1102 BARRENJOEY ROAD, PALM BEACH

DA APPLICATION - PALM BEACH APARTMENTS



All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is B to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV А

NOTES Development Application Revision 2

DATE 24.02.22 12.09.22

	ARCHITECTURAL DRAWING L	-131	
Sheet No.	Sheet Name	Current Rev.	Current Revision Date
DA.00	COVER PAGE	В	12.09.22
DA.00	SITE PLAN ANALYSIS	B	12.09.22
DA.02a	MASSING HEIGHT CONTROL	B	12.09.22
DA.02b	MASSING DCP CONTROL	B	12.09.22
DA.02c	MASSING EXISTING HEIGHT CONTROL	A	12.09.22
DA.03	DEMOLITION PLAN	В	12.09.22
DA.04	PROPOSED NEW SUBSTATION LOCATION	A	12.09.22
DA.04.1	PROPOSED SITE PLAN / ROOF PLAN	В	12.09.22
DA.05	PROPOSED BASEMENT PLAN	В	12.09.22

				л г				
	ARCHITECTURAL DRAWING	LIST				ARCHITECTURAL DRAWING LIST		
Sheet No.	Sheet Name	Current Rev.	Current Revision Date		Sheet No.	Sheet Name	Current Rev.	Current Revision Date
			10.00.00	ז ר			2	10.00.00
DA.06	PROPOSED GROUND FLOOR PLAN	C	12.09.22		DA.51	SHADOW STUDIES_12PM 21ST JUNE	В	12.09.22
DA.07	PROPOSED FIRST FLOOR PLAN	В	12.09.22		DA.51.B	SHADOW STUDIES_12PM 21ST JUNE	А	12.09.22
DA.08	PROPOSED SECOND FLOOR PLAN	В	12.09.22	1	DA.52	SHADOW STUDIES_3PM 21ST JUNE	В	12.09.22
DA.10	PROPOSED WEST ELEVATION	В	12.09.22] [DA.52.B	SHADOW STUDIES_3PM 21ST JUNE	А	12.09.22
DA.11	PROPOSED ELEVATION - NORTH, SOUTH & EAST	В	12.09.22		DA.60	MATERIALS AND FINISHES	В	12.09.22
DA.15	SECTIONS	В	12.09.22	1	DA.70	GFA & LANDSCAPE CALCULATIONS	В	12.09.22
DA.16	SECTIONS	В	12.09.22	1	DA.72	SOLAR ACCESS ANALYSIS - PROPOSED	В	12.09.22
DA.50	SHADOW STUDIES_9AM 21ST JUNE	В	12.09.22	1	DA.73	OVERLOOKING ANALYSIS	В	12.09.22
DA.50.B	SHADOW STUDIES_9AM 21ST JUNE	A	12.09.22	1	DA.74	NATURAL VENTILATION DIAGRAMS & ADAPTABLE HOUSING	С	12.09.22

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE COVER PAGE

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author Rev Date. 12.09.22

ARCHITECTURAL	DRAWING LIST
ANGINIECIONAL	





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design,



All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is B to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV А

NOTES Development Application Revision 2

DATE 24.02.22 12.09.22

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE MASSING HEIGHT CONTROL

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawing No. Drawn by. Author

Rev Date.

12.09.22





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is B to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV А

NOTES Development Application Revision 2

DATE 24.02.22 12.09.22

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE MASSING DCP CONTROL

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawing No. Drawn by. Author 12.09.22 Rev Date.



Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406





All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

NOTES REV Revision 2

А

DATE 12.09.22

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH

TITLE MASSING EXISTING HEIGHT CONTROL PROJECT OVERVIEW S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author

Rev Date.

12.09.22







Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design,







All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals. NOTES Revision 2

REV

А

า 2

DATE 12.09.22 PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH

PROPOSED NEW SUBSTATION LOCATION

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes
Job No. 2006 Scale.
Drawn by. Author Drawing No.

Rev Date.

12.09.22





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



BASIX COMMITMENTS

THERMAL COMFORT

Element	Material	Deta	Detail					
external v	alls Concrete Block, lined	Insulation: See Table 3						
		Light colour: Absorptance< 0.475						
internal w	alls Plasterboard							
Party wall	Concrete Block, lined		sulation: R1.0 both sides for fire safety ommon corridors & Neighbour					
	Concrete Block		stairs & lifts					
Windows	Type 1 Performance glazing	0.27 And Total	I Window Syste for sliding doors Window Syste for bifold doors,	m Properties	J-value	45 3.1 & SHG		
	Window Operability	Balco Bedro	ony windows: 50 oom windows: 1 ther non-balcony	% (i.e. sliding) 0% & 50% (BCA	D2.24)			
	Shading device	None						
Type 1 Double glazed clear glass wi Skylight aluminium frame		U-va	lue 4.2 & SHGC	0.72				
	Type 2 Performance glazing	U-va	U-value 2.7 & SHGC 0.24					
Roof	Partial Concrete & Partial light		ation: None					
structure			ium colour: 0.47		0.70			
Ceilings	Plasterboard		ation: See Table					
11	Concerns to		Insulation: See Table 3					
Floors	Concrete		Carpet: Bedrooms only Tiles: Elsewhere					
Common	corridors naturally ventilated	Yes	cisewhere					
	downlights assessed	No						
	ns (kitchens, bathrooms, laundry)		ssumed to be se	aled				
Note: Oni value stat	y a ±5% SHGC tolerance to the value sta ed above	ted abo			in or equ	al to the		
Unit No.	Additional Treatments Required		Heating Load (MJ/m ² .yr)	Cooling Load (MJ/m ² yr)	Stars	Pass/Fail		
Al	R2.5 Bulk External Wall Insulation (tota system R-value Rt2.69), R1.0 Bulk Ceil Insulation to exposed areas only (tot ceiling/roof system R-value Rt1.16), Ty windows	ling tal	29.1	15.8	6.5	Pass		
A2	R1.0 Bulk Floor Insulation to exposed floor (total floor system R-value Rt1.11), R2.5 (Settempl Woll local stice (restance)		27.6	13.2	6.9	Pass		
A3	R1.0 Bulk Floor Insulation to exposed floor (total floor system R-value Rt1.11), R2.5 E External Wall Insulation (total wall costs)		27.3	15.9	6.7	Pass		
	R2.5 Bulk External Wall Insulation (total system R-value Rt2.69), R1.5 Bulk Cellin Insulation to exposed areas only (tota celling/roof system R-value Rt1.66), Typ		37.3	26.2	5.2	Pass		
A4	Insulation to exposed areas only (tota							

ENERGY COMMITMENTS



WATER COMMITMENTS

Common Areas and Centra	l Systems
Area of Indigenous or low water species	Please refer to Appendix B
Rainwater collection	 4,000L rainwater tank Roof collection area - 200m² Rainwater to be used for Common areas and private landscape irrigation
Fire Sprinkler	 Test water to be diverted to a closed system
Fixtures	4-star (Water Rating) toilets 5-star (Water Rating) taps
Private Dwellings	
Fixtures for apartments	 4-star (Water Rating) showerheads with a flow rate > 6.0L/min & ≤ 7.5L/min 4-star (Water Rating) toilets 5-star (Water Rating) kitchen taps 5-star (Water Rating) bathroom taps 4-star (Water Rating) washing machines 4-star (Water Rating) dishwashers

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV NOTE A Deve B Revis

NOTES Development Application Revision 2 DATE 24.02.22 12.09.22

334 IKB





PALM BEACH APARTMENTS

1102 BARRENJOEY ROAD, PALM BEACH

PROPOSED SITE PLAN / ROOF PLAN

 PROJECT OVERVIEW

 DEVELOPMENT APPLICATION

 Not to be used for construction purposes

 Job No.
 2006

 Drawn by.
 Author

 Rev Date.
 12.09.22

0 1 5m

S56 TKB

SELTKB





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



BASIX COMMITMENTS

THERMAL COMFORT

Element	Material	Deta	al .					
External v	alls Concrete Block, lined	Insul	Insulation: See Table 3					
external v	alls Concrete Block, lined	Light	colour: Absorpt	ance< 0.475				
nternal w	alls Plasterboard							
arty wall	Concrete Block, lined		nsulation: R1.0 both sides for fire safety common corridors & Neighbour					
	Concrete Block	Fire	stairs & lifts					
Vindows	Type 1 Performance glazing	0.27 And Total	I Window Syste for sliding doors I Window Syste for bifold doors,	m Properties	d window U-value	68.1 & SHG		
	Window Operability	Balco Bedr	ony windows: 50 oom windows: 1 ther non-balcony	% (i.e. sliding) 0% & 50% (BC/	D2.24)			
	Shading device	None	>					
Skylight Type 1 Type 2 Performance glazing		th U-va	lue 4.2 & SHGC	0.72				
			lue 2.7 & SHGC	0.24				
Roof	Partial Concrete & Partial light		ation: None					
ceilings Plasterboard			ium colour: 0.47		< 0.70			
eilings	Plasterboard		ation: See Table ation: See Table					
loors	Concrete		et: Bedrooms on					
10013	concrete		Tiles: Elsewhere					
Common	corridors naturally ventilated	Yes						
Recessed	downlights assessed	No						
Exhaust fa	ins (kitchens, bathrooms, laundry)	Alla	All assumed to be sealed					
Note: Onl value stat	y a ±5% SHGC tolerance to the value s ed above	tated abo	ve & U-value car	n be greater th	an or equ	al to the		
			Heating Load	Cooling Load				
Unit No.	Additional Treatments Require	d	(MJ/m².yr)	(MJ/m²-yr)	Stars	Pass/Fail		
Al	R2.5 Bulk External Wall Insulation (to system R-value Rt2.69), R1.0 Bulk C Insulation to exposed areas only (t ceiling/roof system R-value Rt1.16), windows	ceiling total	29.1	15,8	6.5	Pass		
AL:0 Bulk Floor Insulation to exposed floor (total floor system R-value Rt1.11), R2.3 A2 value Rt2.69), R1.0 Bulk Celling Insulation exposed areas only (total celling/roof syst value Rt1.16), Type 1 windows		2.5 Bulk stem R- ation to system R-	27.6	13.2	6.9	Pass		
R1.0 Bulk Floor insulation to exposed floor (total floor system R-value Rt1.11), R2.5 A3 Weternal Wall Insulation (total wall syster value Rt2.69), R1.0 Bulk Ceiling Insulatio exposed areas only (total ceiling/roof syster value Rt1.16), Type 1 windows		oors only 2.5 Bulk stem R- ation to system R-	27.3	15.9	6.7	Pass		
R2.5 Bulk External Wall Insulation (total system R-value R12.69), R1.5 Bulk Cellin A4 Insulation to exposed areas only (tota celling/roof system R-value R1.66), Typ		ital wall leiling total	37.3	26.2	5.2	Pass		
A4 Insulation to exposed areas only (tota								

ENERGY COMMITMENTS

mponent	Commitment
Water System	Individual HWS below
	All lifts to use Gearless traction with VVVF motor servicing all levels
tilation	Car park: Ventilation (supply & exhaust) with a CO monitor & VSD fan Garbage Rooms: Ventilation (exhaust only), continuous Plant/Service Rooms: Ventilation (exhaust only), thermostatically controlled Hallways & lobbles: No mechanical ventilation
ting	Car park: Fluorescent lighting with time clocks and motion sensors Lift Cars: LED lighting connected to lift call button Garbage Rooms: LED lighting with motion sensors Plant/Service Room: LED lighting with motion sensors + time clock Hallways & lobbies: LED lighting with motion sensors + time clock
rnative Energy ply	Photovoltaic system of minimum rated electrical output of 3.2kW peak
Water System	 Individual Instantaneous Gas Hot Water System with 6 Stars Rating
tilation	Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch
ting & Cooling	Heating: Living & Beds to have individual 3-star (average zone) 1 phase air-conditioning Cooling: Living & Beds to have individual 3-star (average zone) 1- phase air-conditioning Must be day/night zoned
ting	 At least 80% of light fittings (including the main light fitting) in al hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings¹
er	Gas cook top and electric oven Well ventilated fridge space Install 4-star (energy rating) dishwashers Install 2-star (energy rating) dryers

WATER COMMITMENTS

Area of Indigenous or low water	
species	Please refer to Appendix B
	4,000L rainwater tank
Rainwater collection	 Roof collection area - 200m²
Kallwater collection	Rainwater to be used for Common areas and private landscape irrigation
Fire Sprinkler	Test water to be diverted to a closed system
The second s	4-star (Water Rating) toilets
Fixtures	5-star (Water Rating) taps
Private Dwellings	
1	 4-star (Water Rating) showerheads with a flow rate >
	6.0L/min & ≤ 7.5L/min
	 4-star (Water Rating) toilets
Fixtures for apartments	 5-star (Water Rating) kitchen taps
	 5-star (Water Rating) bathroom taps
	 4-star (Water Rating) washing machines
	 4-star (Water Rating) dishwashers

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV A B

NOTES Development Application Revision 2 DATE 24.02.22 12.09.22



BARRENJOEY ROAD

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH TITLE PROPOSED BASEMENT PLAN

0 1 5m

 PROJECT OVERVIEW

 DEVELOPMENT APPLICATION

 Not to be used for construction purposes

 Job No.
 2006
 Scale.

 Drawn by.
 Author
 Drawing No.

 Rev Date.
 12.09.22
 DA_O





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



THERMAL COMFORT

Element		Material		Detail					
External w	alls	Concrete Block, lined		nsulation: See Table					
Internal wa	alle	Plasterboard		Light colour: Absorptance< 0.475					
mernar wa				Insulation: R1.0 both sides for fire safety					
Party walls		Concrete Block, lined		common corridors 8					
arty many		Concrete Block		ire stairs & lifts	THIS ILLES				
				otal Window Syste	m Properties L	J-value	3.1 & SHG		
		Type 1		0.27 for sliding door	s, sliding & fixed	window	15		
				And					
		Performance glazing	1	Total Window Syste	m Properties I	I-walue 1	1 8 540		
Windows				0.27 for bifold doors					
	L L		E	Balcony windows: 50	% (i.e. sliding)				
		Window Operability		Bedroom windows: 3					
	- L			All other non-balcon	y windows: 0% (i.e. fixed)		
		Shading device		None					
		Type 1 Double glazed clear glas	an unitability of	J-value 4.2 & SHGC	0.73				
Skylight		aluminium frame	ss with	-value 4.2 & Shot	0.72				
and all the second s	t i	Type 2 Performance glazing	L	J-value 2.7 & SHGC	0.24				
Deed		Partial Concrete & Partia	al light	nsulation: None					
Roof structure			Medium colour: 0.47		0.70				
Ceilings Plasterboard			nsulation: See Table						
				nsulation: See Table					
loors Conc		Concrete		Carpet: Bedrooms only					
				and a second					
Common o	ordor	naturally wentlated		files: Elsewhere					
		naturally ventilated	Y	íes -					
Recessed d Exhaust fai Note: Only	downligh ns (kitch y a ±5% 5	ts assessed ens, bathrooms, laundry HGC tolerance to the va) A	res No All assumed to be se		n or equ	al to the		
Recessed d Exhaust fai Note: Only	downligh ns (kitch y a ±5% 5	ts assessed ens, bathrooms, laundry HGC tolerance to the va	() A alue stated	res No All assumed to be se above & U-value ca Heating Load	n be greater tha	n or equ	1		
Recessed d Exhaust far Note: Only value state	downligh ns (kitch y a ±5% 5 ed above	Its assessed ens, bathrooms, laundry HGC tolerance to the vi E Additional Treatments Re	() A alue stated	(es No All assumed to be se above & U-value ca Heating Load (MJ/m ² ,yr)	n be greater tha	-	1		
Recessed d Exhaust far Note: Only value state	downligh ns (kitch y a ±5% S ed above R2.5	its assessed ens, bathrooms, laundry HGC tolerance to the w t	() A alue stated equired	(es No All assumed to be se above & U-value ca Heating Load (MJ/m ² ,yr)	n be greater tha	-	1		
Recessed d Exhaust far Note: Only value state	downligh ns (kitch r a ±5% 5 ed above R2.5 sys In	ts assessed ens, bathrooms, laundry iHGC tolerance to the vi Additional Treatments Ri Bulk External Wall Insulati tem R value Rt2.69), Rt.0 sulation to exposed areas	equired ion (total wa Bulk Ceiling only (total	res No All assumed to be set above & U-value ca Heating Lood (MU/m ² .yr)	n be greater tha	-	1		
Recessed d Exhaust fa Note: Only value state Unit No.	downligh ns (kitch r a ±5% 5 ed above R2.5 sys In	ts assessed ens, bathrooms, laundry HGC tolerance to the viet Additional Treatments R Bulk External Wall Insulati tem Rvalue Rt2.69), R1.0 Isulation to exposed areas ing/roof system Rvalue Rt	equired ion (total wa Bulk Ceiling only (total	res No All assumed to be set above & U-value ca Heating Lood (MU/m ² .yr)	n be greater tha Cooling Load (MJ/m²-yr)	Stars	Pass/Fai		
Recessed d Exhaust fa Note: Only value state Unit No.	Sownligh ns (kitch- y a ±5% S ed above R2.5 sys In ceili	ts assessed ens, bathrooms, laundry iHGC tolerance to the vi Additional Treatments Ri Bulk External Wall Insulati tem R value Rt2.69), Rt.0 sulation to exposed areas	equired ion (total wa Bulk Ceiling only (total 1.16), Type 1	res No All assumed to be se above & U-value ca Heating Load (MJ/m ² .yr) II 29.1	n be greater tha Cooling Load (MJ/m²-yr)	Stars	Pass/Fai		
Recessed d Exhaust fa Note: Only value state Unit No.	Sownligh ns (kitch v a 15% S ed above R2.5 sys In ceili R1.0 Br (tota	ts assessed ens, bathrooms, laundry HIGC tolerance to the vir Additional Treatments & Bulk External Wall Insulat tem & Value R2.69), R1.0 sultation to exposed areas mg/roof system R-value R1. windows ulk Floor Insultation to expo	equired ion (total wa Bulk Ceiling Unit (total 1.16), Type 1 psed floors oo 11), R2.5 Bul	res No NI assumed to be se above & U-value ca Heoting Load (Mt/m ² ,yr) II 23.1 chly k	n be greater tha Cooling Load (MJ/m²-yr)	Stars	Pass/Fai		
Recessed d Exhaust fa Note: Only value state Unit No.	downligh ns (kitch x a ±5% 5 ed above R2.5 sys In ceili R1.0 Br (tota Exter	ts assessed ens, bathrooms, laundry HIGC tolerance to the vir Additional Treatments Ri- Bulk External Wall Insulati tem R-value Rt2.09, Rt2.0 sulation to exposed areas grifoof system R-value Rt2 windows ulk Floor Insulation to expo If Boor system R-value Rt2. mindows ulk Floor Insulation to exposed if Boor system R-value Rt2.	equired equired ion (total wa Bulk Ceiling only (total 1.16), Type 1 osed floors o 111), R2-5 Bul aufl system R	fes io ill essumed to be ss above & U-value ca Heating Load (MU/m²-yr) II 29.1 ch k k ch 29.5	n be greater tha Cooling Load (MJ/m²-yr)	Stars	Pass/Fai		
Recessed d Exhaust far Note: Only value state Unit No.	downligh ns (kitch x a ±5% S ed above R2.5 sys In ceili R1.0 Bi (tota Exter value	ts assessed ens, bathrooms, laundry HIGC tolerance to the vir Additional Treatments & Bulk External Wall Insulat tem & Value R2.69), R1.0 sultation to exposed areas mg/roof system R-value R1. windows ulk Floor Insultation to expo	equired ion (total wa Bulk Ceiling Dulk Ceil	res io ill assumed to be ss above & U-value ca (MU/m ² ,y) II 29.1 nly k b 5 27.6	n be greater tha Cooling Load (MU/m ² yr) 15.8	Stars 6.5	Pass/Fai Pass		
Recessed d Exhaust far Note: Only value state Unit No.	downligh ns (kitch a ±5% 5 ed above R2.5 sys in ceili R1.0 B (tota Exter value expose	ts assessed ens, bathrooms, laundry HIGC tolerance to the vi Additional Treatments & Bulk External Wall Insulati tem & Value R2.089, R1.0.0 Sultation to exposed areas ang/roof system R-value R1. windows ulk Floor Insulation to expo ulk Floor Insulation to expo Waltow R-value R1. mal Wall Insulation (total w R2.269, R.1.0 Bulk Ceiling et areas only (total ceiling) et areas only (total ceiling)	equired equired ion (total wa Bulk Ceiling only (total 1.16), Type 1 osed floors on 11), R2-5 Bul wall system R (insulation to /roof system indows	res io Ul assumed to be ss above & U-value ca (MU/m ² .yr) II 29.1	n be greater tha Cooling Load (MU/m ² yr) 15.8	Stars 6.5	Pass/Fai Pass		
Recessed d Exhaust far Note: Only value state Unit No.	Sownligh ns (kitch a ±5% 5 ed above R2.5 sys in ceili R1.0 B/ (tota Exter value expose R1.0 B/ R1.0 B/	ts assessed ens, bathrooms, laundry MdG tolerance to the vir BdG tolerance to the vir BdBC tolerance to the vir BdBC toterand Wall Insulato BdBC toterand Wall Insulato Infoor system Rvalue RR windows Wif Foor Insulation to exposed areas, windows Wif Foor Insulation to exposed areas only (total celling) value RR1.16), Type 1 wi & Floor Insulation (total vi a drass only (total celling) value RR1.16), Type 1 wi	equired equired ion (total wa Bulk Ceiling only (total 1.16), Type 1 osed floors o 11), R2-5 Bul wall system R insulation to reod system ndows sed floors o	Fes 40 40 40 40 40 40 40 40 40 40	n be greater tha Cooling Load (MU/m ² yr) 15.8	Stars 6.5	Pass/Fai Pass		
Recessed d Exhaust far Note: Only value state Unit No. A1 A2	Sownligh ns (kitch z a 15% 5 ed above R2.5 sys in ceili R1.0 B4 (tota Exter value expose R1.0 B4 (tota	ts assessed ens, bathrooms, laundry HIGC tolerance to the via Additional Treatments R Bulk External Wall Insulati tem R-value R2.699, R1.0 sultation to exposed areas ang/roof system R-value R1. windows ulk Floor Insulation to expo ulk Floor Insulation to expo R2.269, R1.0 Bulk Celling ef areas only (total celling) ef areas only (total celling) floor system R-value R1.	y h h equired equ	(res 30 30 30 30 30 40 40 40 40 40 40 40 40 40 4	n be greater tha Cooling Lood (MI/m ² yr) 15.8 13.2	Stars 6.5 6.9	Pass/Fail Pass Pass		
Recessed d Exhaust far Note: Only value state Unit No.	Sownligh ns (kitch ra ±5% S ed above R2.5 sys In ceili (tota Exter value expose R1.0 B (tota Exter tota Exter tota Exter	Its assessed ens, bakthrooms, laundry MdGC tolerance to the vir Additional Treatments R Bulk External Wall Insulat Bulk External Wall Insulato Infoor system Rvalue RR windows Windows Windows Winfoor system Rvalue RR Windows Winfoor System Rvalue RR Windows Winfoor System Rvalue RR Winfoor System Rvalue RR Winfoor System Rvalue RR Winfoor System Rvalue RR Winf Floor Insulation to expo a drass only (total celling) value R1.16), Type 1 wi Winf Floor Insulation to expo If floor system Rvalue RR Winf Floor Insulation to expo If floor system Rvalue RR Winf Floor Insulation to expo	equired equired ion (total wa Bulk Celling only (total 1.16), Type 1 osed floors or 11), R.2.5 Bul wall system (insulation to froof system nodows osed floors or 11), R.2.5 Bul wall system Review	Fes 40 40 40 40 40 40 40 40 40 40	n be greater tha Cooling Load (MU/m ² yr) 15.8	Stars 6.5	Pass/Fail Pass		
Recessed d Exhaust far Note: Only value state Unit No. A1 A2	Sownligh ns (kitch z a ±5% 5 ed above R2.5 sys In ceili R1.0 Bi (tota Exter value expose (tota Exter value expose	ts assessed ens, bathrooms, laundry HIGC tolerance to the via Additional Treatments R Bulk External Wall Insulati tem R-value R2.699, R1.0 sultation to exposed areas ang/roof system R-value R1. windows ulk Floor Insulation to expo ulk Floor Insulation to expo R2.269, R1.0 Bulk Celling ef areas only (total celling) ef areas only (total celling) floor system R-value R1.	equired ion (total was Buik Ceiling Only (total 1.16), Type 1 osed floors or 11), R2.5 Buik wall system R insulation to rood system ndows osed floors or 11), R2.5 Bui	res io all assumed to be se above & U-value ce Heating Load (MU/m ² ,yr) II 29.1 nly k k b 27.6 R 27.3	n be greater tha Cooling Lood (MI/m ² yr) 15.8 13.2	Stars 6.5 6.9	Pass/Fai Pass Pass		
Recessed d Exhaust far Note: Only value state Unit No. A1 A2	downligh ns (kitch a ±5% S ed above R2.5 sys in ceili R1.0 B Exter value expose R1.0 B R1.0 B Exter value expose	ts assessed ens, bathrooms, laundry HGC tolerance to the via Additional Treatments R Bulk External Wall Insulati tem #-aulue Rt2.691, Rt2.0 Sultation to expect windows ulk Floor Insulation to expec- sultation to expect windows ulk Floor Insulation to expec- mal Wall Insulation to the Walk Rt2.691, Rt.0 bulk Celling ef areas only (total celling) floor system Rv2.691, Rt.0 bulk Celling ef areas only (total celling) Rt2.691, Rt.0 bulk Celling ef areas only (total celling) Rt2.691, Rt.0 bulk Celling ef areas only (total celling) Rt2.691, Rt.0 bulk Celling ef areas only (total celling) ef areas only (total celling) ef areas only (total celling)	equired equired equired ion (total wa Bulk Ceiling only (total 1.16), Type 1 osed floors o 11), R2.5 Bul wall system R insulation to /roof system through the system insulation to roof system insulation to roof system indows	res 10 10 11 11 11 12 11 11 12 12 11 12 12	n be greater tha Cooling Lood (MI/m ² yr) 15.8 13.2	Stars 6.5 6.9	Pass/Fai Pass Pass		
Recessed d Exhaust far Note: Only value state Unit No. A1 A2	R1.0 Bri (tota B1.0 Bri (tota) B1.0 Bri (t	Its assessed ens, bakthrooms, laundry MGC tolerance to the vir Additional Treatments R Bulk External Wall Insulat windows wind	equired equired ion (total was Buik Calling only (total 1.16), Type 1 1.16), Type 1 1.10, Type 1	res 10 10 11 11 11 12 11 11 12 12 11 12 12	n be greater tha Cooling Lood (MI/m ² yr) 15.8 13.2	Stars 6.5 6.9	Pass/Fai Pass Pass		
Recessed d Exhaust Far Note: Only value state Unit No. A1 A2 A3	sownligh ns (kitch a ±5% 5 ed above R2.5 sys in ceili R1.0 B (tota Exter value expose R1.0 B (tota Exter value expose S S	Is assessed ens, bathrooms, laundry HGC tolerance to the vir Bulk External Wall Insulator Isolation (1996) (1997) Isolation to exposed areas ing/roof system R-value Rt windows dik Floor Insulation to expo floor system R-value Rt windows dik Floor Insulation to expo de ass shi (100 right) dik Floor Insulation to expo de ass shi (100 right) dik Floor Insulation to expo dis soft (100 right) dik Floor Insulation to expo dis ass only (total celling di areas only (total celling di areas only (total celling di external Wall Insulation Bulk Ekternal Wall Insulation Bulk Ekternal Wall Insulation Bulk Ekternal Wall Insulation Bulk Ekternal Wall Insulation (100 right)	equired equired lion (total wa Bulk Ceiling only (total 1.16), Type 1 osed floors o 11), R2-5 Bul wall system R (insulation to froof system indows ion (total wa Bulk Ceiling Bulk Ceiling	res 10 10 11 11 11 12 11 11 12 12 11 12 12	n be greater the Cooling load (htt/m²yr) 15.8 13.2 15.9	5tars 6.5 6.9 6.7	Pass/Fai Pass Pass Pass		
Recessed d Exhaust far Note: Only value state Unit No. A1 A2	Sownligh ns (kitch a ±5% 5 ed above above R2.5 sys sys ceili R1.0 Br (tota Exter value expose R1.0 Br (tota Exter value expose R1.0 Br (tota Sys Sys Sys Sys Sys Sys Sys Sys Sys Sys	Its assessed ens, bakthrooms, laundry MGC tolerance to the vi- MGC tolerance to the vi- Bolk External Wall Insulat Bolk External Wall Insulato Information to exposed areas- ing/roof system Rvalue RR windows Will Floor Insulation to expo Floor system Rvalue RR Will Floor Insulation to expo Floor system Rvalue RR Will Floor Insulation to exp floor system Rvalue RR Will Floor Insulation to exp el areas only (total celling) value R11.60, Type 1 will will Floor Insulation to exp floor system Rvalue RR H. Duik Celling wall real wall insulation e RR 2-69, R1.0 Bulk Celling value R11.61, Type 1 will sulk External Wall Insulation sultation to exposed areas	equived equived tion (total wa Bulk Ceiling only (total 1.16), Type 1 osed floors or 11), R2.5 Bulk vall system R insulation to freod system ndows osed floors oc thy, R2.5 Bulk the system of the system reod system ndows Bulk Ceiling on (total wa Bulk Ceiling on (vot site)	Process Process NII assumed to be seal NII assumed to be seal NII assumed to be seal NII assumed to be seal Heating Load (MU/m².yr) NII 25.1 Process roly k b 27.6 b 27.6 B 27.8 III 37.3	n be greater tha Cooling Lood (MI/m ² yr) 15.8 13.2	Stars 6.5 6.9	Pass/Fai Pass Pass		
Recessed d Exhaust Far Note: Only value state Unit No. A1 A2 A3	Sownligh ns (kitch a ±5% 5 ed above above R2.5 sys sys ceili R1.0 Br (tota Exter value expose R1.0 Br (tota Exter value expose R1.0 Br (tota Sys Sys Sys Sys Sys Sys Sys Sys Sys Sys	Is assessed ens, bathrooms, laundry HGC tolerance to the vir Bulk External Wall Insulator Isolation (1996) (1997) Isolation to exposed areas ing/roof system R-value Rt windows dik Floor Insulation to expo floor system R-value Rt windows dik Floor Insulation to expo de ass shi (100 right) dik Floor Insulation to expo de ass shi (100 right) dik Floor Insulation to expo dis soft (100 right) dik Floor Insulation to expo dis ass only (total celling di areas only (total celling di areas only (total celling di external Wall Insulation Bulk Ekternal Wall Insulation Bulk Ekternal Wall Insulation Bulk Ekternal Wall Insulation Bulk Ekternal Wall Insulation (100 right)	equired equired ion (total was Bulk Ceiling only (total 1.16), Type 1 sed floors o thread insulation to reod system ndows sold floors o thread insulation to reod system ndows ion (total was Bulk Ceiling only (total Lo6), Type 1	Process Process NII assumed to be seal NII assumed to be seal NII assumed to be seal NII assumed to be seal Heating Load (MU/m².yr) NII 25.1 Process roly k b 27.6 b 27.6 B 27.8 III 37.3	n be greater the Cooling load (htt/m²yr) 15.8 13.2 15.9	5tars 6.5 6.9 6.7	Pass/Fai Pass Pass Pass		
Recessed d Exhaust far Note: Only value state Unit No. A1 A2 A3	downligh ns (kitch a 15% 5 a 25% 5 b ceili R1.0 B ceili (tota Exter valuu expose R1.0 B Exter valuu expose R1.0 B Exter valuu expose R1.0 B Exter valuu expose R1.5 S S S S S S S S S S S S S S S S S S S	ts assessed ens, bathrooms, laundry HGC tolerance to the vir BGC tolera	Y P	Process Process All assumed to be seal All assumed to be seal All assumed to be seal All assumed to be seal Heating Load (MU/m².yr) H 25.1 Control (MU/m².yr) II 25.1 Control (MU/m².yr) Control (MU/m².yr) II 27.6 Control (MU/m².yr) Control (MU/m².yr) II Control (MU/m².yr) II Control (MU/m².yr) II Control (MU/m².yr) III Control (MU/m².yr) III Control (MU/m².yr)	n be greater the Cooling load (htt/m²yr) 15.8 13.2 15.9	5tars 6.5 6.9 6.7	Pass/Fail Pass Pass Pass		
Recessed d Exhaust far Note: Only value state Unit No. A1 A2 A3 A4	downligh ns (kitch x = 15% 5 y kitch R1.0 B (tota bter valuu expose (tota bter valuu expose (tota bter valuu expose (tota bter y y y n n celli (tota bter y y y n n celli (tota bter y y y n n celli (tota bter y y y n n celli (tota bter y y y n n celli (tota bter y y y y n n celli (tota bter y y y n n celli (tota bter y y y y n n celli (tota bter y y y y n n celli (tota bter y y y y n n celli (tota bter y y y y y n n celli (tota bter y y y y y y y y y y y y y y y y y y y	ts assessed ens, bakthrooms, laundry HGC tolerance to the vi- late the set of the set Additional Treatments R Bulk External Wall Insulat met R value R2:09, R1.0 sulation to exposed areas- ing/roof system R-value R1: windows Wit Floor Insulation to expo Floor system R-value R1: With Floor Insulation to expo Floor system R-value R1: With Floor Insulation to exp R1: Floor Insulation to exp R1: Floor Insulation to exp R1: Floor Insulation to exp R1: Floor Insulation to exp end areas only (total celling) value R1:16), Type 1 with With Floor Insulation to exp R1: Floor Insulation to exp end areas only (total celling) value R1:16), Type 1 with sulation to exposed areas ng/roof system R-value R1: windows, Type 2 skyll eluik External Wall Insulation Heat R-value R1:269, R1.5	equired equired ion (total was bulk ceiling only (total 1.6), Type 1 bosed floors or 11), R.2.5 Bul wall system R insulation to reof system ndows soded floors or 11), R.2.5 Bul wall system R insulation to reof system ndows Bulk Ceiling only (total 1.66), Type 1 Bulk Ceiling Bulk Ceiling Bulk Ceiling	Ces NJ assumed to be se above & U-value ca All assumed to be se above & U-value ca (MU/m², w) Heating Load (MU/m², w) II 25.1 Ch/m², w) II 25.1 Ch/m², w) II 27.6 P R 27.8 II 37.3 II 37.3	n be greater the Cooling Lood (MI/m ² yr) 15.8 13.2 15.9 26.2	5tars 6.5 6.9 6.7 5.2	Pass/Fail Pass Pass Pass Pass		
Recessed d Exhaust Far Note: Only value state Unit No. A1 A2 A3	downligh ns. (kitch a 15% 5 36 above	ts assessed ens, bathrooms, laundry HGC tolerance to the vir BGC tolera	equired equired ion (total was Buik ceiling only (total 1.16), Type 1 buik ceiling only (total 1.1), R.2.5 Bui wall system R insulation to froof system ndows ion (total was buik ceiling only (total buik ceiling only (total was Buik ceiling only (total was buik ceiling	res ito ital assumed to be se above & U-value ce Heating Load (Mt/mt/vr) II 29.1 nty k b 27.5 R - 27.5 R - 37.3 II 37.4	n be greater the Cooling load (htt/m²yr) 15.8 13.2 15.9	5tars 6.5 6.9 6.7	Pass/Fail Pass Pass Pass		

ENERGY COMMITMENTS

Component	Commitment
Hot Water System	Individual HWS below
Lifts	 All lifts to use Gearless traction with VVVF motor servicing all levels
Ventilation	Car park: Ventilation (supply & exhaust) with a CO monitor & VSD fan Garbage Rooms: Ventilation (exhaust only), continuous Plant/Service Rooms: Ventilation (exhaust only), thermostatically controlled Hallways & lobbies: No mechanical ventilation
Lighting	Car park: Fluorescent lighting with time clocks and motion sensors Lift Cars: LED lighting connected to lift call button Garbage Rooms: LED lighting with motion sensors Plant/Service Room: LED lighting with motion sensors + time clock Hallways & lobbies: LED lighting with motion sensors + time clock
Alternative Energy Supply	Photovoltaic system of minimum rated electrical output of 3.2kW peak
Hot Water System	 Individual Instantaneous Gas Hot Water System with 6 Stars Rating
Ventilation	 Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or facade, with manual on/off switch
Heating & Cooling	Heating: Living & Beds to have individual 3-star (average zone) 1- phase air-conditioning Cooling: Living & Beds to have individual 3-star (average zone) 1- phase air-conditioning Must be day/night zoned
Lighting	 At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings¹
Other	Gas cook top and electric oven Well ventilated fridge space Install 4-star (energy rating) diskusshers Install 2-star (energy rating) dryers

WATER COMMITMENTS

Common Areas and Centra	l Systems
Area of Indigenous or low water species	Please refer to Appendix B
Rainwater collection	 4,000L rainwater tank Roof collection area - 200m² Rainwater to be used for Common areas and private landscape irrigation
Fire Sprinkler	 Test water to be diverted to a closed system
<u>Fixtures</u>	 4-star (Water Rating) toilets 5-star (Water Rating) taps
Private Dwellings	
Fixtures for apartments	 4-star (Water Rating) showerheads with a flow rate > 6.0L/min & ≤ 7.5L/min 4-star (Water Rating) toilets 5-star (Water Rating) kitchen taps 5-star (Water Rating) bathroom taps 4-star (Water Rating) washing machines 4-star (Water Rating) dishwashers

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

NOTES Development Application Revision 1 Revision 2

REV

А

В

DATE 24.02.22 27.04.22 12.09.22

BARRENJOEY ROAD

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE PROPOSED GROUND FLOOR PLAN

01 5m

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author

Rev Date.

12.09.22





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



BASIX COMMITMENTS

THERMAL COMFORT

Element	Material	Deta						
External w	alls Concrete Block, lined		Insulation: See Table 3					
Internal w	The second second second second second	Light	Light colour: Absorptance< 0.475					
internal w		Insul	Insulation: R1.0 both sides for fire safety					
Party walk	Concrete Block, lined		mon corridors &		iery.			
and the second	Concrete Block		tairs & lifts					
			Window Syste	m Properties L	J-value 3	3.1 & SHG		
		0.27	0.27 for sliding doors, sliding & fixe		window	15		
	Type 1	And						
	Performance glazing	Total	Window Syste	m Properties I	I-value 3	1 8 546		
Windows			for bifold doors,					
			my windows: 50					
	Window Operability	Bedr	oom windows: 1	0% & 50% (BCA	D2.24)			
			her non-balcom	windows: 0% (i.e. fixed)		
	Shading device	None	,					
Skylight	Type 1 Double glazed clear glass with aluminium frame	U-va	lue 4.2 & SHGC	0.72				
Type 2 Performance glazing		U-va	lue 2.7 & SHGC (.24				
Roof Partial Concrete & Partial light			ation: None					
	structure		ium colour: 0.47		0.70			
Ceilings	Plasterboard		ation: See Table					
			ation: See Table	-				
Floors	Concrete		et: Bedrooms on	ly				
Commo-	corridors naturally ventilated	Tiles: Ves	Elsewhere					
	formdors naturally ventilated	No						
	ns (kitchens, bathrooms, laundry)		sumed to be se	aled				
value stat			Heating Load	Cooling Load				
Unit No.	Additional Treatments Required		(MJ/m².yr)	(MJ/m².yr)	Stars	Pass/Fail		
	R2.5 Bulk External Wall Insulation (tot							
Al	system R-value Rt2.69), R1.0 Bulk Ce Insulation to exposed areas only (to ceiling/roof system R-value Rt1.16), T windows	tal	29.1	15.8	6.5	Pass		
ALO Bulk Floor insulation to exposed floor (total floor system R-value Rt1.11), R2.5 External Wall Insulation (total wall syster value Rt2.69), R1.0 Bulk Celling Insulatio exposed areas only (total celling/roof syste value Rt1.10), Type 1 windows		5 Bulk tem R- tion to	27.6	13.2	6.9	Pass		
A3 R1.0 Bulk Floor Insulation to exposed floor (total floor system R-value Rt1.11), R2.5 (Deternal Wall Insulation (total wall system value Rt2.69), R1.0 Bulk Ceiling Insulation exposed areas only (total ceiling/roof system)		5 Bulk tem R- tion to	27.3	15.9	6.7	Pass		
	value Rt1.16), Type 1 windows							
A4	value Rt1.16), Type 1 windows R2.5 Bulk External Wall Insulation (tot system R-value Rt2.69), R1.5 Bulk Ce Insulation to exposed areas only (to ceiling/roof system R-value Rt1.66), Ty windows, Type 2 skylights	iling Ital	37.3	26.2	5.2	Pass		

ENERGY COMMITMENTS

omponent	Commitment		
Water System	Individual HWS below		
5	All lifts to use Gearless traction with VVVF motor servicing all levels		
<u>tilation</u>	Car park: Ventilation (supply & exhaust) with a CO monitor & VSD fan Garbage Rooms: Ventilation (exhaust only), continuous Plant/Service Rooms: Ventilation (exhaust only), thermostatically controlled Hallways & lobbies: No mechanical ventilation		
iting	Car park: Fluorescent lighting with time clocks and motion sensors Lift Cars: LED lighting connected to lift call button Garbage Rooms: LED lighting with motion sensors Plant/Service Room: LED lighting with manual on/off switch Hallways & lobbies: LED lighting with motion sensors + time clock		
rnative Energy ply	Photovoltaic system of minimum rated electrical output of 3.2kW peak		
Water System	 Individual Instantaneous Gas Hot Water System with 6 Stars Rating 		
tilation	Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or facade, with manual on/off switch		
ting & Cooling	Heating: Living & Beds to have individual 3-star (average zone) 1- phase air-conditioning Cooling: Living & Beds to have individual 3-star (average zone) 1- phase air-conditioning Must be day/night zoned		
nting	 At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings¹ 		
er	Gas cook top and electric oven Well ventilated fridge space Install 4-star (energy rating) dishwashers Install 2-star (energy rating) dryers		

WATER COMMITMENTS

Common Areas and Centra	Systems
Area of Indigenous or low water species	Please refer to Appendix B
Rainwater collection	4,000L rainwater tank Roof collection area - 200m ² Rainwater to be used for Common areas and private landscape irrigation
Fire Sprinkler	Test water to be diverted to a closed system
<u>Fixtures</u>	 4-star (Water Rating) toilets 5-star (Water Rating) taps
Private Dwellings	
Fixtures for apartments	 4-star (Water Rating) showerheads with a flow rate > 6.0L/min & ≤ 7.5L/min 4-star (Water Rating) toilets 5-star (Water Rating) kitchen taps 5-star (Water Rating) bathroom taps 4-star (Water Rating) washing machines 4-star (Water Rating) dishwashers

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV А В

NOTES Development Application Revision 2

DATE 24.02.22 12.09.22 BARRENJOEY ROAD

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE PROPOSED FIRST FLOOR PLAN

01 5m

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author

Rev Date.

12.09.22





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



Element	Material	Deta	al -			
External w	alls Concrete Block, lined	Insul	Insulation: See Table 3			
External w	alls Concrete Block, lined	Concrete Block, lined Light colour: Absorptance< 0.475		ance< 0.475		
Internal w	alls Plasterboard					
	Concrete Block, lined		Insulation: R1.0 both sides for fire safety			
Party walls			Common corridors & Neighbour			
	Concrete Block		Fire stairs & lifts Total Window System Properties U-value 3.1 & SH			
			for sliding door			
	Type 1		Tor sharing about	, sharing a nike	a window	
	Performance glazing	And				
Windows			Total Window System Properties U-value 3.1 & SHG			
			for bifold doors		ement wi	ndows
	Window Operability		ony windows: 50 oom windows: 1		D2 24)	
	window Operability		ther non-balcony			1
	Shading device	None				
	Type 1					
	Double glazed clear glass w	ith U-va	lue 4.2 & SHGC	0.72		
Skylight	aluminium frame	_				
	Type 2	U-va	U-value 2.7 & SHGC 0.24			
	Performance glazing Partial Concrete & Partial lig	the locul	ation: None			
Roof	structure		Medium colour: 0.475 <absorptance< 0.70<="" td=""></absorptance<>			
Ceilings	Plasterboard		ation: See Table		0.70	
			Insulation: See Table 3			
Floors	Concrete	Carp	Carpet: Bedrooms only			
	Part of the second second	Tiles:	Tiles: Elsewhere			
	orridors naturally ventilated	Yes				
	lownlights assessed	110	No			
	ns (kitchens, bathrooms, laundry)		ssumed to be se			
Note: Only value state	a ±5% SHGC tolerance to the value	stated abo	ve & U-value ca	n be greater thi	an or equ	al to the
venue stett	d above					
Unit No.	Additional Treatments Required					
	Additional Treatments Requir	red	Heating Load (MJ/m ² .vr)	Cooling Load (MI/m ² .vr)	Stars	Pass/Fail
	R2.5 Bulk External Wall Insulation (1	total wall	Heating Load (MJ/m ² .yr)	Cooling Load (MJ/m²-yr)	Stars	Pass/Fail
	R2.5 Bulk External Wall Insulation (t system R-value Rt2.69), R1.0 Bulk	total wall Ceiling	(MJ/m².yr)	(MJ/m ² -yr)		
A1	R2.5 Bulk External Wall Insulation (t system R-value Rt2.69), R1.0 Bulk Insulation to exposed areas only	total wall Ceiling (total			Stars 6.5	Pass/Fail Pass
Al	R2.5 Bulk External Wall Insulation (t system R-value Rt2.69), R1.0 Bulk	total wall Ceiling (total	(MJ/m².yr)	(MJ/m ² -yr)		
A1	R2.5 Bulk External Wall Insulation (system R-value Rt2.69), R1.0 Bulk Insulation to exposed areas only ceiling/roof system R-value Rt1.16) windows R1.0 Bulk Floor Insulation to exposed	total wall Ceiling (total , Type 1 floors only	(MJ/m².yr)	(MJ/m ² -yr)		
Al	R2.5 Bulk External Wall Insulation (system R-value Rt2.69), R1.0 Bulk Insulation to exposed areas only ceiling/roof system R-value Rt1.16) windows R1.0 Bulk Floor Insulation to exposed (total floor system R-value Rt1.11), I	total wall Ceiling (total , Type 1 floors only R2.5 Bulk	(MJ/m².yr)	(MJ/m ² -yr)		
Al	R2.5 Bulk External Wall Insulation (system R-value R12.69), R1.0 Bulk Insulation to exposed areas only ceiling/roof system R-value R1.16) windows R1.0 Bulk Floor Insulation to exposed (total floor system R-value R1.11), External Wall Insulation (total wall s	total wall Ceiling (total , Type 1 floors only R2.5 Bulk ystem R-	(MJ/m².yr)	(MJ/m ² -yr)		
	R2.5 Bulk External Wall Insulation (system R-value Rt2.69), R1.0 Bulk Insulation to exposed areas only ceiling/roof system R-value Rt1.16) windows R1.0 Bulk Floor Insulation to exposed (total floor system R-value Rt1.11), I	total wall Ceiling (total , Type 1 floors only R2.5 Bulk ystem R- ilation to	(MI/m².yr) 29.1	(MJ/m²yr) 15.8	6.5	Pass
	R2.5 Bulk External Wall Insulation (system Rivalue R2.05), R1.0 Bulk Insulation to exposed areas only celling/roof system Rivalue R1.13), R1.0 Bulk Floor Insulation to exposed (total floor system Rivalue R1.11), External Wall Insulation (total wall 5 value R2.05), R1.0 Bulk Celling Insu exposed areas only (total celling/roo walue R2.10), Type 1 window	total wall Ceiling (total , Type 1 floors only R2.5 Bulk ystem R- ilation to system R- vs	(MI/m².yr) 29.1	(MJ/m²yr) 15.8	6.5	Pass
	R2.5 Bulk External Wall Insulation (system R-value R2.26), R1.0 Bulk Insulation to exposed areas only celling/roof system R-value R1.10) R1.0 Bulk Floor Insulation to exposed (total floor system R-value R1.11), External Wall Insulation (total walls value R2.69), R1.0 Bulk Celling Insu- exposed areas only (total celling/roof value R1.10), Type 1 Windbo R1.0 Bulk Floor Insulation to exposed	total wall (total (total , Type 1 floors only R2.5 Bulk ystem R- lation to system R- vs floors only	(MI/m².yr) 29.1	(MJ/m²yr) 15.8	6.5	Pass
AZ	R2.5 Bulk External Wall Insulation (system Rivalue R2.05), R1.0 Bulk Insulation to exposed areas only celling/roof system Rivalue R1.13), R1.0 Bulk Floor Insulation to exposed (total floor system Rivalue R1.11), External Wall Insulation (total wall 5 value R2.05), R1.0 Bulk Celling Insu exposed areas only (total celling/roo walue R2.10), Type 1 window	total wall Ceiling (total , Type 1 floors only R2.5 Bulk ystem R- lation to system R- vs floors only R2.5 Bulk	(MJ/m².yr) 29.1 27.6	(MJ/m²yr) 15.8 13.2	6.5	Pass
	R2.5 Bulk External Wall Insulation (system Rivalue R2.69), R1.0 Bulk Insulation to exposed areas only celling/roof system Rivalue R1.10), 10.0 Bulk Floor Insulation to exposed (total floor system Rivalue R1.11), External Wall Insulation (total Wall 5 value R2.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R2.69), R1.0 Bulk Celling Insu (total floor system Rivalue R1.11), External Wall Insulation to exposed (total floor system Rivalue R1.11), External Wall Insulation (total Wall 5 Value R2.69), R1.0 Bulk Celling Insu	total wall Ceiling (total , Type 1 floors only R2.5 Bulk ystem R- lation to system R- lation conly R2.5 Bulk ystem R- lation to	(MI/m².yr) 29.1	(MJ/m²yr) 15.8	6.5	Pass
AZ	R2.5 Bulk External Wall Insulation (system R-value R2.26), R1.0 Bulk Insulation to seposed areas only celling/roof system R-value R1.10). E1.0 Bulk Floor Insulation to seposed (total floor system R-value R1.11), External Wall Insulation (total wall is value R12.69), R1.0 Bulk Celling Irou walue R12.10), Type 1 Window R1.0 Bulk Floor Insulation to seposed (total floor system R-value R1.11), External Wall Insulation (total wall is value R12.69), R1.0 Bulk Celling Irou External Wall Insulation (total wall is value R12.69), R1.0 Bulk Celling Irou exposed areas only total celling/roof	total wall Ceiling (total , Type 1 floors only R2.5 Bulk ystem R- liation to system R- floors only R2.5 Bulk ystem R- liation to system R-	(MJ/m².yr) 29.1 27.6	(MJ/m²yr) 15.8 13.2	6.5	Pass
AZ	R2.5 Bulk External Wall Insulation (system Rivalue R2.69), R1.0 Bulk Insulation to exposed areas only celling/roof system Rivalue R1.10), 10.0 Bulk Floor Insulation to exposed (total floor system Rivalue R1.11), External Wall Insulation (total Wall 5 value R2.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R2.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R2.69), R1.0 Bulk Celling Insu Value R2.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R2.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R2.69), R1.0 Bulk Celling Insu	total wall Colling (total , Type 1 floors only R2.5 Bulk ystem R- lation to 'system R- lation to 'system R- lation to 'system R- lation to	(MJ/m².yr) 29.1 27.6	(MJ/m²yr) 15.8 13.2	6.5	Pass
AZ	R2.5 Bulk External Wall Insulation (system R-value R2.26), R1.0 Bulk Insulation to seposed areas only celling/roof system R-value R1.10). E1.0 Bulk Floor Insulation to seposed (total floor system R-value R1.11), External Wall Insulation (total wall is value R12.69), R1.0 Bulk Celling Irou walue R12.10), Type 1 Window R1.0 Bulk Floor Insulation to seposed (total floor system R-value R1.11), External Wall Insulation (total wall is value R12.69), R1.0 Bulk Celling Irou External Wall Insulation (total wall is value R12.69), R1.0 Bulk Celling Irou exposed areas only total celling/roof	total wall Ceiling (total , Type 1 floors only R2_5 Bulk ystem R- vs floors only R2_5 Bulk ystem R- vs flation to system R- vs floors only R2_5 Bulk ystem R- vs foots only R2_5 Bulk ystem R- vs floors only R2_5 Bulk R2_5 Bulk	(MJ/m².yr) 29.1 27.6	(MJ/m²yr) 15.8 13.2	6.5	Pass
AZ	R2.5 Bulk External Wall Insulation (system R-value R2.26), R1.0 Bulk Insulation to exposed areas only celling/roof system R-value R1.10). External Wall Insulation (rotati wall for value R2.69), R1.0 Bulk Calling Inov exposed areas only Itotal celling/roof value R2.69, R1.0 Bulk Celling Inov R1.0 Bulk Floor system R-value R1.110). Teternal Wall Insulation (rotati wall for value R2.69, R1.0 Bulk Celling Inov External Wall Insulation (rotati wall for value R1.16), Type 1 window R1.0 Bulk Floor anytem R-value R1.110, Itotal Walk Celling Inov R2.5 Bulk External Wall Insulation (rotati wall R2.5 Bulk External Wall Insulation to R2.5 Bulk External Wall Insulation to S2.5 Bulk External Wall Insulation to S2.5 Bulk External Wall Insulation (rotati walls Insulation to exposed areas only Intol areas only complexity of the S2.5 Bulk External Wall Insulation (rotati walls insulation to the S2.5 Bulk External Wall Insulation (rotati walls insulation to the S2.5 Bulk External Wall Insulation (rotati walls insulation to the S2.5 Bulk External Wall Insulation (rotati walls insulatins (rotati walls insulation (rotati walls insulation (rotati wal	total wall Ceiling (total floors only R2.5 Buik system R- lation to system R- is floors only R2.5 Buik system R- is system R- is system R- is system R- lation to system R- lation to syst	(MJ/m².yr) 29.1 27.6	(MJ/m²yr) 15.8 13.2	6.5	Pass
A2 A3	R2.5 Bulk External Wall Insulation (system Rivalue R2.69), R1.0 Bulk Insulation to exposed areas only celling/roof system Rivalue R1.10, 10.0 Bulk Floor Insulation to exposed (total floor system Rivalue R1.11), External Wall Insulation (total Wall 5 value R2.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R2.10), Type 1 window R1.0 Bulk Floor Insulation to exposed (total floor system Rivalue R1.11), External Wall Insulation (total Wall 5 value R2.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R2.10), R1.0 Bulk Celling Insu exposed areas only (total Celling Insu exposed areas only (total Insulation value R2.69), R1.0 Bulk Celling Insu exposed areas only (total Insulation value R2.69), R1.5 Bulk Insulation to exposed areas only celling/roof system Rivalue R1.69).	total wall Ceiling (total floors only R2.5 Buik system R- lation to system R- is floors only R2.5 Buik system R- is system R- is system R- is system R- lation to system R- lation to syst	(MJ/m ² ,yr) 25.1 27.5 27.3	(MJ/m ² yr) 15.8 13.2 15.9	6.5	Pass Pass Pass
A2 A3	R2.5 Bulk External Wall Insulation (system R-value R2.26), R1.0 Bulk Insulation to exposed areas only celling/roof system R-value R1.10, (total floor system R-value R1.11, (total floor system R-value R1.11), system R2.69), R1.0 Bulk Calling root value R2.10, R1.0 Bulk Calling root value R2.69, R1.0 Bulk Celling root value R2.5 Bulk External Wall Insulation (system R-value R2.69, R1.5 Bulk	total wall Ceiling (total Type 1 floors only R2_5 Bulk ystem R- isition to system R- vs floors only R2_5 Bulk ystem R- isition to system R- vs floors only R2_5 Bulk ystem R2_5	(MJ/m ² ,yr) 25.1 27.5 27.3	(MJ/m ² yr) 15.8 13.2 15.9	6.5	Pass Pass Pass
A2 A3	R2.5 Bulk External Wall Insulation (system Rivalue R2.69), R1.0 Bulk Insulation to exposed areas only celling/roof system Rivalue R1.10, 10.0 Bulk Floor Insulation to exposed (total floor system Rivalue R1.11), External Wall Insulation (total Wall 5 value R2.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R2.10), Type 1 window R1.0 Bulk Floor Insulation to exposed (total floor system Rivalue R1.11), External Wall Insulation (total Wall 5 value R2.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R2.10), R1.0 Bulk Celling Insu exposed areas only (total Celling Insu exposed areas only (total Insulation value R2.69), R1.0 Bulk Celling Insu exposed areas only (total Insulation value R2.69), R1.5 Bulk Insulation to exposed areas only celling/roof system Rivalue R1.69).	total wall Ceiling (total Type 1 Roors only R2_5 Bulk ystem R- lation to system R- us Roors only R2_5 Bulk ystem R- us floors only R2_5 Bulk ystem R- us total wall Ceiling (total , Type 1	(MJ/m ² ,yr) 25.1 27.5 27.3	(MJ/m ² yr) 15.8 13.2 15.9	6.5	Pass Pass Pass
A2 A3	R2.5 Bulk External Wall Insulation (system Rivalue R2.69), R1.0 Bulk Insulation to exposed areas only celling/roof system Rivalue R11.10). External Wall Insulation to exposed Itotal floor system Rivalue R1.11). External Wall Insulation (total Wall S value R2.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R2.10). Type 1 window R1.0 Bulk Floor Insulation to exposed Itotal floor system Rivalue R1.11). External Wall Insulation (total Wall S Value R12.69), R1.0 Bulk Celling Insu exposed areas only (total celling/roof value R1.10). Type 1 window R2.5 Bulk External Wall Insulation (total Wall System Rivalue R12.69), R1.5 Bulk Insulation to exposed areas only celling/roof system Rivalue R1.69, windows, Type 2 skylghts. R2.5 Bulk External Wall Insulation (total wall Ceiling (total I total R225 Buik ystem R- lation to system R- lation to sys	(MJ/m ² ,yr) 25.1 27.5 27.3	(MJ/m ² yr) 15.8 13.2 15.9	6.5	Pass Pass Pass

Component	Commitment		
Hot Water System	Individual HWS below		
<u>Lifts</u>	All lifts to use Gearless traction with VVVF motor servicing all levels		
Ventilation	Car park: Ventilation (supply & exhaust) with a CO monitor & VSD fan Garbage Rooms: Ventilation (exhaust only), continuous Plant/Service Rooms: Ventilation (exhaust only), thermostatically controlled Hallways & lobbies: No mechanical ventilation		
Lighting	Car park: Fluorescent lighting with time clocks and motion sensors Lift Cars: LED lighting connected to lift call button Garbage Rooms: LED lighting with motion sensors Plant/Service Room: LED lighting with motion sensors + time clock Hallways & lobbles: LED lighting with motion sensors + time clock		
Alternative Energy Supply	Photovoltaic system of minimum rated electrical output of 3.2kW peak		
Hot Water System	 Individual Instantaneous Gas Hot Water System with 6 Stars Rating 		
Ventilation	Kitchen, Bathroom & Laundry Exhaust: Individual fan, ducted to roof or facade, with manual on/off switch		
Heating & Cooling	Heating: Living & Beds to have individual 3-star (average zone) 1- phase air-conditioning Cooling: Living & Beds to have individual 3-star (average zone) 1- phase air-conditioning Must be day/night zoned		
Lighting	 At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchens, bedrooms and living areas to use Fluorescent or LED lights with dedicated fittings¹ 		
<u>Other</u>	Gas cook top and electric oven Well ventilated fridge space Install 4-star (energy rating) dishwashers Install 2-star (energy rating) dishveshers		

Common Areas and Centra	l Systems
Area of Indigenous or low water species	Please refer to Appendix B
Rainwater collection	4,000L rainwater tank Roof collection area - 200m ² Rainwater to be used for Common areas and private landscape irrigation
Fire Sprinkler	Test water to be diverted to a closed system
Fixtures	 4-star (Water Rating) toilets 5-star (Water Rating) taps
Private Dwellings	
Fixtures for apartments	 4-star (Water Rating) showerheads with a flow rate > 6.0L/min & ≤ 7.5L/min 4-star (Water Rating) toilets 5-star (Water Rating) kitchen taps 5-star (Water Rating) bathroom taps 4-star (Water Rating) washing machines 4-star (Water Rating) dishwashers

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV А В

NOTES Development Application Revision 2

DATE 24.02.22 12.09.22

01

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE PROPOSED SECOND FLOOR PLAN

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author 12.09.22 Rev Date.

5m





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



1 CURRENT PROPOSED WEST ELEVATION 1:100

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV А В

NOTES Development Application Revision 2

DATE 24.02.22 12.09.22

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE PROPOSED WEST ELEVATION

O 1 5m

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author Rev Date. 12.09.22



Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406

Sydney Office. 3/34 Kellett Street Potts Point NSW 2011 +612 9188 7851

DA.10

1:100 @ A1

Rev

В



1 SOUTH ELEVATION 1:100



3 EAST ELEVATION 1:100

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is B to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

NOTES REV Revision 2

А

Development Application

DATE 24.02.22 12.09.22

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED ELEVATION - NORTH, SOUTH &
EAST
0 1 5m

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author

Rev Date.

12.09.22

LEGEN	D
RN	RENDER - LIGHT
PT GL-01	EXTERNAL PAINT - LIGHT CLEAR GLAZING
GL-02	OBSCURED GLAZING
GL-03	BALUSTRADE GLAZING
SLD	SLIDING WINDOW
AW	AWNING WINDOW
FX	FIXED WINDOW
SA	SASHLESS WINDOW





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406





2 PROPOSED SECTION 02 1:100

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is B to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV NOTES Revision 2

А

Development Application



PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE SECTIONS 01 5m

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author DA.15 12.09.22 Rev Date.



Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406

Sydney Office. 3/34 Kellett Street Potts Point NSW 2011 +612 9188 7851

1:100 @ A1

Rev

В







All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is B to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

Development Application Revision 2

А

24.02.22 12.09.22

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

SECTIONS

0 1 2.5m

DEVELOPMENT APPLICATION

ot to be used for co	onstruction purposes	
ob No.	2006	Scale.
rawn by.	Author	Drawing No.
ev Date.	12.09.22	DA.16

As indicated @ A1

Rev

В



Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities

SHADO	W DIAGARM LEGEND
	EXISTING BUILDING & FENCE SHADOW LINE
	BARRENJOEY HOUSE SHADOW LINE
	SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
	REVISED DA(Rev.B) SHADOW LINE
	COMPLIANT MASSING SHADOW LINE

Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



1 SHADOW STUDY - 9AM COMPLIANT MASSING 1:150

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV NOTES Revision 2

А

DATE 12.09.22

TITLE SHADOW STUDIES_9AM 21ST JUNE

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Author 12.09.22 Rev Date.

SHADO	W DIAGARM LEGEND
	EXISTING BUILDING & FENCE SHADOW LINE
	BARRENJOEY HOUSE SHADOW LINE
	SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
	REVISED DA(Rev.B) SHADOW LINE
	COMPLIANT MASSING SHADOW LINE





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406





All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design,

SHADO	W DIAGARM LEGEND
	EXISTING BUILDING & FENCE SHADOW LINE
	BARRENJOEY HOUSE SHADOW LINE
	SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
	REVISED DA(Rev.B) SHADOW LINE
	COMPLIANT MASSING SHADOW LINE

Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



1 SHADOW STUDY - 12PM COMPLAINT MASSING 1:150

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the Ltd prior to construction, when a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV NOTES Revision 2

А

PROJECT OVERVIEW		
DEVELOPMEN	NT APPLICATI	ON
Not to be used for const	truction purposes	
Job No.	2006	Sc
Drawn by.	Author	Di
Rev Date.	12.09.22	

SHADOW DIAGARM LEGEND		
	EXISTING BUILDING & FENCE SHADOW LINE	
	BARRENJOEY HOUSE SHADOW LINE	
	SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE	
	REVISED DA(Rev.B) SHADOW LINE	
	COMPLIANT MASSING SHADOW LINE	







All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design,

SHADO	W DIAGARM LEGEND
	EXISTING BUILDING & FENCE SHADOW LINE
	BARRENJOEY HOUSE SHADOW LINE
	SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
	REVISED DA(Rev.B) SHADOW LINE
	COMPLIANT MASSING SHADOW LINE



1 SHADOW STUDY - 3PM COMPLIANT MASSING 1:150

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV NOTES Revision 2

А

DATE 12.09.22

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH

TITLE SHADOW STUDIES_3PM 21ST JUNE

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Author 12.09.22

Rev Date.

SHADOW DIAGARM LEGEND		
	EXISTING BUILDING & FENCE SHADOW LINE	
	BARRENJOEY HOUSE SHADOW LINE	
	SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE	
	REVISED DA(Rev.B) SHADOW LINE	
	COMPLIANT MASSING SHADOW LINE	





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



THE FINISHS WE SELECTED ARE IN THE SAME FAMILY AS BARRENJOEY HOUSE



RN

EXTERNAL WALL-LIMESTONE/SANDSTONE COLOUR

LOCATION: EXTERNAL WALLS & COLUMNS





W-01

LOCATION:

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV А В

NOTES Development Application Revision 2

DATE 24.02.22 12.09.22



GL GLASS LOCATION: WINDOWS OP OPAQUE GLASS LOCATION: WINDOWS WHERE PRIVACY IS REQUIRED





FRENCH BLUE TRIM INTERNAL WINDOWS & SKYLIGHTS GENERALLY

STEEL BALUSTRADE LOCATION: WINDOWS & LIGHTWELL WHERE NEEDS PRIVACY



LANDSCAPE OPEN LANDSCAPE LOCATION: GROUND LEVEL COMMERCIAL TO FOOTPATH

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE MATERIALS AND FINISHES

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Author

12.09.22

Rev Date.









DARK ZINC LOW REFLECTIVE ROOF OR CHARCOAL TERRACOTTA SHINGLE



Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



PROPOSED	CONTROL
1138.1m²	1138.1m²
1 4 1 4 7 2	
1414.7m²	NO GFA CONTROL 1138.1/150=7.6 Dwelling permissible (A MAXIMUM OF 1 DWELLING PER 150m² OF SITE AREA)
387.1m²(371.9+15.2 facility) (27.4% OF TOTAL GFA)	353.7m² (MIN. 25% OF TOTAL GFA)
125.4m³ (MIN.10m³/APT, MIN.5m³ INTERNAL)	50m³ (ADG) (MIN.10m³/APT, MIN.5m³ INTERNAL)
	CONTROL
PROPOSED	CONTROL
G) 405.3 m² (35.6%)	284.5m² (25% OF SITE, ADG)
569.7m² (42.4%)	227.6m² (20% OF SITE, DCP)
TOTAL DEEP SOIL: 230.0m²	79.7m² (7% OF SITE, MIN.3m WIDE, ADG)
DEEP SOIL WITH MIN.3m WIDTH: 216.0m ² (20.5% OF SITE)	
	1138.1m ² 1414.7m ² 387.1m ² (371.9+15.2 facility) (27.4% OF TOTAL GFA) 125.4m ³ (MIN.10m ³ /APT, MIN.5m ³ INTERNAL) PROPOSED G) 405.3 m ² (35.6%) 569.7m ² (42.4%) 569.7m ² (42.4%) TOTAL DEEP SOIL: 230.0m ² DEEP SOIL WITH MIN.3m WIDTH: 216.0m ²

GROUND - DCP

TOTAL GFA: 391.7m² TOTAL LANDSCAPE AREA :249.7 m² TOTAL COMMERCIAL AREA: 370.9m²

COMMERCIAL 1 GFA: 287.6m²

COMMERCIAL 2 GFA: 84.3m²



1 AREA CALC - GROUND

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV A B NOTES Development Application _IProposed area calculation for Client's review DATE 24.02.22 105.07.22 <u>LEVEL TWO - DCP</u>

TOTAL GFA: 470.8m²

TOTAL OPEN SPACE: 85.4m² TOTAL LANDSCAPE AREA: 0m²

EA).



3 AREA CALC - L2 1:200

LEVEL ONE - DCP

TOTAL GFA: 552.2m² TOTAL OPEN SPACE: 55.2m²

TOTAL LANDSCAPE AREA: 320.0m²

2 AREA CALC - L1 1:200

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH GFA & LANDSCAPE CALCULATIONS

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes
Job No. 2006 Scale.
Drawn by. Author Drawi

Rev Date.

2006	Scale.
Author	Drawing No.
12.09.22	_ DA.7







Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



1 SOLAR ACCESS - 9AM



2 SOLAR ACCESS - 10AM



3 SOLAR ACCESS - 11AM

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is B to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV А

NOTES Development Application Revision 2

DATE 24.02.22 12.09.22



4 SOLAR ACCESS - 12PM



5 SOLAR ACCESS - 1PM

6 SOLAR ACCESS - 2PM





Rev Date.

 7
 SOLAR ACCESS - 3PM

PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS 1102 BARRENJOEY ROAD, PALM BEACH

TITLE SOLAR ACCESS ANALYSIS - PROPOSED

PROJECT OVERVIEV	N	
DEVELOPM	ENT APPLICATI	ON
Not to be used for co	onstruction purposes	
Job No.	2006	Scale.
Drawn by.	Author	Drawing
Rev Date.	12.09.22	_ DA

SOLAR ACCESS LEGEND



PRIVATE OPEN SPACE

SOLAR ACCESS APARTMENT DESIGN GUIDE

1. LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 2 HOURS DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER IN THE SYDNEY METROPOLITAN AREA AND IN THE NEWCASTLE AND WOLLONGONG LOCAL GOVERNMENT AREAS.

2. IN ALL OTHER AREAS, LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER.

3. A MAXIMUM OF 15% OF APARTMENTS IN A BUILDING RECEIVE NO DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER.

SOLAR ACCESS ANALYSIS

APT	А	1	A	2	А	3	A	4	А	5
9-10 AM										
10-11 AM										
11-12 PM										
12-1 PM										
1-2 PM										
2-3 PM										
HOURS	3	5	0	3	0	3	6	4	6	5

SOLAR ACCESS - PROPOSED 5 APTS (100% OF TOTAL APT)

MAX. WITHOUT HOUR -IPROPOSED 0 APTS (0% OF TOTAL APT))

SOLAR ACCESS - CONTROL 3.5 APTS (70% OF TOTAL APT)

MAX. WITHOUT HOUR -(CONTROL 0.75 APTS (15% OF TOTAL APT)



As indicated @ A1

Rev

R







All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is B to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV NOTES Development Application Revision 2

А

DATE 24.02.22 12.09.22 PROJECT NAME & DESCRIPTION PALM BEACH APARTMENTS

1102 BARRENJOEY ROAD, PALM BEACH

TITLE OVERLOOKING ANALYSIS 0 2 10m

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction purposes Job No. 2006 Scale. Drawn by. Drawing No. Author

12.09.22

Rev Date.







Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406



¹ NATURAL VENTILATION - L1 1:200



2 NATURAL VENTILATION - L2 1:200

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of thse approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is B to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

NOTES REV

А

Development Application DA Revision Revision 2

DATE 24.02.22 06.04.22 12.09.22



NATURAL VENTILATION APARTMENT DESIGN GUIDE

1. AT LEAST 60% OF APARTMENTS ARE NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING. APARTMENTS AT TEN STOREYS OR GREATER ARE DEEMED TO BE CROSS VENTILATED ONLY IF ANY ENCLOSURE OF THE BALCONIES AT THESE LEVELS ALLOWS ADEQUATE NATURAL VENTILATION AND CANNOT BE FULLY ENCLOSED.

2. OVERALL DEPTH OF A CROSS-OVER OR CROSS-THROUGH APARTMENT DOES NOT EXCEED 18 M, MEASURED GLASS LINE TO GLASS LINE.

APARTMENT VENTILATION

APARTMENT 1	YES
APARTMENT 2	YES
APARTMENT 3	YES
APARTMENT 4	YES
APARTMENT 5	YES

COMPLIES ALL UNITS ARE NATURALLY VENTILATED AND THE OVERALL DEPTH DOES NOT EXCEED 18m.

PROPOSED	CONTROL
5 APTS	4 APTS
(100% OF TOTAL APT)	(60% OF TOTAL APT)

0 2



3 ADAPTABLE LAYOUT A2 (SILVER LEVEL) 1:100

ADAPTABLE HOUSING

AND MIEXED USED DEVELOPMENTS COMPRISING RESIDENTIAL ACCOMMODATION.

2. SILVER LEVEL OF THE LIVEABLE HOUSING GUIDELINE

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
1102 BARRENJOEY ROAD, PALM BEACH

TITLE	
NATURAL VENTILATION DIAGRAMS	&
ADAPTABLE HOUSING	

10m

PROJECT OVERVIEW DEVELOPMENT APPLICATION Not to be used for construction pu

NOT TO DE USEU TOT COTIS	struction purposes	
Job No.	2006	Scale.
Drawn by.	Author	Drawing No.
Rev Date.	12.09.22	DA.7

1. 20% OF RESIDENTIAL FLAT BUILDINGS, SHOP TOP HOUSING





Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406