



VIEW FROM THE STREET



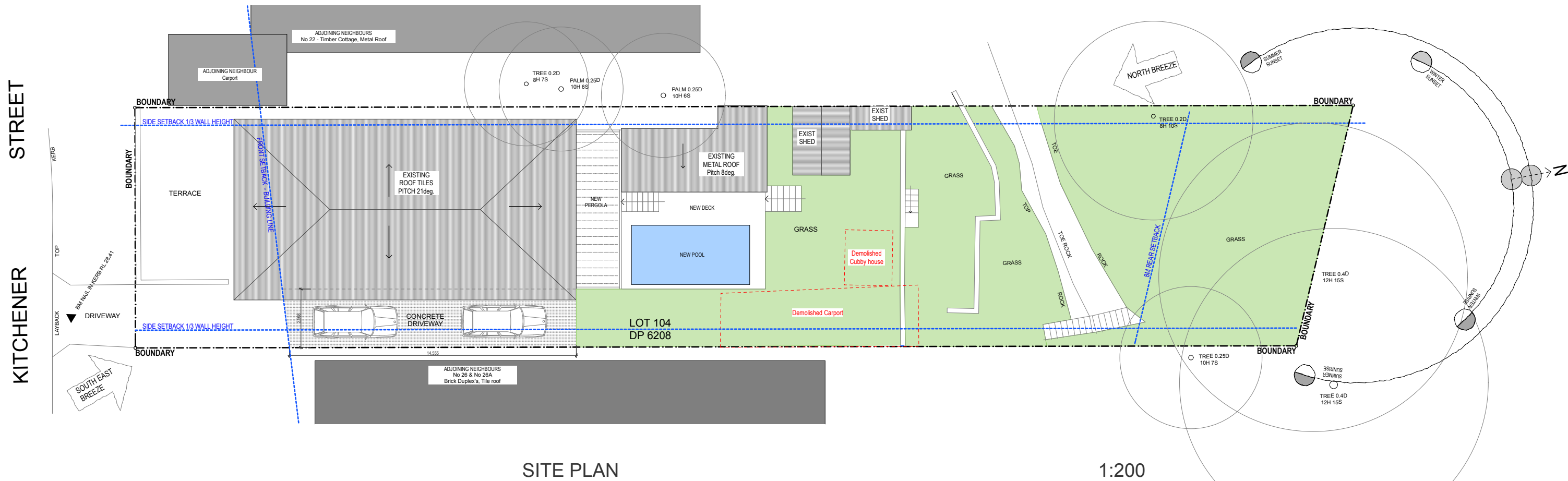
VIEW FROM GARDEN



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2019/1534

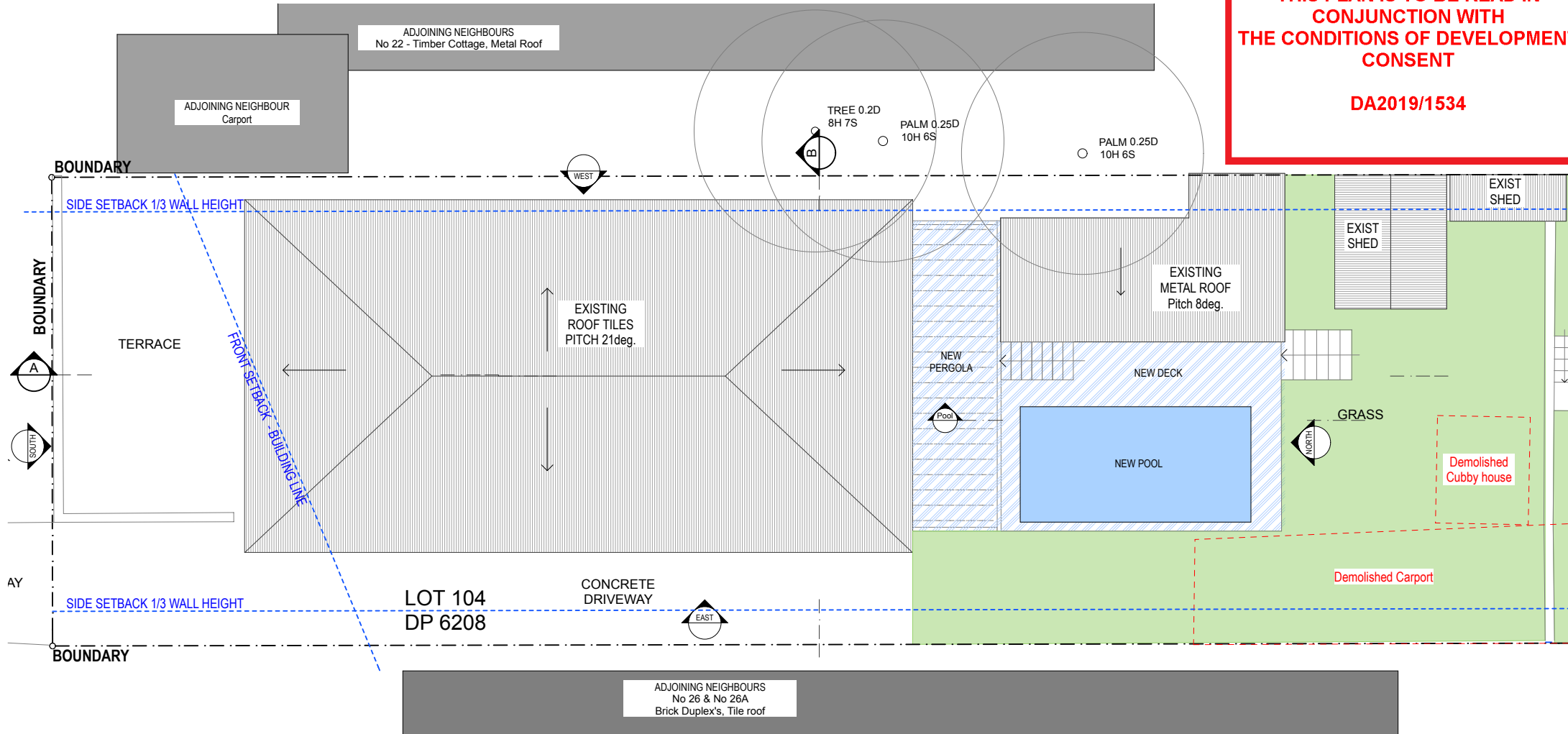


<div>NOTES</div> <div></div>	<div>PROJECT DETAILS</div> <div>24 Kitchener Street</div> <div>BALGOWLAH 2093 NSW</div> <div>LOT 104</div> <div>DP: 6208</div> <div>Package: DEVELOPMENT APPLICATION</div> <div>Status: ISSUED</div>		<div>Plot Date: 11/2/20</div> <div>Drawing Title: SITE ANALYSIS</div> <div>Drawing No.: DA01</div>	<div>Scale: 1:200 @ A3</div> <div>Revision:</div>






NOTE : STORMWATER TO CONNECT TO  
EXISTING SYSTEM AS PER COUNCIL'S DCP.

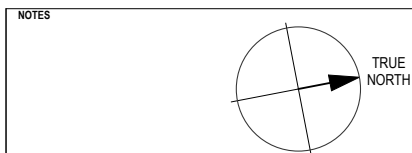
**THIS PLAN IS TO BE READ IN  
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CONSENT**

**DA2019/1534**



1:100

-  PROPOSED AREAS
-  EXISTING WALLS
-  DEMOLISHED
-  NEW WALLS
-  NEW AREA



PROJECT DETAILS

**24 Kitchener Street**  
**BALGOWLAH 2093 NSW**  
LOT 104  
DP: 6208

Package: DEVELOPMENT APPLICATION

Status:  
ISSUED

Plot Date:  
5/12/19

Drawing Title:  
PROPOSED ROOF PLAN

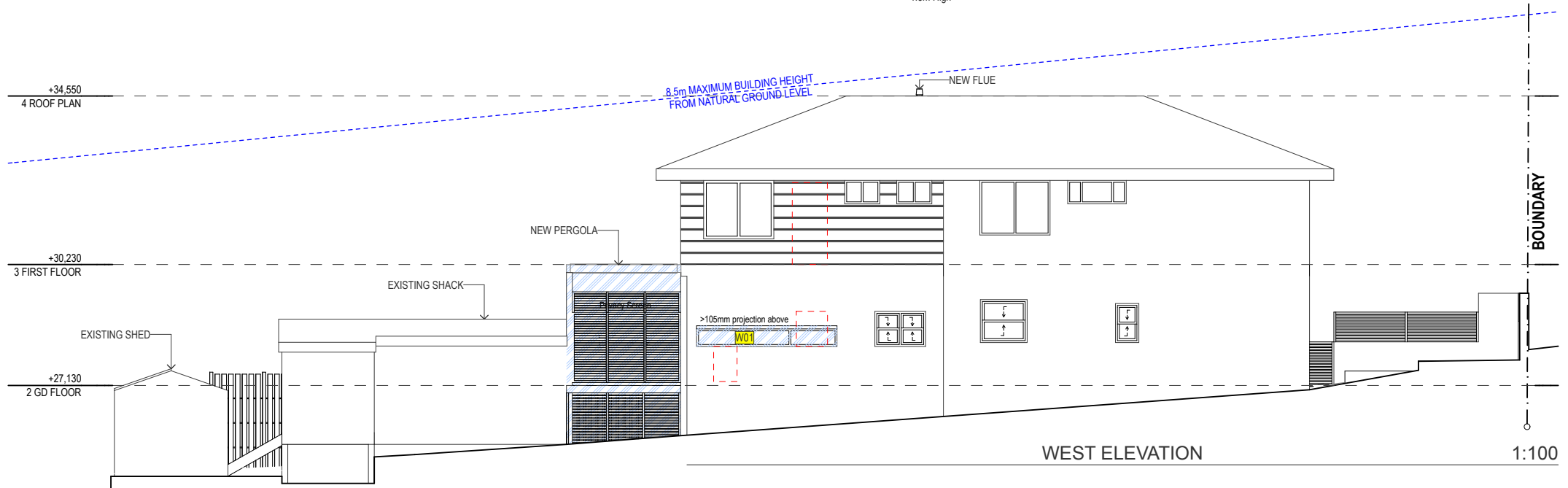
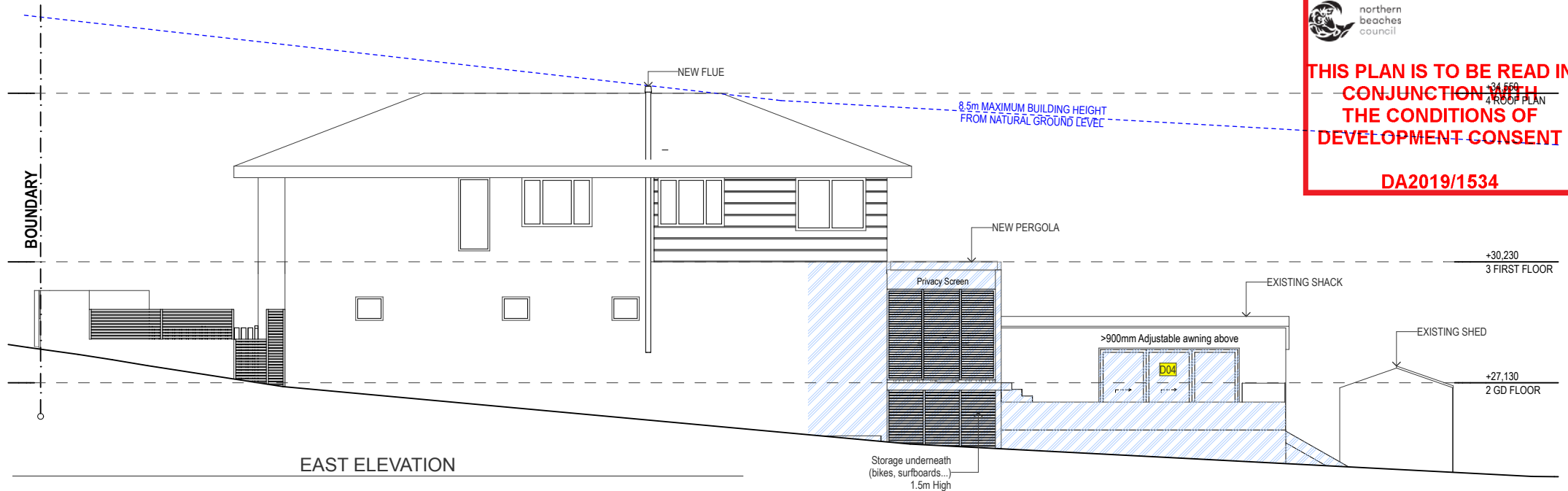
Drawing No.:  
**DA08**






Scale:  
1:100 @ A3

Revision:

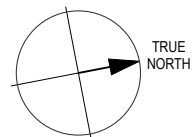
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DEVELOPMENT CONSENT**

**DA2019/1534**



-  PROPOSED AREAS
-  NEW WALLS
-  EXISTING WALLS
-  NEW AREA
-  DEMOLISHED

**NOTES**



**PROJECT DETAILS**

24 Kitchener Street  
BALGOWLAH 2093 NSW  
LOT 104  
DP: 6208

Package:  
DEVELOPMENT APPLICATION

Status:  
ISSUED

Plot Date:

5/12/19

Drawing Title:

EAST & WEST ELEVATIONS

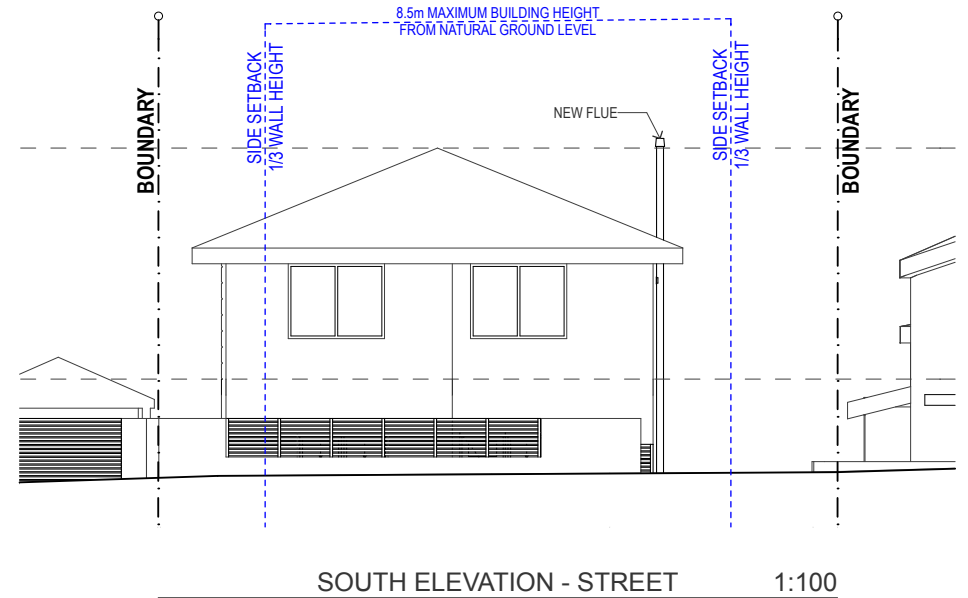
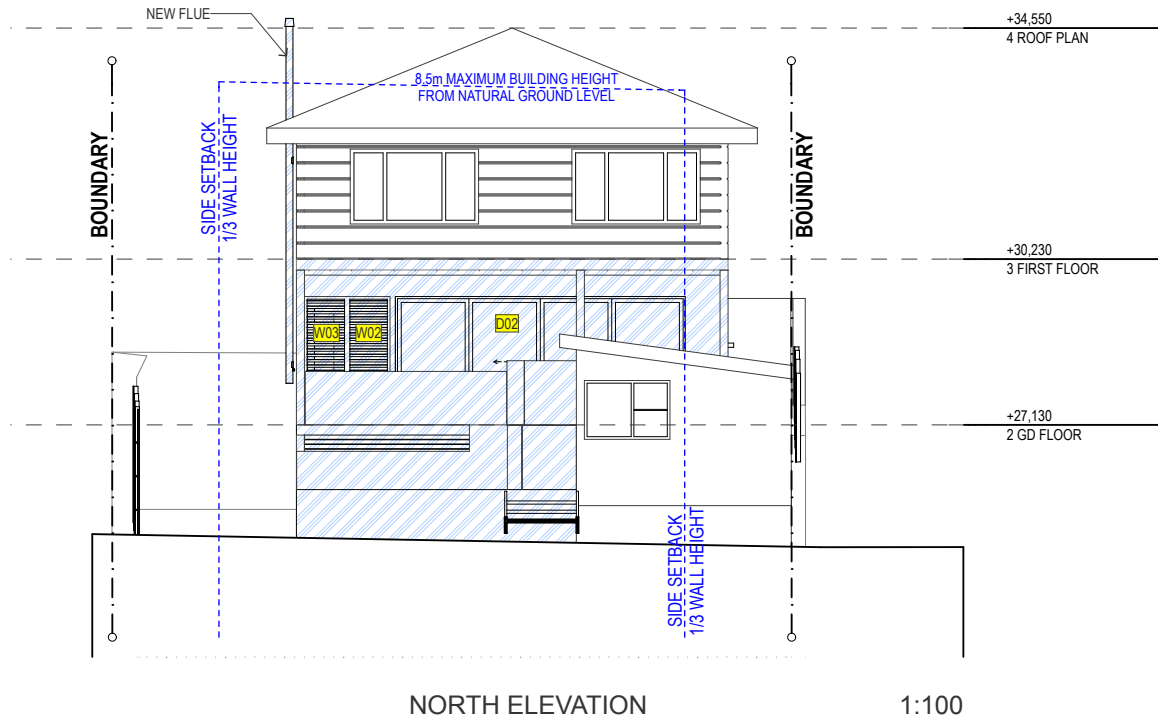
Drawing No.:


DA09

Scale:

1:100 @ A3






Revision:

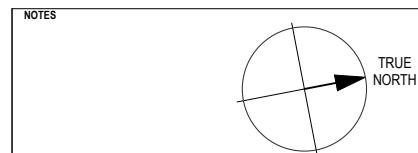


 northern  
beaches  
council

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CONSENT**

**DA2019/1534**

-  PROPOSED AREAS
-  NEW WALLS
-  EXISTING WALLS
-  NEW AREA
-  DEMOLISHED

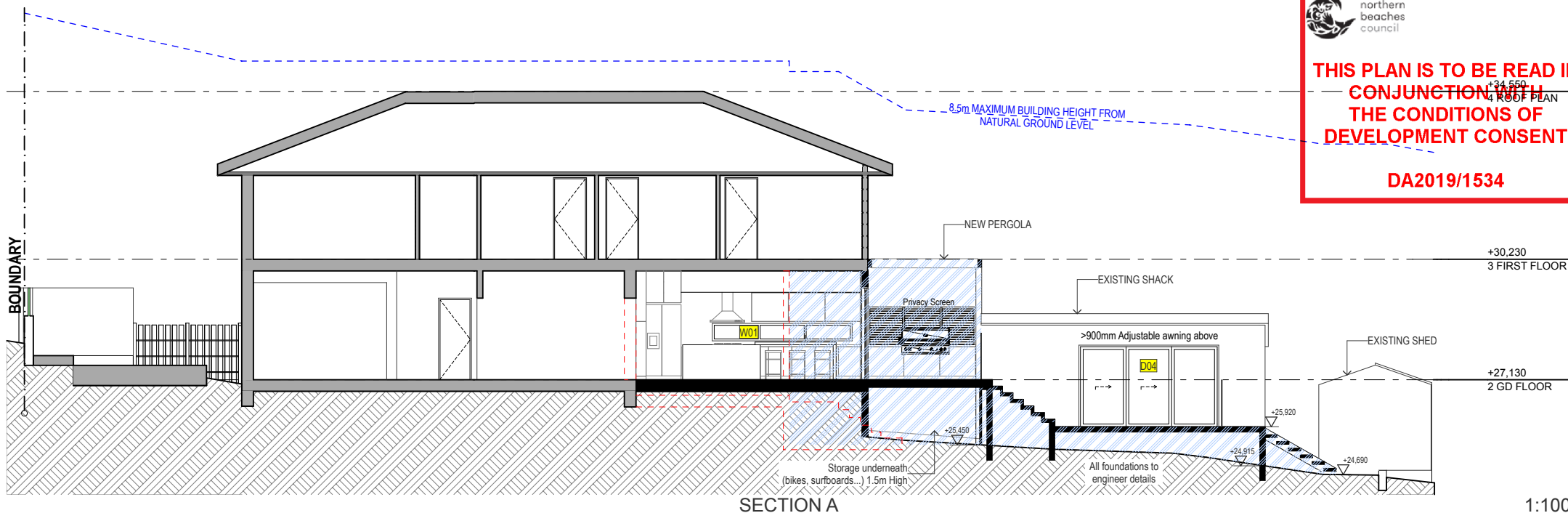


PROJECT DETAILS  
**24 Kitchener Street**  
**BALGOWLAH 2093 NSW**  
 LOT 104  
 DP: 6208  
 Package: DEVELOPMENT APPLICATION  
 Status: ISSUED

Plot Date: 5/12/19  
 Drawing Title: NORTH & SOUTH ELEVATIONS  
 Drawing No.: DA10  
 Scale: 1:100 @ A3  
 Revision:

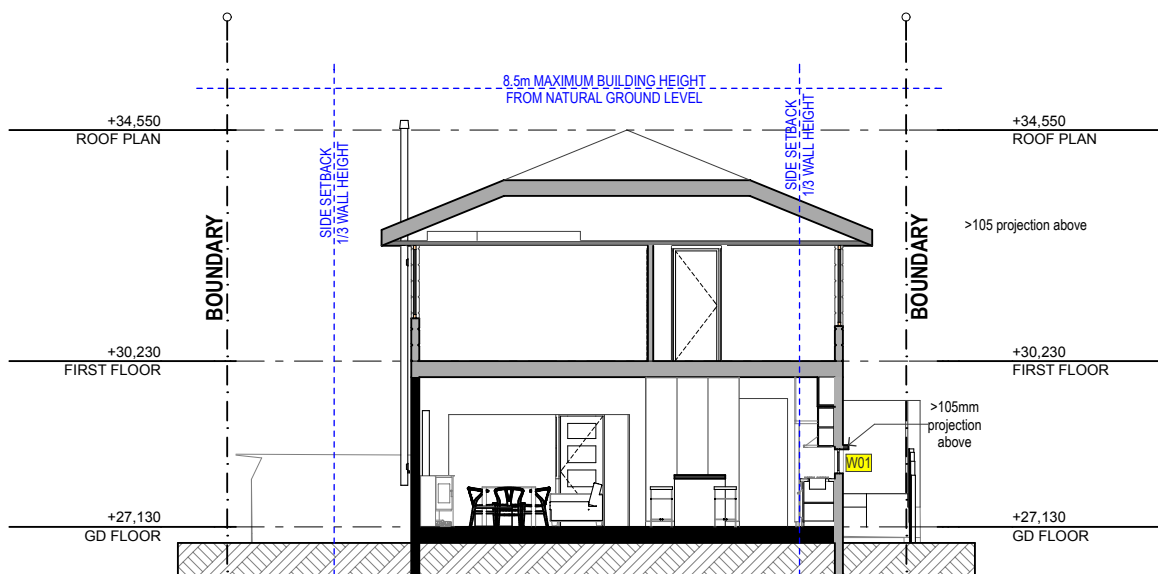
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DEVELOPMENT CONSENT**

**DA2019/1534**



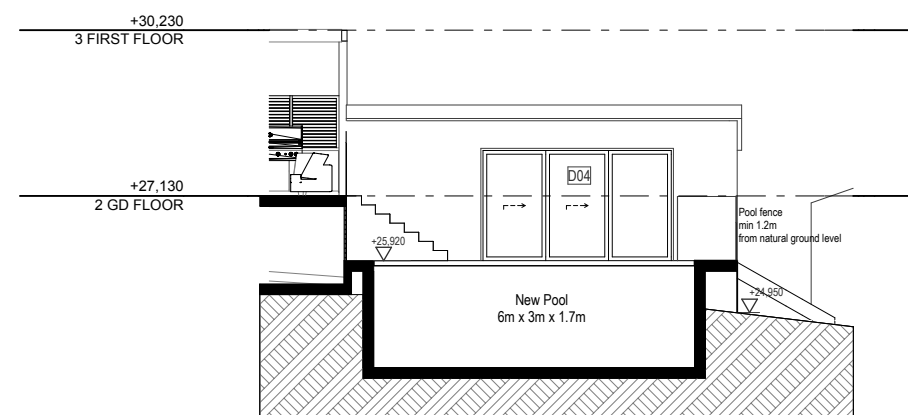
SECTION A

1:100



SECTION B

1:100



POOL SECTION

1:100

 PROPOSED AREAS

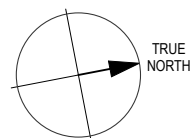
 EXISTING WALLS

 DEMOLISHED

 NEW WALLS

 NEW AREA

NOTES



PROJECT DETAILS

24 Kitchener Street  
BALGOWLAH 2093 NSW  
LOT 104  
DP: 6208

Package:  
DEVELOPMENT APPLICATION

Status:  
ISSUED

Plot Date:  
5/12/19

Drawing Title:  
SECTION A & B & POOL

Drawing No.:  
DA11

Scale:  
1:100 @ A3

Revision:

**THIS PLAN IS TO BE READ IN  
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CONSENT**

**DA2019/1534**

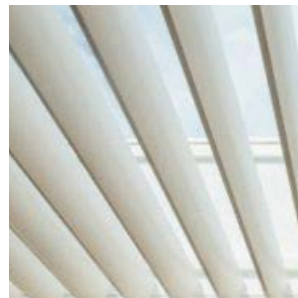
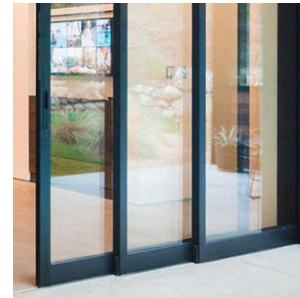
WEATHERBOARD



TIMBER DECK



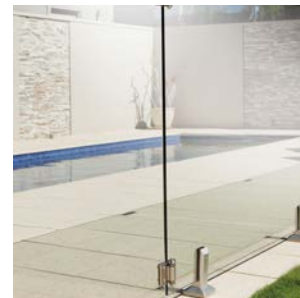
ALUMINIUM WINDOWS/DOORS



PERGOLA



PRIVACY SCREEN



GLASS BALUSTRADE

<p>NOTES</p>	<p>PROJECT DETAILS</p> <p><b>24 Kitchener Street</b>  <b>BALGOWLAH 2093 NSW</b>          LOT 104          DP: 6208</p> <p>Package: DEVELOPMENT APPLICATION      Status: ISSUED</p>	<p>Plot Date: 5/12/19      Scale: @ A3</p> <p>Drawing Title: EXTERNAL FINISHES</p> <p>Drawing No.: <b>DA14</b>      Revision:</p>
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## STOCKPILE AREA

WASH AREA

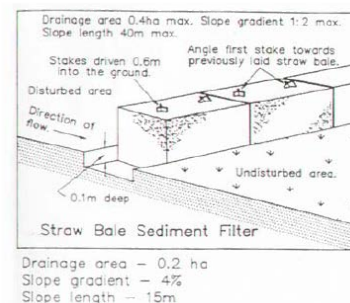
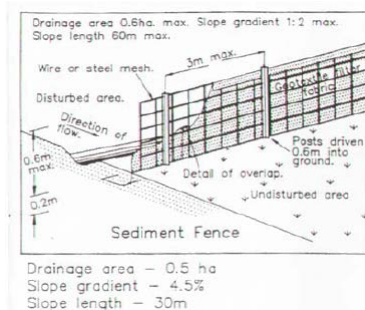
STORAGE AREA

WASTE STORAGE CONTAINER

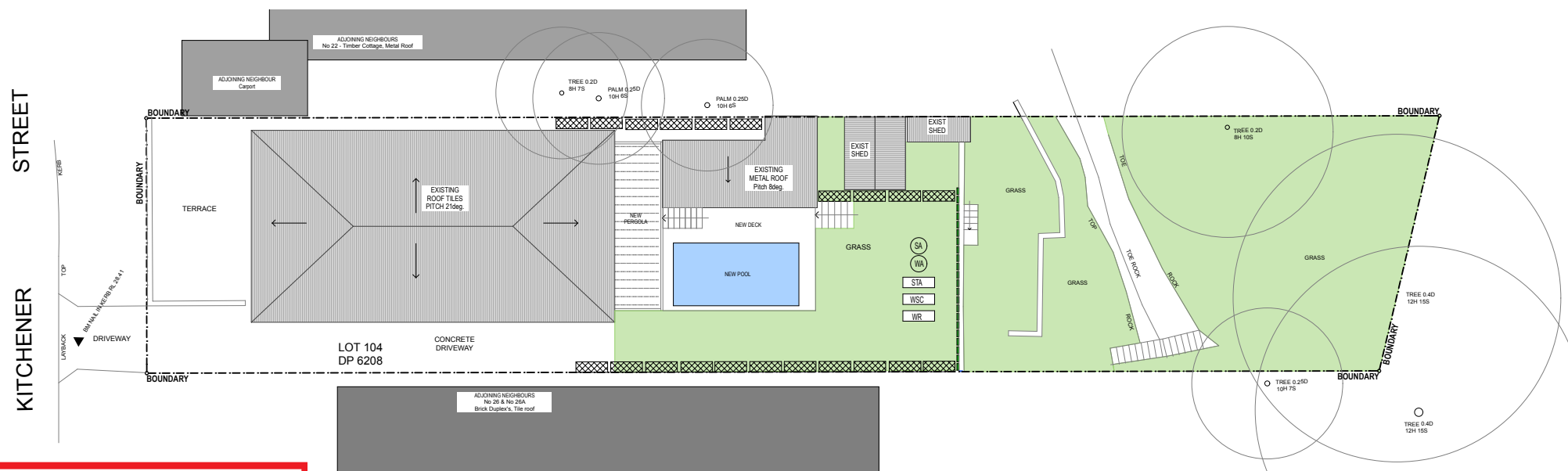
WASTE RECYCLING

## STRAW BALE SEDIMENT FILTER

 SILT SOCKS/FENCE (SEDIMENT CONTROL SOCKS)



- Adequate care must be exercised to ensure no damage to adjoining properties during the course of the works.
- Dividing Fences Act – A survey is to be prepared to identify all boundaries prior to the commencement of the works.
- A Security fence is to be installed to the perimeter of the site prior to commencement.
- A sediment fence, in the form of geotextile filter fabric buried into ground and supported by star pickets at 3m maximum centres that are driven 600mm into the ground, as to be positioned around the perimeter of the site. Position to be confirmed by nominated contractor. Refer to control diagrams below for reference.
- All stockpiles of building materials such as sand and soil must be protected by a waterproof covering, an earth bank and sediment fence to prevent scour and erosion.
- Protection of the public stormwater system and tracking of loose material is required by the use of sandbags in the gutter 2m minimum from the stormwater drain.
- Timber plankways are to be provided, for vehicle access.
- Public footways and roadways adjacent to site are to be maintained at all times during the course of the works.
- Storage of building material and delivery as noted.
- Waste Management Facilities as noted.



## SITE PLAN

1:200

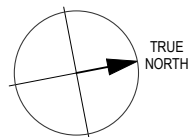


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DEVELOPMENT CONSENT**

DA2019/1534

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## NOTES



PROJECT DETAILS	
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**24 Kitchener Street**  
**BALGOWLAH 2093 NSW**  
LOT 104  
DP: 6208

Package:  
DEVELOPMENT APPLICATION

Status:  
ISSUED

Plot Date:

5/12/19

Drawing Title:

## SEDIMENT AND CONTROL PLAN

Drawing No.:  
**DA15**

Scale:

1:200 @ A3

Revision: