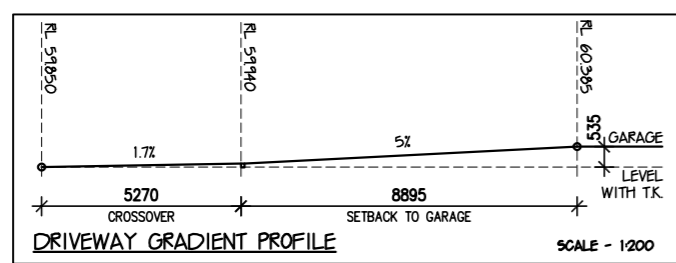


NORTHERN BEACHES BASED ON WARRINGAH DCP 2011	
SITE AREA:	7145 SQM
PROPOSED ROOF COVERAGE	
ROOF COVERAGE AREA:	≥12.4 SQM
LANDSCAPED AREA	
TOTAL LANDSCAPED AREA:	335.71 SQM
EXCL. ALL HARD SURFACES:	46.9%
MINIMUM DIMENSION OF 0.5M:	40%
MIN. REQUIRED BY COUNCIL:	40%
STORMWATER CALCULATION	
HARD LANDSCAPE AREAS (INCL. ROOF/DRIVEWAY/PATHS ETC):	578.7 SQM
SITE COVERAGE RATIO:	53 %
MAX. ALLOWABLE SITE COVERAGE PRIOR TO O.S.D. REQUIRED:	40 %
PRIVATE OPEN SPACE	
PRIVATE OPEN SPACE:	220 SQM
MIN. REQUIRED BY COUNCIL:	60 SQM
MINIMUM DIMENSION OF 5M:	
BUILDING ENVELOPE	
PROVIDE 45 DEGREE PLANE PROJECTED AT 50M HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL.	
BUILDING HEIGHT RESTRICTION	
MAXIMUM 8.5M RIDGE HEIGHT MAXIMUM 7.2M CEILING HEIGHT (FFL MUST BE ACCURATE TO COMPLY)	
MAXIMUM 1000 MM CUT MAXIMUM 1000 MM FILL DEEP EDGE BEAM TO NATURAL GROUND NO EXPOSED FILL PERMITTED	
EXISTING TREES TO BE LOPPED/REMOVED BY OWNER	
TREE REMOVAL REQUIREMENTS	
SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND/OR PRUNE TREES WHICH WILL EFFECT THE BUILDING AREA PRIOR TO CONSTRUCTION	
IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED	
DEMOLITION REQUIREMENTS	
SITE TO BE CLEARED OF ALL EXISTING STRUCTURES LEVELLED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L	



TREE SCHEDULE			
No.	DIAMETER	SPREAD	HEIGHT
T1	0.1	2	3
T2	0.1	2	3
T3	0.5	1	2
T4	0.5	1	2
T5	0.5	1	2
T6	0.5	5	6
T7	0.1	3	5
T8	0.1	3	3

WINDOW SCHEDULE			
NO.	HEAD RL	SILL RL	
W1	64.81	63.36	
W2	61.71	60.71	
W3	64.80	63.36	
W4	61.71	61.14	
W5	64.81	63.36	
W6	63.15	61.16	
W7	63.24	61.76	
W8	63.34	61.71	

N/A - NOT ACCESSIBLE

DRAWINGS AMENDMENTS

-	-	-
-	-	-
-	-	-

TERMITE PROTECTION
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1

SURVEYORS NOTES

- THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.
- AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.
- SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

LOT NO: 71
DEPOSITED PLAN: 10974
COUNCIL / LGA: WARRINGAH
SLAB CLASS: S
WIND SPEED: N2

EXCAVATION NOTES:
50MM (+/-) TOLERANCE TO NOMINATED RL'S
SCRAPE BUILDING PLATFORM TO RL 60.150
EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT
IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY

IMPORTANT NOTES:
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO STREET VIA ON-SITE DETENTION AND RAINWATER TANK(S)
REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING:
METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

HYD GULLY PIT	SEWER LINE
HYD HYDRANT	VEHICLE CROSSING
SIP SURFACE INLET PIT	STOP VALVE
SIC SEWER INSPECTION COVER	DEEP EDGE BEAM
SMH SEWER MANHOLE	GAS METER
WM WATER METER	LIGHT POLE
EB ELECTRICITY BOX	INV INVERT
SMH STORMWATER MANHOLE	TK TOP OF KERB
TP TELSTRA PIT	KO KERB OUTLET

INTRAX SURVEY DATE: 21/07/2019
CONTOUR INTERVALS: 200MM
LEVELS TO AHD

SITE PLAN

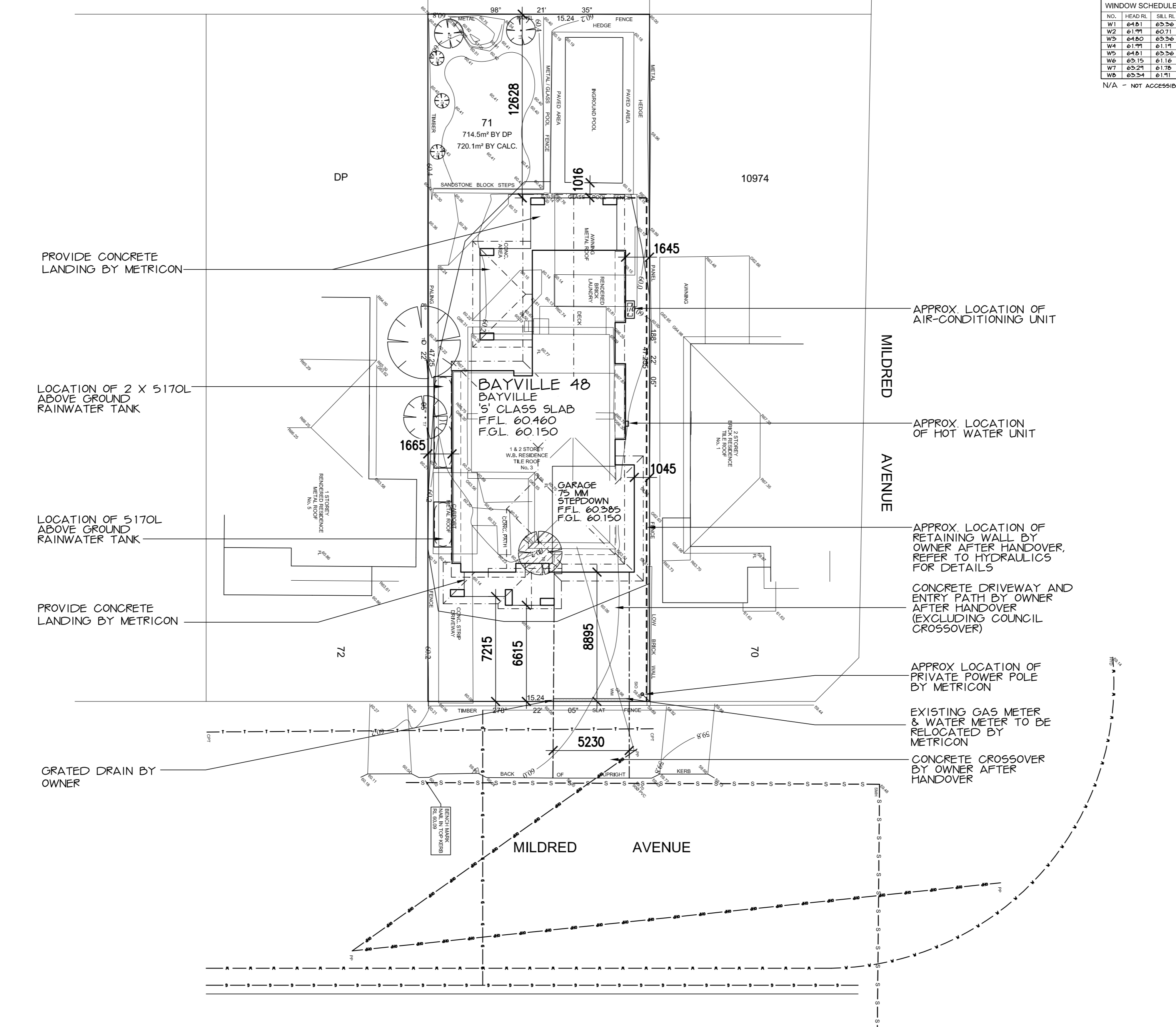
m metricon
Bldg E, Level 4, 32 Levington Dr, Baulkham Hills NSW 2653
P.O. Box 7510, Norwest Business Park NSW 2653
Tel: 02 8887 9000 Fax: 02 8079 5501
Contractor Licence No: 174 699
A.C.N. 005 108 752 www.metricon.com.au

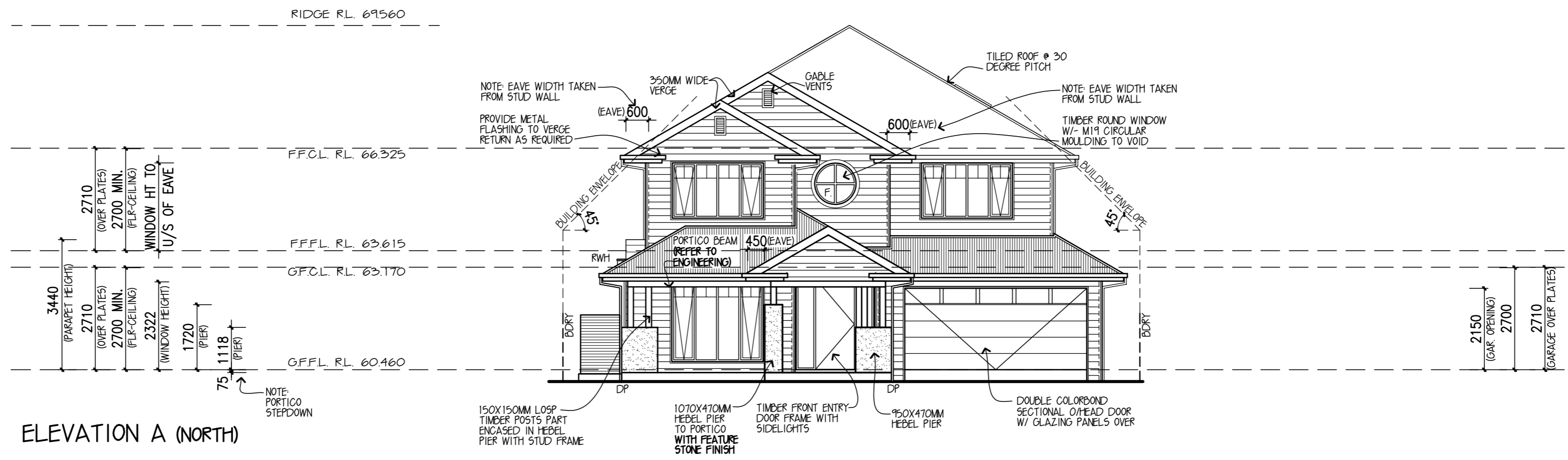
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MR & MRS MILLARD
LOT 71, 3 MILDRED AVE,
MANLY VALE

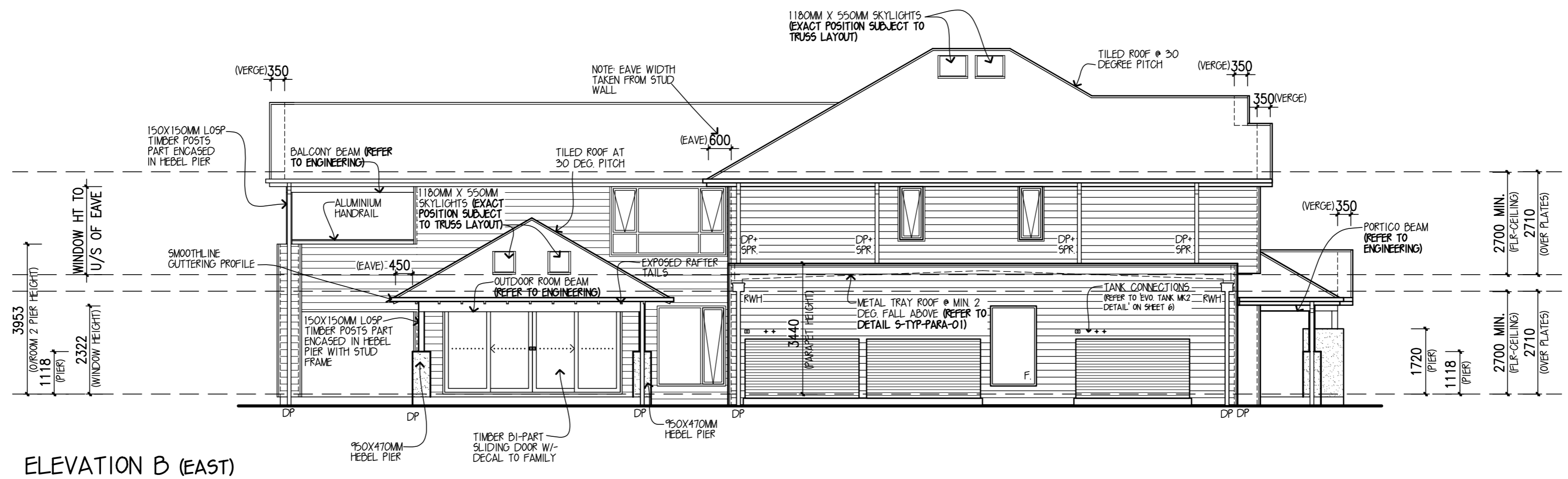
JOB No: 704303

DATE: 16.07.18 DRAWN: BZ
SCALE: 1200 ON A2 SHEET: 1 OF 11





ELEVATION A (NORTH)



ELEVATION B (EAST)

IMPORTANT NOTE
REFER TO FACADE DETAIL
REF. NO. 5-TYP-BAYV-01

PROVIDE SLIMLINE EXTERNAL
CORNER TRIM TO WEATHERBOARD
CLADDING

PROVIDE JAMES HARDIES SCYON
LINEA WEATHERBOARD CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL 5-TYP-CLAD-02

SYMBOL LEGEND

	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNPIPE W/- RAINWATER HEAD		
	ROTATING ROOF VENTILATOR		

DESIGN: BAYVILLE 48
FACADE: BAYVILLE CEILING: 27, R
GARAGE: DOUBLE LOCATION: F

SIGNATURE OWNER: MR & MRS MILLARD
LOT 71, 3 MILDRED AVENUE
MANLY VALE

ELEVATIONS

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BY METRICON
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JOB No: 704303	DATE: 04.03.2020
FC DATE: DD.MM.YYYY	MST VER: 12.04.2018
SCALE: 1:100 ON A2 SHEET	REVISION: E
DRAWN: JUI	CHECK: --
SHEET: 4 of 11	

