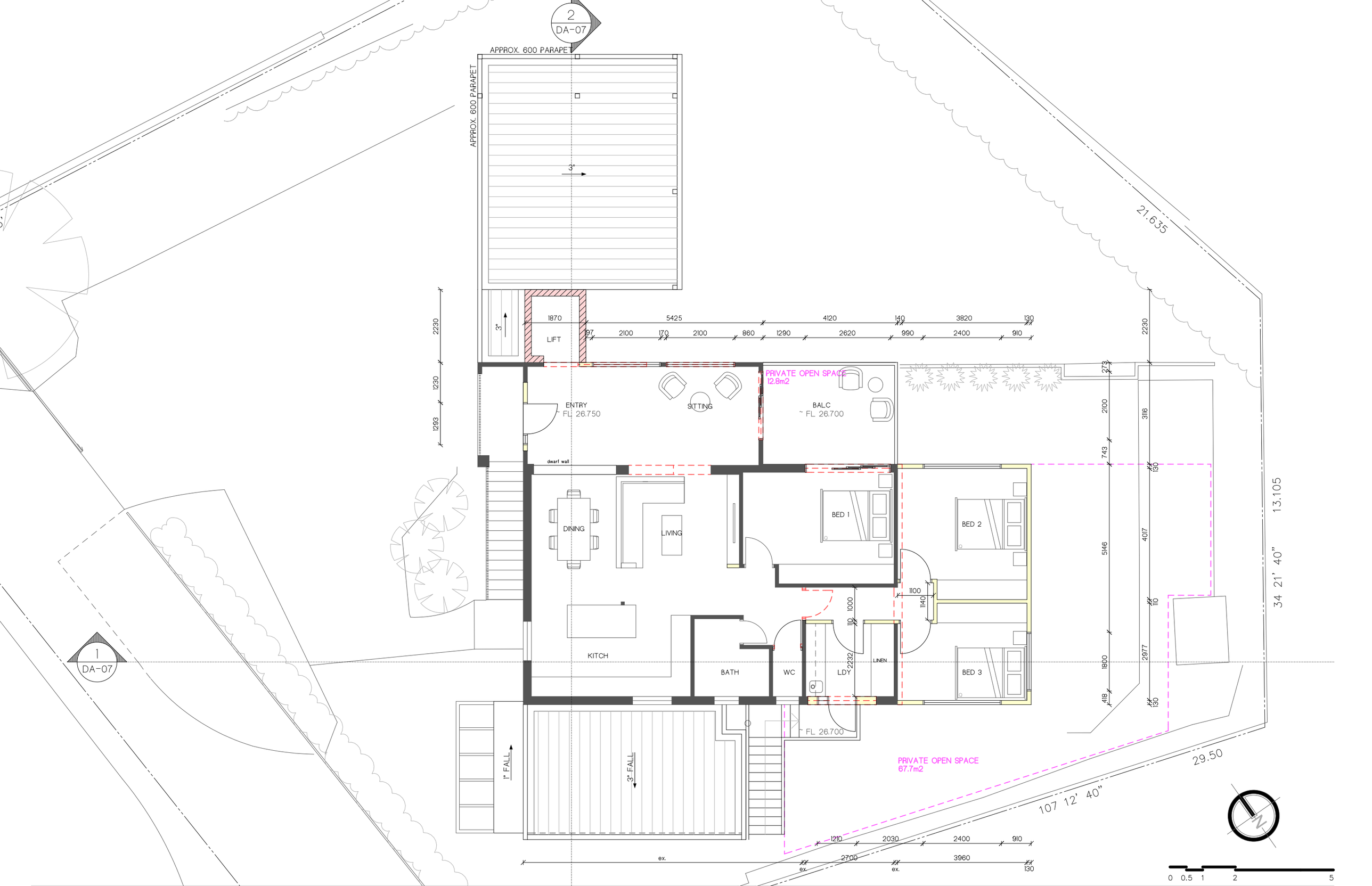
ADDRESS:
LOT 3 IN D.P 206600
9 ROWAN STREET, MONA VALE

CLIENT:
MITCHELL + TALLOWWOOD

SHEET TITLE:
GROUND FLOOR PLAN

DATE: 20.01.25

SCALE:	PROJECT No:	DWG No:	ISSUE
1:100 @ A3	2402	DA02	3



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3	26.11.24	CONCEPT 2 ISSUE 1
4	20.01.25	DA ISSUE 1

ADDRESS:
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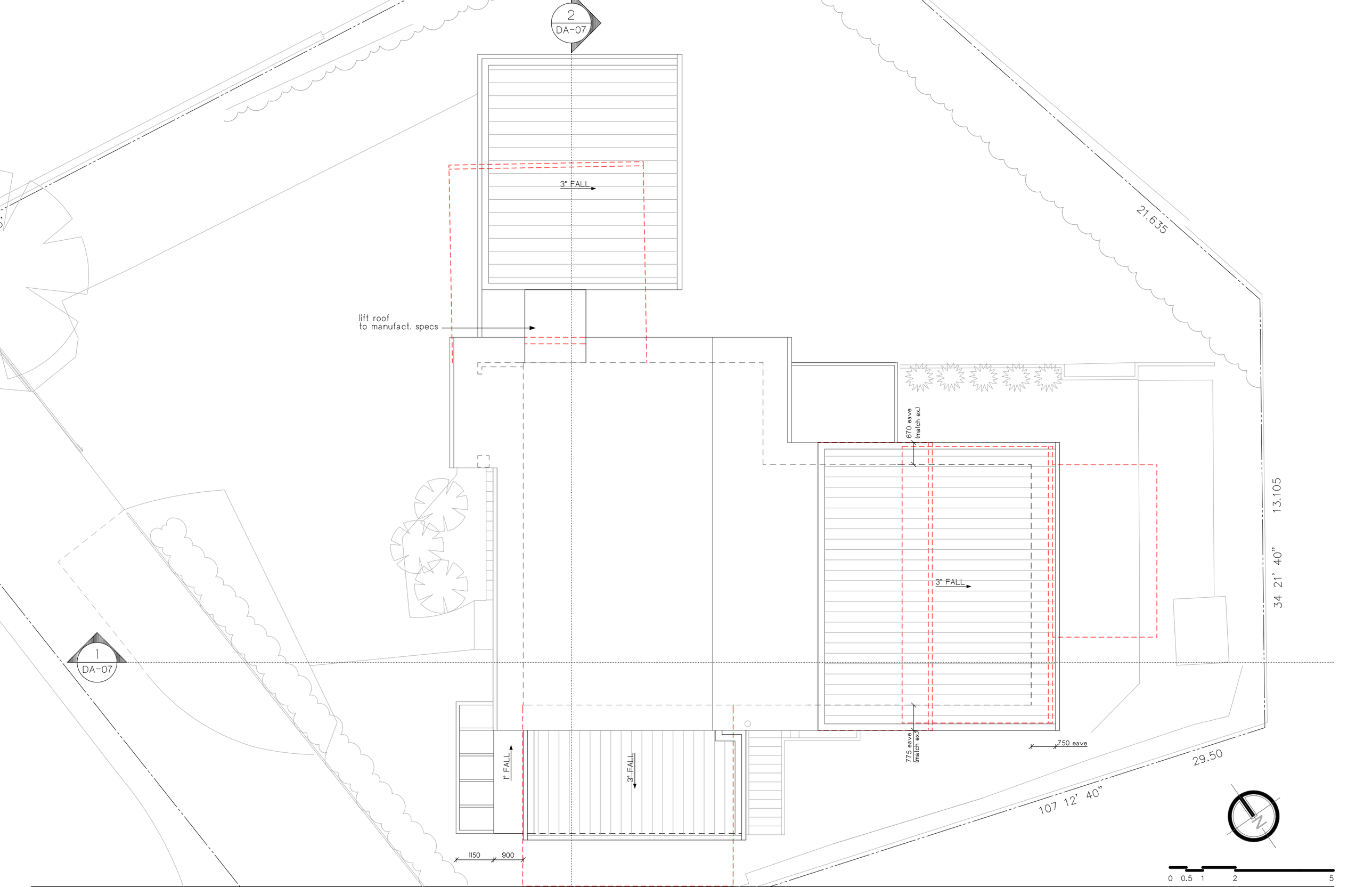
9 ROWAN STREET, MONA VALE

CLIENT:
MITCHELL + TALLOWWOOD

SHEET TITLE:
FIRST FLOOR PLAN

DATE: 20.01.25

SCALE:	PROJECT No:	DWG No:	ISSUE
1:100 @ A3	2402	DA-03	3



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4	20.01.25	DA ISSUE 1

ADDRESS:
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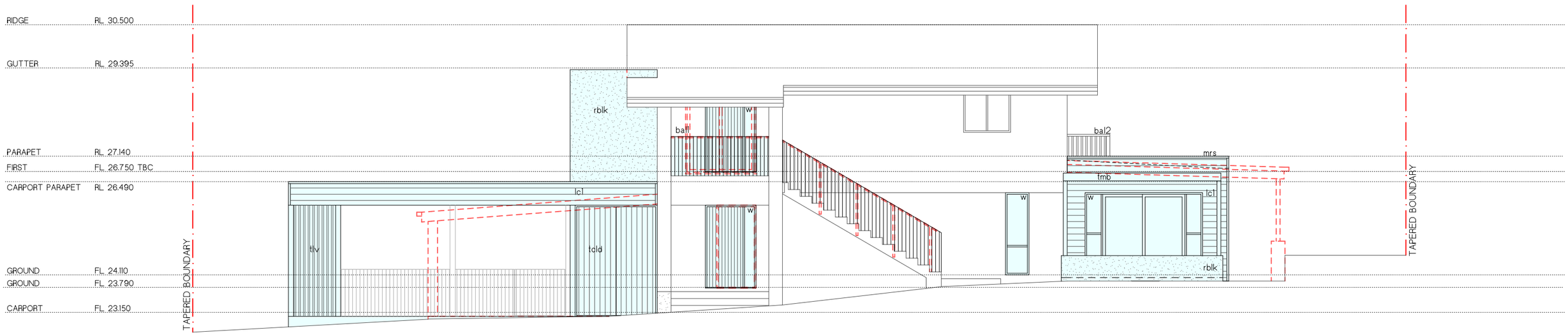
9 ROWAN STREET, MONA VALE

CLIENT:
MITCHELL + TALLOWWOOD

SHEET TITLE:
ROOF PLAN

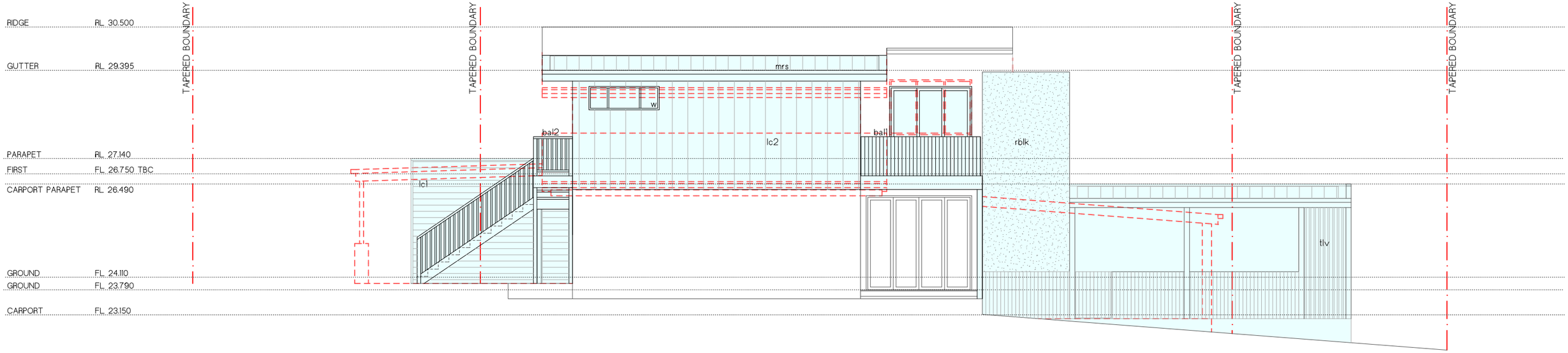
DATE
20.01.25

SCALE:	PROJECT No:	DWG No:	ISSUE
1:100 @ A3	2402	DA-04	3



WEST ELEVATION

Scale 1:100



EAST ELEVATION

Scale 1:100

0 0.5 1 2 5

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ISSUE	DATE	AMENDMENT
3	26.11.24	CONCEPT 2 ISSUE 1
4	20.01.25	DA ISSUE 1

ADDRESS:
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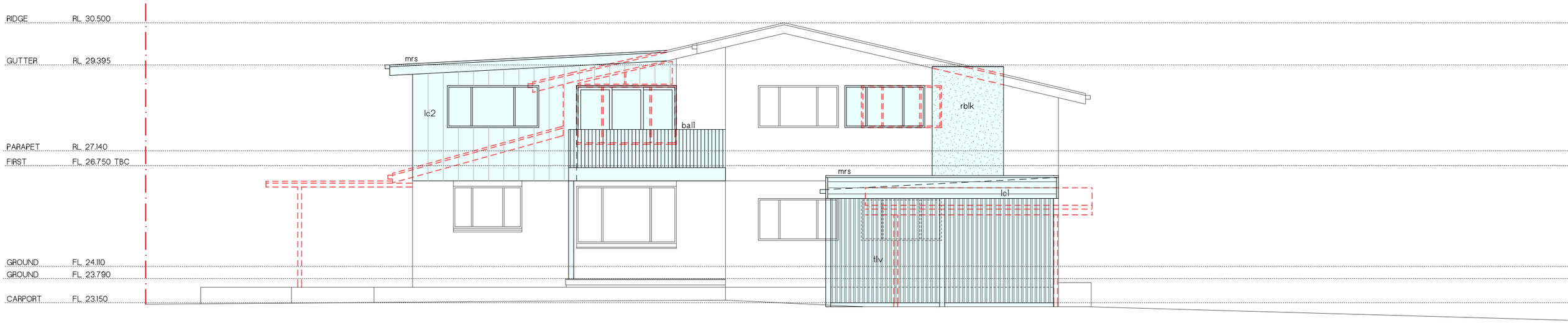
9 ROWAN STREET, MONA VALE

CLIENT:
MITCHELL + TALLOWWOOD

SHEET TITLE:
WEST + EAST ELEVATIONS

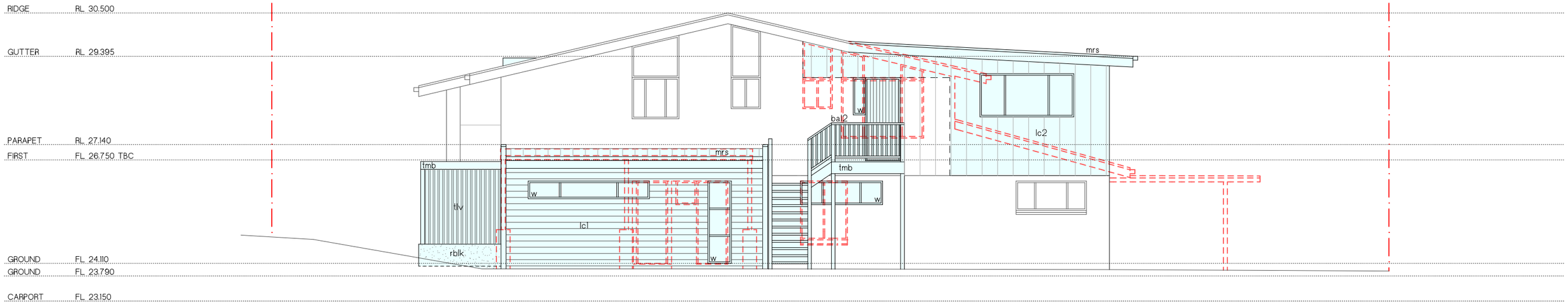
DATE
20.01.25

SCALE:	PROJECT No:	DWG No:	ISSUE
1:100 @ A3	2402	DA-05	3



NORTH ELEVATION

Scale 1:100



SOUTH ELEVATION

Scale 1:100

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ISSUE	DATE	AMENDMENT
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4	20.01.25	DA ISSUE 1

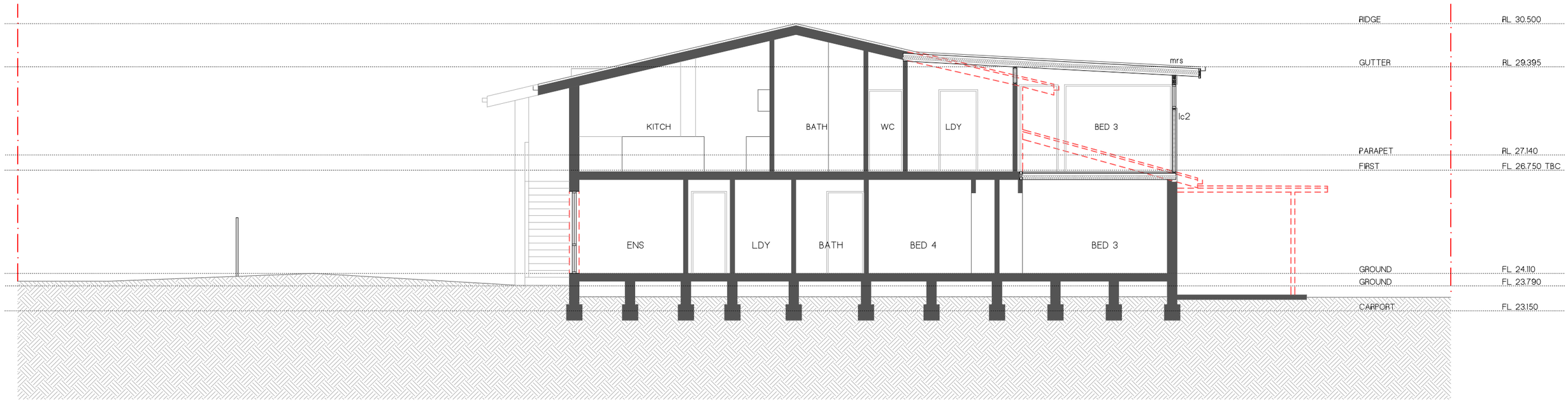
ADDRESS:
LOT 3 IN D.P 206600
9 ROWAN STREET, MONA VALE

CLIENT:
MITCHELL + TALLOWWOOD

SHEET TITLE:
NORTH + SOUTH ELEVATIONS

DATE
20.01.25

SCALE:	PROJECT No:	DWG No:	ISSUE
1:100 @ A3	2402	DA-06	3



SECTION 1

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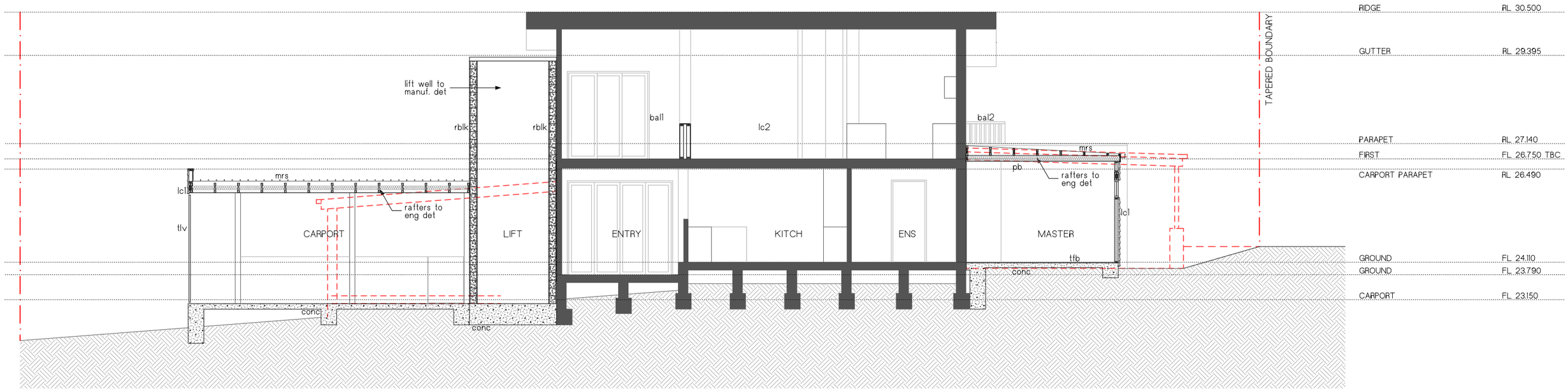

SECTION 2

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ADDRESS:
LOT 3 IN D.P 206600
9 ROWAN STREET, MONA VALE

CLIENT:
MITCHELL + TALLOWWOOD

SHEET TITLE:
SECTIONS

DATE
20.01.25

SCALE:	PROJECT No:	DWG No:	ISSUE
1:100 @ A3	2402	DA-07	3

Erosion & Sediment Control Plan (ESCP)

This drawing is in accordance with the requirements of the NSW Department of Land and Water Conservation's "Urban Erosion and Sediment Control" manual.

Any vehicle leaving the site must be washed down on the "Stabilised Site Entry" to remove any clay that may have become attached to the vehicle.

The road around the entry/exit site is to be swept at regular intervals to prevent sediment build up at the entry/exit point of the site.

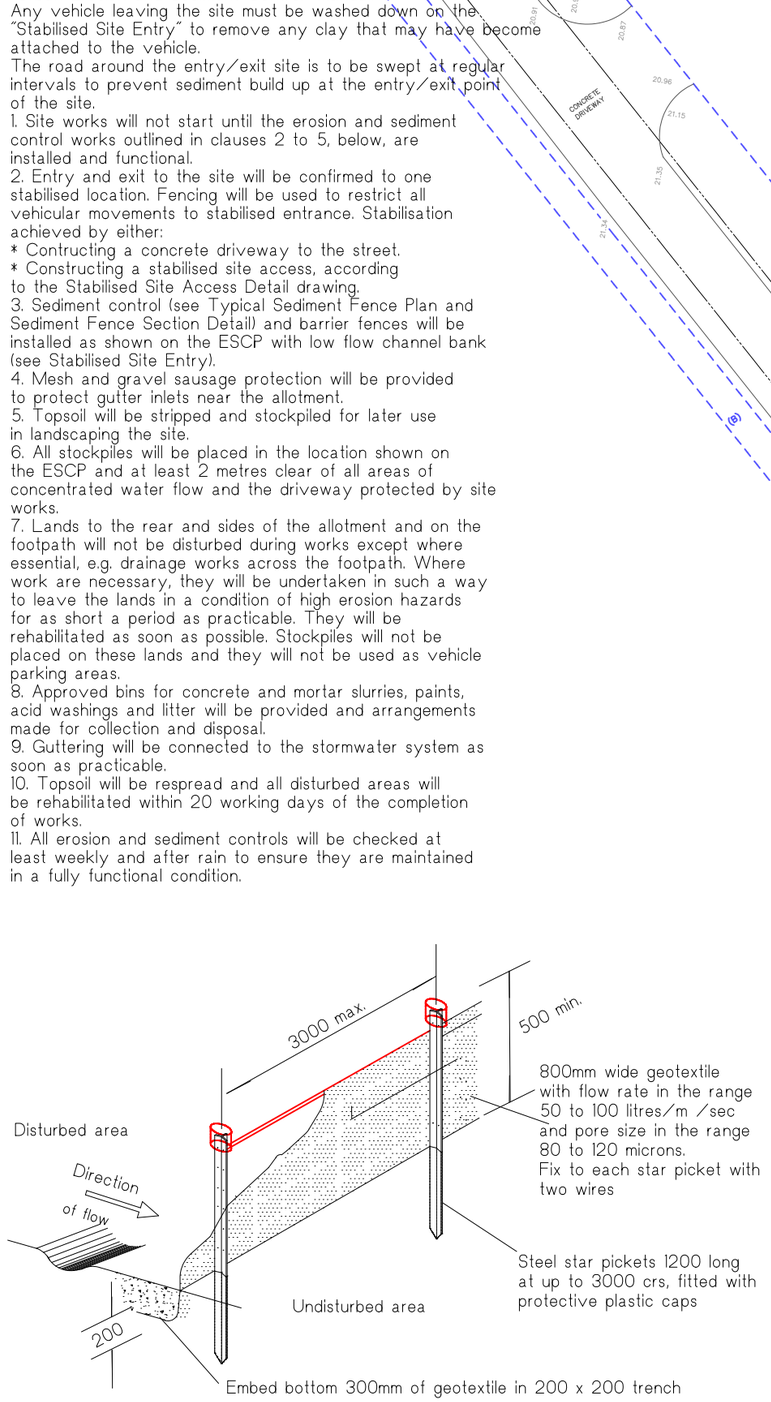
1. Site works will not start until the erosion and sediment control works outlined in clauses 2 to 5, below, are installed and functional.
2. Entry and exit to the site will be confirmed to one stabilised location. Fencing will be used to restrict all vehicular movements to stabilised entrance. Stabilisation achieved by either:
   * Contructing a concrete driveway to the street.
   * Constructing a stabilised site access, according to the Stabilised Site Access Detail drawing.
3. Sediment control (see Typical Sediment Fence Plan and Sediment Fence Section Detail) and barrier fences will be installed as shown on the ESCP with low flow channel bank (see Stabilised Site Entry).
4. Mesh and gravel sausage protection will be provided to protect gutter inlets near the allotment.
5. Topsoil will be stripped and stockpiled for later use in landscaping the site.
6. All stockpiles will be placed in the location shown on the ESCP and at least 2 metres clear of all areas of concentrated water flow and the driveway protected by site works.
7. Lands to the rear and sides of the allotment and on the footpath will not be disturbed during works except where essential, e.g. drainage works across the footpath. Where work are necessary, they will be undertaken in such a way to leave the lands in a condition of high erosion hazards for as short a period as practicable. They will be rehabilitated as soon as possible. Stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.
8. Approved bins for concrete and mortar slurries, paints, acid washings and litter will be provided and arrangements made for collection and disposal.
9. Guttering will be connected to the stormwater system as soon as practicable.
10. Topsoil will be respread and all disturbed areas will be rehabilitated within 20 working days of the completion of works.
11. All erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.

Site Access

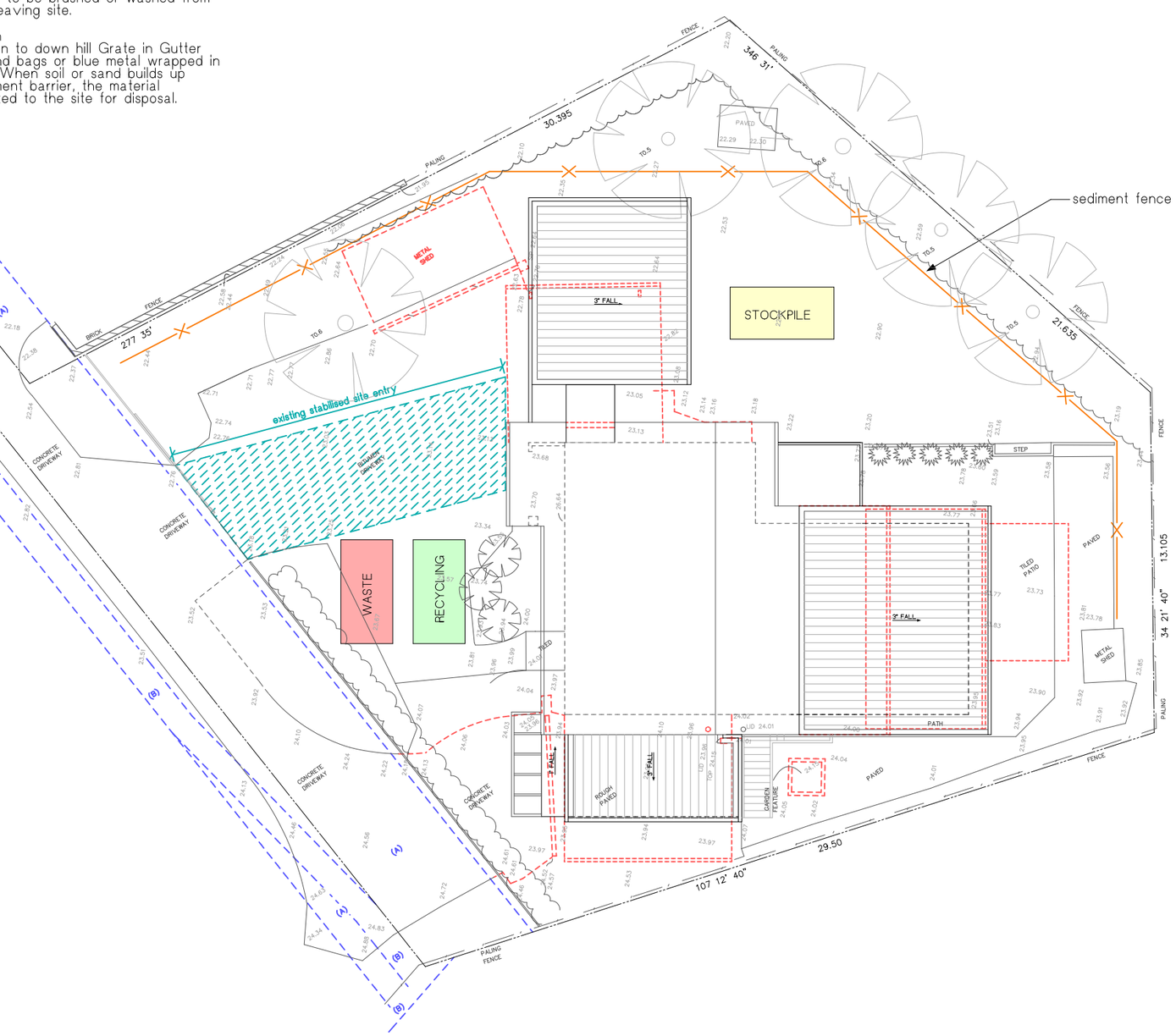
Vehicular access to the site must be via a single entry point that is stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud, clay, concrete washing, paint or similar materials must be removed from the roadway, by means other than washing, on a daily basis. All clay or similar to be brushed or washed from vehilces before leaving site.

Gutter Protection

Provide protection to down hill Grate in Gutter by means of Sand bags or blue metal wrapped in geotextle fabric. When soil or sand builds up around this sediment barrier, the material should be relocated to the site for disposal.



GEOFABRIC SEDIMENT FENCE
NOT TO SCALE



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ISSUE	DATE	AMENDMENT
3	26.11.24	CONCEPT 2 ISSUE 1
4	20.01.25	DA ISSUE 1

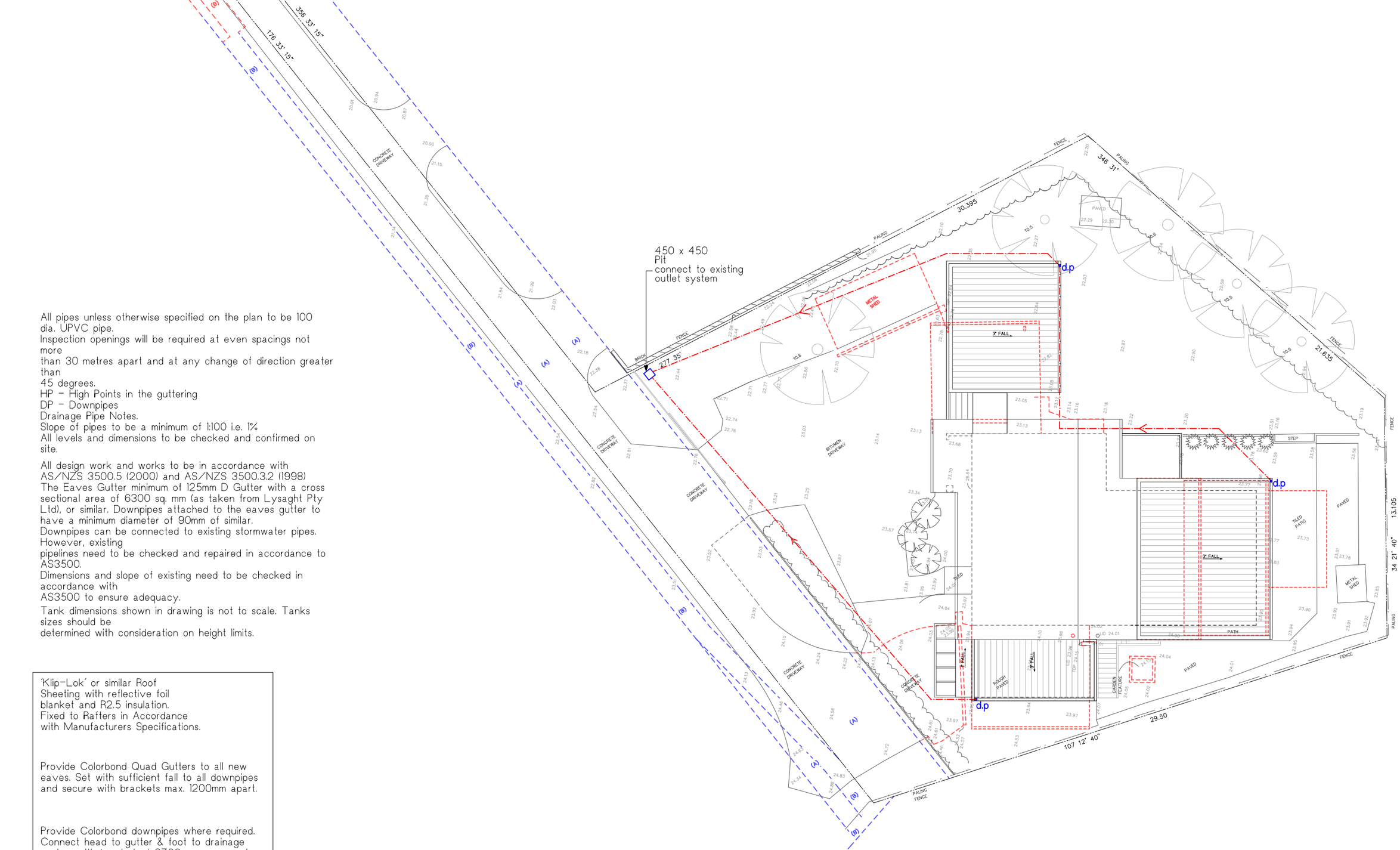
ADDRESS:
LOT 3 IN D.P 206600
9 ROWAN STREET, MONA VALE

CLIENT:
MITCHELL + TALLOWWOOD

SHEET TITLE:
EROSION + SEDIMENT CONTROL PLAN

DATE: 20.01.25

SCALE:	PROJECT No:	DWG No:	ISSUE
1:200 @ A3	2402	DA-08	3



All pipes unless otherwise specified on the plan to be 100 dia. UPVC pipe.
Inspection openings will be required at even spacings not more
than 30 metres apart and at any change of direction greater than
45 degrees.
HP – High Points in the guttering
DP – Downpipes
Drainage Pipe Notes.
Slope of pipes to be a minimum of 1:100 i.e. 1%
All levels and dimensions to be checked and confirmed on site.

All design work and works to be in accordance with AS/NZS 3500.5 (2000) and AS/NZS 3500.3.2 (1998)
The Eaves Gutter minimum of 125mm D Gutter with a cross sectional area of 6300 sq. mm (as taken from Lysaght Pty Ltd), or similar. Downpipes attached to the eaves gutter to have a minimum diameter of 90mm of similar.
Downpipes can be connected to existing stormwater pipes. However, existing
pipelines need to be checked and repaired in accordance to AS3500.
Dimensions and slope of existing need to be checked in accordance with
AS3500 to ensure adequacy.
Tank dimensions shown in drawing is not to scale. Tanks sizes should be
determined with consideration on height limits.

'Klip-Lok' or similar Roof
Sheeting with reflective foil
blanket and R2.5 insulation.
Fixed to Rafters in Accordance
with Manufacturers Specifications.

Provide Colorbond Quad Gutters to all new eaves. Set with sufficient fall to all downpipes and secure with brackets max. 1200mm apart.

Provide Colorbond downpipes where required. Connect head to gutter & foot to drainage system with bracketsat 2700mm max. spacing with a minimum of 2 brackets.
All new downpipes are to be connected to the existing stormwater system, that discharges to an existing Council stormwater Collection system.

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CLIENT:
MITCHELL + TALLOWWOOD

SHEET TITLE:
STORMWATER DRAINAGE PLAN

DATE
20.01.25

SCALE:	PROJECT No:	DWG No:	ISSUE
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example of Red Tips Lilly Pilly

existing landscaping to retained + enhanced

LANDSCAPE NOTES

PRESERVATION OF EXISTING TREES
Existing levels to be retained within the critical root zone of all trees remaining as per the Landscape plan. In any excavation, refer to arborist report for direction

PREPERATION OF GARDEN BEDS
Cultivate garden beds for new plants to a depth of 300mm. Incorporate imported 'greenlife' soil conditioner from Australian native landscapes (or equivalent) with existing soil when planting. Do not cultivate soil beneath existing trees to be retained, Mulch to be 'horticultural grade' pine bark by Australian native landscapes (or equivalent) and installed to a depth of 75mm to all garden beds, covering mulch down around plant stems and finish flush with adjacent surfaces.

SOIL PREPERATION
Where earthworks have occured, the contractor is to ensure any stockpiled topsoil is free of unwanted matter such as rocks, clay lumps, tree roots, builder's rubbish and any material toxic to plants.

PLANTING
Purchase plants from an approved nursery. Plants to be healthy and true to type and species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug twice the width and to be 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertilise, followed by 100mm depth of topsoil mix placed into base of hole and lightly consolidated. Base of hole shall then be watered.
Remove plant container and install into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be firmed to contain water around the base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed, plant shall be thoroughly watered and maintained for the duration of the contract.
All trees and large shrubs shall be staked using 2 x 38mm x 38mm x 200mm long hardwood stakes per plant and secured with hessian webbing ties installed to contractor's on site instructions.

MAINTENANCE
Carry out the following tasks for a twelve month period from the date of practical completion:
-weeding of all garden beds
-rubbish removal
-fertilising to achieve optimal growth
-pest and disease control
-adjustment of ties and stakes
-replace failed planting
-pruning and hedge clipping of plants
-reinstatement of mulch to specified depth

PLANT SCHEDULE					
SYMBOL	BOTANIC NAME	COMMON NAME	HEIGHT x WIDTH	No.	POT SIZE
HEDGE					
AS	ACMENA SMITHII	RED TIPS LILLY PILLY	3.0m x 3.0m	6	250mm

Red Tips Lilly Pilly Description-

A showy, tall, dense and fast growing Lily Pilly shrub which topiaries. It has smaller, narrower leaves than other Lily growth and masses of fluffy white flowers in Summer. Grows

SITE CALCULATIONS

	Required	Proposed
Site Area	879.7m2 (shared access handle excluded)	
EXISTING LANDSCAPED AREA	341.7m2 or 38.9%	
PROPOSED LANDSCAPED AREA	439.85m2 or 50%	381.9m2 or 43.4%

LANDSCAPING/TREES

SOFTSCAPE AREA

0 1 2 4 10

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