



DRAWING REGISTER		
No.	Drawing Name	Issue
A000	DRAWING REGISTER	07
A001	EXISTING GROUND FLOOR PLAN	07
A002	EXISTING FIRST FLOOR PLAN	07
A003	EXISTING ROOF PLAN	07
A004	DEMOLITION GROUND FLOOR PLAN	07
A005	DEMOLITION FIRST FLOOR PLAN	07
A006	DEMOLITION ROOF PLAN	05
A007	SITE ANALYSIS	06
A008	SITE PLAN	06
A100	GROUND FLOOR PLAN	07
A101	FIRST FLOOR PLAN	07
A102	ROOF PLAN	07
A103	LANDSCAPE CALCS	03
A200	ELEVATIONS	05
A300	SECTION A-A & SECTION B-B	04
A400	EXTERNAL FINISHES AND COLOURS	04
A700	DOOR & WINDOW SCHEDULE	04
A800	SHADOW DIAGRAM 21ST OF JUNE	03

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I + D Studio. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

07	7/5/2025	For DA
06	6/5/2025	For DA
05	5/3/2025	For DA
04	4/11/2024	For Consultans
03	28/10/2024	For Client
REV	DATE	DESCRIPTION



McNally Architects

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744



I + D STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9025 9909
studio@ianddstudio.com.au
www.ianddstudio.com.au
ABN 55 631 885 964

Project Address
153A Ocean Street Narrabeen

Project Number Client
24015 Cameron & Candice Kirby

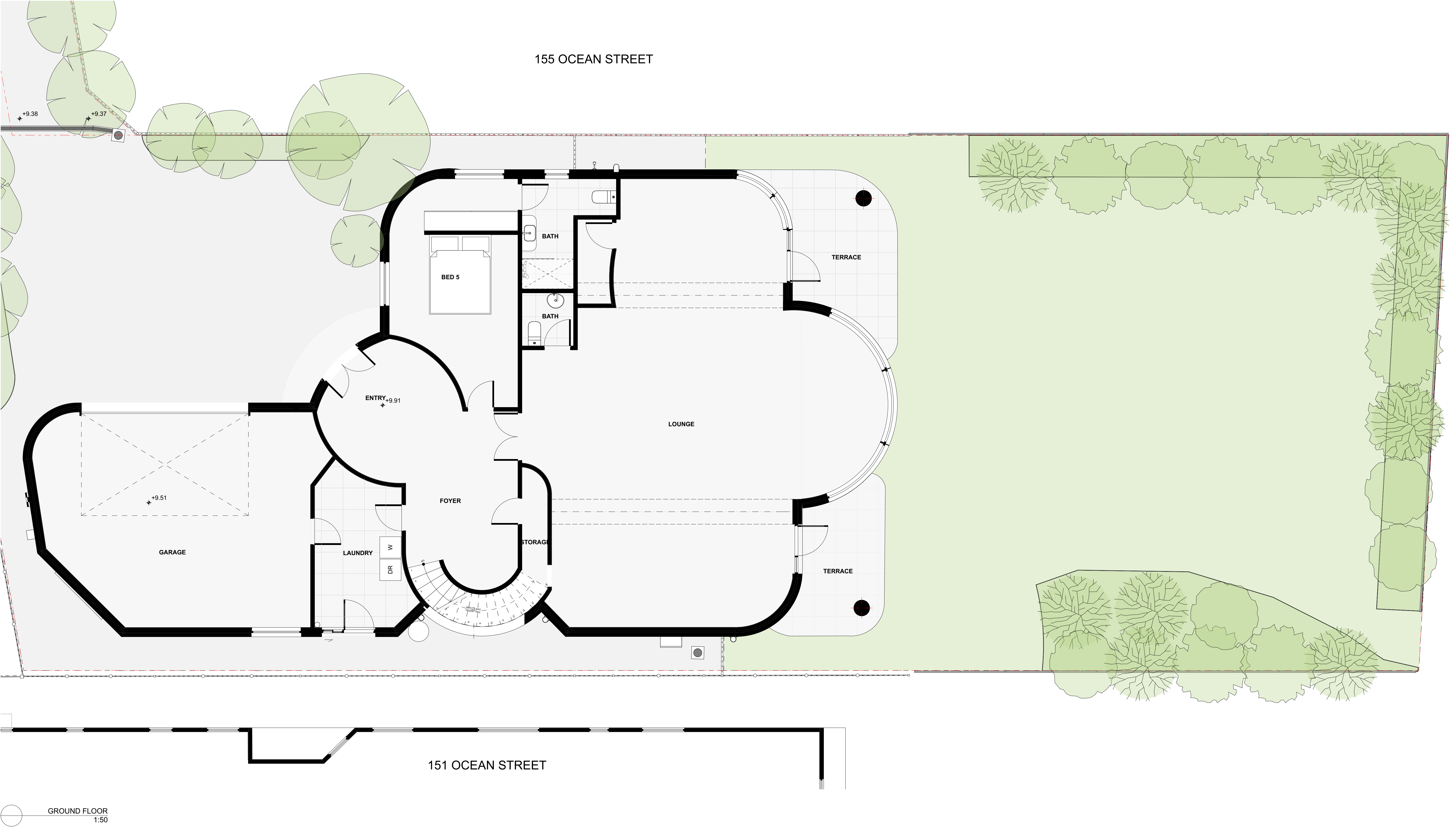
Drawing Title
DRAWING REGISTER

Date
7/5/2025

Drawing Scale
1:1 @ A1

Revision Issue
07

Drawing Number
A000



NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I + D Studio.
All levels to Australian Height Data.
It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

07	7/5/2025	For DA
06	6/5/2025	For DA
05	5/3/2025	For DA
04	4/11/2024	For Consultants
03	28/10/2024	For Client
REV	DATE	DESCRIPTION



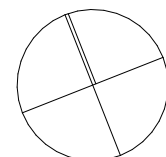
McNally Architects

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744



STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9025 9909
studio@ianddstudio.com.au
www.ianddstudio.com.au
ABN 55 631 885 964



Project Address
153A Ocean Street Narrabeen

Project Number Client
24015 Cameron & Candice Kirby

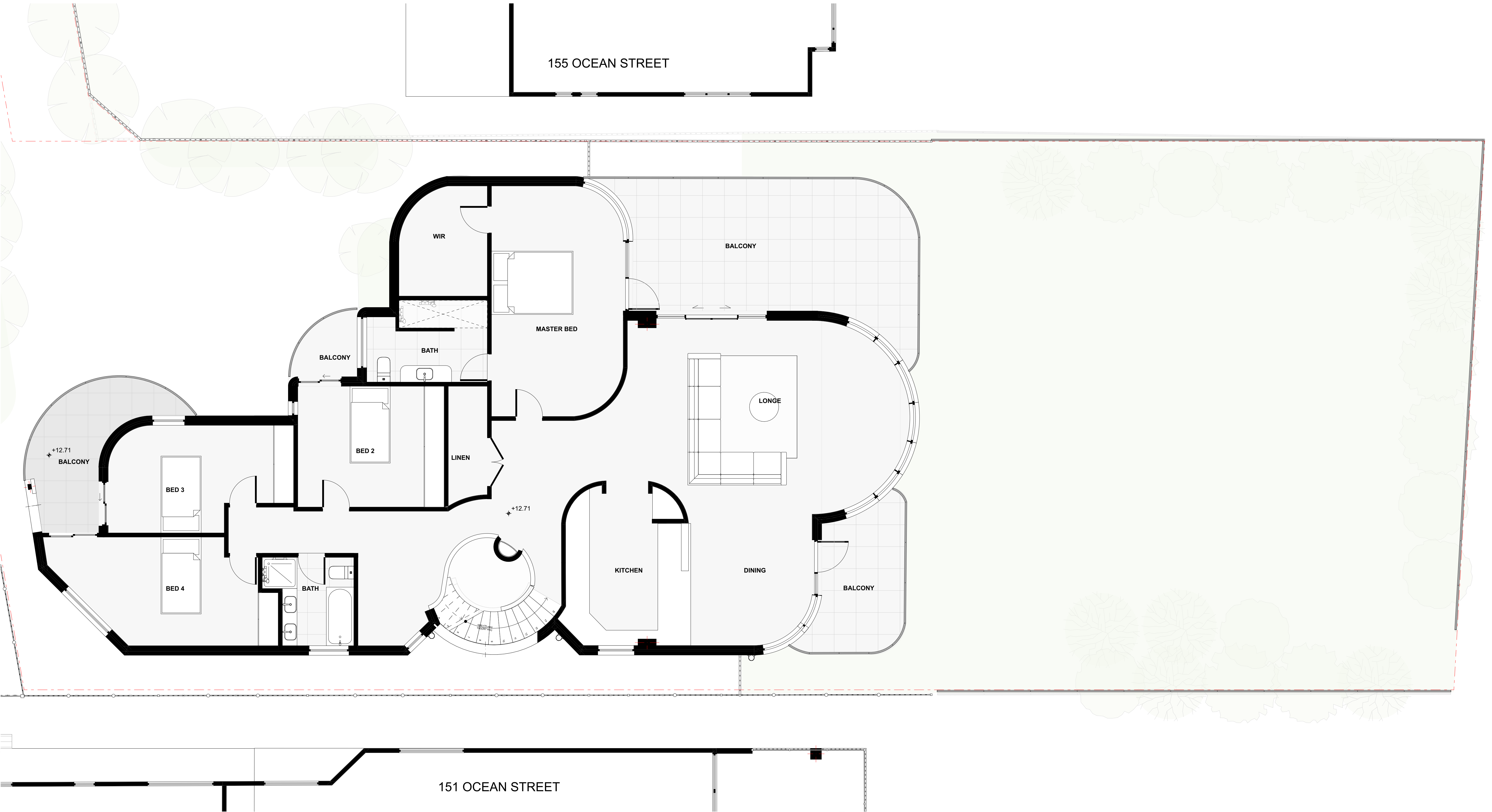
Drawing Title
EXISTING GROUND FLOOR PLAN

Date
7/5/2025

Drawing Scale
1:50 @ A1

Revision Issue
07

Drawing Number
A001



FIRST FLOOR
1:50

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I + D Studio.
All levels to Australian Height Data.
It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

07	7/5/2025	For DA
06	6/5/2025	For DA
05	5/3/2025	For DA
04	4/11/2024	For Consultants
03	28/10/2024	For Client
REV	DATE	DESCRIPTION



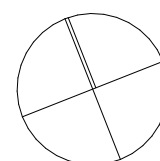
McNally Architects

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744



STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
studio@landdstudio.com.au
www.landdstudio.com.au
ABN 55 631 885 964



Project Address
153A Ocean Street Narrabeen

Project Number
24015

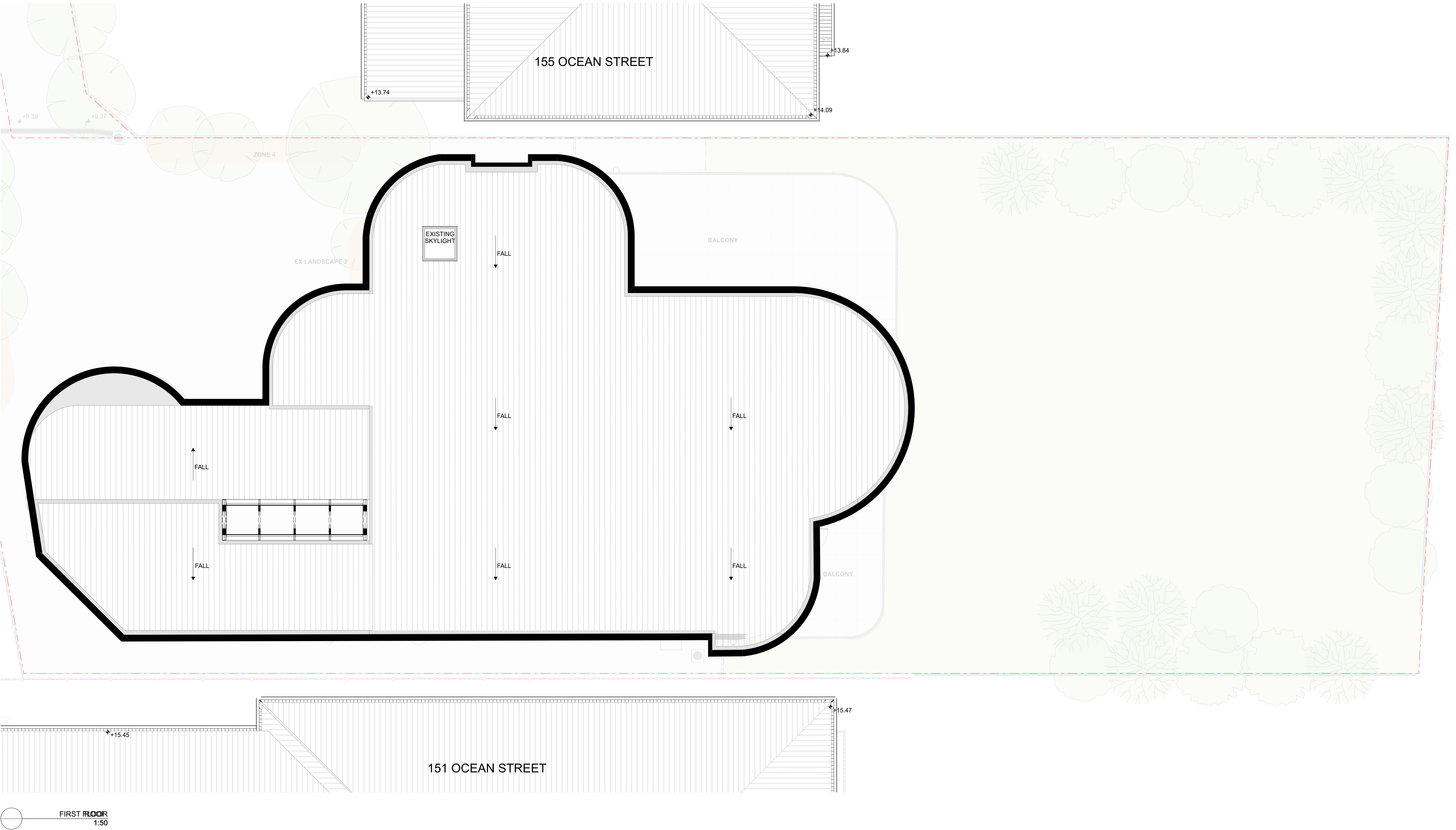
Drawing Title
EXISTING FIRST FLOOR PLAN

Date
7/5/2025

Drawing Scale
1:50 @ A1

Revision Issue
07

Drawing Number
A002



NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I + D Studio. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

07	7/5/2025	For DA
06	6/5/2025	For DA
05	5/3/2025	For DA
04	4/11/2024	For Consultants
03	28/10/2024	For Client
REV	DATE	DESCRIPTION



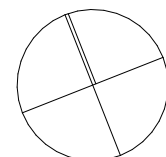
McNally Architects

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744



STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
studio@landdstudio.com.au
www.landdstudio.com.au
ABN 55 631 885 964



Project Address
153A Ocean Street Narrabeen

Project Number Client
24015 Cameron & Candice Kirby

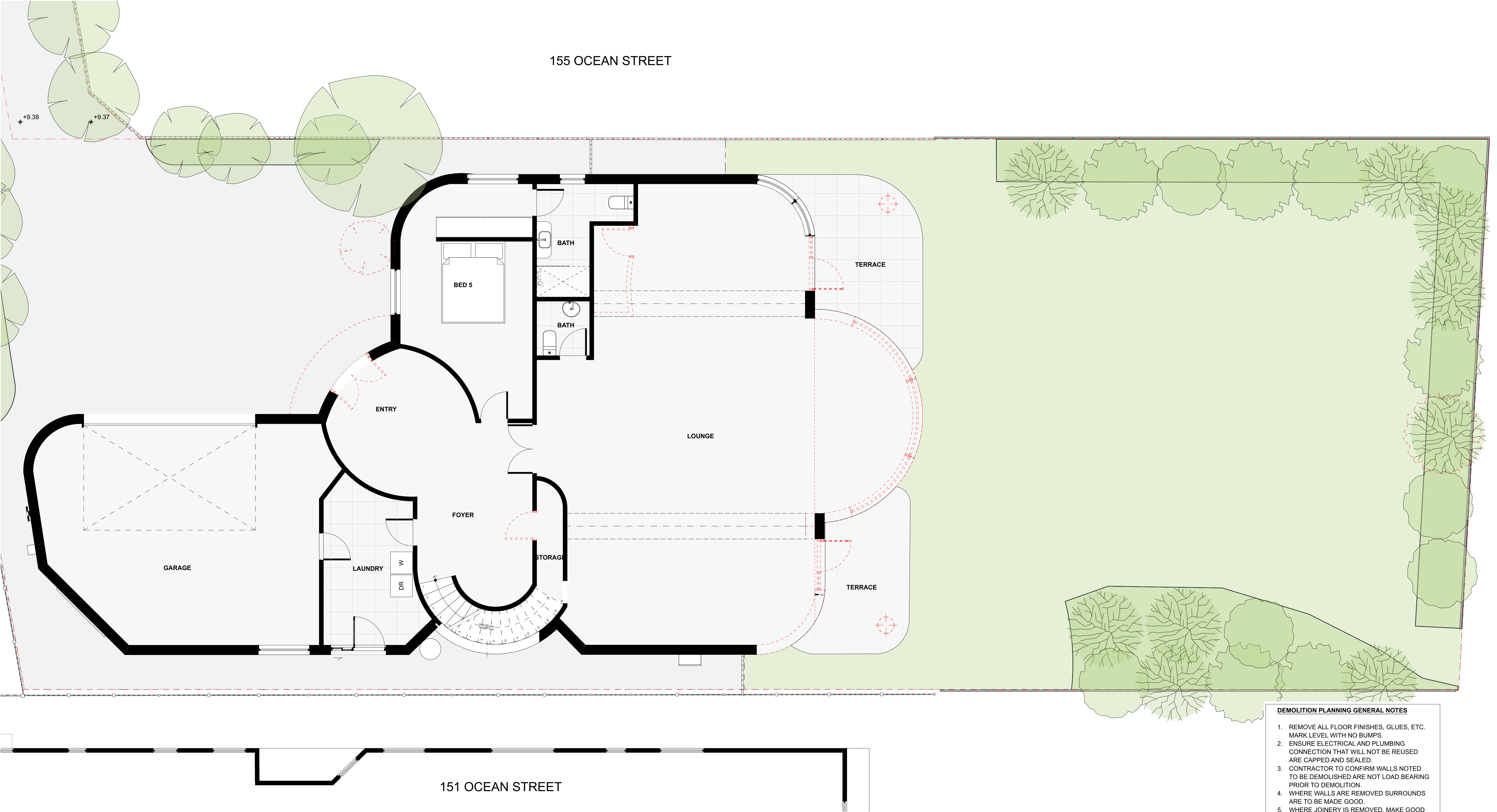
Drawing Title
EXISTING ROOF PLAN

Date
7/5/2025

Drawing Scale
1:50 @ A1

Revision Issue
07

Drawing Number
A003



GROUND FLOOR

1:50

151 OCEAN STREET

155 OCEAN STREET

DEMOLITION PLANNING GENERAL NOTES

1. REMOVE ALL FLOOR FINISHES, GLUES, ETC. MARK LEVEL WITH NO BUMPS.

2. ENSURE ELECTRICAL AND PLUMBING CONNECTION THAT WILL NOT BE REUSED ARE CAPPED AND SEALED.

3. CONTRACTOR TO CONFIRM WALLS NOTED TO BE DEMOLISHED ARE NOT LOAD BEARING PRIOR TO DEMOLITION.

4. WHERE WALLS ARE REMOVED SURROUNDS ARE TO BE MADE GOOD.

5. WHERE JOINERY IS REMOVED, MAKE GOOD TO WALLS WITH MINIMAL DISTURBANCE.

6. ALL PICTURE RAIL TO BE REMOVED AND MAKE GOOD

7. ALL MOULDING TO BE REMOVED FROM WALLS AND MAKE GOOD

8. ALL EXISTING WINDOW DRESSING TO BE REMOVED

9. EXISTING GPOS/DATA POINTS TO REMAIN. LOCATION TO BE CHECKED ON SITE. EXISTING GPOS/DATA POINTS TO MATCH NEW GPOS.

PROPOSED WORKS LEGEND

TO BE DEMOLISHED

TO REMAIN

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I + D Studio.
All levels to Australian Height Data.
It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

07	7/5/2025	For DA
06	6/5/2025	For DA
05	5/3/2025	For DA
04	4/11/2024	For Consultants
03	28/10/2024	For Client
REV	DATE	DESCRIPTION

M

McNally Architects

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744

I+D

STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 9909
studio@ianddstudio.com.au
www.ianddstudio.com.au
ABN 55 631 885 964

Project Address
153A Ocean Street Narrabeen

Project Number
24015

Client
Cameron & Candice Kirby

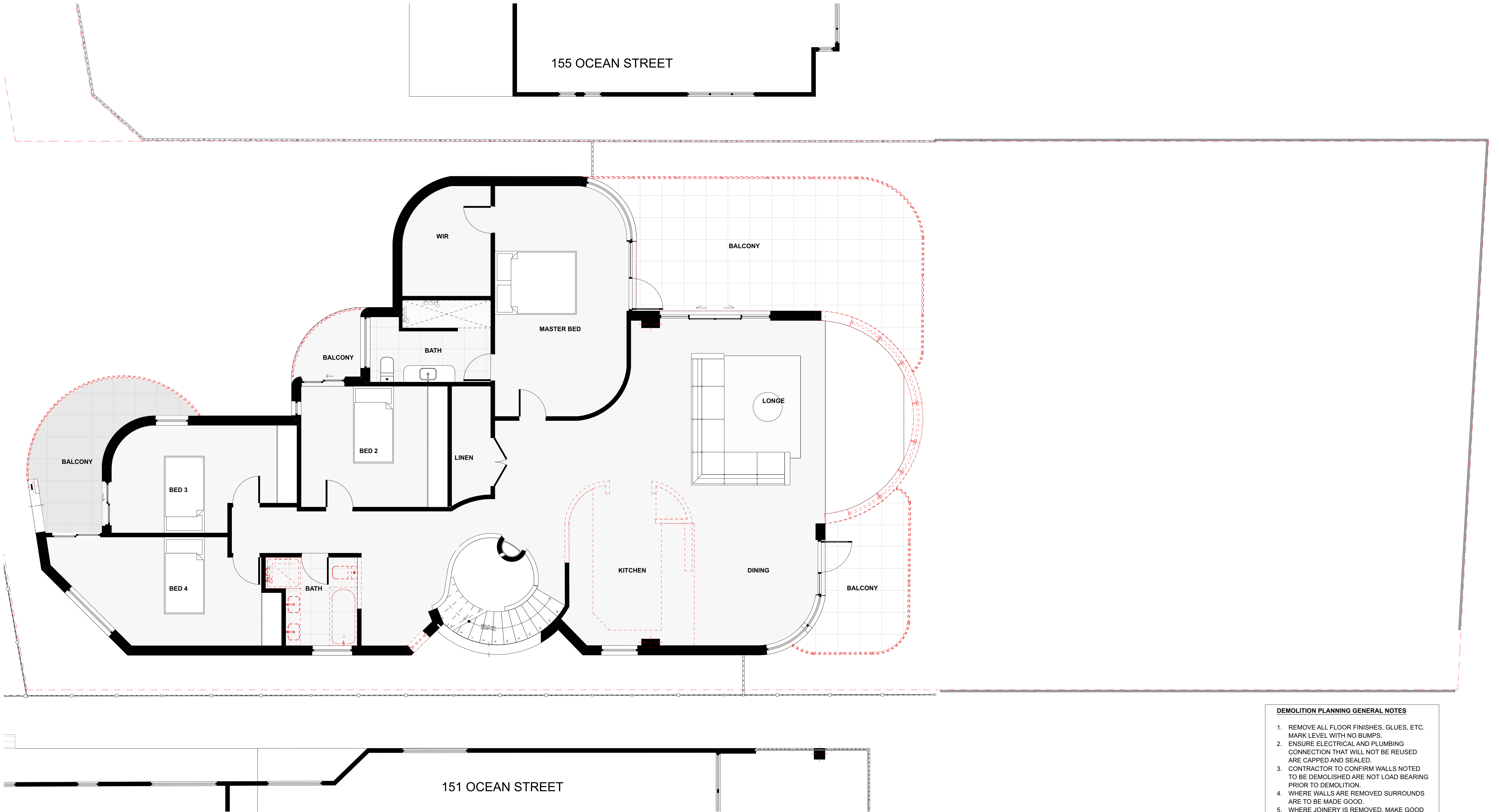
Drawing Title
DEMOLITION GROUND FLOOR PLAN

Date
7/5/2025

Drawing Scale
1:100, 1:50 @ A1

Revision Issue
07

Drawing Number
A004



FIRST FLOOR
1:50

PROPOSED WORKS LEGEND	
	TO BE DEMOLISHED
	TO REMAIN

DEMOLITION PLANNING GENERAL NOTES

1. REMOVE ALL FLOOR FINISHES, GLUES, ETC. MARK LEVEL WITH NO BUMPS.
2. ENSURE ELECTRICAL AND PLUMBING CONNECTION THAT WILL NOT BE REUSED ARE CAPPED AND SEALED.
3. CONTRACTOR TO CONFIRM WALLS NOTED TO BE DEMOLISHED ARE NOT LOAD BEARING PRIOR TO DEMOLITION.
4. WHERE WALLS ARE REMOVED SURROUNDS ARE TO BE MADE GOOD.
5. WHERE JOINERY IS REMOVED, MAKE GOOD TO WALLS WITH MINIMAL DISTURBANCE.
6. ALL PICTURE RAIL TO BE REMOVED AND MAKE GOOD
7. ALL MOULDING TO BE REMOVED FROM WALLS AND MAKE GOOD
8. ALL EXISTING WINDOW DRESSING TO BE REMOVED
9. EXISTING GPOS/DATA POINTS TO REMAIN. LOCATION TO BE CHECKED ON SITE. EXISTING GPOS/DATA POINTS TO MATCH NEW GPOS.

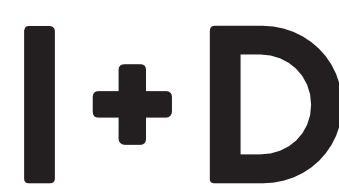
NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I + D Studio.
All levels to Australian Height Data.
It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

07	7/5/2025	For DA
06	6/5/2025	For DA
05	5/3/2025	For DA
04	4/11/2024	For Consultants
03	28/10/2024	For Client
REV	DATE	DESCRIPTION



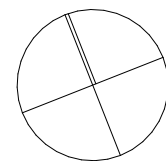
McNally Architects



STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
studio@landdstudio.com.au
www.landdstudio.com.au
ABN 55 631 885 964



Project Address
153A Ocean Street Narrabeen

Project Number Client
24015 Cameron & Candice Kirby

Drawing Title
DEMOLITION FIRST FLOOR PLAN

Date
7/5/2025

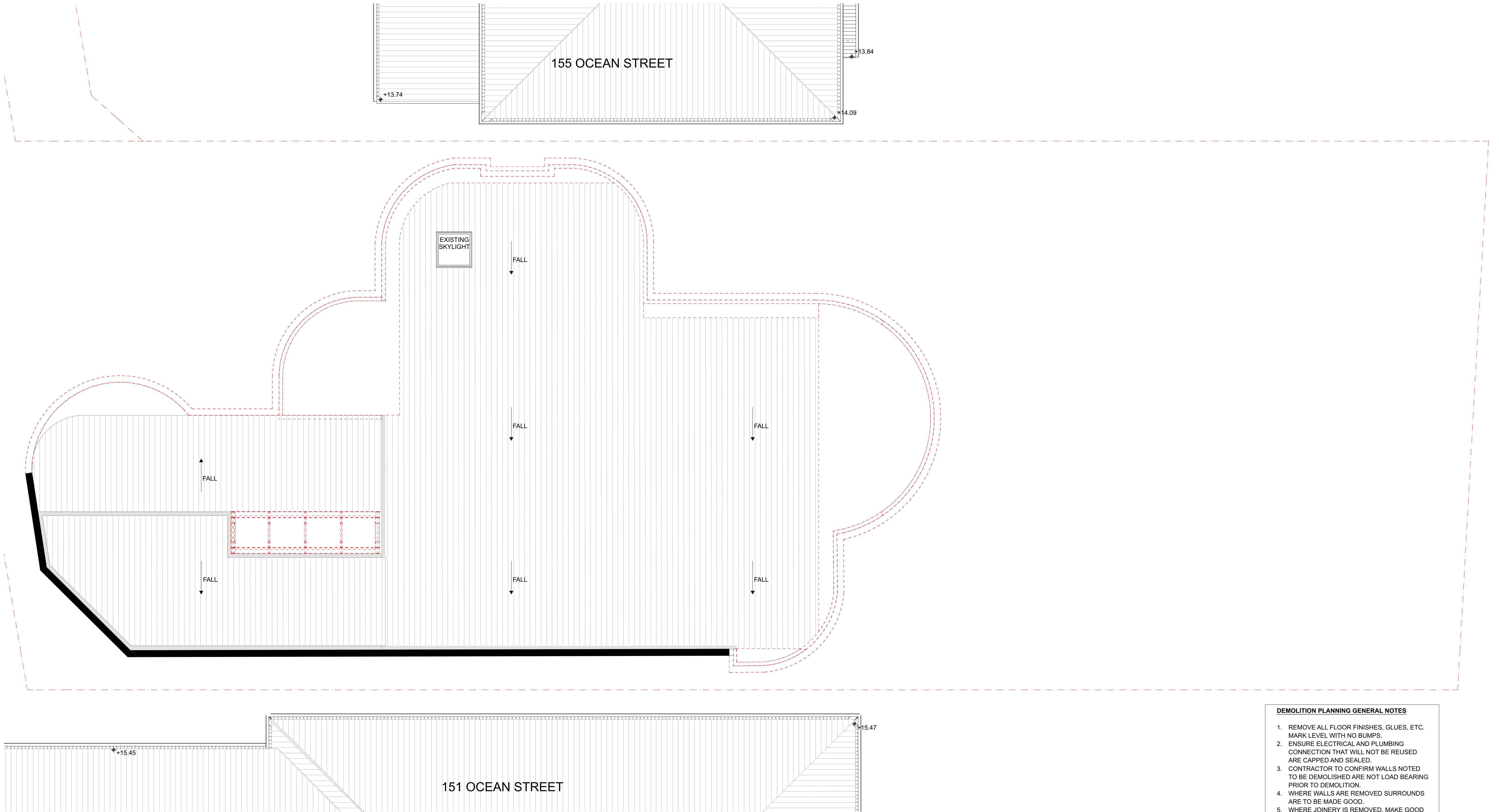
Drawing Scale

1:100, 1:50 @ A1

Revision Issue
07

Drawing Number

A005



DEMOLITION PLANNING GENERAL NOTES

1. REMOVE ALL FLOOR FINISHES, GLUES, ETC. MARK LEVEL WITH NO BUMPS.
2. ENSURE ELECTRICAL AND PLUMBING CONNECTION THAT WILL NOT BE REUSED ARE CAPPED AND SEALED.
3. CONTRACTOR TO CONFIRM WALLS NOTED TO BE DEMOLISHED ARE NOT LOAD BEARING PRIOR TO DEMOLITION.
4. WHERE WALLS ARE REMOVED SURROUNDS ARE TO BE MADE GOOD.
5. WHERE JOINERY IS REMOVED, MAKE GOOD TO WALLS WITH MINIMAL DISTURBANCE.
6. ALL PICTURE RAIL TO BE REMOVED AND MAKE GOOD
7. ALL MOULDING TO BE REMOVED FROM WALLS AND MAKE GOOD
8. ALL EXISTING WINDOW DRESSING TO BE REMOVED
9. EXISTING GPOS/DATA POINTS TO REMAIN. LOCATION TO BE CHECKED ON SITE. EXISTING GPOS/DATA POINTS TO MATCH NEW GPOS.

PROPOSED WORKS LEGEND

- | | |
|--|------------------|
| | TO BE DEMOLISHED |
| | TO REMAIN |

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I & D Studio.
All levels to Australian Height Data.
It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

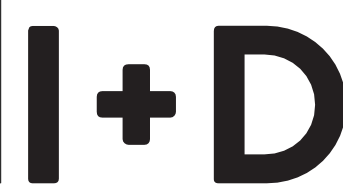
Project Partners

05	7/5/2025	For DA
04	6/5/2025	For DA
03	5/3/2025	For DA
02	4/11/2024	For Consultants
01	28/10/2024	For Client
REV	DATE	DESCRIPTION



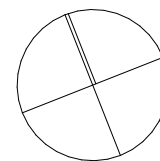
McNally Architects

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744



I+D STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9026 9909
studio@landdstudio.com.au
www.landdstudio.com.au
ABN 55 631 885 964



Project Address
153A Ocean Street Narrabeen

Project Number Client
24015 Cameron & Candice Kirby

Drawing Title
DEMOLITION ROOF PLAN

Date
7/5/2025

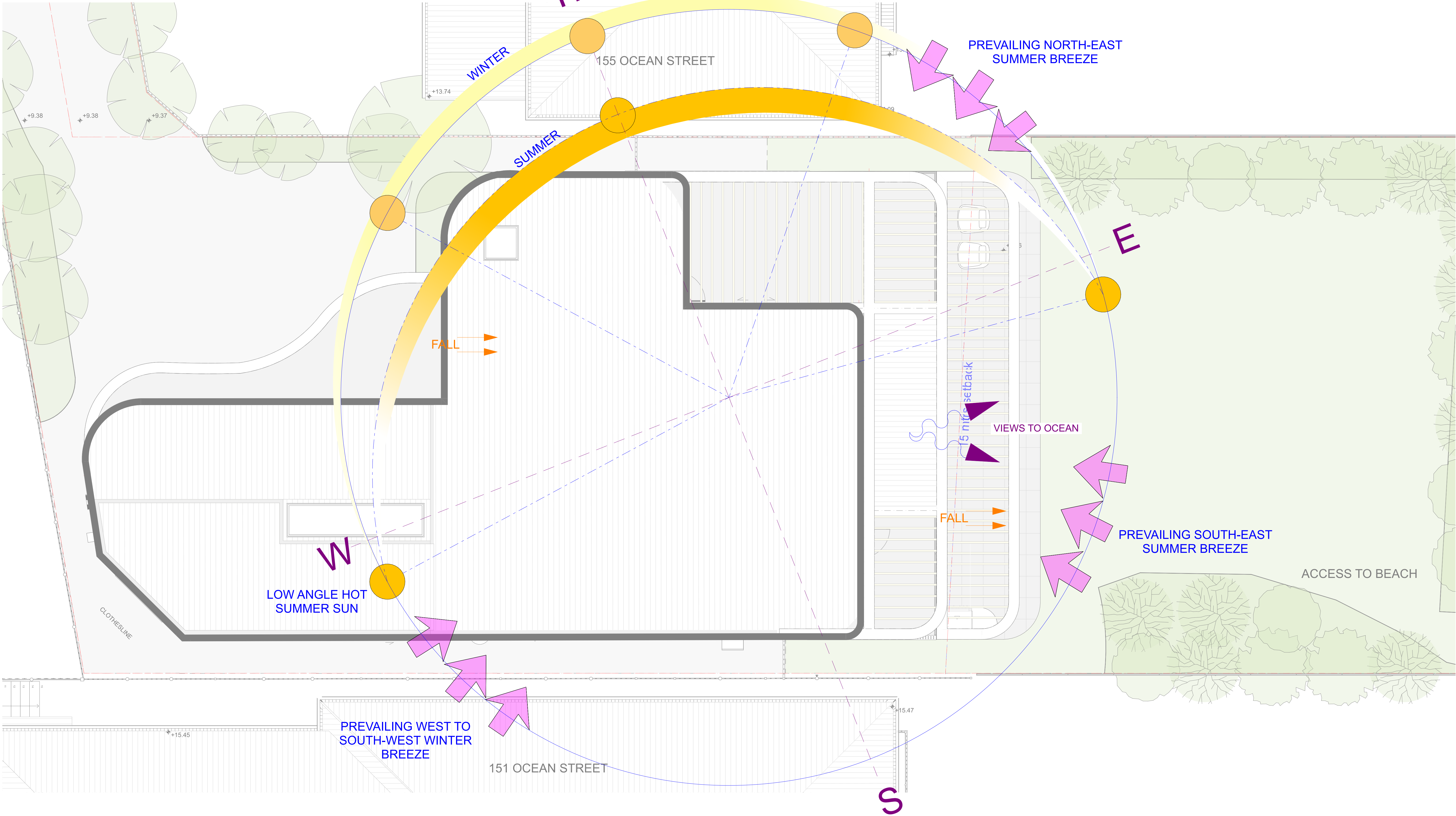
Drawing Scale

1:50, 1:100 @ A1

Revision Issue
05

Drawing Number

A006



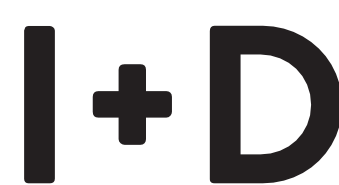
NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I & D Studio. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

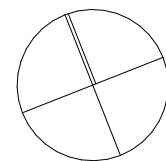
06	7/5/2025	For DA
05	6/5/2025	For DA
04	5/3/2025	For DA
03	4/11/2024	For Consultants
02	28/10/2024	For Client
REV	DATE	DESCRIPTION



McNally Architects



STUDIO



Project Address
153A Ocean Street Narrabeen

Project Number
24015

Drawing Title
SITE ANALYSIS

Client
Cameron & Candice Kirby

Date
7/5/2025

Drawing Scale
1:50 @ A1

Revision Issue
06

Drawing Number
A007



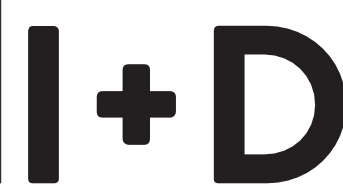
NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I & D Studio.
All levels to Australian Height Data.
It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

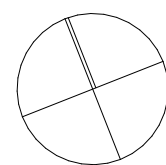
06	7/5/2025	For DA
05	6/5/2025	For DA
04	5/3/2025	For DA
03	4/11/2024	For Consultants
02	28/10/2024	For Client
REV	DATE	DESCRIPTION



McNally Architects



STUDIO



Project Address
153A Ocean Street Narrabeen

Project Number Client
24015 Cameron & Candice Kirby

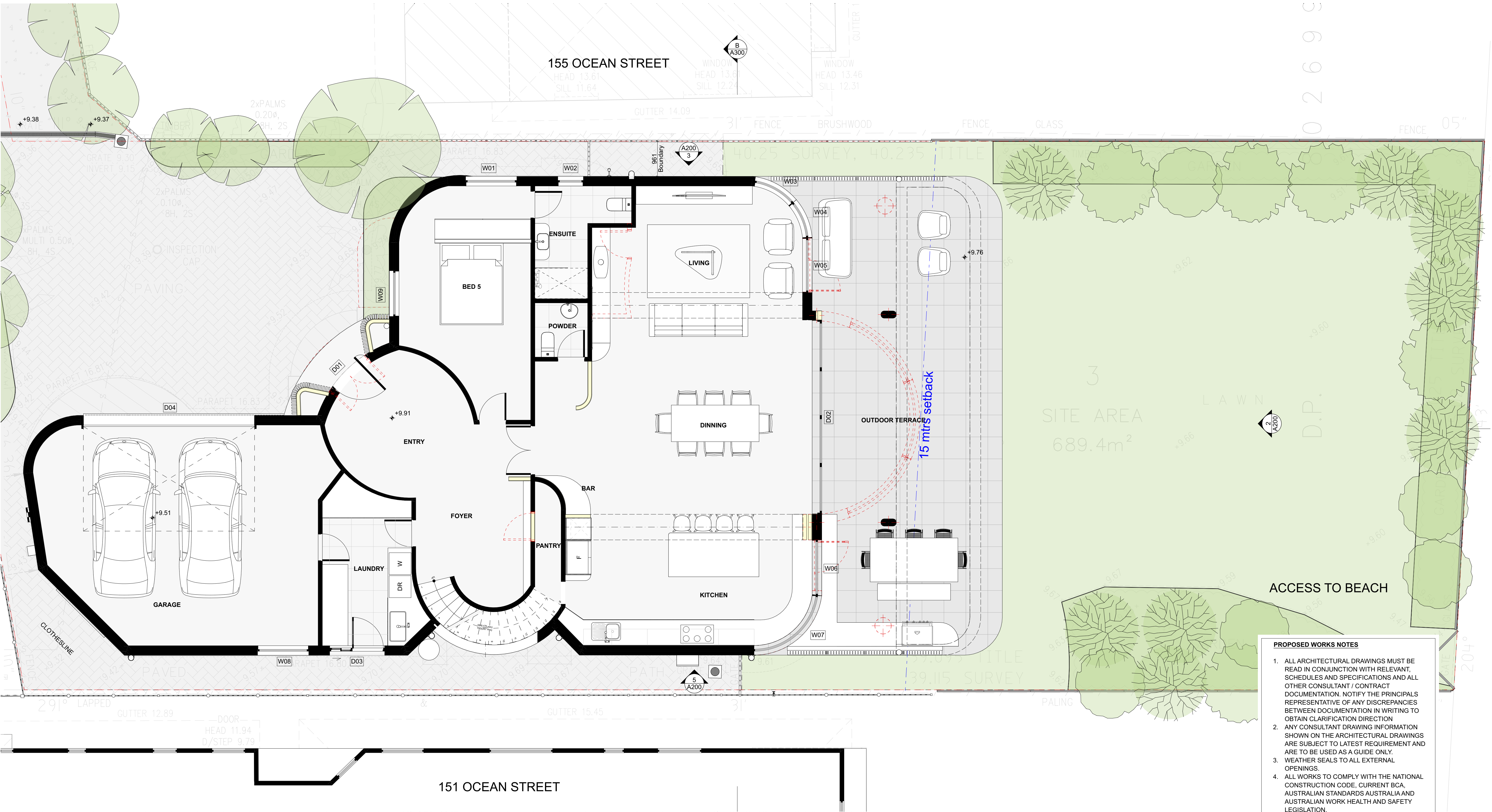
Drawing Title
SITE PLAN

Date
7/5/2025

Drawing Scale
1:100 @ A1

Revision Issue
06

Drawing Number
A008



GROUND FLOOR
1:50

PROPOSED WORKS LEGEND	
	TO BE DEMOLISHED
	TO REMAIN
	NEW WORKS

PROPOSED WORKS NOTES

- ALL ARCHITECTURAL DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION
- ANY CONSULTANT DRAWING INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS ARE SUBJECT TO LATEST REQUIREMENT AND ARE TO BE USED AS A GUIDE ONLY.
- WEATHER SEALS TO ALL EXTERNAL OPENINGS.
- ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE, CURRENT BCA, AUSTRALIAN STANDARDS AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
- SMOKE ALARMS TO BE INSTALLED TO COMPLY WITH AS3786. ALL SMOKE ALARMS TO BE LOCATED IN ACCORDANCE WITH BCA REQUIREMENTS
- ALL FOOTINGS, PIERS, ROOF STRUCTURE AND COLUMNS TO STRUCTURAL ENGINEERS REQUIREMENTS
- REFER TO ID PACKAGE FOR ALL JOINERY DETAILS.

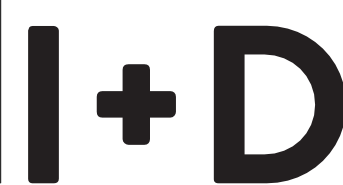
NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I & D Studio.
All levels to Australian Height Data.
It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

07	7/5/2025	For DA
06	6/5/2025	For DA
05	5/3/2025	For DA
04	4/11/2024	For Consultants
03	28/10/2024	For Client
REV	DATE	DESCRIPTION



McNally Architects



STUDIO

Studio 201, 6-8 Clarke Street,
Crow's Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744

Studio 201, 6-8 Clarke Street,
Crow's Nest, 2065, NSW, Australia
+61 2 9438 5909
studio@landdstudio.com.au
www.landdstudio.com.au
ABN 55 631 885 964

Project Address
153A Ocean Street Narrabeen

Project Number
24015

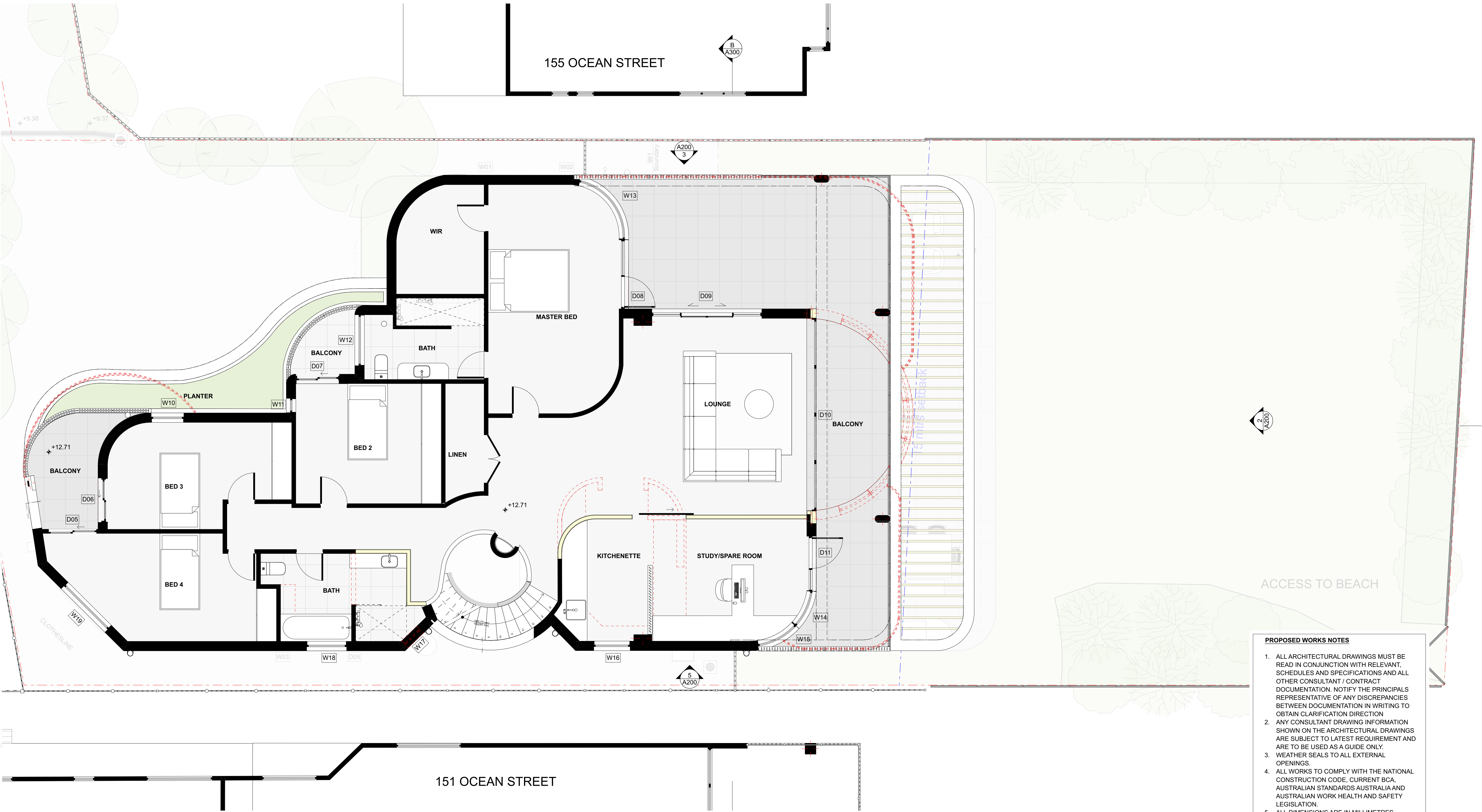
Drawing Title
GROUND FLOOR PLAN

Date
7/5/2025

Drawing Scale
1:50, 1:100 @ A1

Revision Issue
07

Drawing Number
A100



FIRST FLOOR
1:50

PROPOSED WORKS LEGEND	
	TO BE DEMOLISHED
	TO REMAIN
	NEW WORKS

- PROPOSED WORKS NOTES**
- ALL ARCHITECTURAL DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION
 - ANY CONSULTANT DRAWING INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS ARE SUBJECT TO LATEST REQUIREMENT AND ARE TO BE USED AS A GUIDE ONLY.
 - WEATHER SEALS TO ALL EXTERNAL OPENINGS.
 - ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE, CURRENT BCA, AUSTRALIAN STANDARDS AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION.
 - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
 - SMOKE ALARMS TO BE INSTALLED TO COMPLY WITH AS3786. ALL SMOKE ALARMS TO BE LOCATED IN ACCORDANCE WITH BCA REQUIREMENTS
 - ALL FOOTINGS, PIERS, ROOF STRUCTURE AND COLUMNS TO STRUCTURAL ENGINEERS REQUIREMENTS
 - REFER TO ID PACKAGE FOR ALL JOINERY DETAILS.

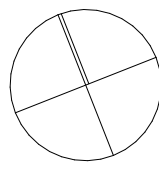
NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I + D Studio.
All levels to Australian Height Data.
It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

07	7/5/2025	For DA
06	6/5/2025	For DA
05	5/3/2025	For DA
04	4/11/2024	For Consultants
03	28/10/2024	For Client
REV	DATE	DESCRIPTION

McNally Architects

I + D STUDIO

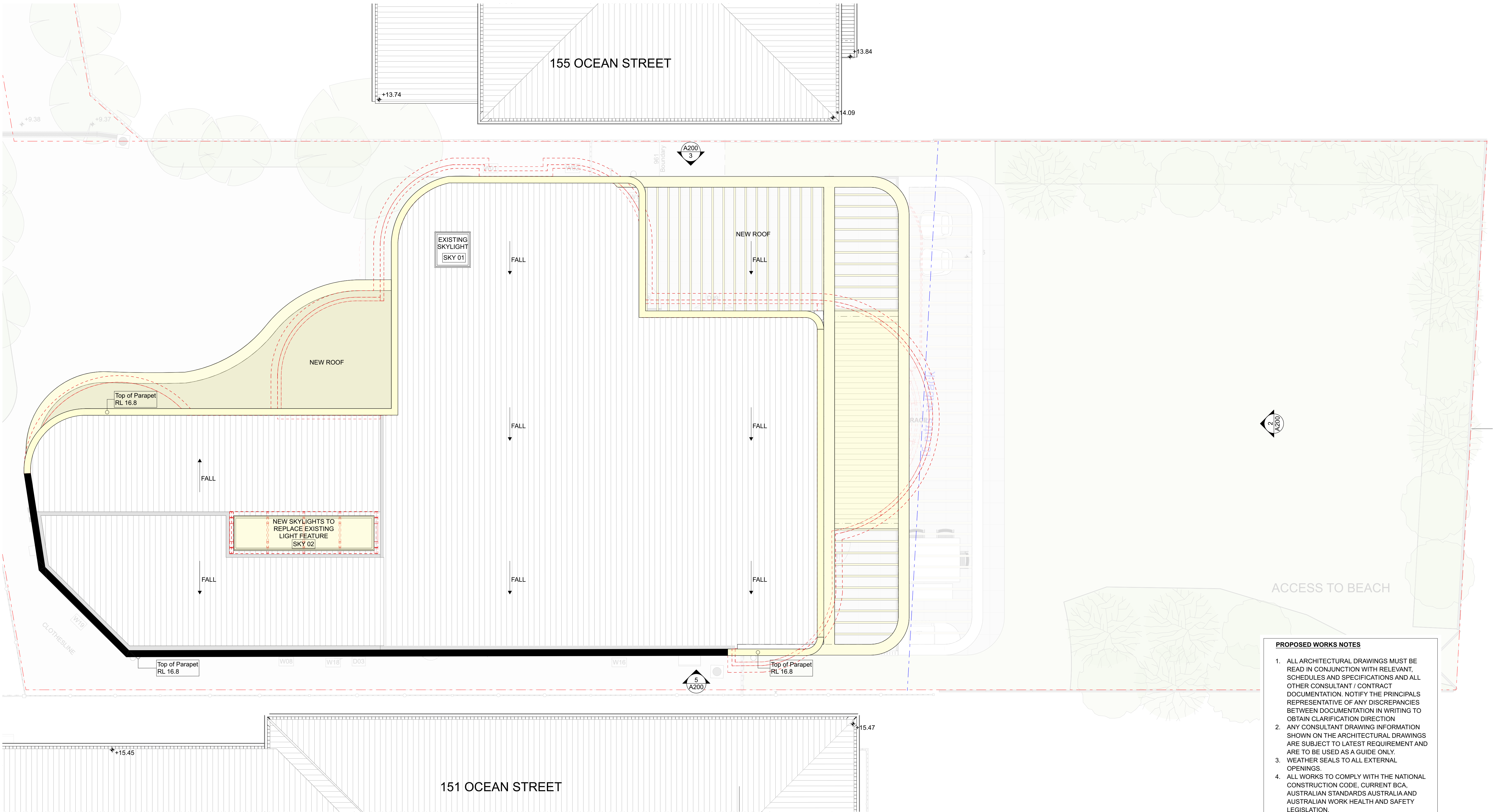


Project Address
153A Ocean Street Narrabeen
Project Number
24015
Drawing Title
FIRST FLOOR PLAN

Client
Cameron & Candice Kirby

Date
7/5/2025
Drawing Scale
1:50, 1:100 @ A1

Revision Issue
07
Drawing Number
A101



ROOF
1:50

PROPOSED WORKS LEGEND	
	TO BE DEMOLISHED
	TO REMAIN
	NEW WORKS

- PROPOSED WORKS NOTES**
- ALL ARCHITECTURAL DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION
 - ANY CONSULTANT DRAWING INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS ARE SUBJECT TO LATEST REQUIREMENT AND ARE TO BE USED AS A GUIDE ONLY.
 - WEATHER SEALS TO ALL EXTERNAL OPENINGS.
 - ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE, CURRENT BCA, AUSTRALIAN STANDARDS AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION.
 - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
 - SMOKE ALARMS TO BE INSTALLED TO COMPLY WITH AS3786. ALL SMOKE ALARMS TO BE LOCATED IN ACCORDANCE WITH BCA REQUIREMENTS
 - ALL FOOTINGS, PIERS, ROOF STRUCTURE AND COLUMNS TO STRUCTURAL ENGINEERS REQUIREMENTS
 - REFER TO ID PACKAGE FOR ALL JOINERY DETAILS.

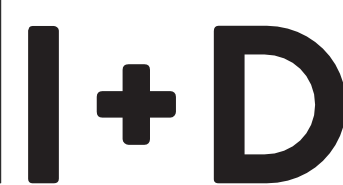
NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I & D Studio. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

REV	DATE	DESCRIPTION
07	7/5/2025	For DA
06	6/5/2025	For DA
05	5/3/2025	For DA
04	4/11/2024	For Consultants
03	28/10/2024	For Client



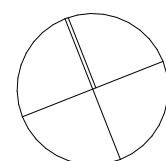
McNally Architects



STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9025 9909
studio@landdstudio.com.au
www.landdstudio.com.au
ABN 55 631 885 964

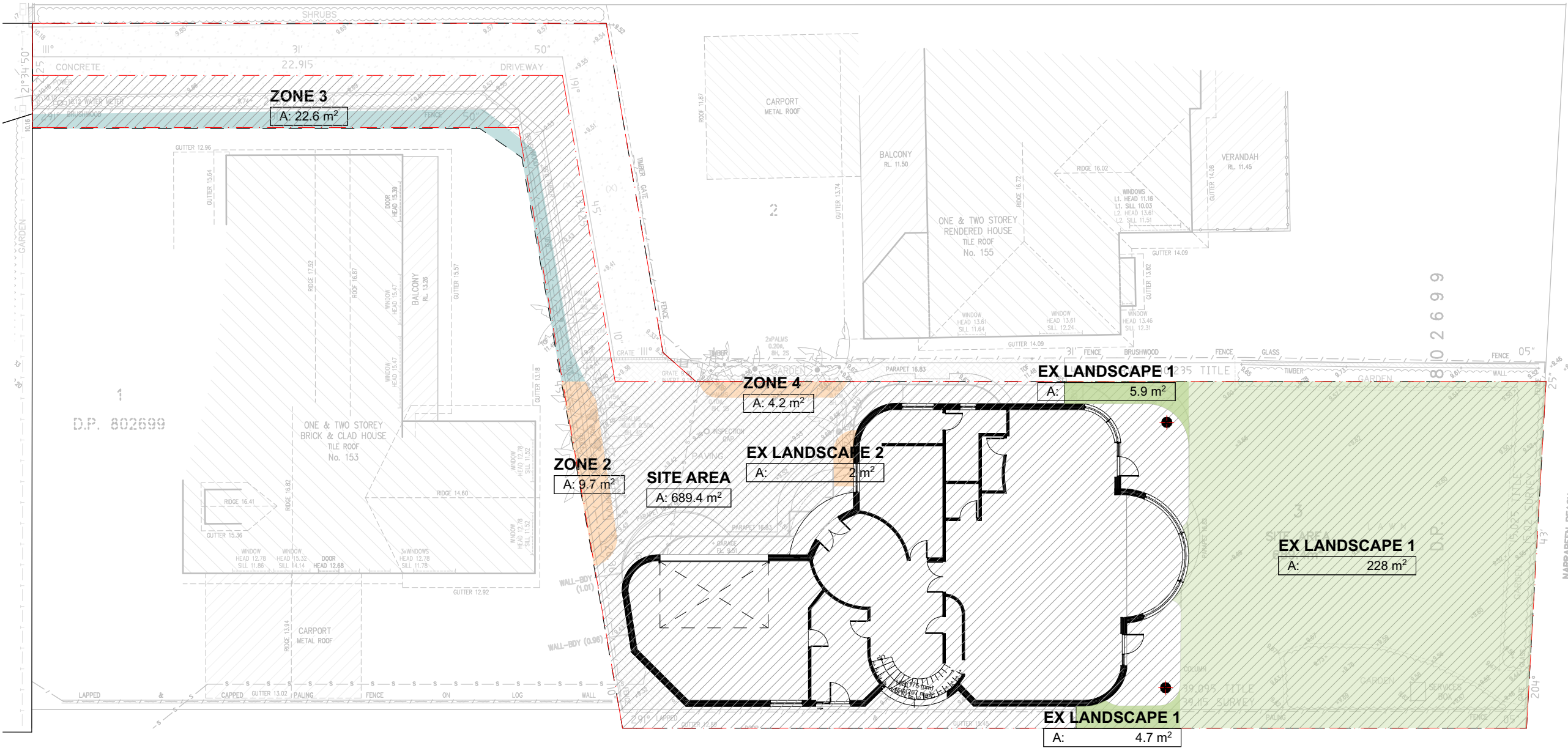


Project Address
153A Ocean Street Narrabeen
Project Number
24015
Drawing Title
ROOF PLAN

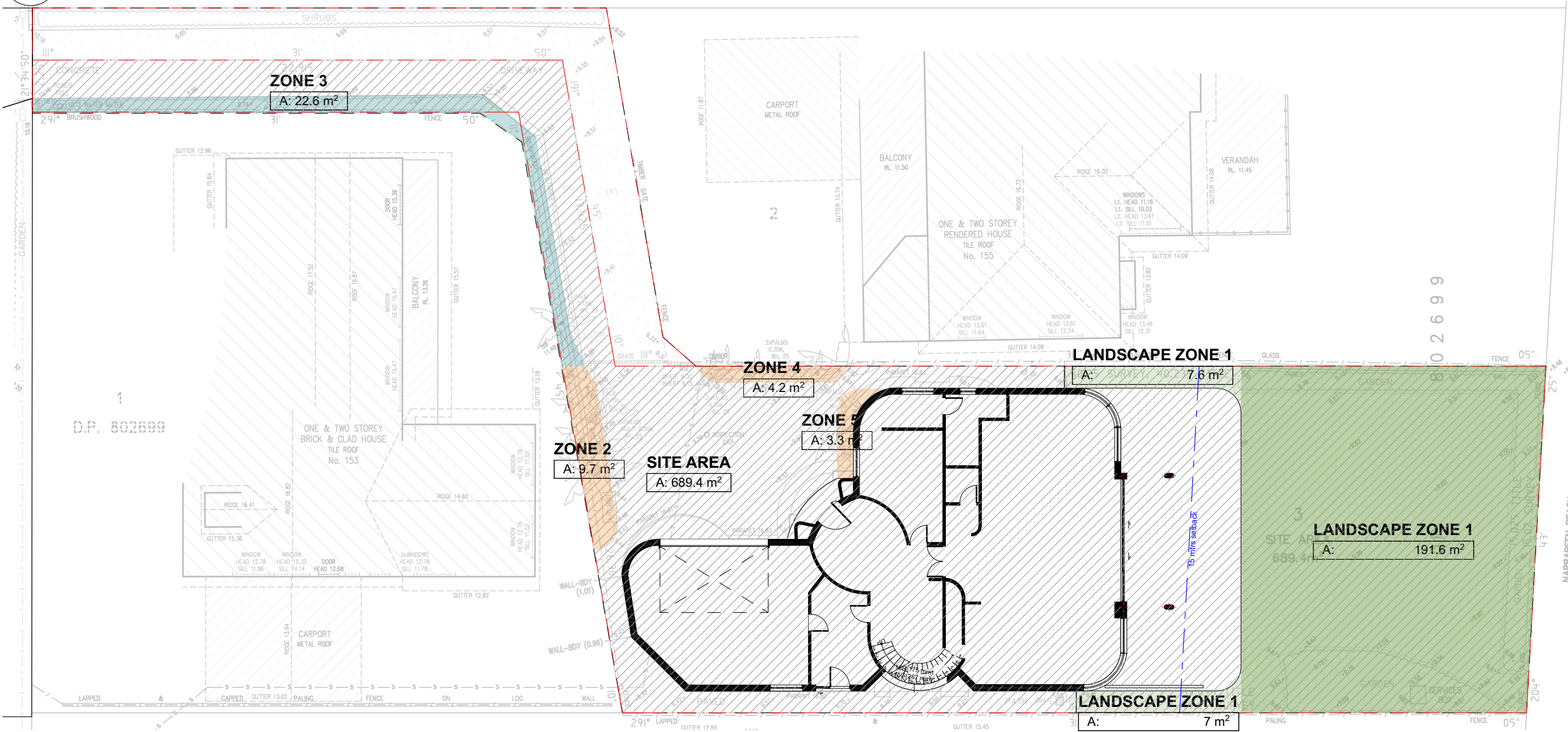
Client
Cameron & Candice Kirby

Date
7/5/2025
Drawing Scale
1:50, 1:100 @ A1

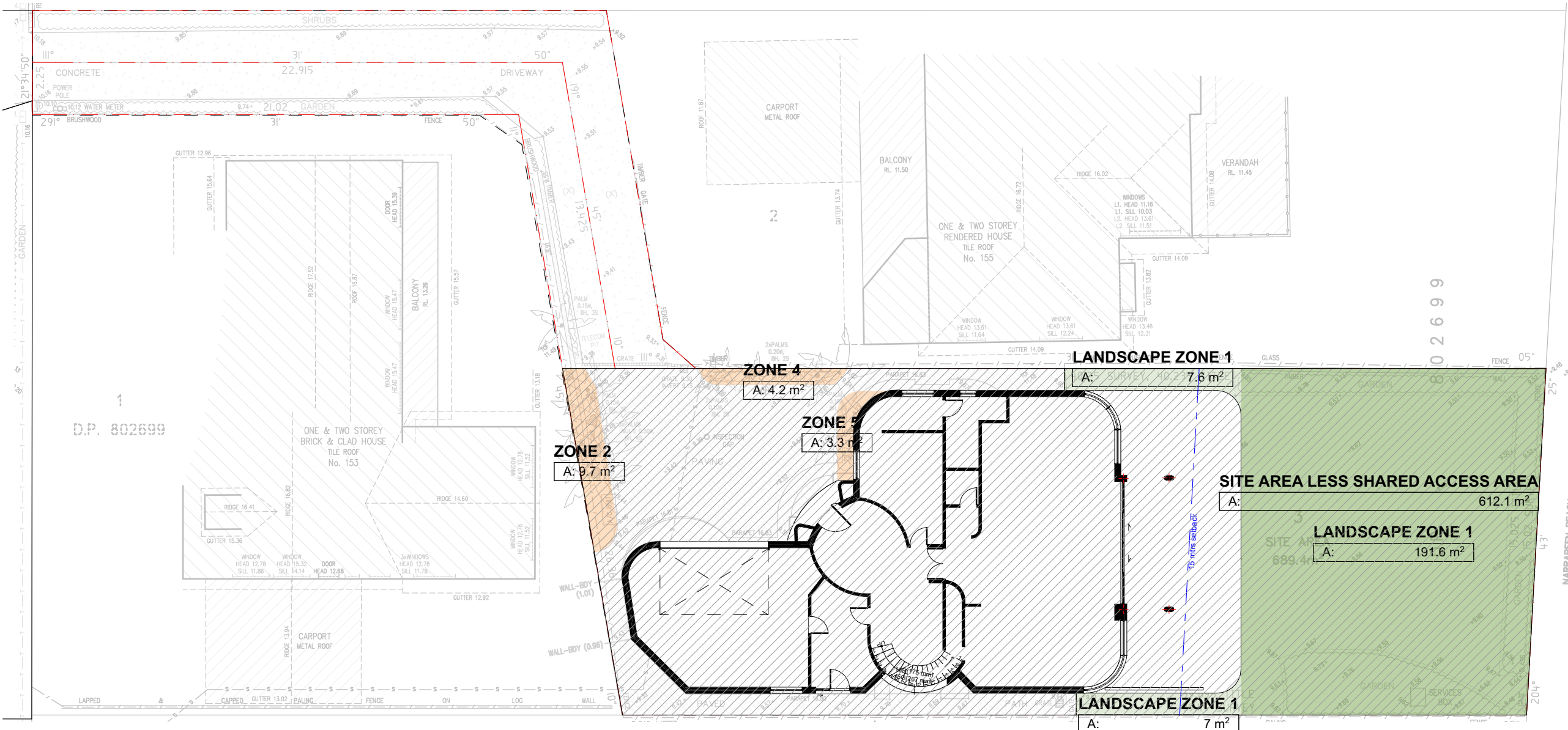
Revision Issue
07
Drawing Number
A102



GROUND FLOOR - EXISTING LANDSCAPE
1:200



PROPOSED GROUND FLOOR - LANDSCAPE
1:200



PROPOSED GROUND FLOOR - LESS ACCESS AREA
1:200

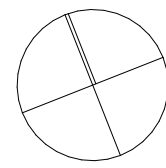
NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I + D Studio.
All levels to Australian Height Data.
It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

REV	DATE	DESCRIPTION
03	7/5/2025	For DA
02	6/5/2025	For DA
01	5/3/2025	For DA

McNally Architects

I + D STUDIO

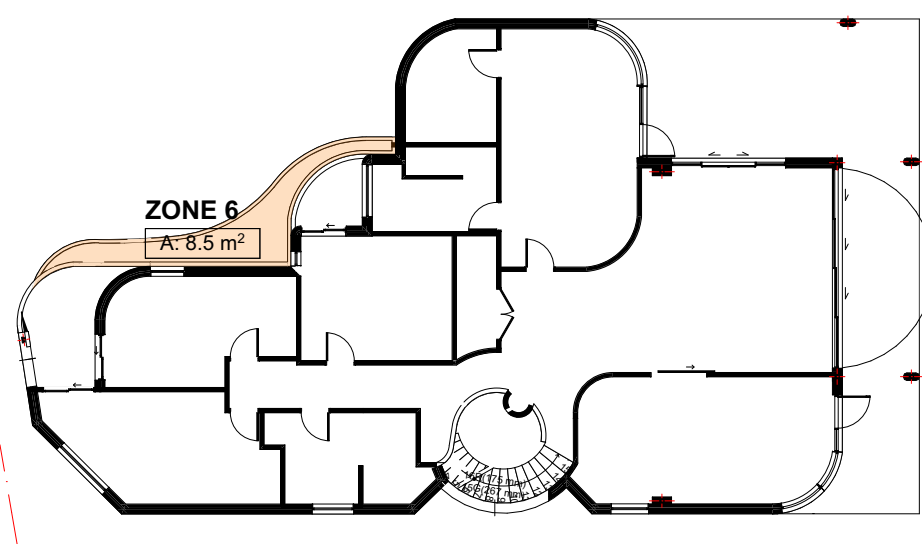


Project Address
153A Ocean Street Narrabeen
Project Number
24015
Client
Cameron & Candice Kirby
Drawing Title
LANDSCAPE CALCS

Date
7/5/2025
Drawing Scale
1:200 @ A1

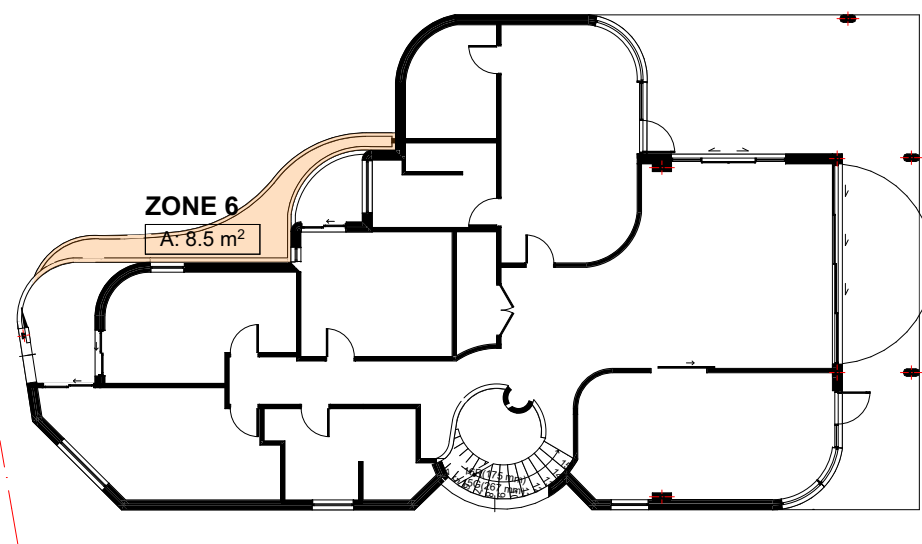
Revision Issue
03
Drawing Number
A103

SITE AREA = 689.4 m ²	
LANDSCAPE AREA 40% OF SITE. THEREFORE 40% OF 689.4 = 275.76 m ²	
EXISTING LANDSCAPE AREA 228.05 m ² = 33.07% NON COMPLIANCES (EXCLUDING ZONES LESS THAN 2M)	
EXISTING LANDSCAPE AREA ZONES MORE THAN 2M	
Zone Name	Area (m2)
EX LANDSCAPE 1	228.05



FIRST FLOOR
1:200

SITE AREA LESS SHARED ACCESS HANDLE AREA = 612.1 m ²	
LANDSCAPE AREA 40% OF SITE. THEREFORE 40% OF 612.1 = 244.8 m ²	
PROPOSED LANDSCAPE AREA 191.65 m ² = 27.8% NON COMPLIANCES (EXCLUDING ZONES LESS THAN 2M)	
PROPOSED LANDSCAPE AREA ZONES MORE THAN 2 METRES	
Zone Name	Area (m2)
LANDSCAPE ZONE 1	191.65
	191.65 m ²



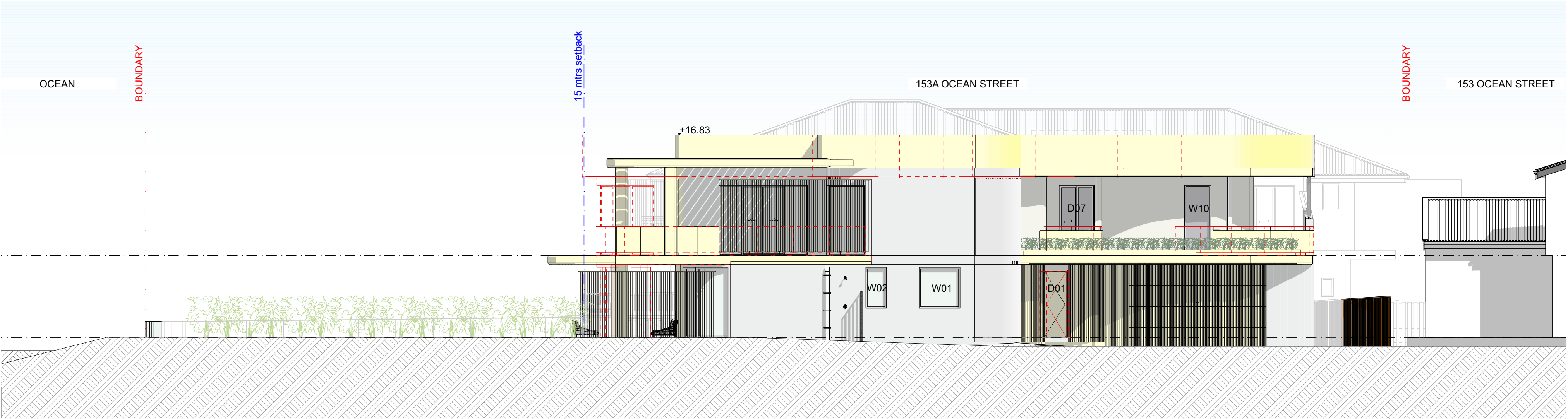
FIRST FLOOR
1:200

SITE AREA = 689.4 m ²	
LANDSCAPE AREA 40% OF SITE. THEREFORE 40% OF 689.4 = 275.76 m ²	
PROPOSED LANDSCAPE AREA 254.44 m ² = 37% NON COMPLIANCES (INCLUDING ZONES LESS THAN 2M)	
PROPOSED LANDSCAPE AREA INCLUDING ZONES LESS THAN 2M	
Zone Name	Area (m2)
LANDSCAPE ZONE 1	191.65
	7.57
	6.99
ZONE 2	9.66
ZONE 3	22.60
ZONE 4	4.22
ZONE 5	3.26
ZONE 6	8.49
	254.44 m ²

SITE AREA LESS SHARED ACCESS HANDLE AREA = 612.1 m ²	
LANDSCAPE AREA 40% OF SITE. THEREFORE 40% OF 612.1 = 244.8 m ²	
PROPOSED LANDSCAPE AREA 231.84 m ² = 38% NON COMPLIANCES (INCLUDING ZONES LESS THAN 2M)	
LANDSCAPE AREA EXCLUDING SHARED ACCESS ZONE	
Zone Name	Area (m2)
LANDSCAPE ZONE 1	191.65
	7.57
	6.99
ZONE 2	9.66
ZONE 4	4.22
ZONE 5	3.26
ZONE 6	8.49
	231.84 m ²



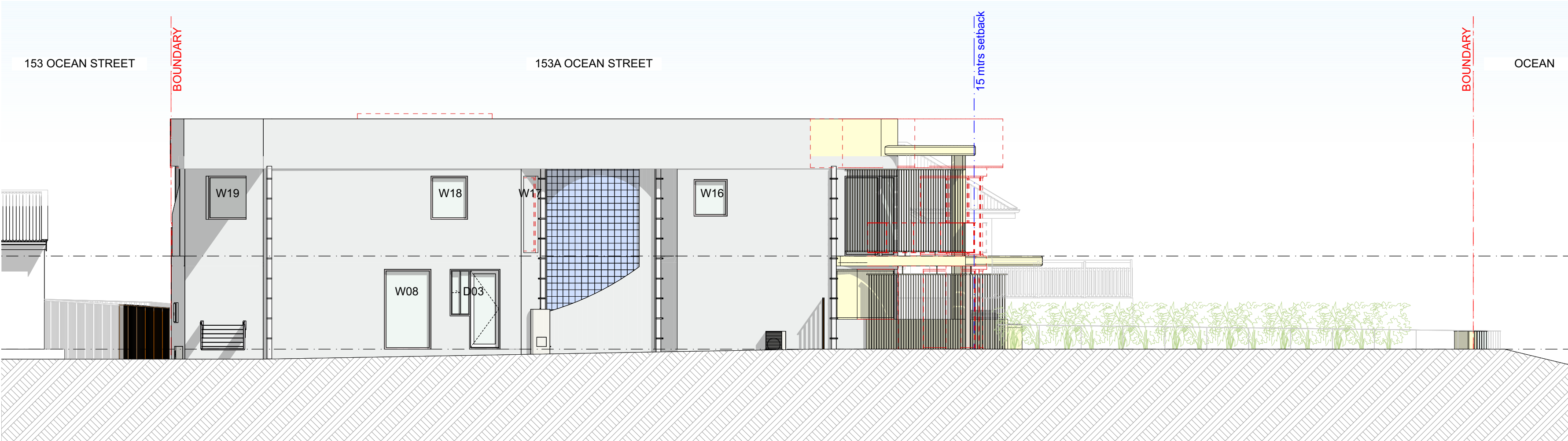
East Elevation
1:100



North Elevation
1:100



West Elevation
1:100



South Elevation
1:100

PROPOSED WORKS LEGEND	
	TO BE DEMOLISHED
	TO REMAIN
	NEW WORKS

- ELEVATION NOTES**
- ALL TIMBER TO BE PLANTATION, REGROWN OR RECYCLED TIMBER, OR RENEWABLE TIMBER GROWN ON AUSTRALIAN FARMS OR STATE FOREST PLANTATIONS.
 - POOL FENCE & CHILD RESISTANT BARRIER TO AS1926
 - ALL SURFACE WATER RUN OFF FROM UNCOVERED NEW PAVED AREAS SHALL BE DIRECTED AWAY FROM NEIGHBOURS PROPERTIES & CONNECTED INTO THE DRAINAGE SYSTEM WHERE POSSIBLE.
 - ALL GLAZING AND SCREENING DEVICES TO WINDOWS IN ACCORDANCE WITH BASIX CERTIFICATE.
 - FLAT CEILING 1.45, FOIL BACKED BLANKET (55MM) AND MEDIUM (SOLAR ABSORPTANCE 0.475-0.70) AS STATED IN THE BASIX.

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I & D Studio. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

05	7/5/2025	For DA
04	6/5/2025	For DA
03	5/3/2025	For DA
02	4/11/2024	For Consultants
01	28/10/2024	For Client
REV	DATE	DESCRIPTION



McNally Architects

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744



I+D STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 5909
studio@landdstudio.com.au
www.landdstudio.com.au
ABN 55 631 885 964

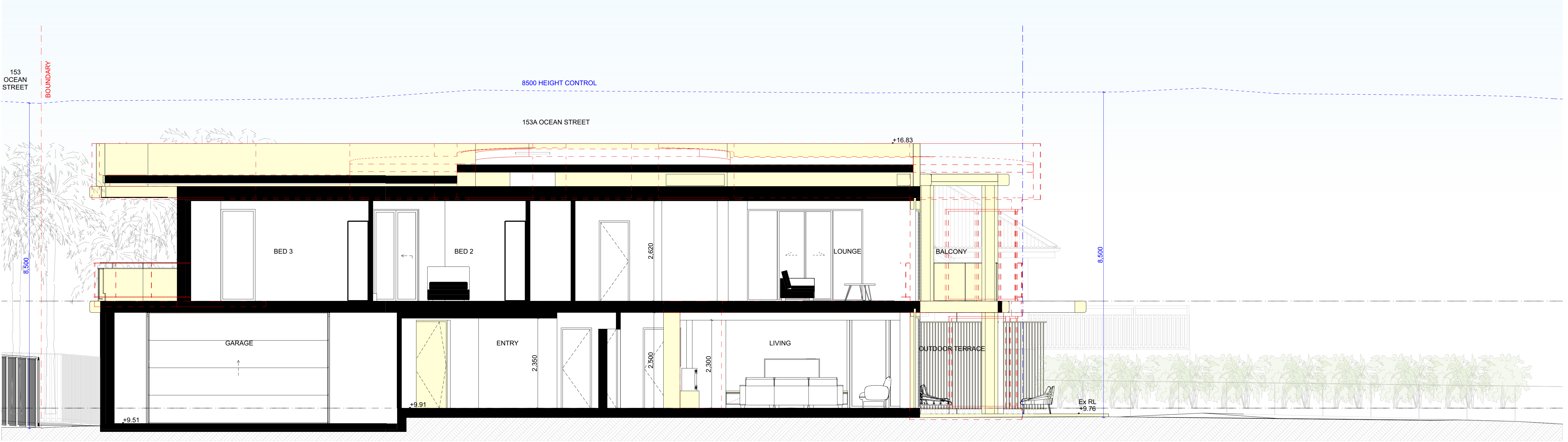
Project Address
153A Ocean Street Narrabeen

Project Number
24015

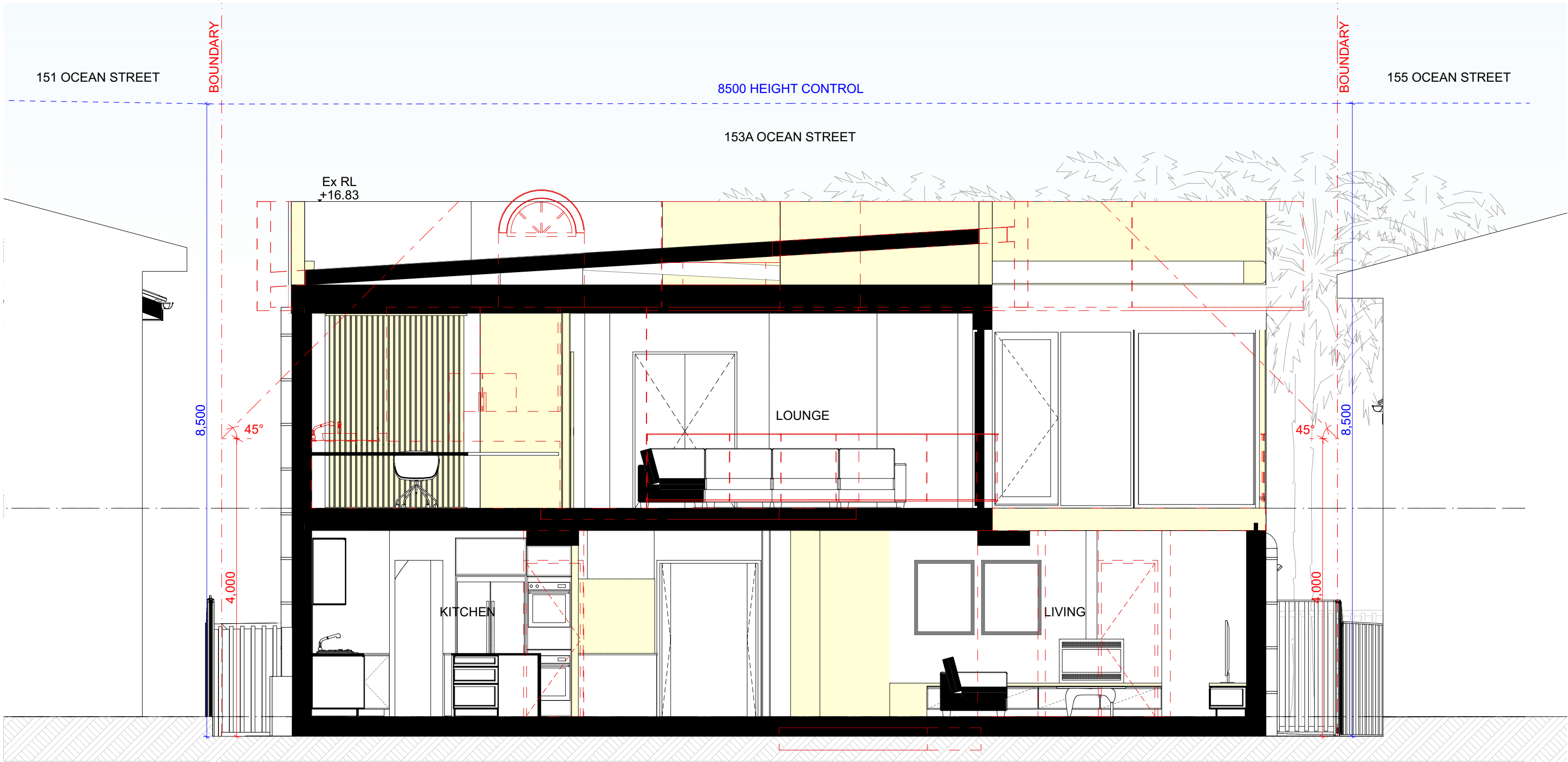
Drawing Title
ELEVATIONS

Client
Cameron & Candice Kirby

Date 7/5/2025	Revision Issue 05
Drawing Scale 1:100 @ A1	Drawing Number A200



SECTION A - A
1:50



SECTION B - B
1:50

PROPOSED WORKS LEGEND	
	TO BE DEMOLISHED
	TO REMAIN
	NEW WORKS

- SECTION NOTES**
1. ALL SURFACE WATER RUN OFF FROM UNCOVERED NEW PAVED AREAS SHALL BE DIRECTED AWAY FROM NEIGHBOURS PROPERTIES & CONNECTED INTO THE DRAINAGE SYSTEM WHERE POSSIBLE.
 2. ALL GLAZING AND SCREENING DEVICES TO WINDOWS TO BE IN ACCORDANCE WITH BASIX CERTIFICATE.
 3. ALL INSULATION AND CONSTRUCTION TO BE IN ACCORDANCE WITH BASIX.

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I & D Studio. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

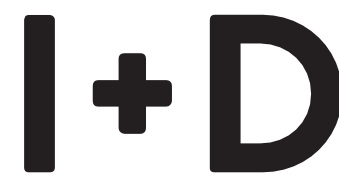
Project Partners

REV	DATE	DESCRIPTION
04	7/5/2025	For DA
03	6/5/2025	For DA
02	5/3/2025	For DA
01	4/11/2024	For Consultants



McNally Architects

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744



STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
studio@landdstudio.com.au
www.landdstudio.com.au
ABN 55 631 885 964

Project Address
153A Ocean Street Narrabeen
Project Number
24015
Drawing Title
SECTION A-A & SECTION B-B

Client
Cameron & Candice Kirby

Date
7/5/2025

Drawing Scale

1:50, 1:100 @ A1

Revision Issue
04

Drawing Number

A300



CO
COCRETE



ST
STONE MOSAICS TILE



PS - PRIVACY SCREEN
TIMBER



SLIDING DOORS
ANODISED ALUMINIUM FRAMING



OUTDOOR FIREPLACE



BRICK



CO
COCRETE



BAL
PAINTED BALUSTRADE

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I & D Studio. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

REV	DATE	DESCRIPTION
04	7/5/2025	For DA
03	6/5/2025	For DA
02	5/3/2025	For DA
01	4/11/2024	For Consultants

McNally Architects

I + D STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9025 9909
studio@ianddstudio.com.au
www.ianddstudio.com.au
ABN 55 631 885 964

Project Address
153A Ocean Street Narrabeen
Project Number
24015
Drawing Title
EXTERNAL FINISHES AND COLOURS

Date
7/5/2025
Drawing Scale
@ A1

Revision Issue
04
Drawing Number
A400

Door Schedule												
Element ID	D01	D02	D03	D04	D05	D06	D07	D08	D09	D10	D11	Dx
Story	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	GROUND FLOOR
Plan view												
Zone	ENTRY	OUTDOOR TERRACE	LAUNDRY	GARAGE	BED 4	BED 3	BED 2	BALCONY	LOUNGE	BALCONY	STUDY/SPARE ROOM	OUTDOOR TERRACE
Renovation Status	New	New	Existing	Existing	Existing	Existing	Existing	Existing	Existing	New	Existing	New

DOOR SCHEDULE

WINDOW SCHEDULE																
Element ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11	W12	W13	W14	W15	W16
Story	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
Plan view																
Zone	BED 5	ENSUITE	LIVING		OUTDOOR TERRACE	OUTDOOR TERRACE	KITCHEN	GARAGE	BED 5	BED 3	BED 2	BATH	MASTER BED	STUDY/SPARE ROOM	STUDY/SPARE ROOM	KITCHENETTE
Renovation Status	Existing	Existing	Existing	Existing	New	New	New	Existing	Existing	Existing	Existing	Existing	Existing	Existing	Existing	Existing

WINDOW SCHEDULE		
Element ID	W18	W19
Story	FIRST FLOOR	FIRST FLOOR
Plan view		
Zone	BATH	BED 4
Renovation Status	Existing	Existing

WINDOW SCHEDULE

SKY SCHEDULE		
Element ID	SKY 01	SKY 02
Story	Roof	Roof
Plan view		
Renovation Status	Existing	New

SKYLIGHT SCHEDULE
1:1

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I & D Studio. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

04	7/5/2025	For DA
03	6/5/2025	For DA
02	5/3/2025	For DA
01	4/11/2024	For Consultants
REV	DATE	DESCRIPTION



McNally Architects

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744



I+D STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 9909
studio@landdstudio.com.au
www.landdstudio.com.au
ABN 55 631 885 964

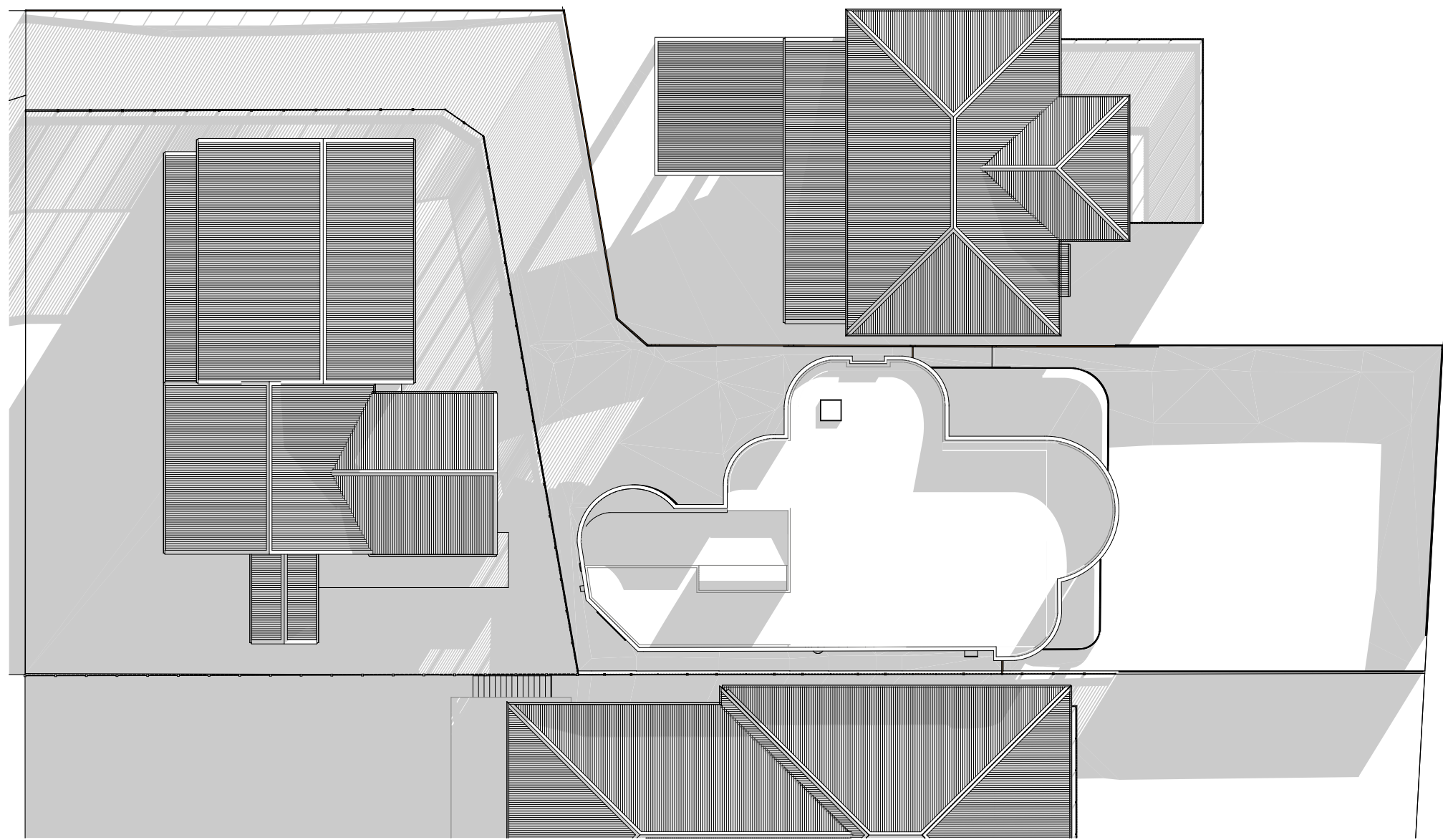
Project Address
153A Ocean Street Narrabeen

Project Number
24015

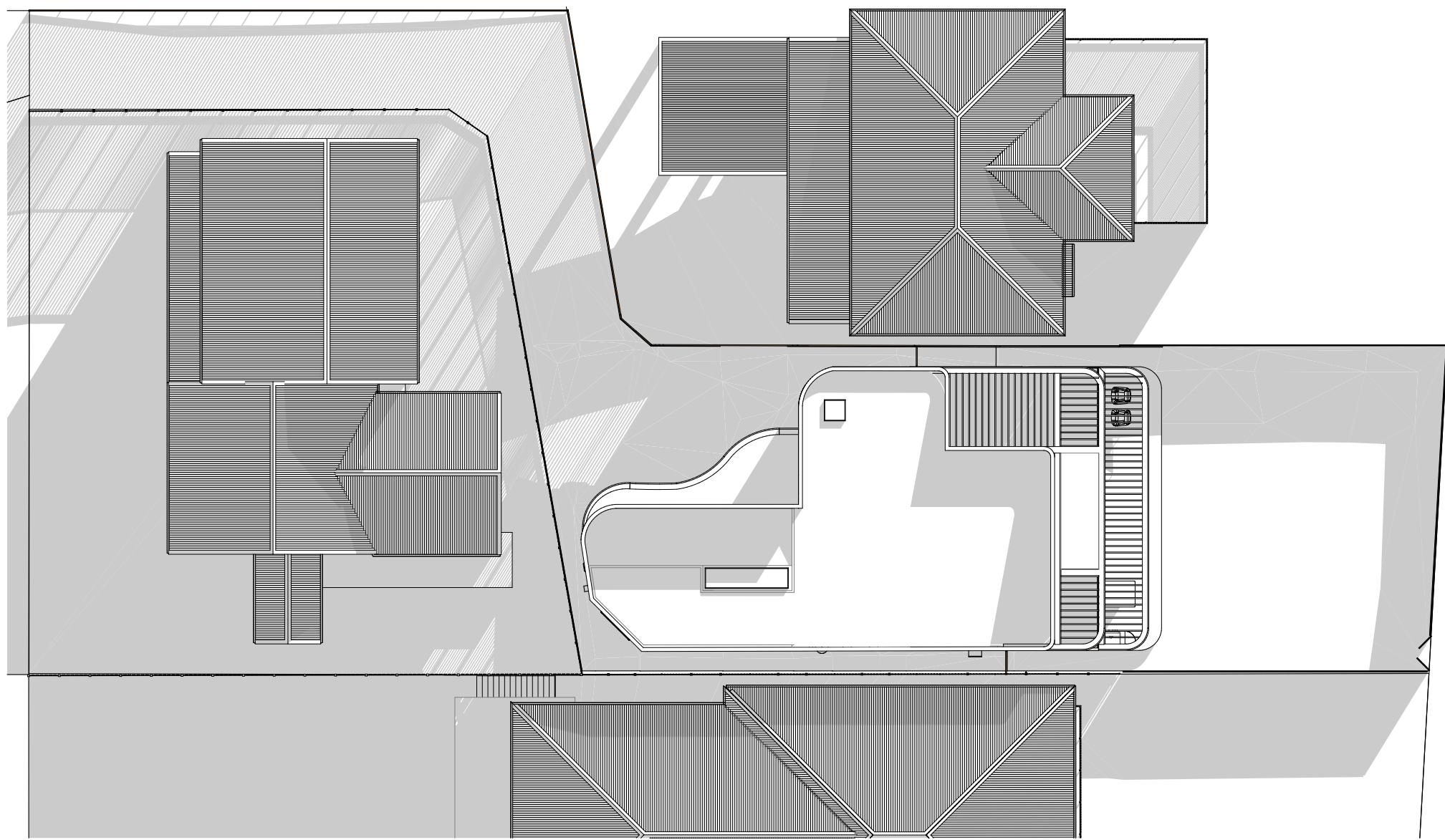
Drawing Title
DOOR & WINDOW SCHEDULE

Client
Cameron & Candice Kirby

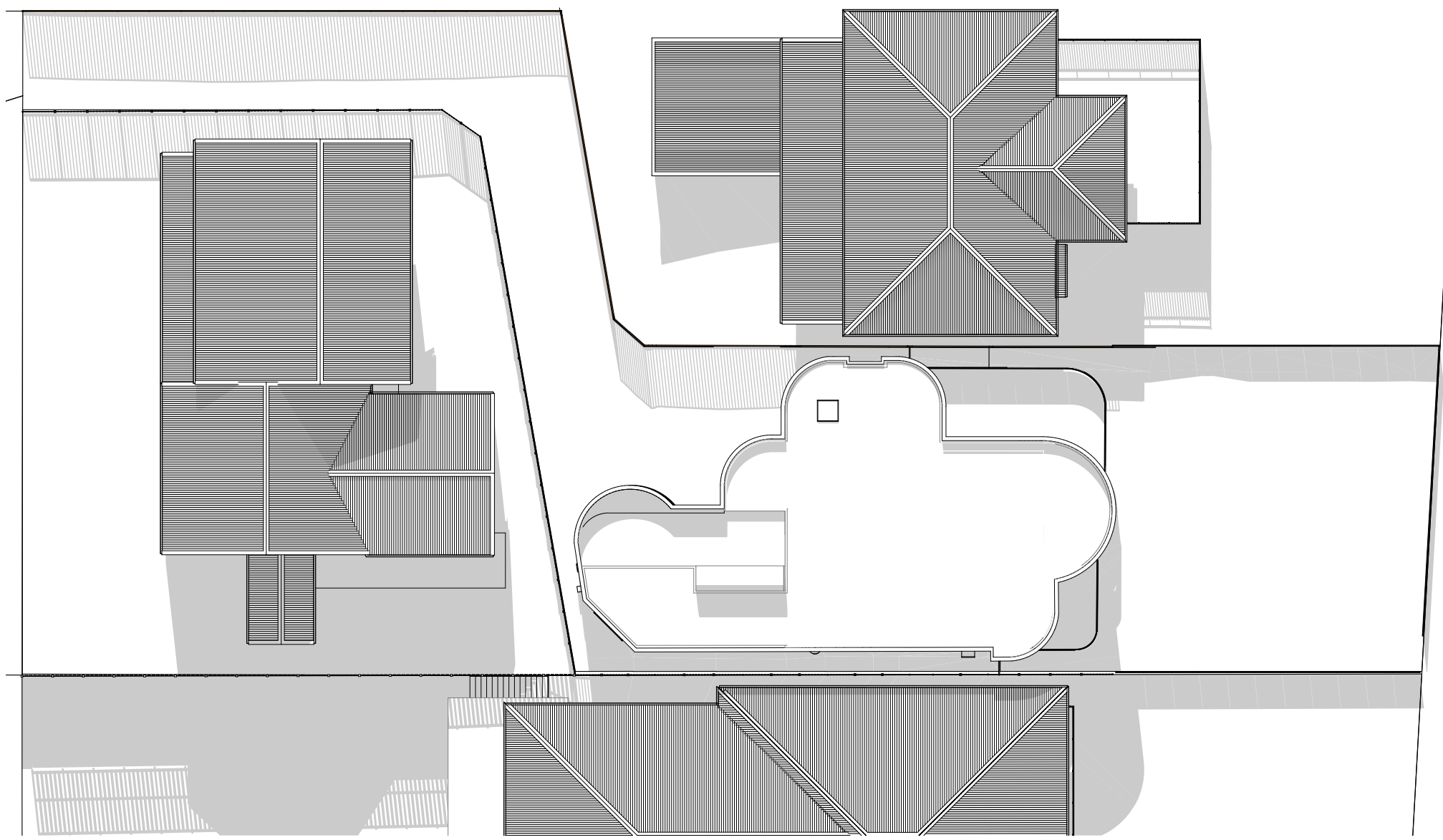
Date 7/5/2025	Revision Issue 04
Drawing Scale 1:1 @ A1	Drawing Number A700



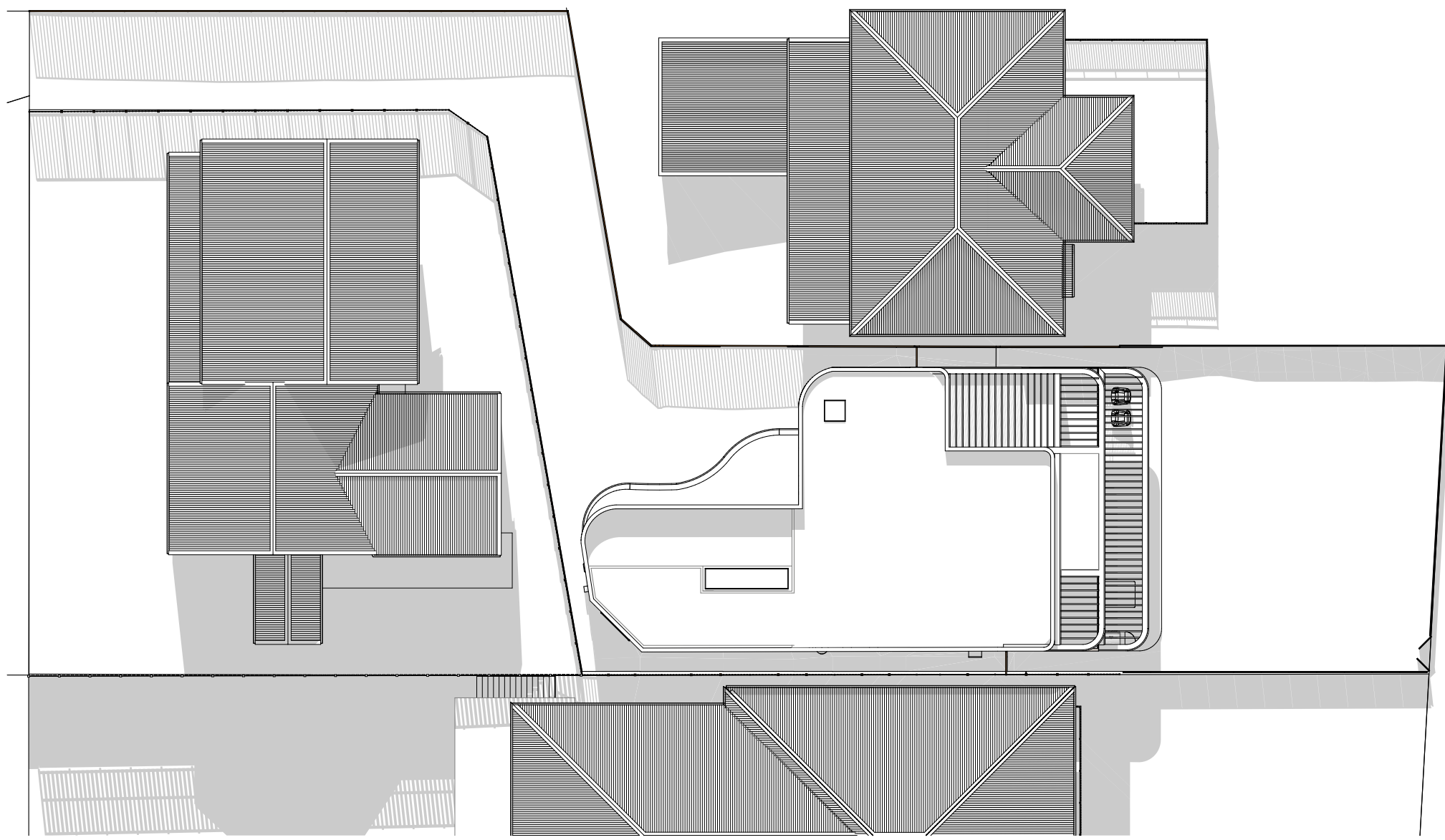
EXISTING 21ST OF JUNE @ 9 AM
1:250



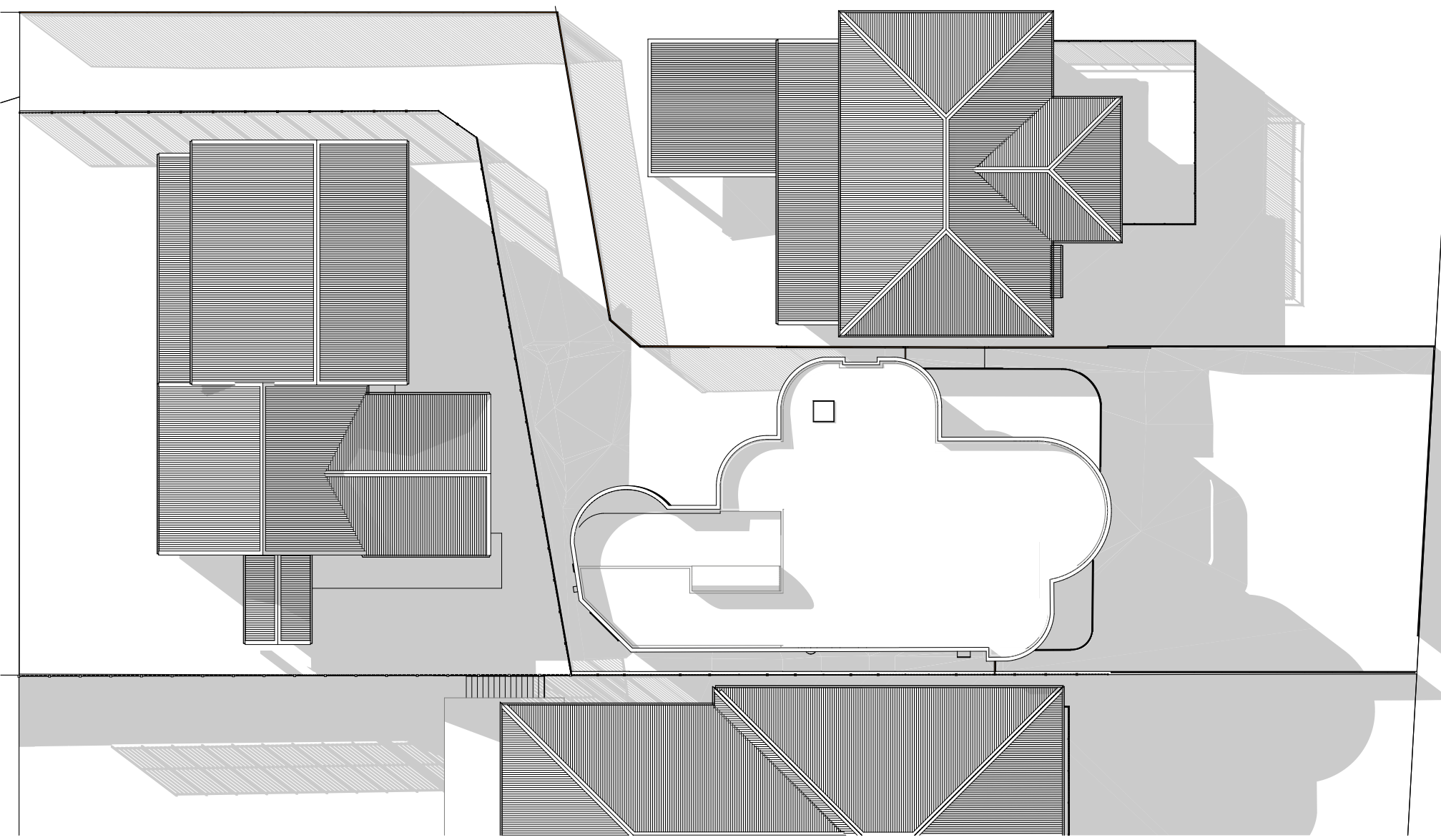
PROPOSED 21ST OF JUNE @ 9 AM
1:250



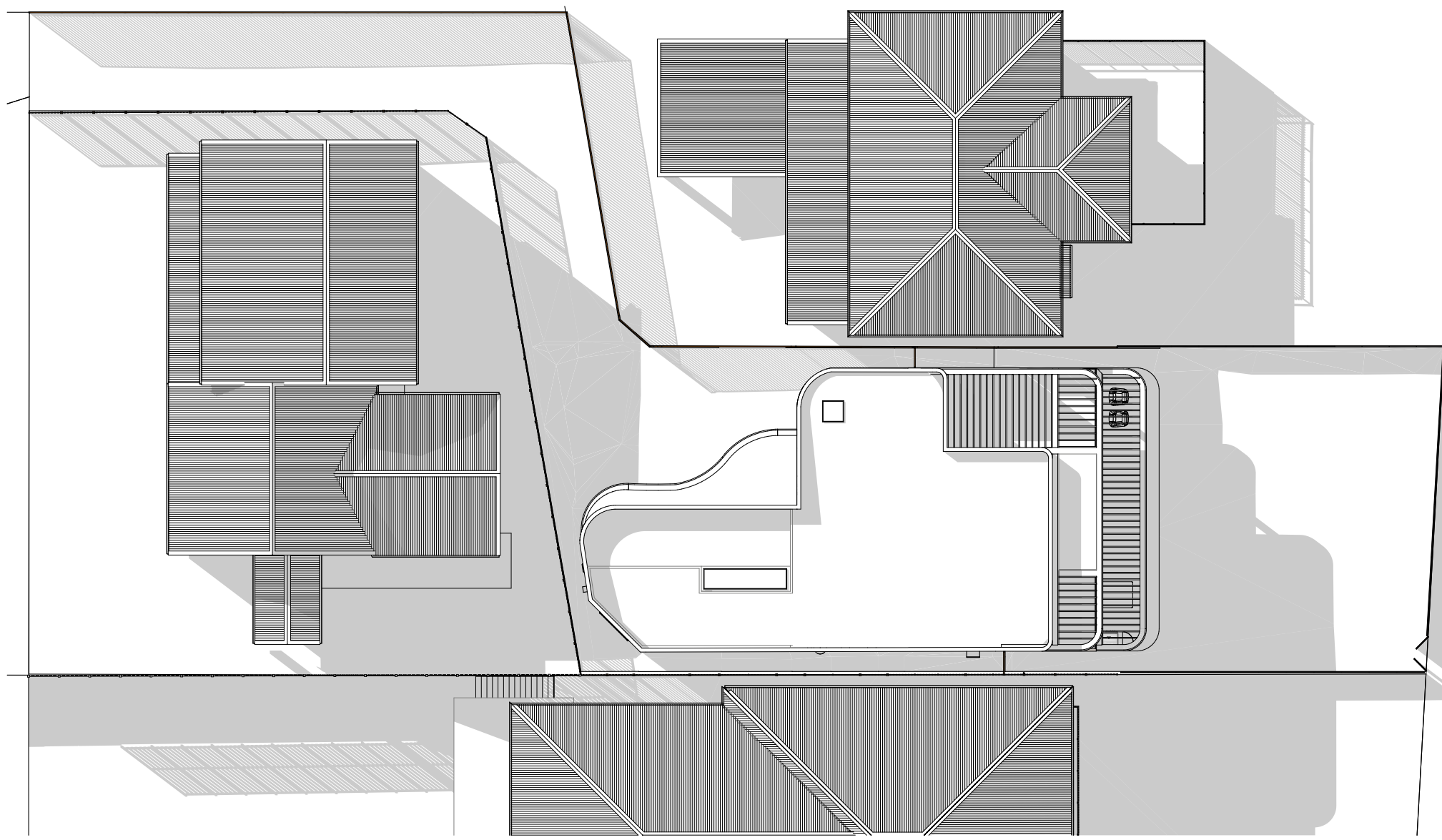
EXISTING 21ST OF JUNE @ 12 NOON
1:250



PROPOSED 21ST OF JUNE @ 12 NOON
1:250



EXISTING 21ST OF JUNE @ 3 PM
1:250



PROPOSED 21ST OF JUNE @ 3 PM
1:250

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing is copyright © and shall remain the property of McNally Architects & I + D Studio. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Project Partners

REV	DATE	DESCRIPTION
03	7/5/2025	For DA
02	6/5/2025	For DA
01	5/3/2025	For DA



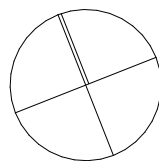
McNally Architects

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9438 3565
office@mcnallyarchitects.com.au
www.mcnallyarchitects.com.au
ABN 94 096 165 445
James McNally 6744



I + D STUDIO

Studio 201, 6-8 Clarke Street,
Crows Nest, 2065, NSW, Australia
+61 2 9025 9909
studio@landdstudio.com.au
www.landdstudio.com.au
ABN 55 631 885 964



Project Address
153A Ocean Street Narrabeen

Project Number
24015

Drawing Title
SHADOW DIAGRAM 21ST OF JUNE

Client
Cameron & Candice Kirby

Date
7/5/2025

Drawing Scale
1:250 @ A1

Revision Issue
03

Drawing Number
A800