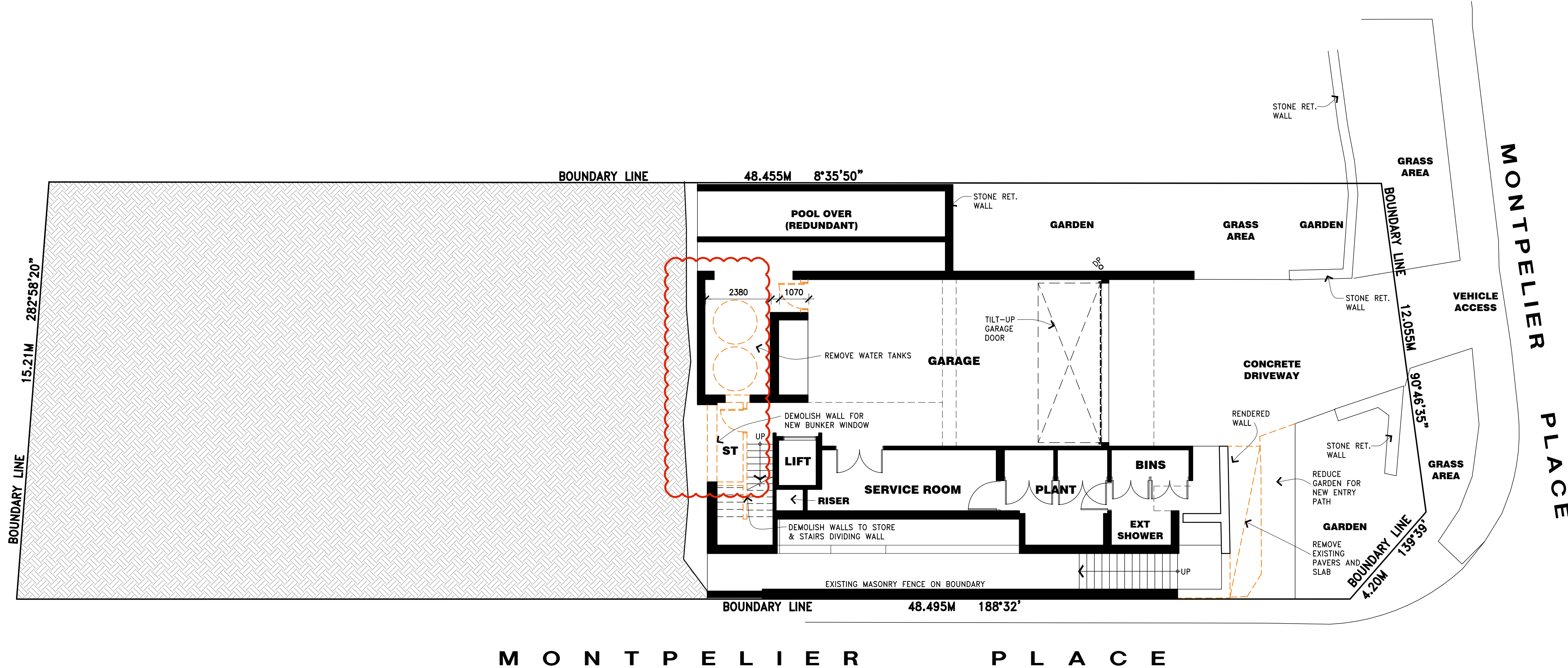


**GROUND FLOOR-
EXISTING AND DEMOLITION PLAN**

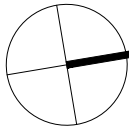



**LOWER GROUND FLOOR-
EXISTING AND DEMOLITION PLAN**



KEY
 ——— EXISTING WALLS TO BE RETAINED
 - - - - - EXISTING WALL / ELEMENTS TO BE DEMOLISHED


**AMENDMENT TO DA
12/11/2020**

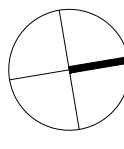

A RW 12/11/20 Demolition alterations as shown to agree with architectural changes		
Rev	By	Date
Amendment Details		
Amendments		
General Notes		
THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS'S DRAWINGS AND SPECIFICATIONS AND WITH SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. THE BUILDER SHALL CHECK ALL DIMENSIONS AT THE JOB AND SHALL REFER ALL DISCREPANCIES TO THE ARCHITECT BEFORE THE WORK PROCEEDS. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS, INCLUDING AMENDMENTS OF THE RELEVANT SAA STANDARDS AND SAA CODES OF PRACTICE EXCEPT AS VARYED BY THE CONTRACT DOCUMENTS AND BY THE LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES. SUBSTITUTIONS ARE TO BE ONLY WITH THE APPROVAL OF THE ARCHITECT.		
Project		
KELLEHER RESIDENCE 12 MONTEPELIER PLACE MANLY		
Proprietor		
JOHN & CHRISTINE KELLEHER		
Drawing Title		
EXISTING AND DEMOLITION PLANS		
North		
		
Drawn		
HDH/YJ		
Date		
SEPTEMBER 2019		
Scale		
1:100		
Filename		
Job No		
1908		
Drawing No		
DA EX01		
Revision		
A		
		
ILARIO G. CORTESE ARCHITECTS PTY LTD Suite 5 681 Burke Road Camberwell Victoria 3124 p. +613 9815 1727 e. info@cortesearchitects.com.au		

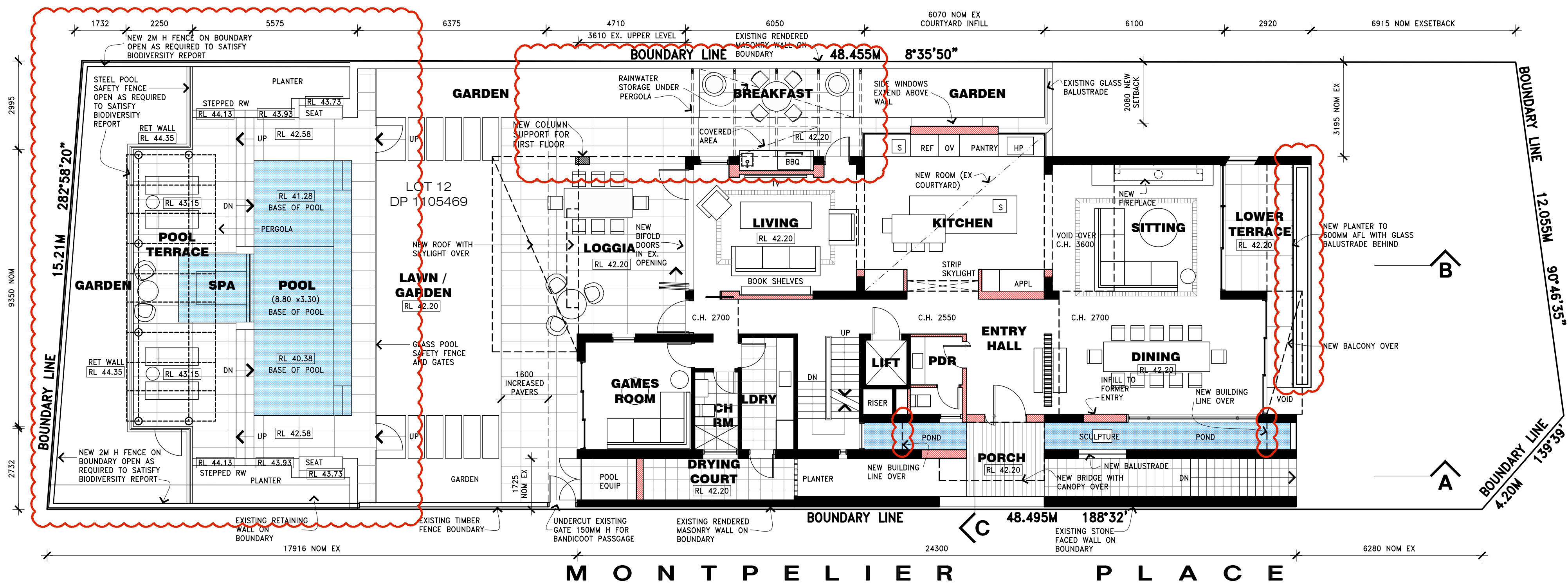


FIRST FLOOR- EXISTING AND DEMOLITION PLAN



 EXISTING WALLS TO BE RETAINED
 EXISTING WALL / ELEMENTS TO BE DEMOLISHED

A Rm 12/11/20 Demolition alterations as shown to agree with architectural changes		
Rev By	Date	Amendment Details
Amendments		
General Notes		
<p>THESE DRAWINGS HAVE BEEN READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS AND WITH SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. THE BUILDER SHALL CHECK ALL DIMENSIONS AT THE JOB AND SHALL REFER ALL DISCREPANCIES TO THE ARCHITECT BEFORE THE WORK PROCEEDS. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS, INCLUDING AMENDMENTS OF THE RELEVANT SAA STANDARDS AND SAA CODES OF PRACTICE EXCEPT AS VARYED BY THE CONTRACT DOCUMENTS AND BY THE LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES. SUBSTITUTIONS ARE TO BE ONLY WITH THE APPROVAL OF THE ARCHITECT.</p>		
Project		
KELLEHER RESIDENCE		
12 MONTPELIER PLACE		
MANLY		
Proprietor		
JOHN & CHRISTINE KELLEHER		
Drawing Title		
EXISTING AND DEMOLITION		
ELEVATIONS		
North	Drawn	HDH/MJ
	Date	SEPTEMBER 2019
	Scale	1:100
	Filename	
Job No.	Drawing No.	Revision:
1908	DA EX02	A
		
ILARIO G. CORTESE ARCHITECTS PTY LTD Suite 5 881 Burke Road Camberwell Victoria 3124 p +613 9813 1727 e info@corteseearchitects.com.au		



**GROUND FLOOR-
PROPOSED PLAN**

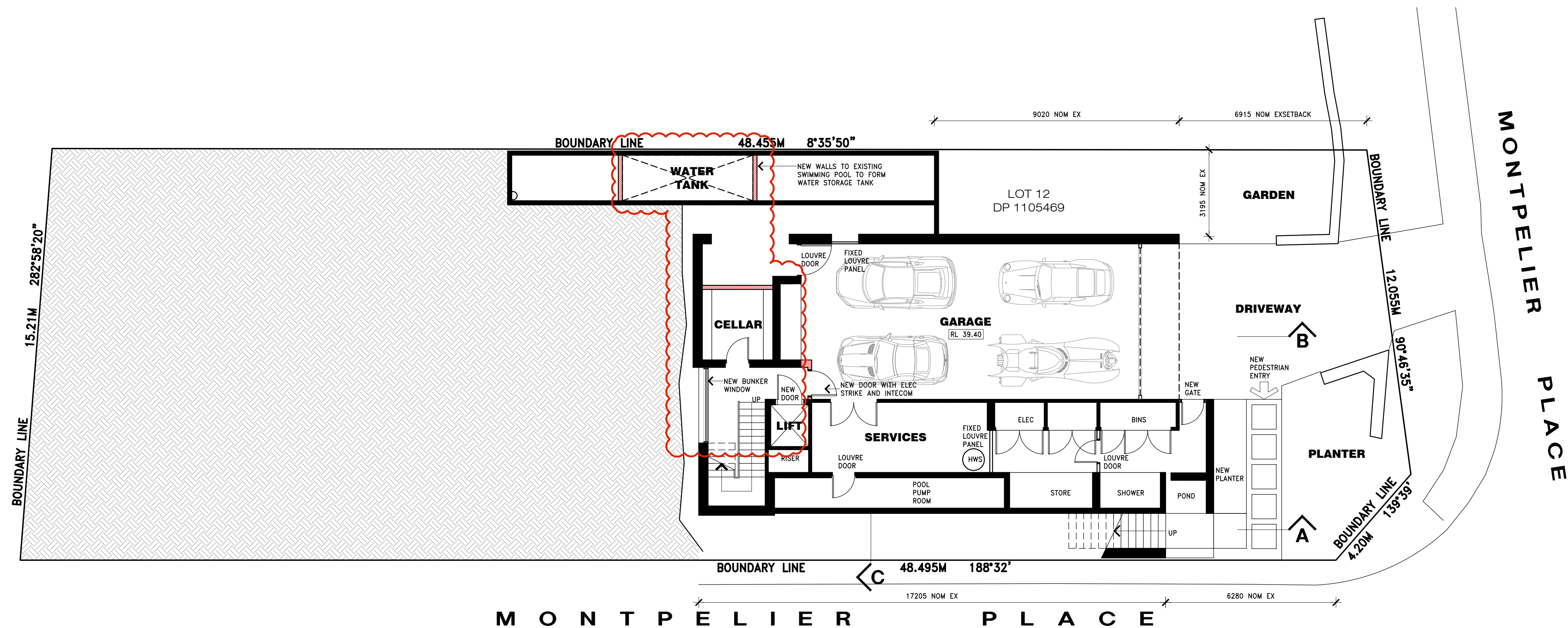
SITE DETAILS
(IN ACCORDANCE WITH AREA OS3 REQUIREMENTS)

SITE AREA	752.8m ²	-
REQUIREMENT	SIZE	PERCENTAGE
GROSS FLOOR AREA	335.2m ²	44.5%
TOTAL OPEN SPACE	532.5m ²	70.8%
LANDSCAPED AREA	237.8m ²	44.7% (of TOS)

KEY

	EXISTING WALLS TO BE RETAINED
	NEW WALLS

**AMENDMENT TO DA
04/12/2020**



**LOWER GROUND FLOOR-
PROPOSED PLAN**

Rev	By	Date	Amendment Details
A	RW	12/11/20	Cellar added Water storage in ex pool Planter added to front of existing terrace BBQ relocated adj Breakfast Loggia /support for first floor S/W corner changed Pool and terrace redesign

General Notes

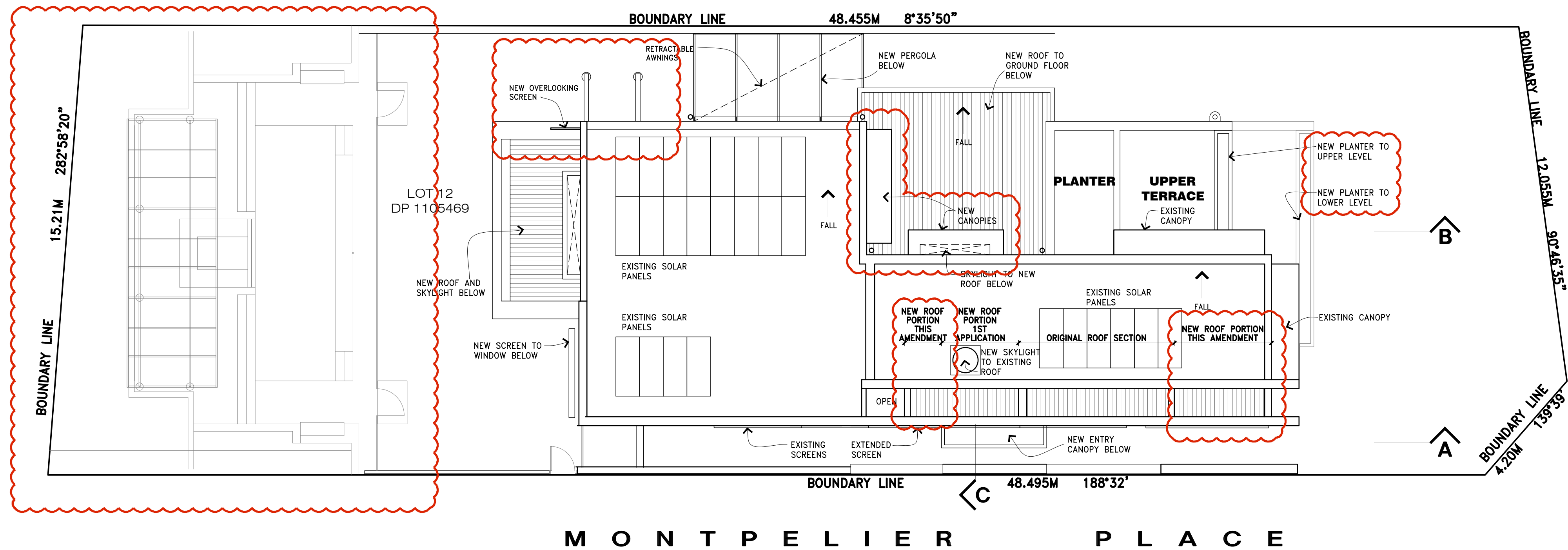
THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. THE BUILDER SHALL CHECK ALL DIMENSIONS AT THE JOB AND SHALL REFER ALL DISCREPANCIES TO THE ARCHITECT BEFORE THE WORK PROCEEDS. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS, INCLUDING AMENDMENTS OF THE RELEVANT SAA STANDARDS AND SAA CODES OF PRACTICE EXCEPT AS VARYED BY THE CONTRACT DOCUMENTS AND BY THE LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES. SUBSTITUTIONS ARE TO BE ONLY WITH THE APPROVAL OF THE ARCHITECT.

Project
KELLEHER RESIDENCE
12 MONTEPELIER PLACE
MANLY

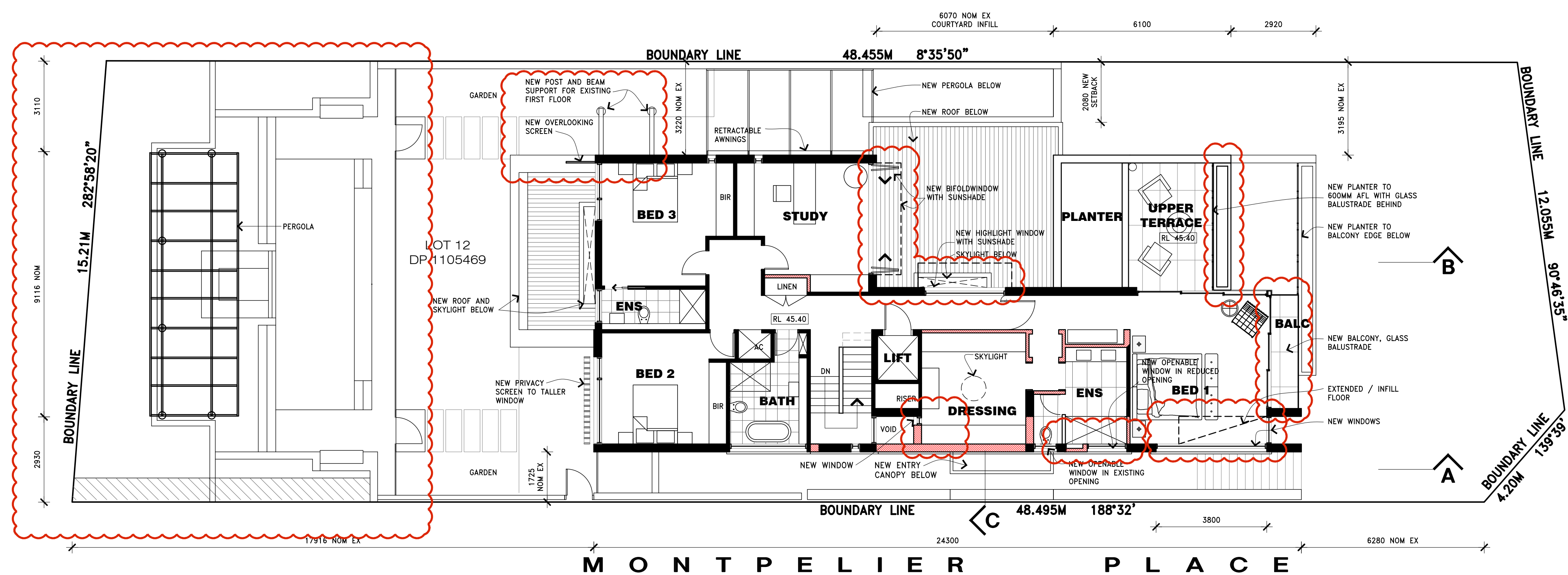
Proprietor
JOHN & CHRISTINE KELLEHER

Drawing Title
PROPOSED PLANS
LOWER GROUND AND GROUND

North	Drawn	RW
Date	SEPTEMBER 2019	
Scale	1:100	
Filename		
Job No	1908	
Drawing No	DA02	
Revision	A	



PROPOSED ROOF PLAN





FIRST FLOOR- PROPOSED PLAN

MONTPELLIER
PLACE



MONTPELLIER
PLACE

KEY

 EXISTING WALLS TO BE RETAINED

 NEW WALLS

AMENDMENT TO DA
12/11/2020

A	RW	12/11/20	<p>Cellor added</p> <p>Water storage in ex pool</p> <p>Planter added to front of existing terrace</p> <p>BRI relocated off breakfast</p> <p>Loggia /support for first floor 5/W corner changed</p> <p>Pool and terrace redesign</p>
Rev	By	Date	Amendment Details
Amendments			
<p>General Notes</p> <p>THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS AND WITH SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. THE BUILDER SHALL CHECK ALL DIMENSIONS AT THE JOB AND SHALL REFER ALL DISCREPANCIES TO THE ARCHITECT BEFORE THE WORK PROCEEDS. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS, INCLUDING AMENDMENTS OF THE RELEVANT SAA STANDARDS AND SAA CODES OF PRACTICE EXCEPT AS VARYED BY THE CONTRACT DOCUMENTS AND BY THE LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES. SUBSTITUTIONS SHALL BE ONLY WITH THE APPROVAL OF THE ARCHITECT.</p>			
<p>Project</p> <p>KELLEHER RESIDENCE</p> <p>12 MONTEPELIER PLACE</p> <p>MANLY</p> <p>Proprietor</p> <p>JOHN & CHRISTINE KELLEHER</p> <p>Drawing Title</p> <p>PROPOSED PLANS</p> <p>FIRST AND ROOF / SITE</p>			
North		<p>Drawn</p> <p>RW</p> <p>Date</p> <p>SEPTEMBER 2019</p> <p>Scale</p> <p>1:100</p> <p>Filename</p>	
			
Job No	Drawing No	Revision	
1908	DA03	A	
			
<p>ILARIO G. CORTESE ARCHITECTS PTY LTD</p> <p>Suite 5 681 Burke Road Camberwell</p> <p>Victoria 3124 p +61 9833 1727 e info@cortesearchitects.com.au</p>			



A/RW 22/9/20	Planter added to front edge of upper and lower balconies	
	Balcony added to front of master bedroom	
	Window added to east elevation	
	Window added to west elevation	
	BBQ relocated adj. Breakfast	
	Lagging /support for first floor S/W corner	changed
	Fence added around pool terrace	
	Pool and safety fencing redesign	

Rev	By	Date	Amendment Details
-----	----	------	-------------------

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. THE BUILDER SHALL CHECK ALL DIMENSIONS AT THE JOB AND SHALL REFER ALL DISCREPANCIES TO THE ARCHITECT BEFORE THE WORK PROCEEDS. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS, INCLUDING AMENDMENTS OF THE RELEVANT SAA STANDARDS AND SAA CODES OF PRACTICE EXCEPT AS VARYED BY THE CONTRACT DOCUMENTS AND BY THE LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES. SUBSTITUTIONS ARE TO BE ONLY WITH THE APPROVAL OF THE ARCHITECT.

Project

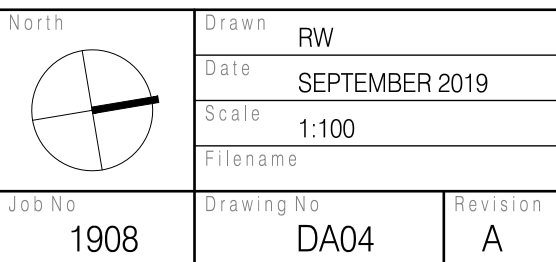
KELLEHER RESIDENCE
12 MONTPELIER PLACE
MANLY

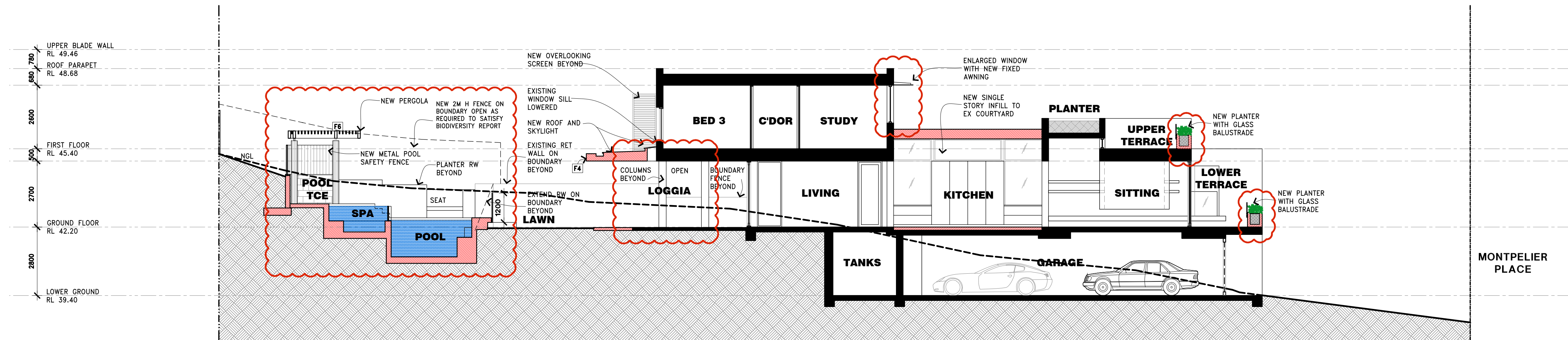
Proprietor

JOHN & CHRISTINE KELLEHER

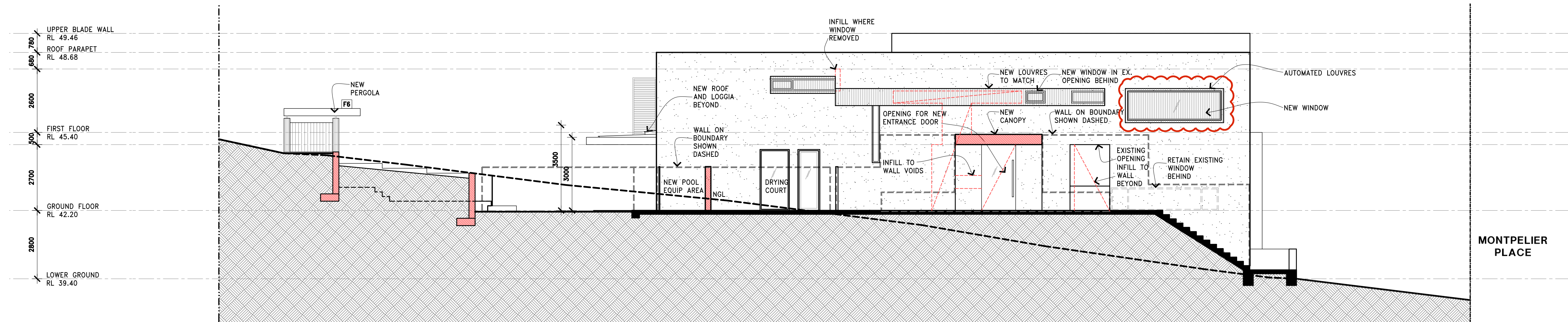
Drawing Title

PROPOSED ELEVATIONS

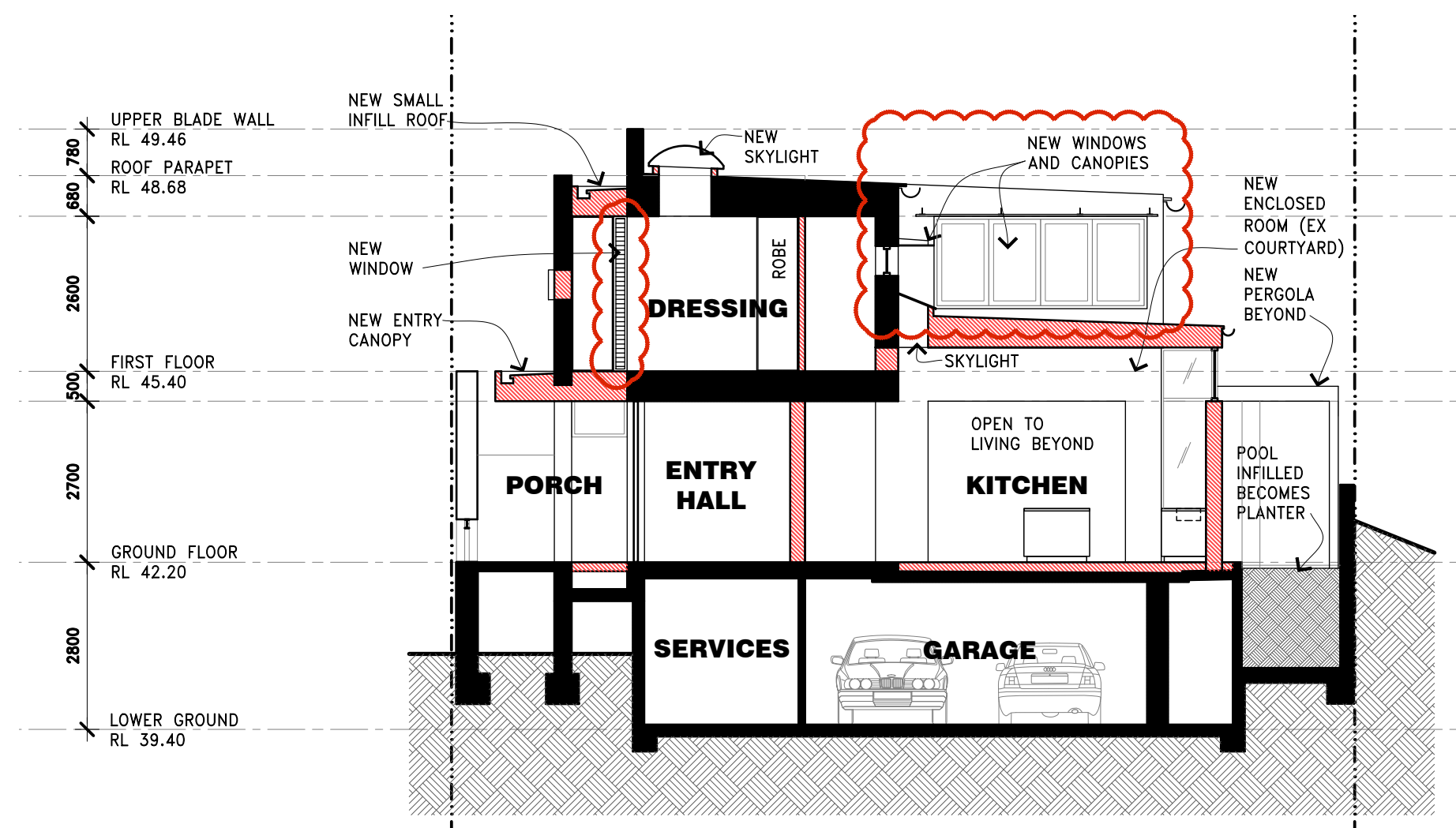




SECTION A



SECTION B



SECTION C

KEY

- EXISTING WALLS TO BE RETAINED
- NEW WALLS

EXTERIOR FINISHES KEY

- F1 DRESSED SANDSTONE FACING IN PATTERN TO MATCH EXISTING
- F2 RENDER FINISHED MASONRY TO MATCH EXISTING
- F3 NATURAL ANODISED ALUMINIUM WINDOW JOINERY TO MATCH EXISTING
- F4 "MONUMENT" COLOURBOND FASCIA, GUTTER AND SPOUTING TO MATCH EXISTING
- F5 ZINCALUME DECK ROOFING TO MATCH EXISTING
- F6 PAINT FINISHED TIMBER PERGOLA

AMENDMENT TO DA
12/11/2020

Rev	By	Date	Amendment Details
A	RW	22/9/20	<p>Plaster added to front edge of upper and lower balconies</p> <p>Balcony added to front of master bedroom</p> <p>Window added to east elevation</p> <p>Window added to west elevation</p> <p>BRO relocated adj Breakfast</p> <p>Loggia / support for first floor S/W corner changed</p> <p>Fence added around pool terrace</p> <p>Pool and safety fencing redesign</p>
General Notes			
<p>THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. THE BUILDER SHALL CHECK ALL DIMENSIONS AT THE JOB AND SHALL REFER ALL DISCREPANCIES TO THE ARCHITECT BEFORE THE WORK PROCEEDS. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS, INCLUDING AMENDMENTS OF THE RELEVANT SAA STANDARDS AND SAA CODES OF PRACTICE EXCEPT AS VARYED BY THE CONTRACT DOCUMENTS AND BY THE LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES. SUBSTITUTIONS ARE TO BE ONLY WITH THE APPROVAL OF THE ARCHITECT.</p>			
Project			
KELLEHER RESIDENCE			
12 MONTPELIER PLACE			
Manly			
Proprietor			
JOHN & CHRISTINE KELLEHER			
Drawing Title			
PROPOSED SECTIONS			
North		Drawn	RW
		Date	SEPTEMBER 2019
		Scale	1:100
		Filename	
Job No	1908	Drawing No	DA05
		Revision	A
<p>ILARIO G. CORTESE ARCHITECTS PTY LTD Suite 5 681 Burke Road Camberwell Victoria 3124 P. +613 9819 1727 E. info@cortesearchitects.com.au</p>			

