

1102 BARRENJOEY ROAD, PALM BEACH

DA APPLICATION - PALM BEACH APARTMENTS

ARCHITECTURAL DRAWING LIST			
Sheet No.	Sheet Name	Current Rev.	Current Revision Date
DA.00	COVER PAGE	B	12.09.22
DA.01	SITE PLAN ANALYSIS	B	12.09.22
DA.02a	MASSING HEIGHT CONTROL	B	12.09.22
DA.02b	MASSING DCP CONTROL	B	12.09.22
DA.02c	MASSING EXISTING HEIGHT CONTROL	A	12.09.22
DA.03	DEMOLITION PLAN	B	12.09.22
DA.04	PROPOSED NEW SUBSTATION LOCATION	A	12.09.22
DA.04.1	PROPOSED SITE PLAN / ROOF PLAN	B	12.09.22
DA.05	PROPOSED BASEMENT PLAN	B	12.09.22

ARCHITECTURAL DRAWING LIST			
Sheet No.	Sheet Name	Current Rev.	Current Revision Date
DA.06	PROPOSED GROUND FLOOR PLAN	C	12.09.22
DA.07	PROPOSED FIRST FLOOR PLAN	B	12.09.22
DA.08	PROPOSED SECOND FLOOR PLAN	B	12.09.22
DA.10	PROPOSED WEST ELEVATION	B	12.09.22
DA.11	PROPOSED ELEVATION - NORTH, SOUTH & EAST	B	12.09.22
DA.15	SECTIONS	B	12.09.22
DA.16	SECTIONS	B	12.09.22
DA.50	SHADOW STUDIES_9AM 21ST JUNE	B	12.09.22
DA.50 B	SHADOW STUDIES_9AM 21ST JUNE	A	12.09.22

ARCHITECTURAL DRAWING LIST			
Sheet No.	Sheet Name	Current Rev.	Current Revision Date
DA.51	SHADOW STUDIES_12PM 21ST JUNE	B	12.09.22
DA.51B	SHADOW STUDIES_12PM 21ST JUNE	A	12.09.22
DA.52	SHADOW STUDIES_3PM 21ST JUNE	B	12.09.22
DA.52B	SHADOW STUDIES_3PM 21ST JUNE	A	12.09.22
DA.60	MATERIALS AND FINISHES	B	12.09.22
DA.70	GFA & LANDSCAPE CALCULATIONS	B	12.09.22
DA.72	SOLAR ACCESS ANALYSIS - PROPOSED	B	12.09.22
DA.73	OVERLOOKING ANALYSIS	B	12.09.22
DA.74	NATURAL VENTILATION DIAGRAMS & ADAPTABLE HOUSING	C	12.09.22



All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
COVER PAGE

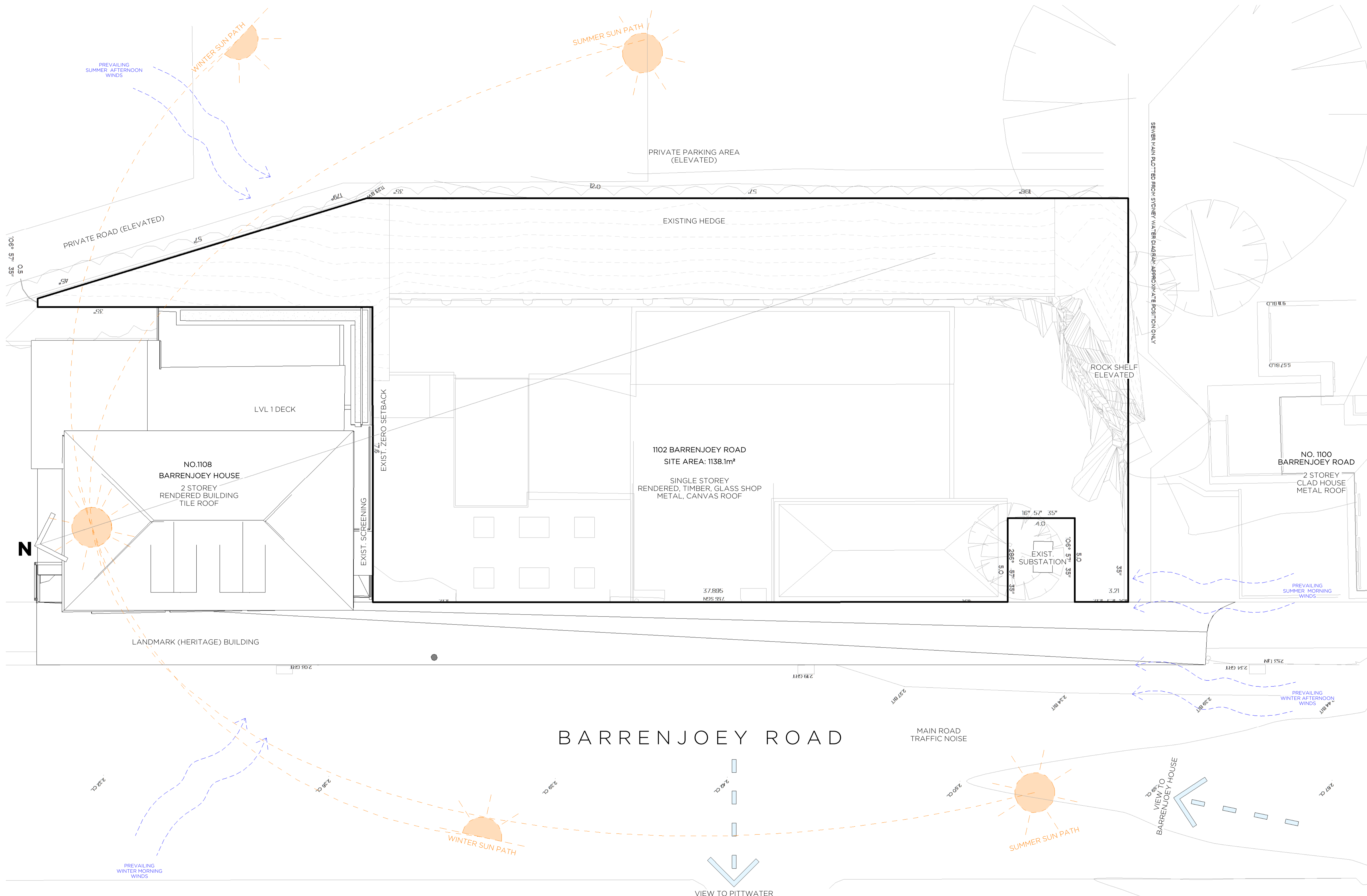
PROJECT OVERVIEW
DEVELOPMENT APPLICATION
 Not to be used for construction purposes

Job No.	2006	Scale.	@ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.00	B



Melbourne Office.
 1/10 Grattan Street
 Prahran VIC 3181
 +613 9525 2406

Sydney Office.
 3/34 Kellest Street
 Potts Point NSW 2011
 +612 9188 7851



All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SITE PLAN ANALYSIS

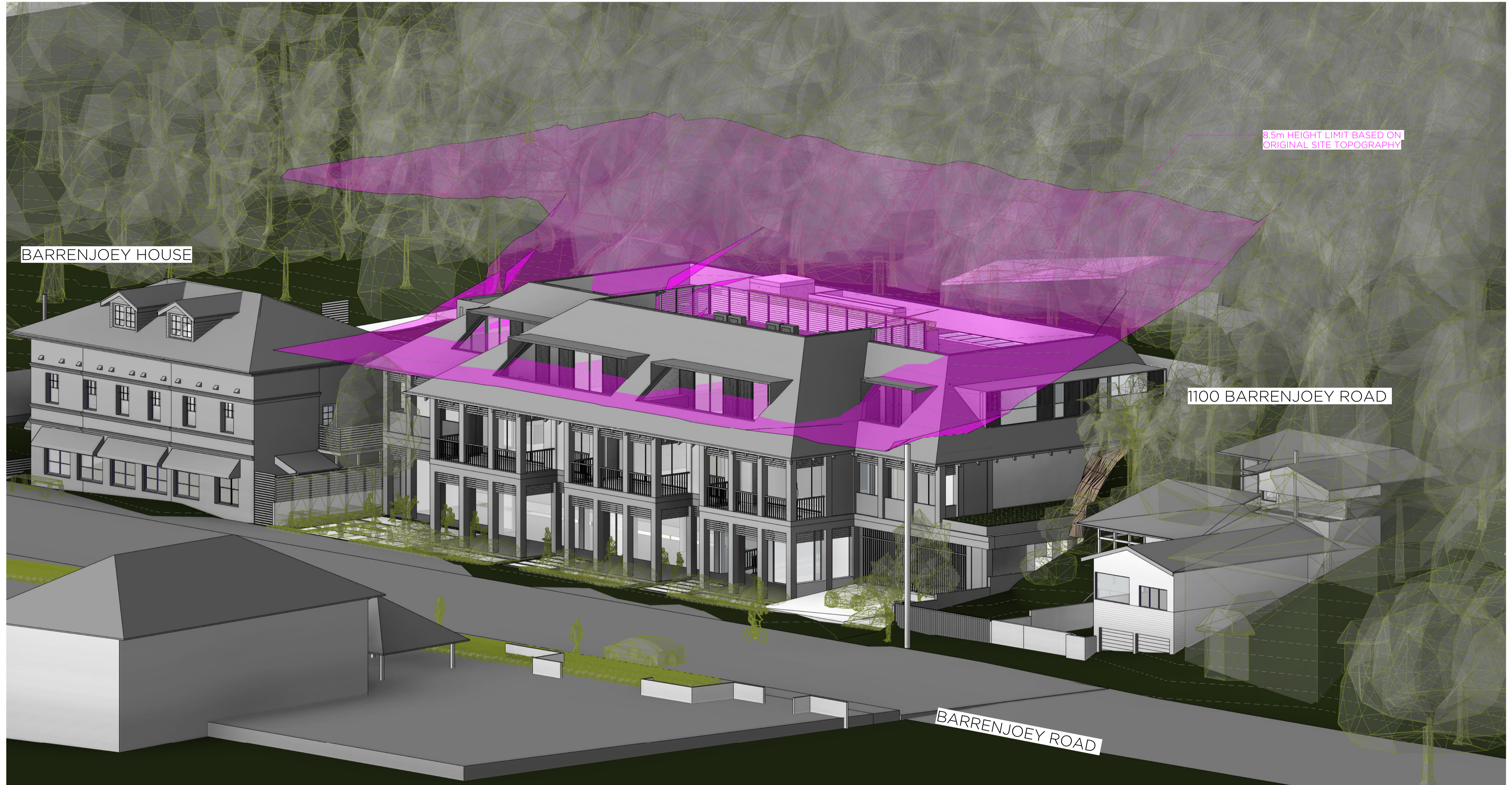
PROJECT OVERVIEW
DEVELOPMENT APPLICATION
 Not to be used for construction purposes

Job No.	2006	Scale:	1:100 @ A1
Drawn by.	AUTHOR	Drawing No.	DA.01
Rev Date.	12.09.22	Rev	B

Rob Mills Architecture & Interiors

Melbourne Office:
 1/10 Grattan Street
 Prahran VIC 3181
 +613 9525 2406

Sydney Office:
 3/34 Kellett Street
 Potts Point NSW 2011
 +612 9188 7851



3.5m HEIGHT LIMIT BASED ON ORIGINAL SITE TOPOGRAPHY

BARRENJOEY HOUSE

1100 BARRENJOEY ROAD

BARRENJOEY ROAD

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
MASSING HEIGHT CONTROL

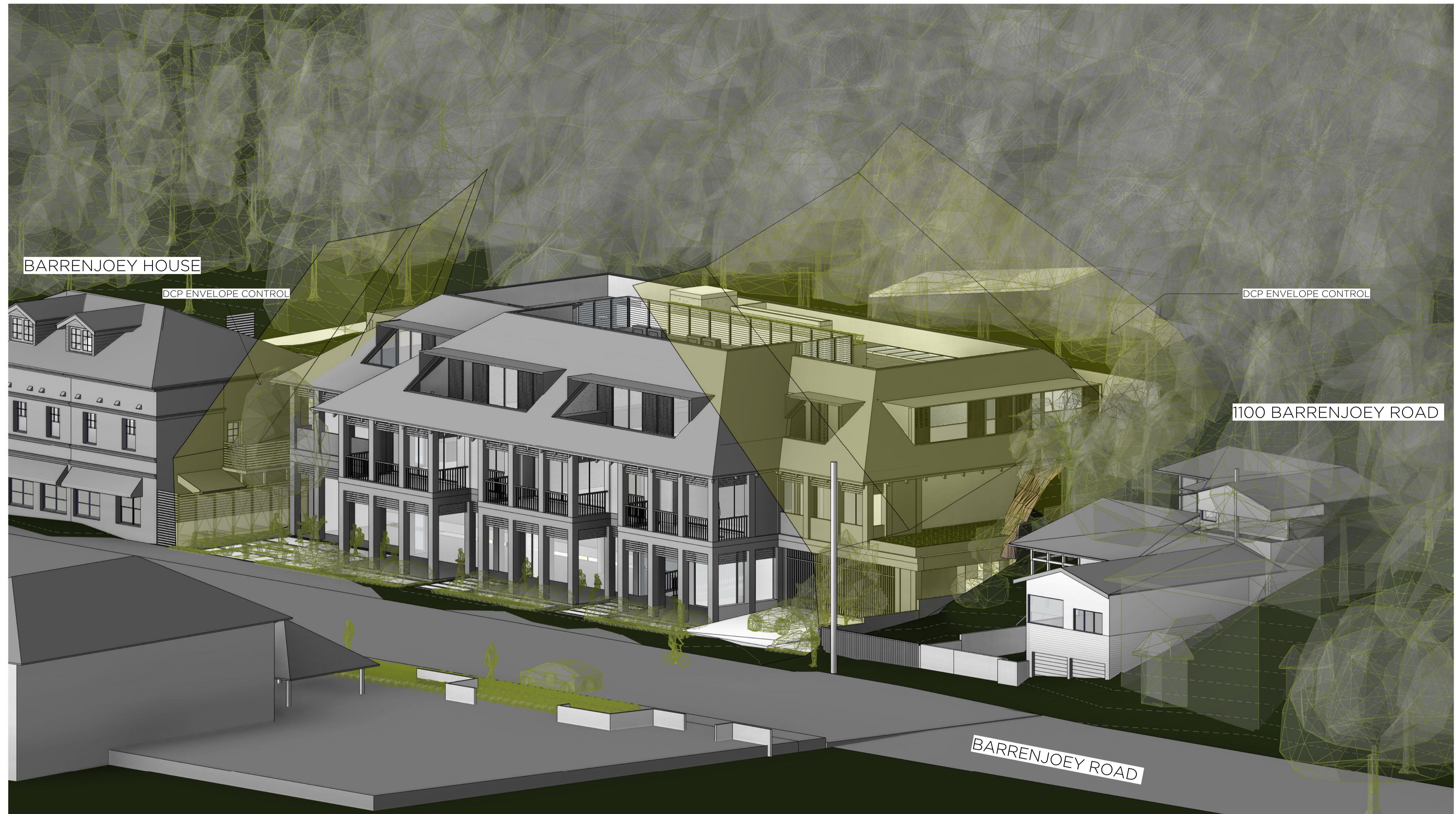
PROJECT OVERVIEW
DEVELOPMENT APPLICATION
 Not to be used for construction purposes

Job No.	2006	Scale.	@ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.02a	B



Melbourne Office.
 1/10 Grattan Street
 Prahran VIC 3181
 +613 9525 2406

Sydney Office.
 3/34 Kellett Street
 Potts Point NSW 2011
 +612 9188 7851



All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
MASSING DCP CONTROL

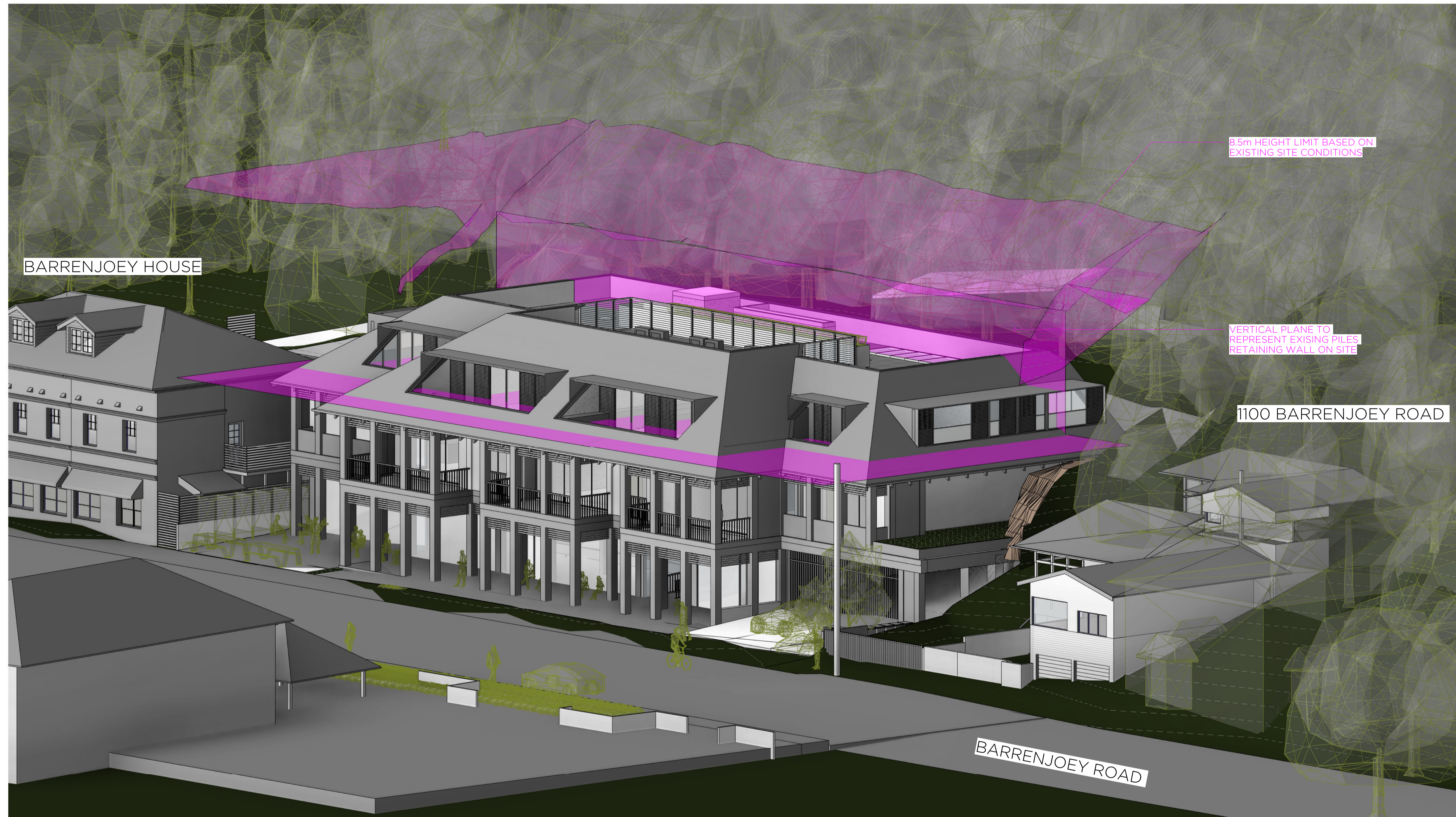
PROJECT OVERVIEW
DEVELOPMENT APPLICATION
 Not to be used for construction purposes

Job No.	2006	Scale.	@ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.02b	B



Melbourne Office.
 1/10 Grattan Street
 Prahran VIC 3181
 +613 9525 2406

Sydney Office.
 3/34 Kellett Street
 Potts Point NSW 2011
 +612 9188 7851



All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE	PROJECT NAME & DESCRIPTION	TITLE	PROJECT OVERVIEW
A	Revision 2	12.09.22	PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH	MASSING EXISTING HEIGHT CONTROL	S4.55(2) MODIFICATION APPLICATION Not to be used for construction purposes

Job No.	Scale.	@ A1
2006		
Drawn by. Author	Drawing No. DA.02c	Rev A
Rev Date. 12.09.22		



Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



BARRENJOEY ROAD

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

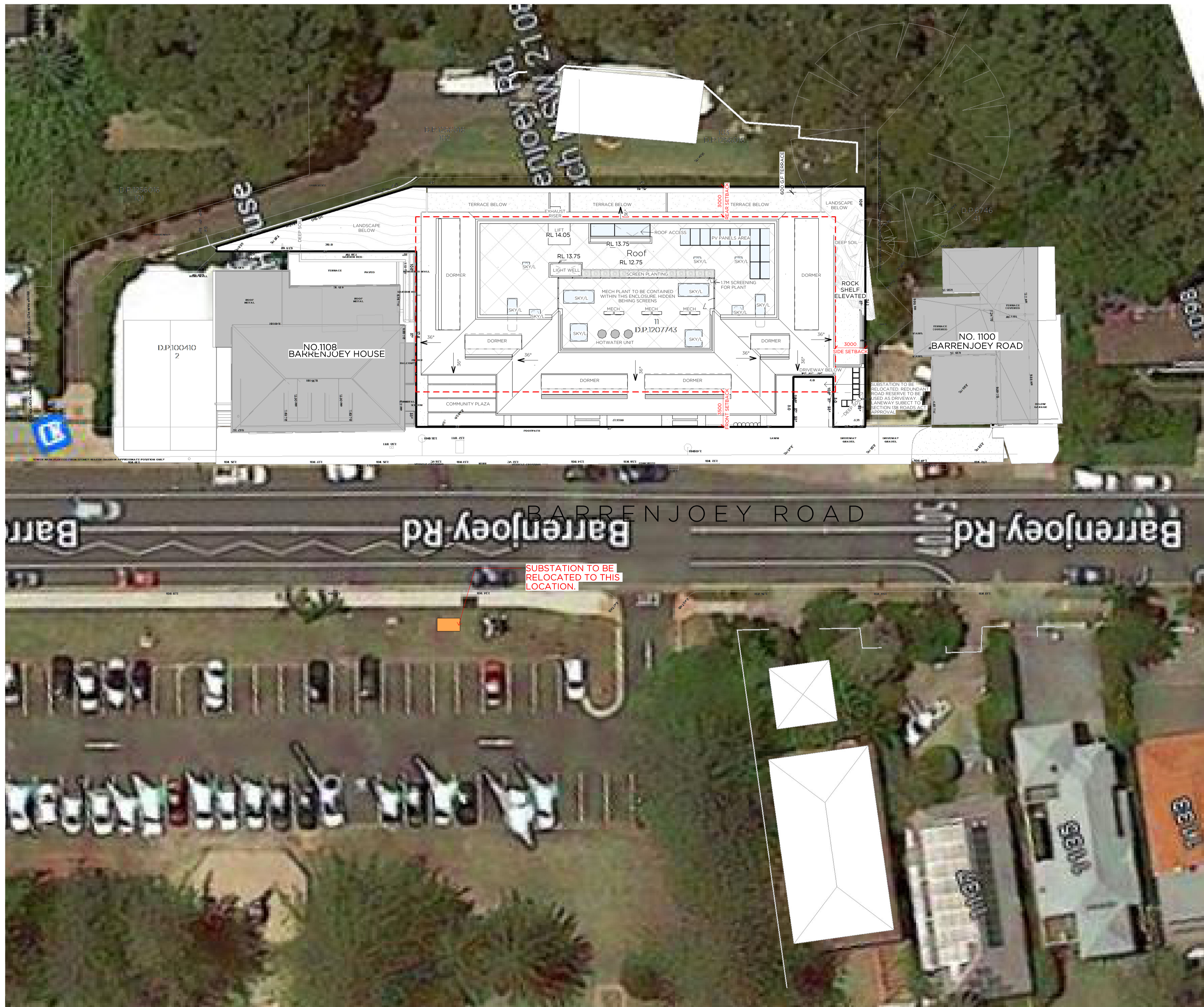
TITLE
DEMOLITION PLAN

PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Not to be used for construction purposes			
Job No.	2006	Scale:	1:100 @ A1
Drawn by.	EDG	Drawing No.	Rev
Rev Date.	12.09.22	DA.03	B

Rob Mills Architecture & Interiors

Melbourne Office:
 1/10 Grattan Street
 Prahran VIC 3181
 +613 9525 2406

Sydney Office:
 3/34 Kellett Street
 Potts Point NSW 2011
 +612 9188 7851

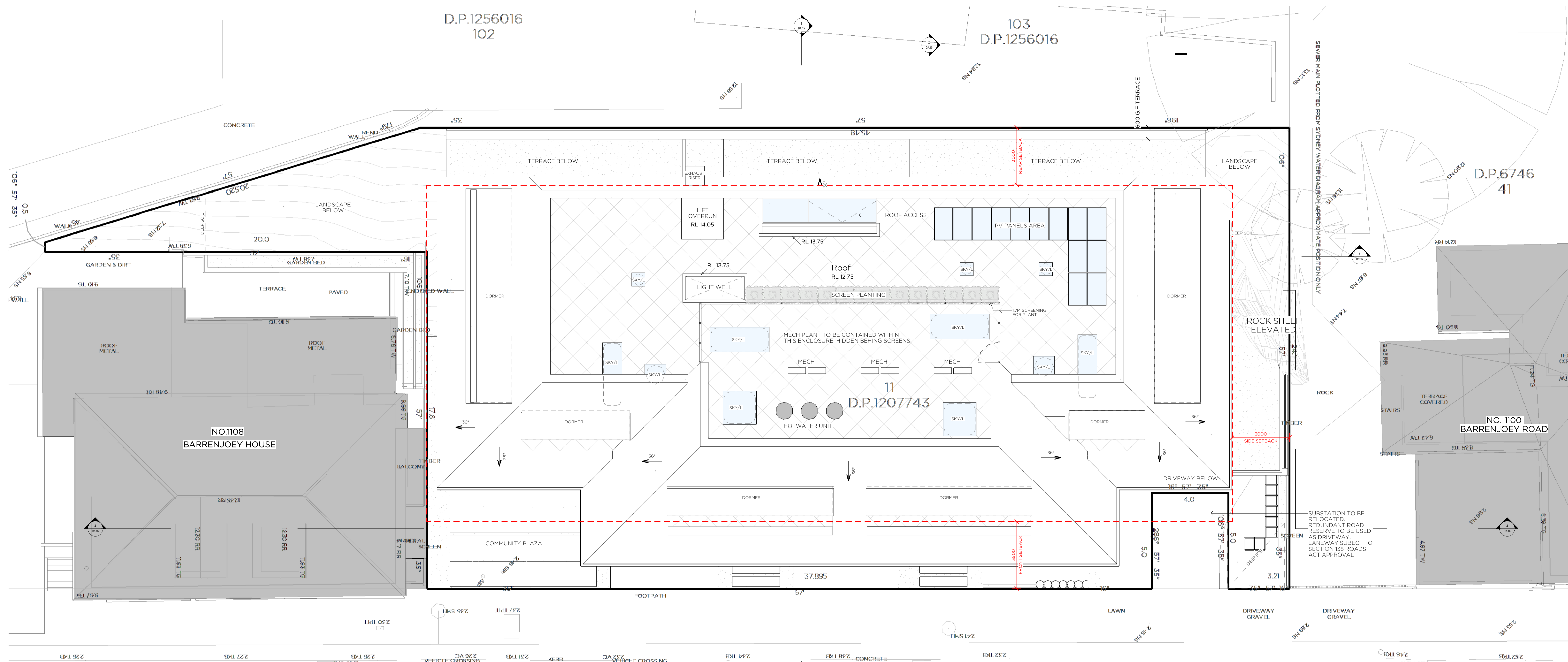


SUBSTATION TO BE RELOCATED TO THIS LOCATION.

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE	PROJECT NAME & DESCRIPTION	TITLE	PROJECT OVERVIEW
A	Revision 2	12.09.22	PALM BEACH APARTMENTS AT 1102 BARRENJOEY ROAD, PALM BEACH	PROPOSED NEW SUBSTATION LOCATION	DEVELOPMENT APPLICATION Not to be used for construction purposes
					Job No. 2006 Scale: 1:200 @ A1
					Drawn by. Author Drawing No. Rev
					Rev Date. 12.09.22 DA.04 A



BASIS COMMITMENTS

THERMAL COMFORT

Element	Requirement	Design	Compliance
External walls	Concrete Block, Road	180mm concrete block	Compliance
Internal walls	Concrete Block, Road	180mm concrete block	Compliance
Roof	Concrete Block, Road	180mm concrete block	Compliance
Windows	Performance Rating	4.27 for glazing, shading & fixed window	Compliance
Shading devices	Shading devices	Shading devices	Compliance
Lighting	Lighting	Lighting	Compliance
Roof	Roof	Roof	Compliance
Colours	Colours	Colours	Compliance
Floors	Floors	Floors	Compliance
Common outdoor ventilation	Common outdoor ventilation	Common outdoor ventilation	Compliance
Refrigeration equipment	Refrigeration equipment	Refrigeration equipment	Compliance
Water	Water	Water	Compliance
Notes:	Only a 0.01% tolerance to the value stated above & to be greater than or equal to the value stated above.		

ENERGY COMMITMENTS

System	Requirement	Design	Compliance
Hot Water System	Individual HWB below	Individual HWB below	Compliance
Lifts	All lifts to use Gearless traction with VVVF motor servicing all levels	All lifts to use Gearless traction with VVVF motor servicing all levels	Compliance
Ventilation	Car park Ventilation (supply & exhaust) with a CO monitor & fan	Car park Ventilation (supply & exhaust) with a CO monitor & fan	Compliance
Lighting	Garage Rooms: Ventilation (exhaust only), continuous	Garage Rooms: Ventilation (exhaust only), continuous	Compliance
Alternative Energy Supply	Photovoltaic system of minimum rated electrical output of 3.2kW peak	Photovoltaic system of minimum rated electrical output of 3.2kW peak	Compliance
Hot Water System	Individual Hot Water System with 5 Stars Rating	Individual Hot Water System with 5 Stars Rating	Compliance
Ventilation	Individual Hot Water System Gas Hot Water System with 5 Stars Rating	Individual Hot Water System Gas Hot Water System with 5 Stars Rating	Compliance
Heating & Cooling	Heating & Cooling	Heating & Cooling	Compliance
Lighting	Lighting	Lighting	Compliance
Other	Other	Other	Compliance

WATER COMMITMENTS

System	Requirement	Design	Compliance
Area of Indigenous or Low Water Species	Please refer to Appendix B	Please refer to Appendix B	Compliance
Rainwater collection	4,000L rainwater tank	4,000L rainwater tank	Compliance
Fire Sprinklers	Test water to be diverted to a closed system	Test water to be diverted to a closed system	Compliance
Fixtures	4-star (Water Rating) toilets	4-star (Water Rating) toilets	Compliance
Fixtures for apartments	4-star (Water Rating) showers	4-star (Water Rating) showers	Compliance

BARRENJOEY ROAD

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED SITE PLAN / ROOF PLAN

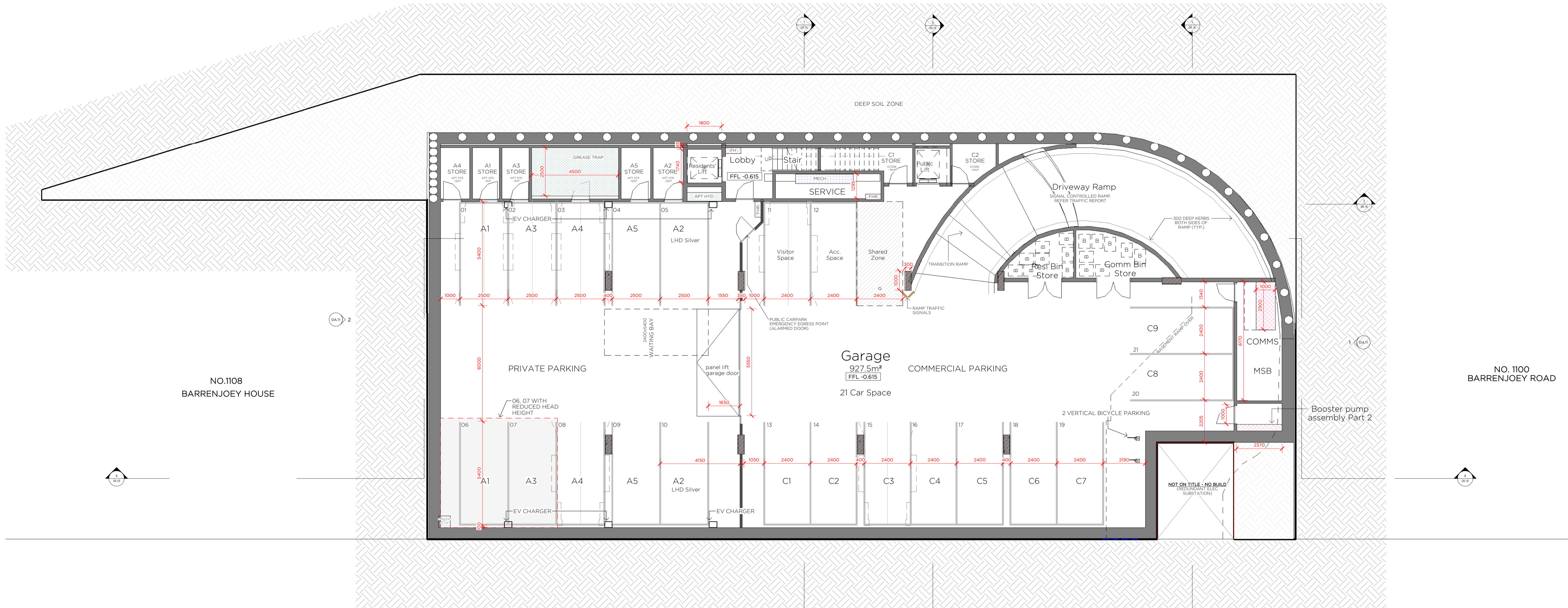
0 1 5m

PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Job No.	2006	Scale:	1:100 @ A1
Drawn by:	Author	Drawing No.	Rev
Rev Date:	12.09.22	DA.04.1	B

Rob Mills Architecture & Interiors

Melbourne Office:
 1/10 Grattan Street
 Prahran VIC 3181
 +61 3 9525 2406

Sydney Office:
 3/34 Kellert Street
 Potts Point NSW 2011
 +61 2 9188 7851



BARRENJOEY ROAD

BASIS COMMITMENTS

THERMAL COMFORT

Item No.	Item	Value	Unit	Pass/Fail	
A1	Additional Treatment Report	25.1	25.1	6.5	Pass
A2	...	27.6	27.6	6.9	Pass
A3	...	27.6	27.6	6.7	Pass
A4	...	27.3	27.3	5.1	Pass
A5	...	27.4	27.4	5.4	Pass

ENERGY COMMITMENTS

Item No.	Item	Value	Unit	Pass/Fail	
A1	...	25.1	25.1	6.5	Pass
A2	...	27.6	27.6	6.9	Pass
A3	...	27.6	27.6	6.7	Pass
A4	...	27.3	27.3	5.1	Pass
A5	...	27.4	27.4	5.4	Pass

WATER COMMITMENTS

Item No.	Item	Value	Unit	Pass/Fail	
A1	...	25.1	25.1	6.5	Pass
A2	...	27.6	27.6	6.9	Pass
A3	...	27.6	27.6	6.7	Pass
A4	...	27.3	27.3	5.1	Pass
A5	...	27.4	27.4	5.4	Pass

Item No.	Item	Value	Unit	Pass/Fail	
A1	...	25.1	25.1	6.5	Pass
A2	...	27.6	27.6	6.9	Pass
A3	...	27.6	27.6	6.7	Pass
A4	...	27.3	27.3	5.1	Pass
A5	...	27.4	27.4	5.4	Pass

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED BASEMENT PLAN

PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale:	1:100 @ A1
Drawn by:	Author	Drawing No.	Rev
Rev Date:	12.09.22	DA.05	B

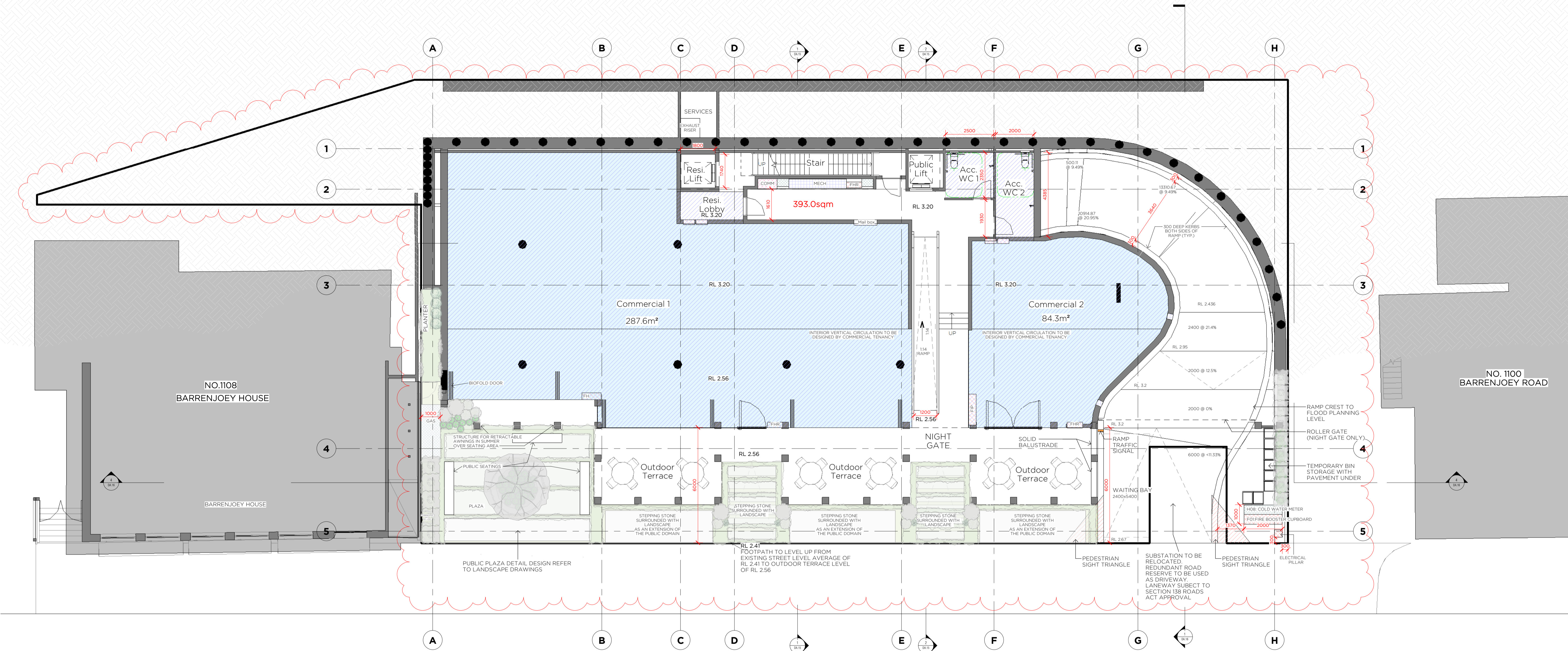
Rob Mills Architecture & Interiors

Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+612 9525 2406

Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.



BARRENJOEY ROAD

BASIS COMMITMENTS

THERMAL COMFORT

Element	Material	U-value	Notes
External walls	Concrete Block, Board	0.18	Refer to Appendix B
Internal walls	Plasterboard	0.25	Refer to Appendix B
Floor slabs	Concrete Slab	0.12	Refer to Appendix B
Roof	Concrete Slab	0.12	Refer to Appendix B
Windows	6 Star Performance glazing	0.8	Refer to Appendix B
Doors	6 Star Performance glazing	0.8	Refer to Appendix B
Glazing	6 Star Performance glazing	0.8	Refer to Appendix B
Roof	Concrete Slab	0.12	Refer to Appendix B
Columns	Concrete	0.12	Refer to Appendix B
Floors	Concrete	0.12	Refer to Appendix B

ENERGY COMMITMENTS

System	Specification	Notes
Hot Water System	Individual HWB below	Refer to Appendix B
Lifts	All lifts to use Gearless traction with VVVF motor servicing all levels	Refer to Appendix B
Ventilation	Garage Room: Mechanical ventilation (exhaust only), continuous	Refer to Appendix B
Lighting	LED lighting with motion sensors	Refer to Appendix B
Alternative Energy Supply	Photovoltaic system of minimum rated electrical output of 3.2kW peak	Refer to Appendix B
Hot Water System	Individual Hot Water System with 5 Star Rating	Refer to Appendix B
Heating & Cooling	Heating: Gas or Electric; Cooling: Gas or Electric	Refer to Appendix B
Other	Refer to Appendix B	Refer to Appendix B

WATER COMMITMENTS

Area of Indigenous or Low water species	Requirements
Area of Indigenous or Low water species	Refer to Appendix B
Rainwater collection	Refer to Appendix B
Fire Sprinkler	Refer to Appendix B
Private Dwellings	Refer to Appendix B
Features for apartments	Refer to Appendix B

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A <td>Development Application</td> <td>24.02.22</td>	Development Application	24.02.22
B <td>Revision 1</td> <td>27.04.22</td>	Revision 1	27.04.22
C <td>Revision 2</td> <td>12.09.22</td>	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED GROUND FLOOR PLAN

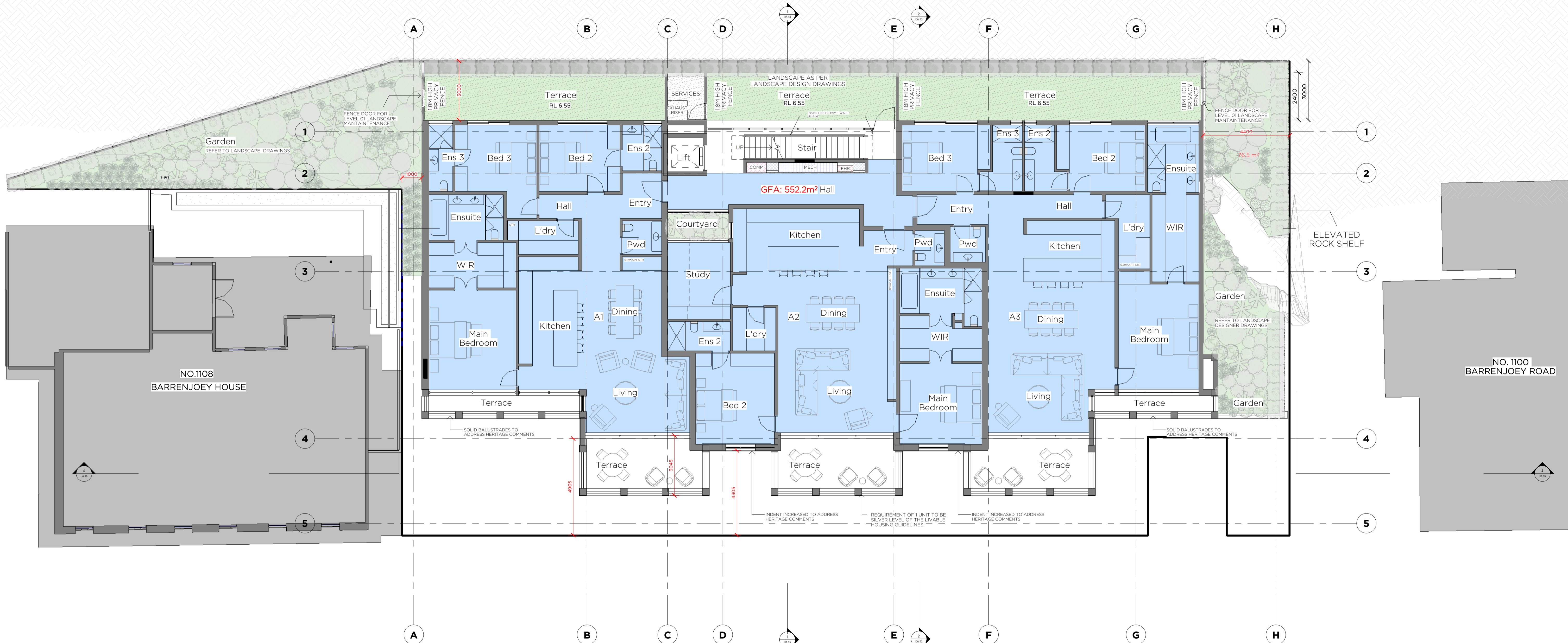
Scale: 1:100 @ A1

PROJECT OVERVIEW	DEVELOPMENT APPLICATION
Job No. 2006	Scale: 1:100 @ A1
Author	Rev C
Drawn by	Drawing No. DA.06
Rev Date. 12.09.22	

Rob Mills Architecture & Interiors

Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office:
3/34 Kellest Street
Potts Point NSW 2011
+612 9188 7851



BARRENJOEY ROAD

BASIS COMMITMENTS

THERMAL COMFORT

Element	Requirement	Comment
External walls	Concrete Block, Basal	Refer to Appendix B
Internal walls	Plasterboard	Refer to Appendix B
Floor slabs	Concrete Slab	Refer to Appendix B
Roof	Concrete Slab	Refer to Appendix B
Glazing	Double Glazed Low E Glass	Refer to Appendix B
Doors	Timber or Composite	Refer to Appendix B
Windows	Timber or Composite	Refer to Appendix B
Staircases	Concrete	Refer to Appendix B
Common areas	Plasterboard	Refer to Appendix B
Basement	Concrete	Refer to Appendix B

ENERGY COMMITMENTS

Element	Requirement	Comment
Hot Water System	Individual HWB System	Refer to Appendix B
Lifts	All lifts to use Gearless traction with VVVF motor servicing all floors	Refer to Appendix B
Ventilation	Car park: Ventilation (supply & exhaust) with a CO monitor & VAV fan	Refer to Appendix B
Lighting	Garage Rooms: Ventilation (exhaust only), continuous	Refer to Appendix B
Alternative Energy Supply	Photovoltaic system of minimum rated electrical output of 3.2kW peak	Refer to Appendix B
Hot Water System	Individual Hot Water System with 5 Stars Rating	Refer to Appendix B
Ventilation	Individual Hot Water System with 5 Stars Rating	Refer to Appendix B
Heating & Cooling	Heating: Living & Beds to have individual 3 star (average zone) 5 phase air conditioning	Refer to Appendix B
Cooling	Cooling: Living & Beds to have individual 3 star (average zone) 5 phase air conditioning	Refer to Appendix B
Lighting	All areas of LED lighting (including the main light fittings in all hallways, landings, bedrooms, bathrooms, bedrooms and living areas to use Fluorescent or LED. Beds with dedicated fitting 1	Refer to Appendix B
Other	Gas cook top and electric oven	Refer to Appendix B
	Work-ventilated fridge space	Refer to Appendix B
	Install 4-star (energy rating) dishwashers	Refer to Appendix B
	Install 3-star (energy rating) dryers	Refer to Appendix B

WATER COMMITMENTS

Element	Requirement	Comment
Area of Indigenous or Low water species	Please refer to Appendix B	Refer to Appendix B
Rainwater collection	4,000L rainwater tank	Refer to Appendix B
Fire Sprinkler	Rainwater to be used for Common areas and private landscape irrigation	Refer to Appendix B
Private Dwellings	4-star (Water Rating) showers with a flow rate > 6.0L/min & < 7.5L/min	Refer to Appendix B
4-star (Water Rating) toilets	Refer to Appendix B	
5-star (Water Rating) kitchen taps	Refer to Appendix B	
4-star (Water Rating) bathroom taps	Refer to Appendix B	
4-star (Water Rating) washing machines	Refer to Appendix B	
4-star (Water Rating) dishwashers	Refer to Appendix B	

Unit No.	Additional Treatment Required	Flow Rate (L/s)	Flow Rate (L/min)	Flow Rate (L/hr)
A1	Refer to Appendix B	25.1	15.1	6.5
A2	Refer to Appendix B	27.6	16.6	6.9
A3	Refer to Appendix B	27.6	16.6	6.7
A4	Refer to Appendix B	27.6	16.6	5.1
A5	Refer to Appendix B	27.6	16.6	5.4

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED FIRST FLOOR PLAN

0 1 5m

PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale:	1:100 @ A1
Drawn by:	Author	Drawing No.	Rev
Rev Date:	12.09.22	DA.07	B

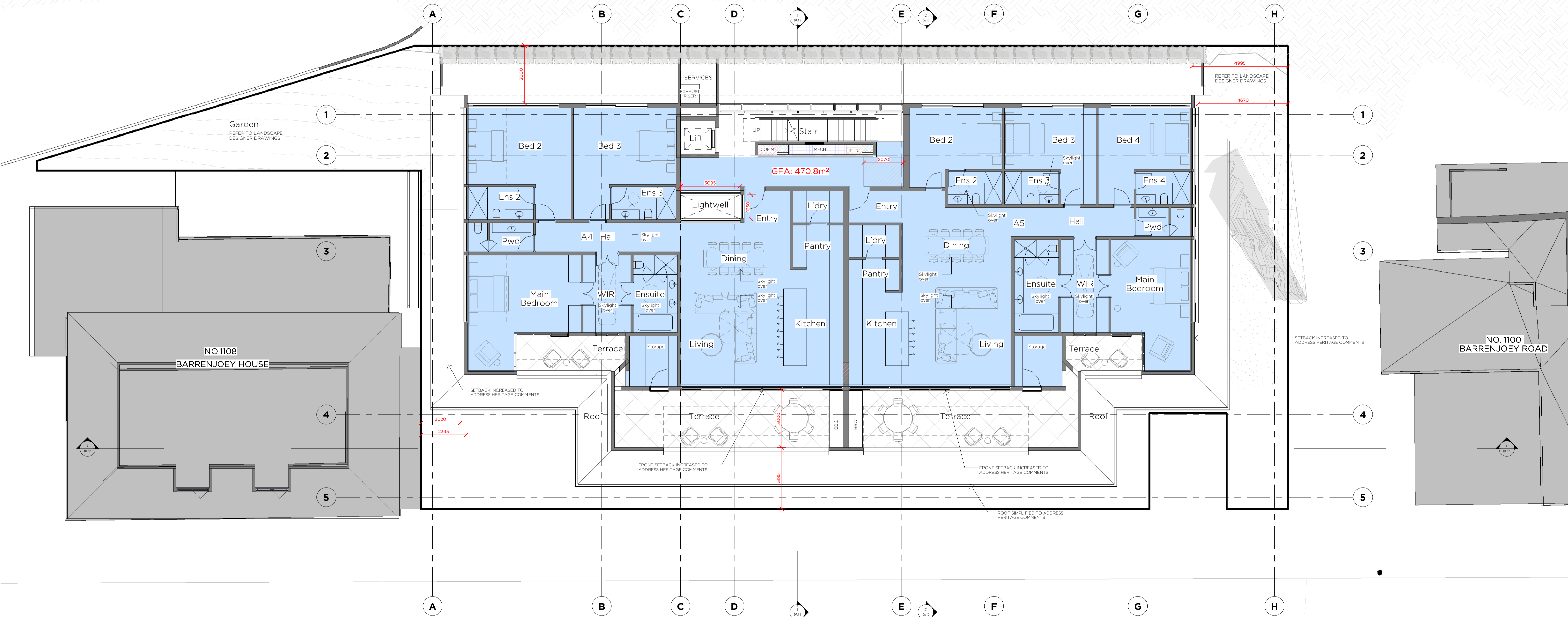


Melbourne Office:
 1/10 Grattan Street
 Prahran VIC 3181
 +612 9525 2406

Sydney Office:
 3/34 Kellett Street
 Potts Point NSW 2011
 +612 9188 7851

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.



BARRENJOEY ROAD

BASIS COMMITMENTS

THERMAL COMFORT

Element	Material	U-value	Notes
External walls	Concrete Block, Render	0.18	Refer to Table 2
Internal walls	Plasterboard	0.10	Refer to Table 2
Roof	Concrete Slab, Insulation	0.10	Refer to Table 2
Floor	Concrete Slab, Insulation	0.10	Refer to Table 2
Windows	Double Glazed, Low E	0.7	Refer to Table 2
Doors	Insulated	0.15	Refer to Table 2

ENERGY COMMITMENTS

System	Specification	Notes
Hot Water System	Individual Units	Refer to Table 2
Lighting	LED	Refer to Table 2
Appliances	Energy Star	Refer to Table 2
Insulation	As per Table 2	Refer to Table 2

WATER COMMITMENTS

System	Specification	Notes
Rainwater Collection	For irrigation	Refer to Table 2
Water Saving	Low flow fixtures	Refer to Table 2
Greywater	For reuse	Refer to Table 2

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV A Development Application
 B Revision 2

DATE 24.02.22
 12.09.22

PROJECT NAME & DESCRIPTION
 PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
 PROPOSED SECOND FLOOR PLAN

0 1 5m

PROJECT OVERVIEW
 DEVELOPMENT APPLICATION
 Not to be used for construction purposes

Job No. 2006
 Scale. 1:100 @ A1

Drawn by. Author
 Rev Date. 12.09.22

Drawing No. DA.08
 Rev B

Rob Mills Architecture & Interiors

Melbourne Office:
 1/10 Grattan Street
 Prahran VIC 3181
 +612 9525 2406

Sydney Office:
 3/34 Kellett Street
 Potts Point NSW 2011
 +612 9188 7851



1 CURRENT PROPOSED WEST ELEVATION
1:100

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED WEST ELEVATION

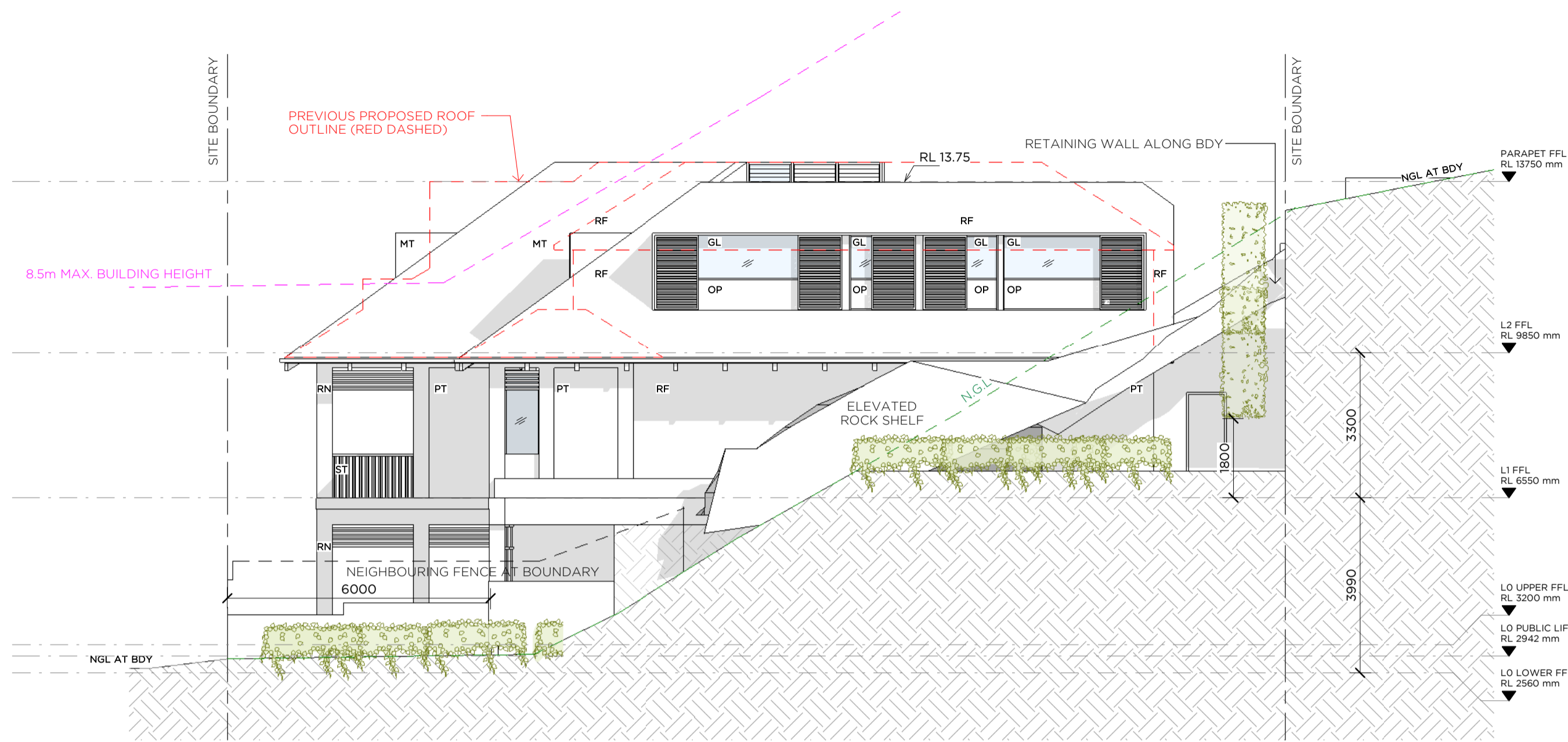
PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale:	1:100 @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.10	B



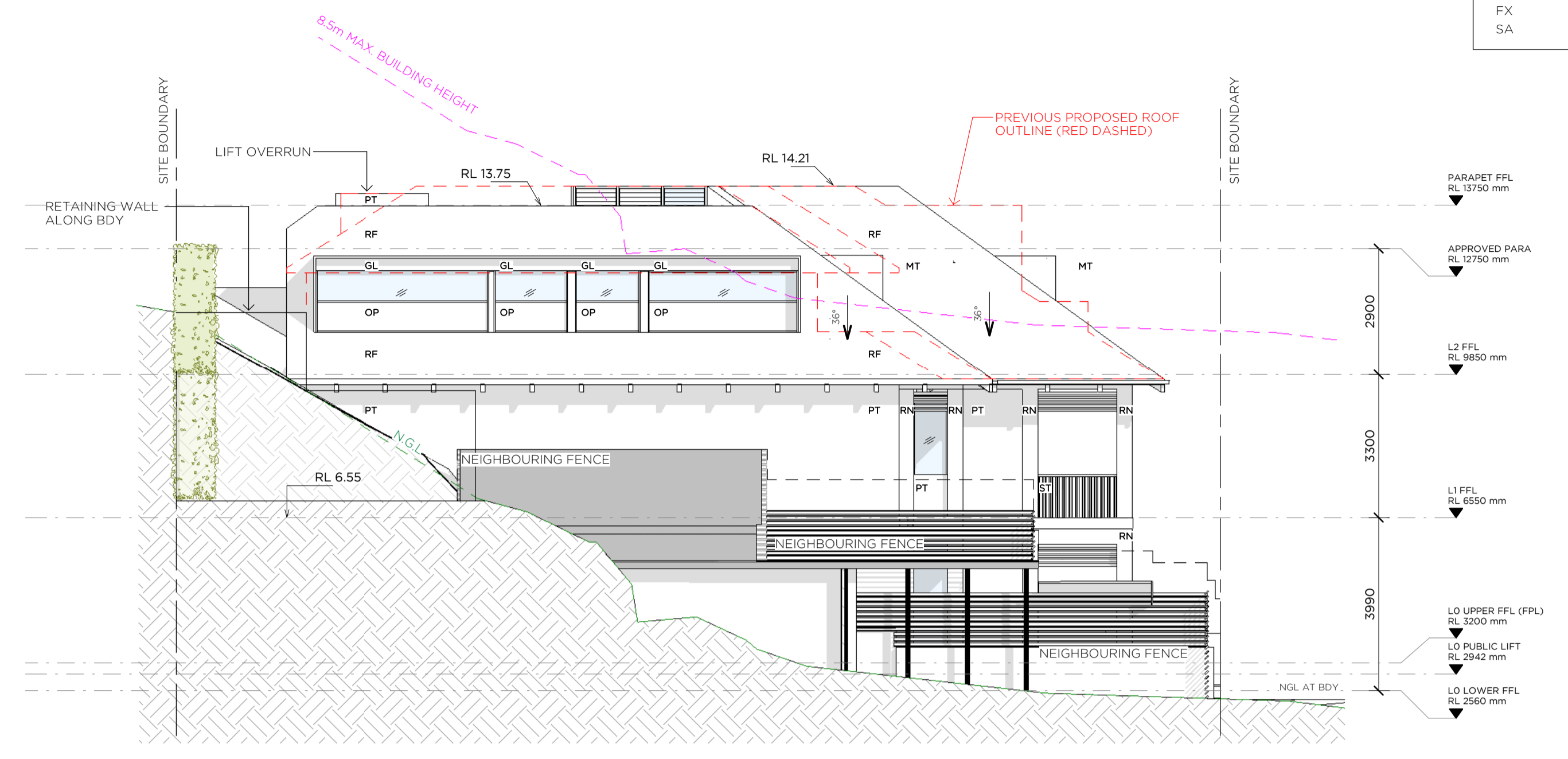
Melbourne Office.
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office.
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851

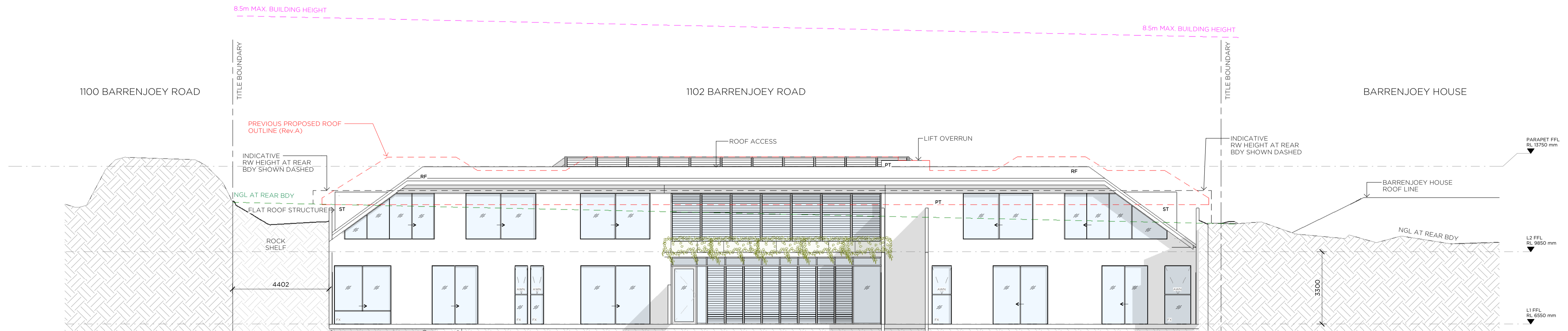
LEGEND	
RN	RENDER - LIGHT
PT	EXTERNAL PAINT - LIGHT
GL-01	CLEAR GLAZING
GL-02	OBSCURED GLAZING
GL-03	BALUSTRADE GLAZING
SLD	SLIDING WINDOW
AW	AWNING WINDOW
FX	FIXED WINDOW
SA	SASHLESS WINDOW



1 SOUTH ELEVATION
1:100



2 NORTH ELEVATION
1:100



3 EAST ELEVATION
1:100

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

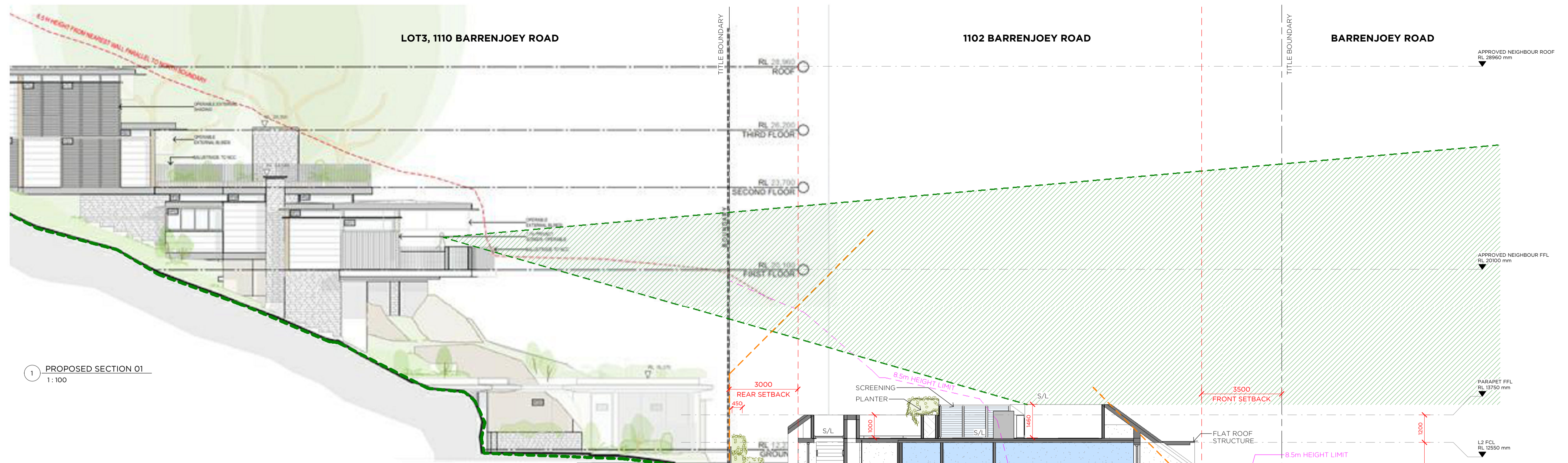
TITLE
PROPOSED ELEVATION - NORTH, SOUTH & EAST
0 1 5m

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes
Job No. 2006
Drawn by. Author
Rev Date. 12.09.22
Scale. 1:100 @ A1
Drawing No. DA.11
Rev B

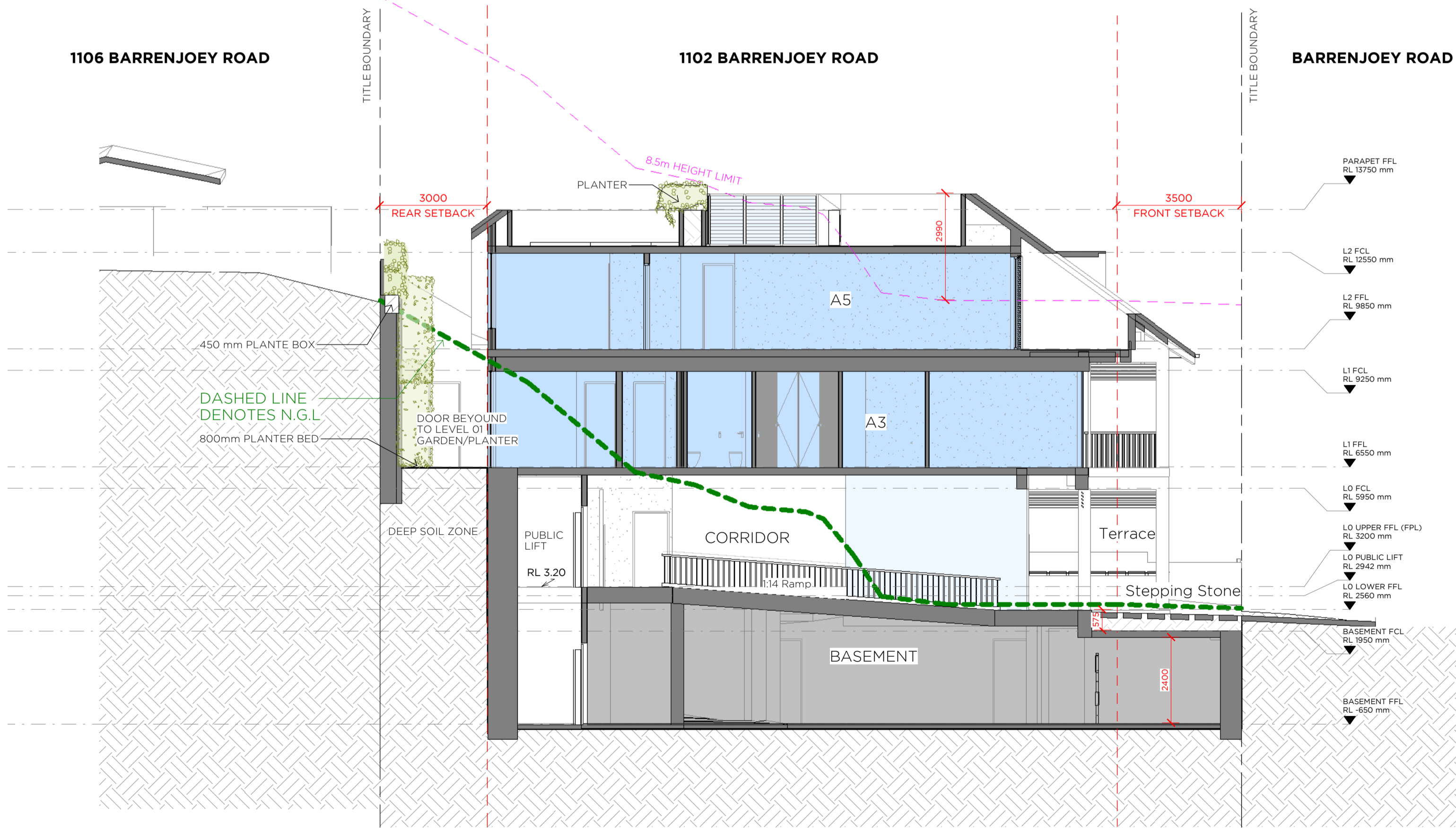


Melbourne Office.
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

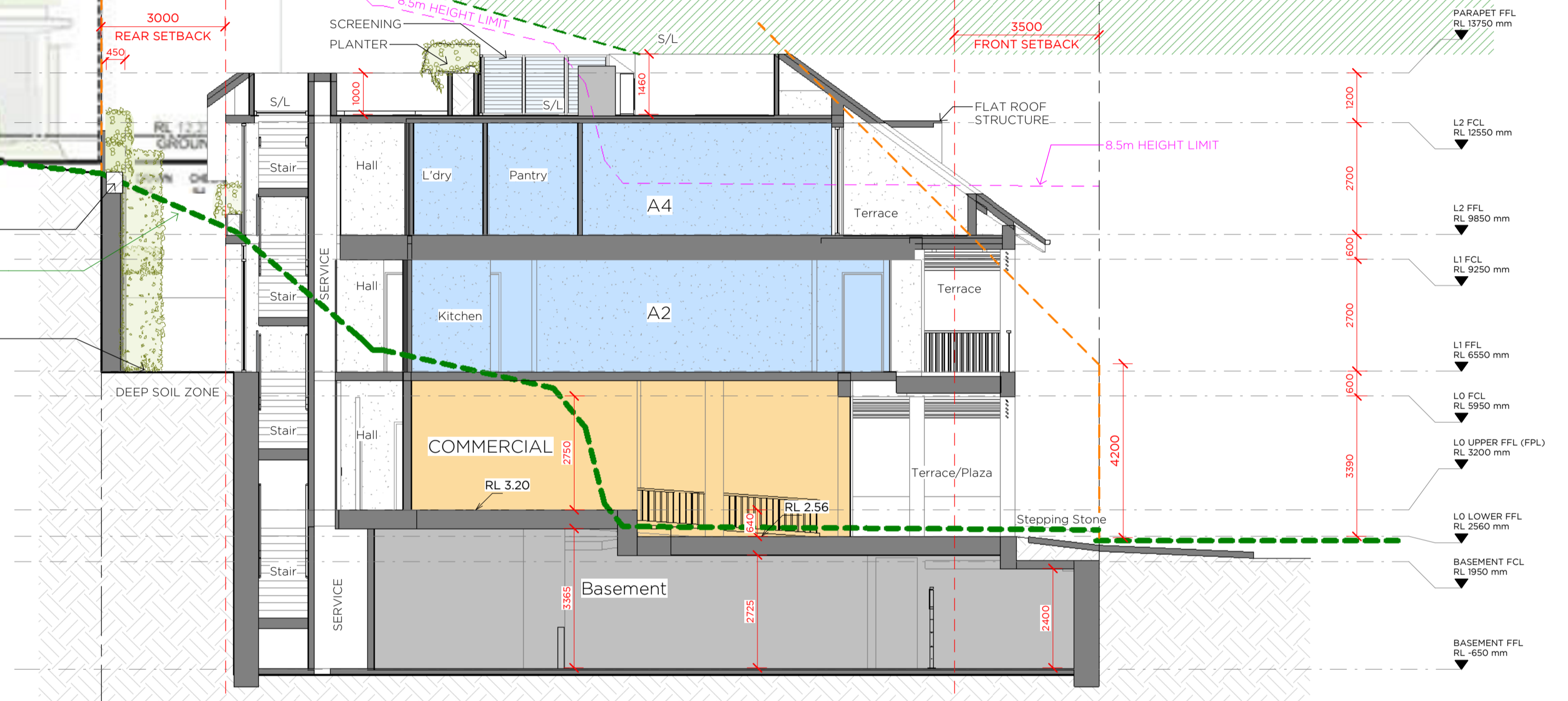
Sydney Office.
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



1 PROPOSED SECTION 01
1:100



2 PROPOSED SECTION 02
1:100

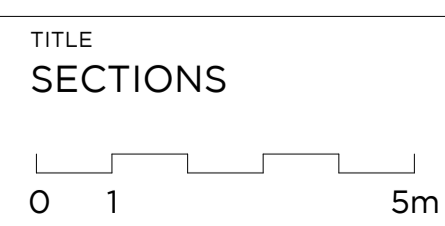


All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

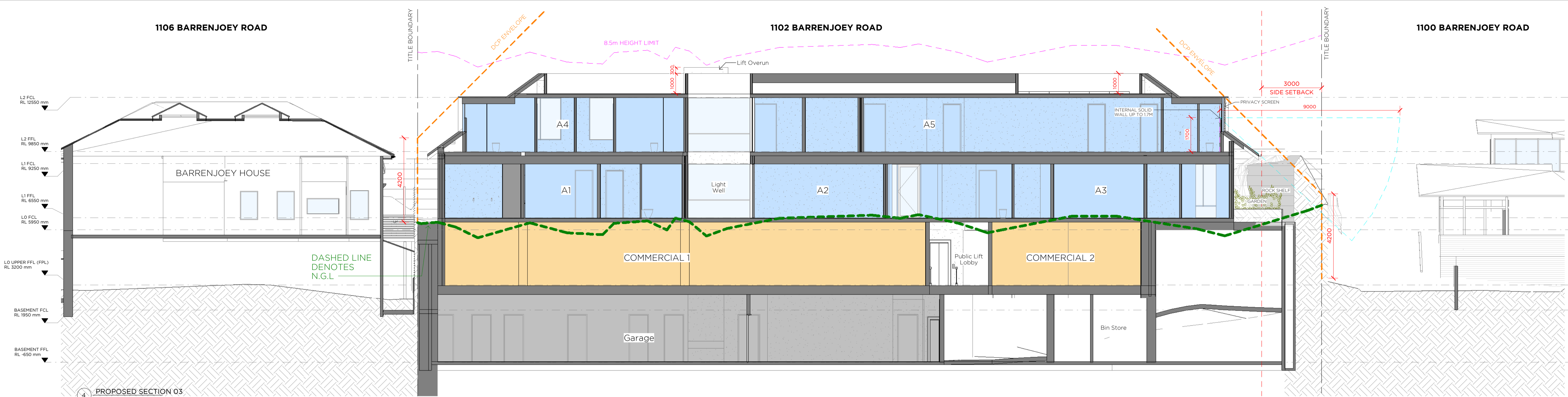


PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Job No.	2006	Scale:	1:100 @ A1
Drawn by:	Author	Drawing No.	Rev
Rev Date:	12.09.22	DA.15	B

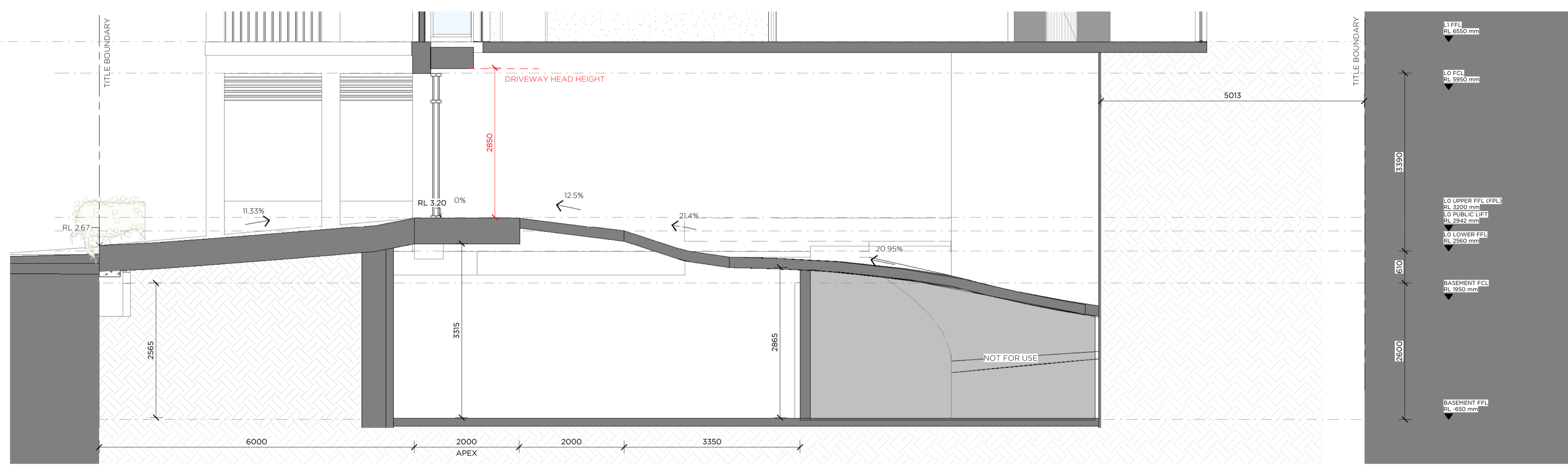
Rob Mills Architecture & Interiors

Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

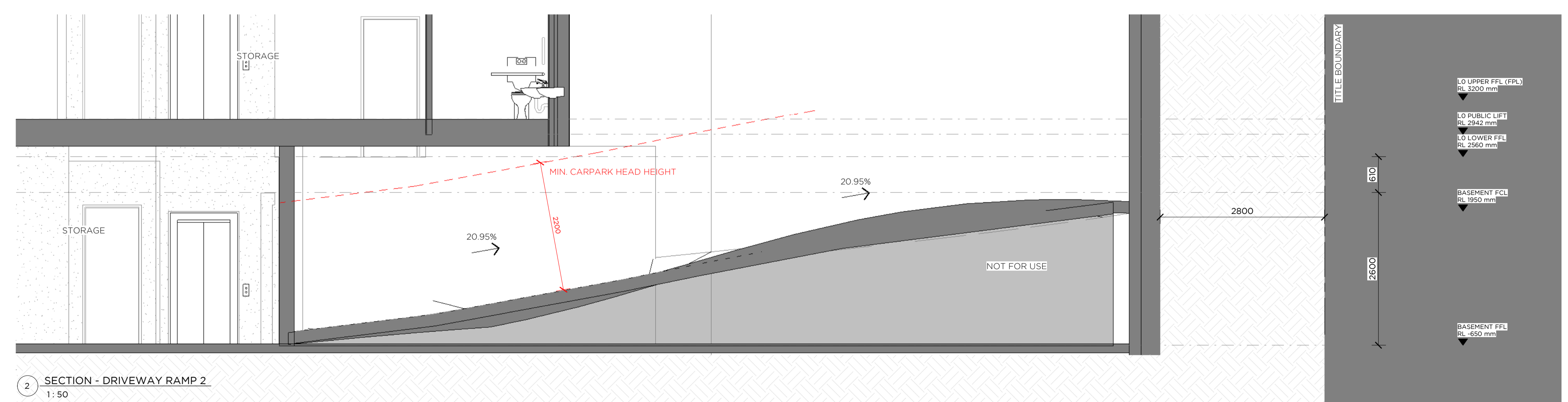
Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



4 PROPOSED SECTION 03
1:100



1 SECTION - DRIVEWAY RAMP 1
1:50



2 SECTION - DRIVEWAY RAMP 2
1:50

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

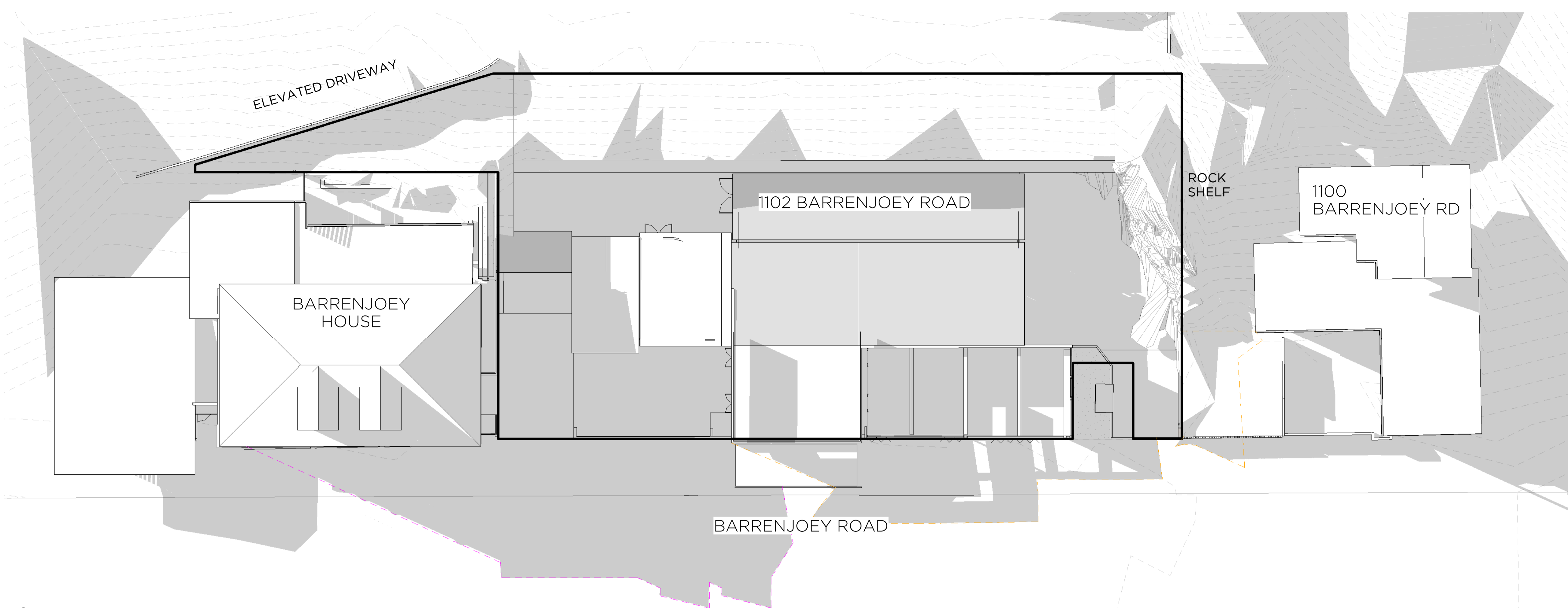
TITLE
SECTIONS
0 1 2.5m

PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Not to be used for construction purposes			
Job No.	2006	Scale:	As indicated @ A1
Drawn by:	Author	Drawing No.	Rev
Rev Date:	12.09.22	DA.16	B

Rob Mills Architecture & Interiors

Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

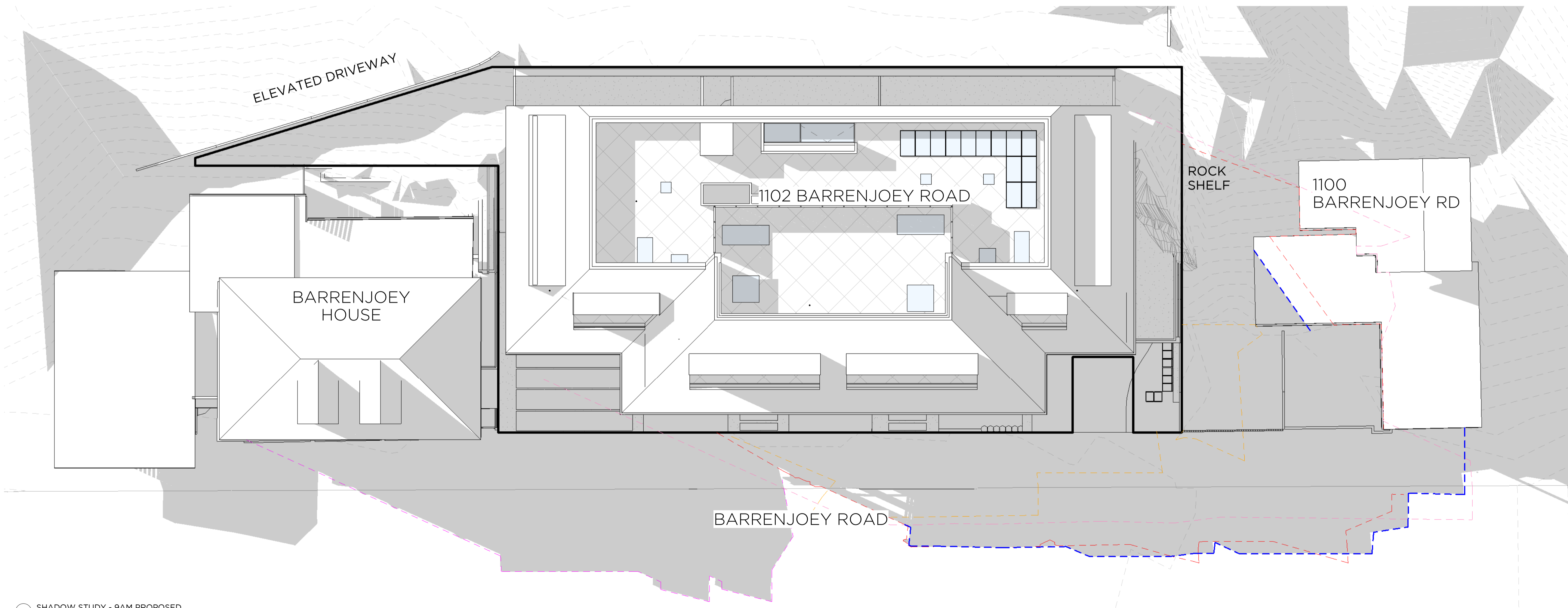
Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



SHADOW DIAGRAM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

1 SHADOW STUDY - 9AM EXISTING
1:150



2 SHADOW STUDY - 9AM PROPOSED
1:150

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SHADOW STUDIES_9AM 21ST JUNE

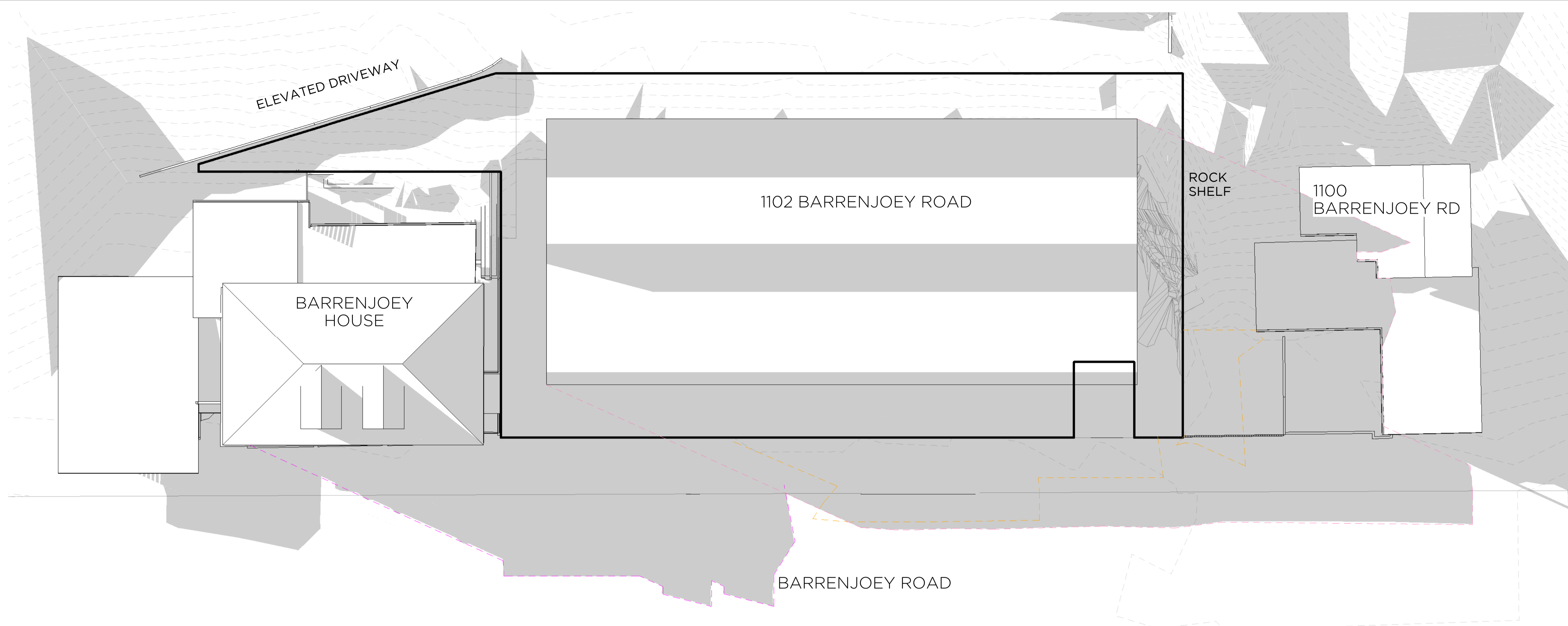
0 1 5m

PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Not to be used for construction purposes			
Job No.	2006	Scale:	As indicated @ A1
Drawn by:	Author	Drawing No.	Rev
Rev Date:	12.09.22	DA.50	B

Rob Mills Architecture & Interiors

Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



SHADOW DIAGARM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

1 SHADOW STUDY - 9AM COMPLIANT MASSING
1:150

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been recieved.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

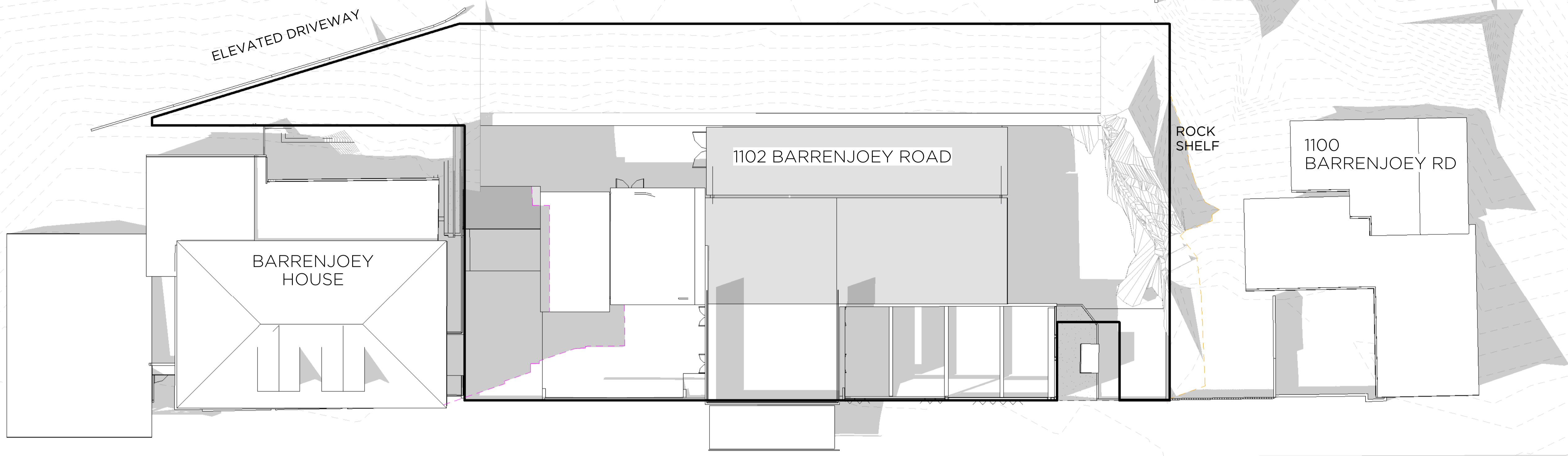
TITLE
SHADOW STUDIES_9AM 21ST JUNE

PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale:	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.50.B	A



Rob Mills Architecture & Interiors

Melbourne Office. 1/10 Grattan Street Prahran VIC 3181 +613 9525 2406	Sydney Office. 3/34 Kellett Street Potts Point NSW 2011 +612 9188 7851
--	---

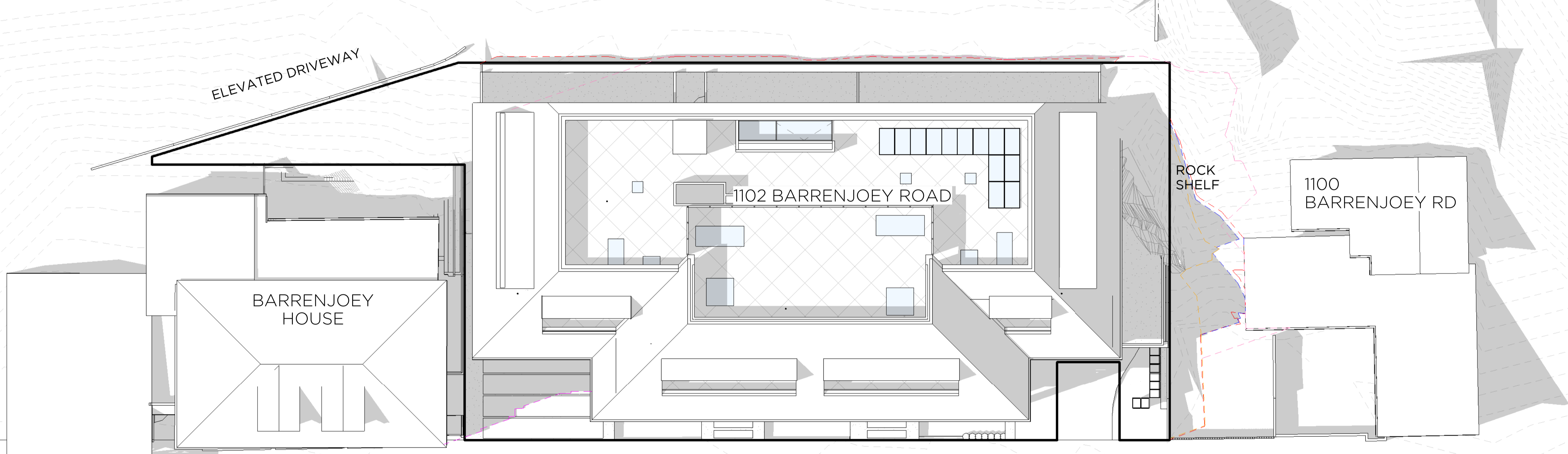


SHADOW DIAGARM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

BARRENJOEY ROAD

1 SHADOW STUDY - 12PM EXISTING
1:150



BARRENJOEY ROAD

2 SHADOW STUDY - 12PM PROPOSED
1:150

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SHADOW STUDIES_12PM 21ST JUNE

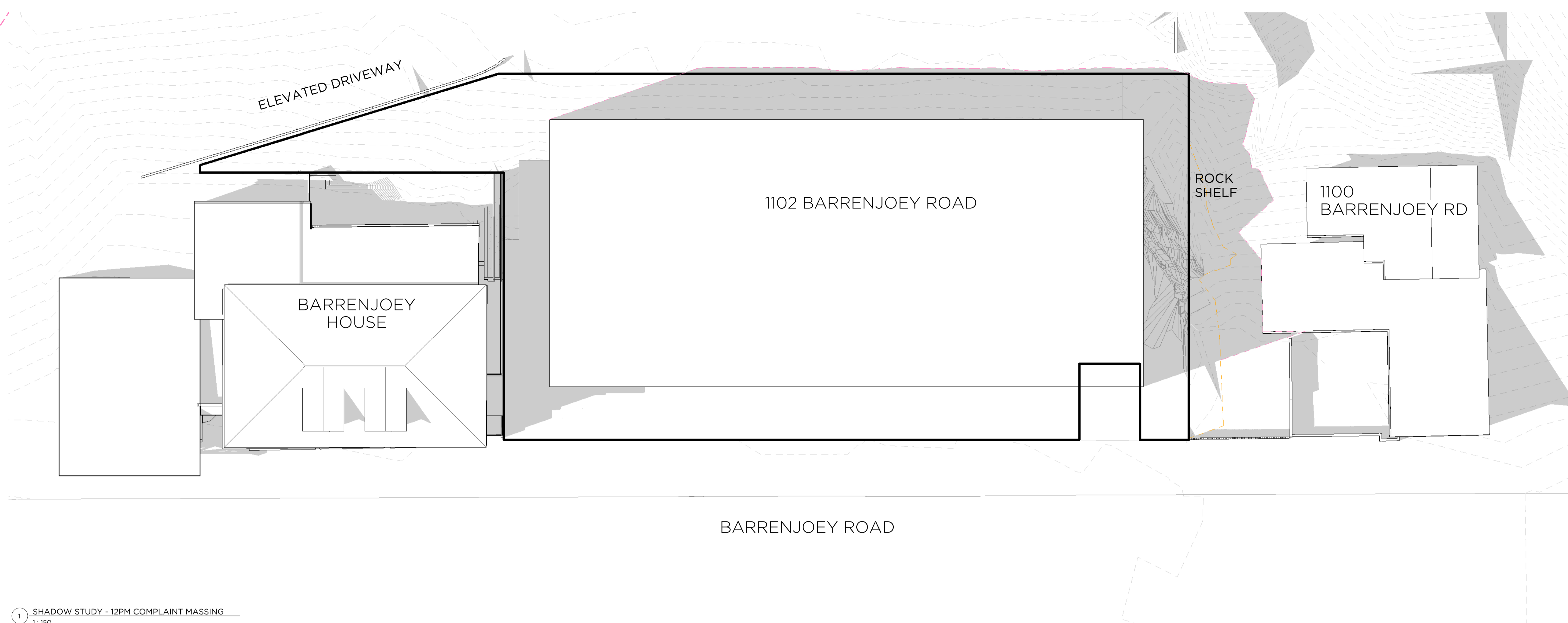
0 1 5m

PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Not to be used for construction purposes			
Job No.	2006	Scale:	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.51	B

Rob Mills Architecture & Interiors

Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



SHADOW DIAGARM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

1 SHADOW STUDY - 12PM COMPLAINT MASSING
1:150

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been recieved.

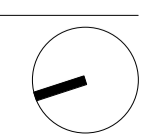
© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SHADOW STUDIES_12PM 21ST JUNE

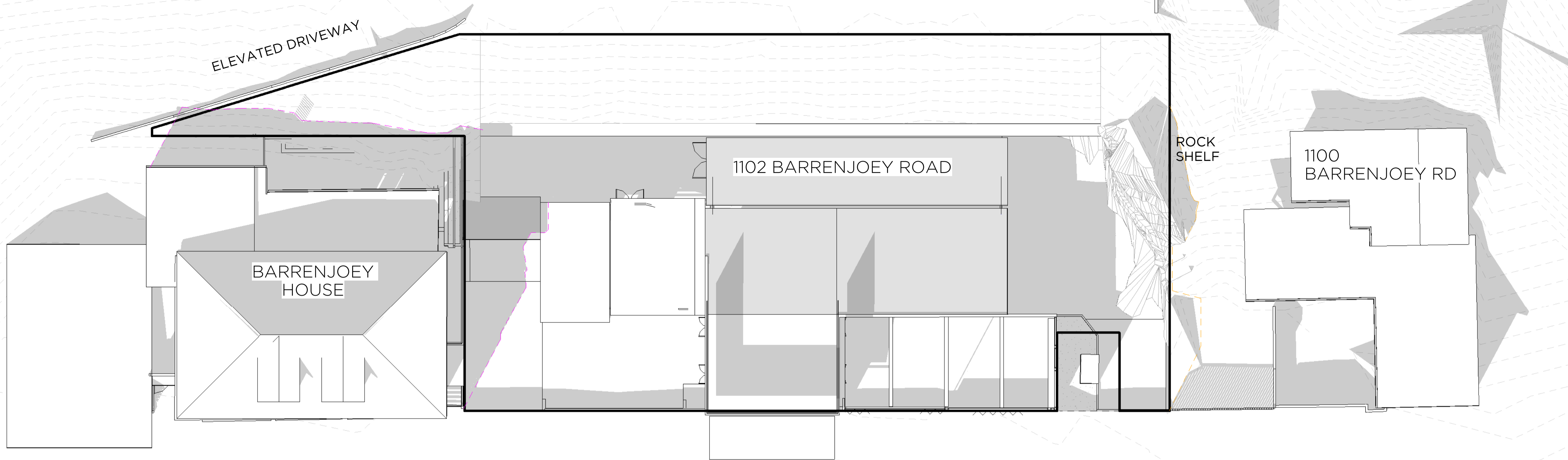
PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale.	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.51.B	A



Melbourne Office.
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office.
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851

Rob Mills Architecture
& Interiors

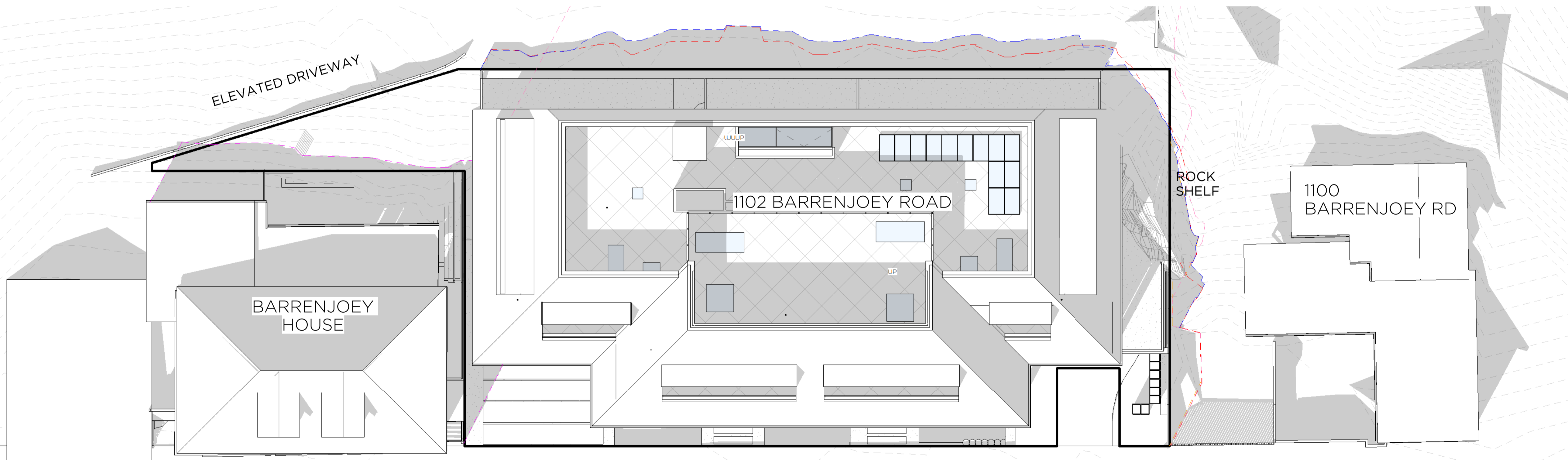


SHADOW DIAGARM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

BARRENJOEY ROAD

2 SHADOW STUDY - 3PM EXISITNG
1:150



BARRENJOEY ROAD

1 SHADOW STUDY - 3PM PROPOSED
1:150

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SHADOW STUDIES_3PM 21ST JUNE

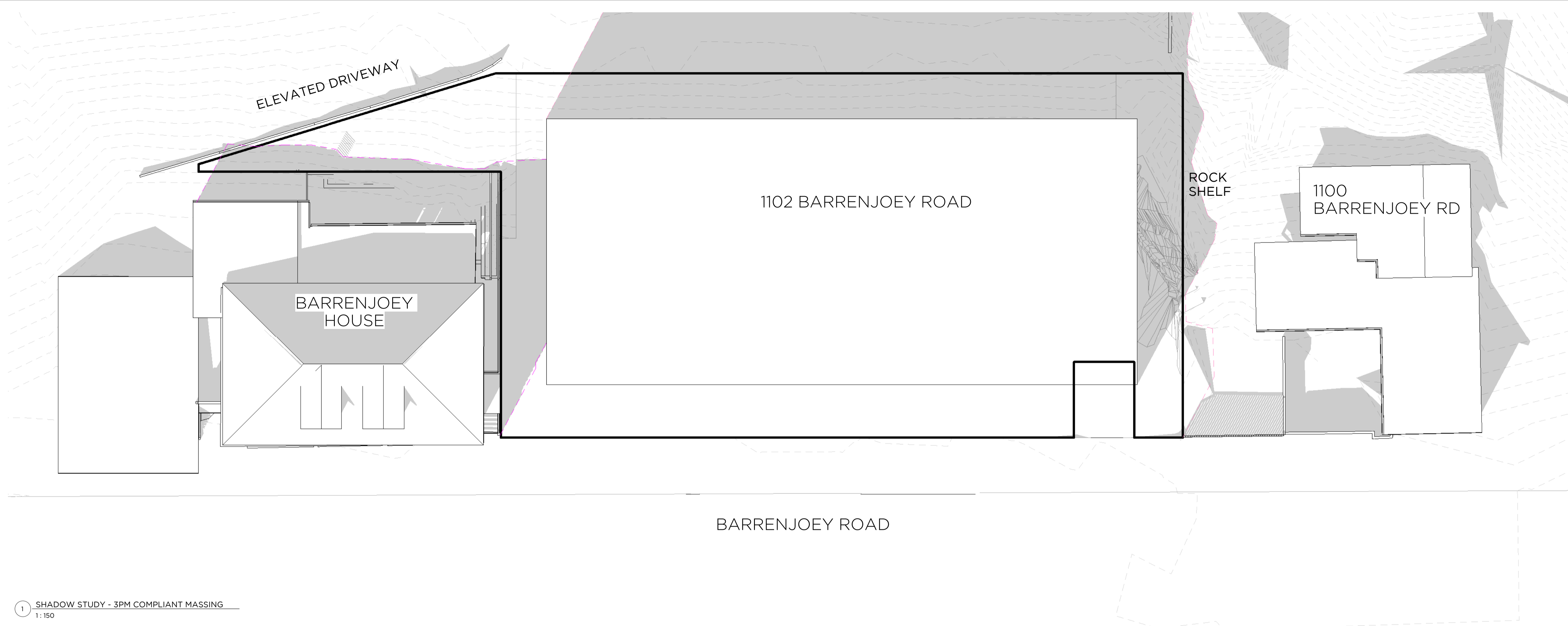
0 1 5m

PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Not to be used for construction purposes			
Job No.	2006	Scale:	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.52	B

Rob Mills Architecture & Interiors

Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



SHADOW DIAGARM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

1 SHADOW STUDY - 3PM COMPLIANT MASSING
1:150

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been recieved.

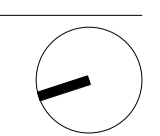
© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

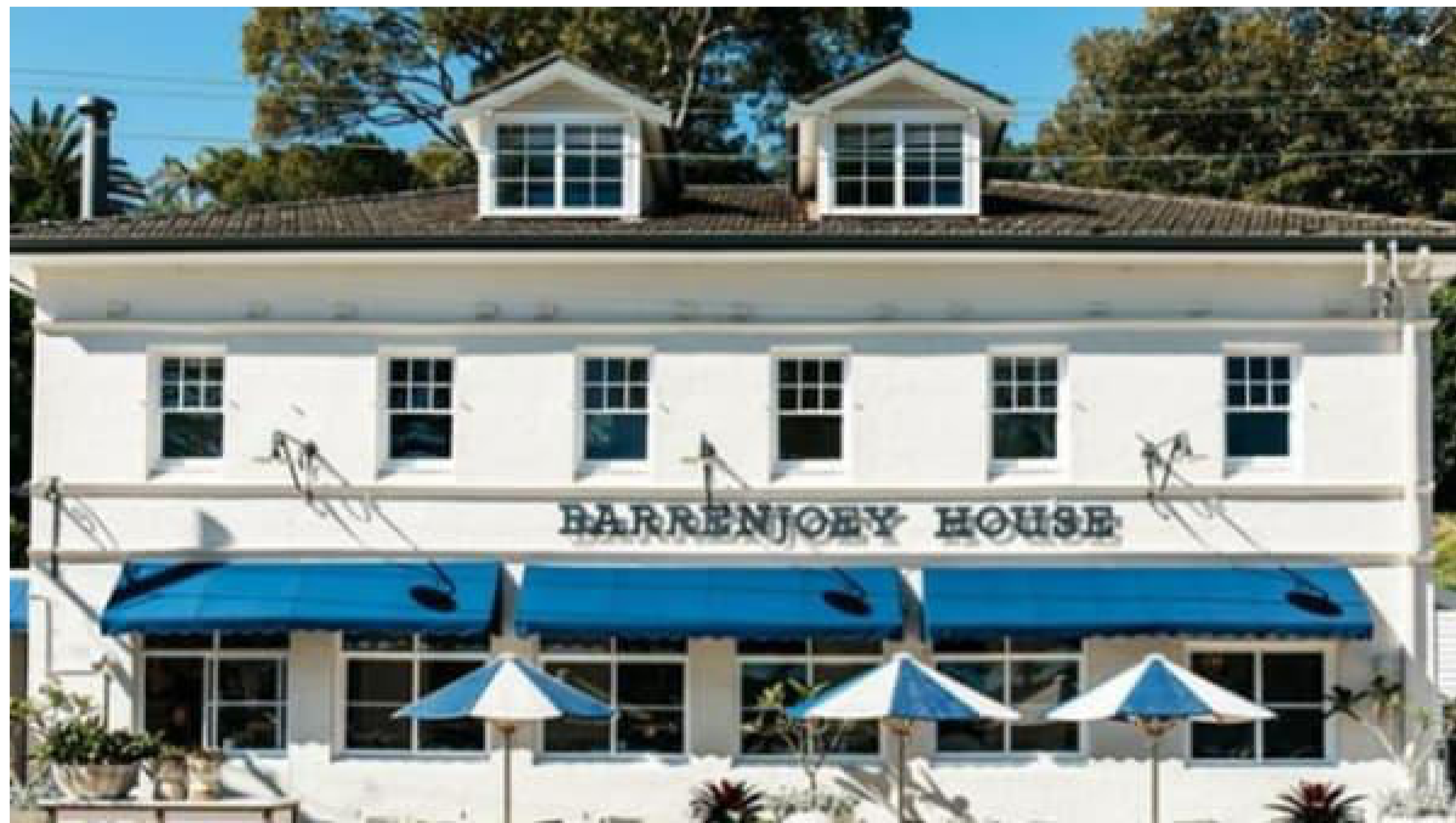
TITLE
SHADOW STUDIES_3PM 21ST JUNE

PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale:	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.52.B	A



Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



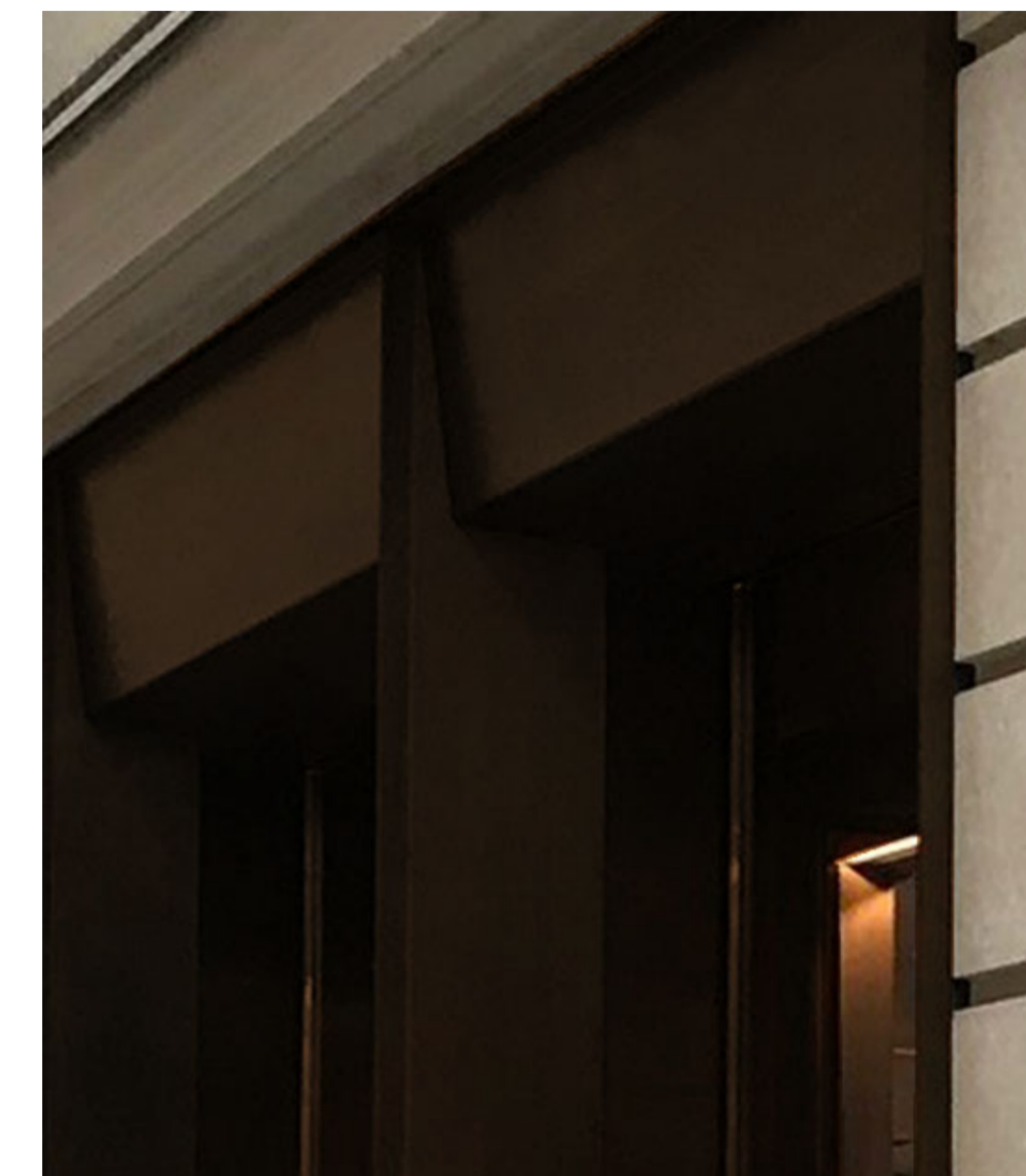
THE FINISHS WE SELECTED ARE IN THE SAME FAMILY AS BARRENJOEY HOUSE



GL
GLASS
LOCATION:
WINDOWS



OP
OPAQUE GLASS
LOCATION:
WINDOWS WHERE PRIVACY IS REQUIRED



MT
DARK ZINC LOW REFLECTIVE METAL
LOCATION:
DORMERS & BALUSTRADES



RN
EXTERNAL WALL-LIMESTONE/SANDSTONE COLOUR
LOCATION:
EXTERNAL WALLS & COLUMNS



SS
POWDER COATED
LOCATION:
SHUTTER SCREENS



W-01
FRENCH BLUE TRIM
LOCATION:
INTERNAL WINDOWS & SKYLIGHTS
GENERALLY



ST
STEEL BALUSTRADE
LOCATION:
WINDOWS & LIGHTWELL WHERE NEEDS PRIVACY



LANDSCAPE
OPEN LANDSCAPE
LOCATION:
GROUND LEVEL COMMERCIAL TO FOOTPATH



RF
DARK ZINC LOW REFLECTIVE ROOF OR
CHARCOAL TERRACOTTA SHINGLE

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
MATERIALS AND FINISHES

PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale:	@ A1
Drawn by:	Author	Drawing No.	Rev
Rev Date:	12.09.22	DA.60	B



Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851

AREA CALCULATIONS

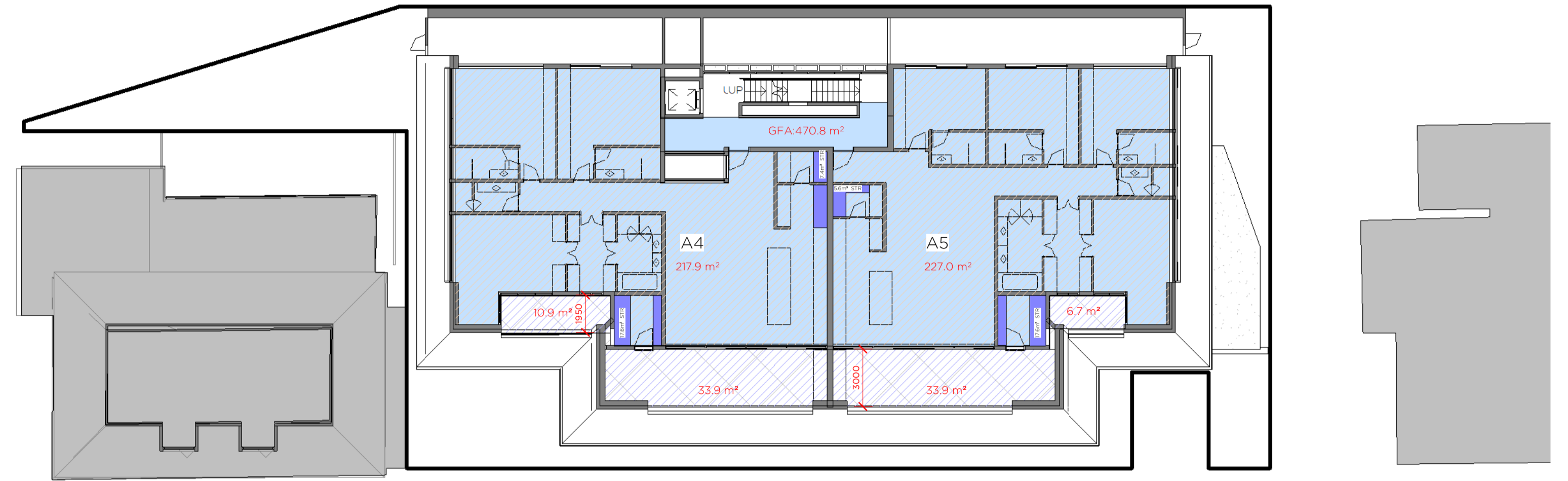
	PROPOSED	CONTROL
SITE AREA	1138.1m ²	1138.1m ²
TOTAL GFA	1414.7m ²	NO GFA CONTROL 1138.1/150=7.6 Dwelling permissible (A MAXIMUM OF 1 DWELLING PER 150m ² OF SITE AREA).
COMMERCIAL GFA	387.1m ² (371.9+15.2 facility) (27.4% OF TOTAL GFA)	353.7m ² (MIN. 25% OF TOTAL GFA)
STORAGE (ADG)	125.4m ³ (MIN.10m ³ /APT, MIN.5m ³ INTERNAL)	50m ³ (ADG) (MIN.10m ³ /APT, MIN.5m ³ INTERNAL)

LANDSCAPE CALCULATIONS

	PROPOSED	CONTROL
COMMUNAL OPEN SPACE(ADG)	405.3 m ² (35.6%)	284.5m ² (25% OF SITE, ADG)
LANDSCAPE AREA (DCP)	569.7m ² (42.4%)	227.6m ² (20% OF SITE, DCP)
DEEP SOIL ZONE(ADG)	TOTAL DEEP SOIL: 230.0m ² DEEP SOIL WITH MIN.3m WIDTH: 216.0m ² (20.5% OF SITE)	79.7m ² (7% OF SITE, MIN.3m WIDE, ADG)

LEVEL TWO - DCP

TOTAL GFA: 470.8m²
TOTAL OPEN SPACE: 85.4m²
TOTAL LANDSCAPE AREA: 0m²



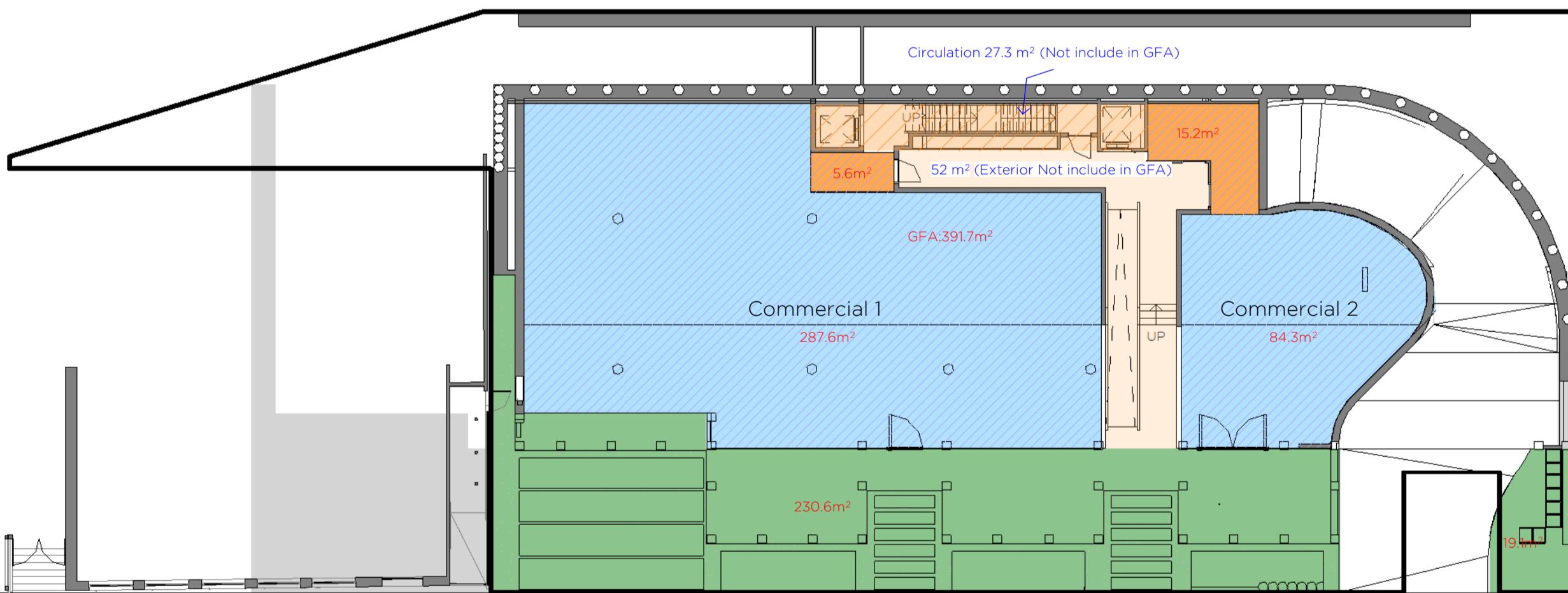
3 AREA CALC - L2
1:200

GROUND - DCP

TOTAL GFA: 391.7m²
TOTAL LANDSCAPE AREA :249.7 m²
TOTAL COMMERCIAL AREA: 370.9m²

COMMERCIAL 1
GFA: 287.6m²

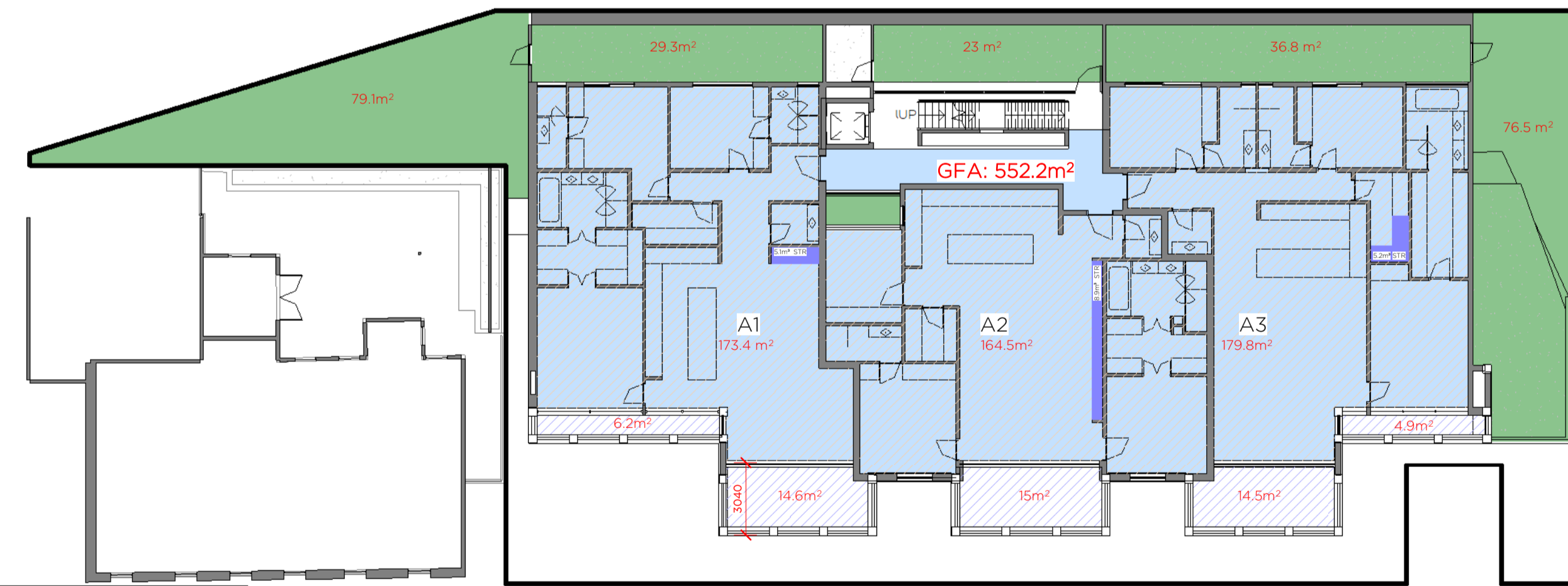
COMMERCIAL 2
GFA: 84.3m²



1 AREA CALC - GROUND
1:200

LEVEL ONE - DCP

TOTAL GFA: 552.2m²
TOTAL OPEN SPACE: 55.2m²
TOTAL LANDSCAPE AREA: 320.0m²



2 AREA CALC - L1
1:200

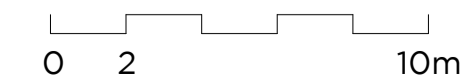
All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Proposed area calculation for Client's review	10.07.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
GFA & LANDSCAPE CALCULATIONS



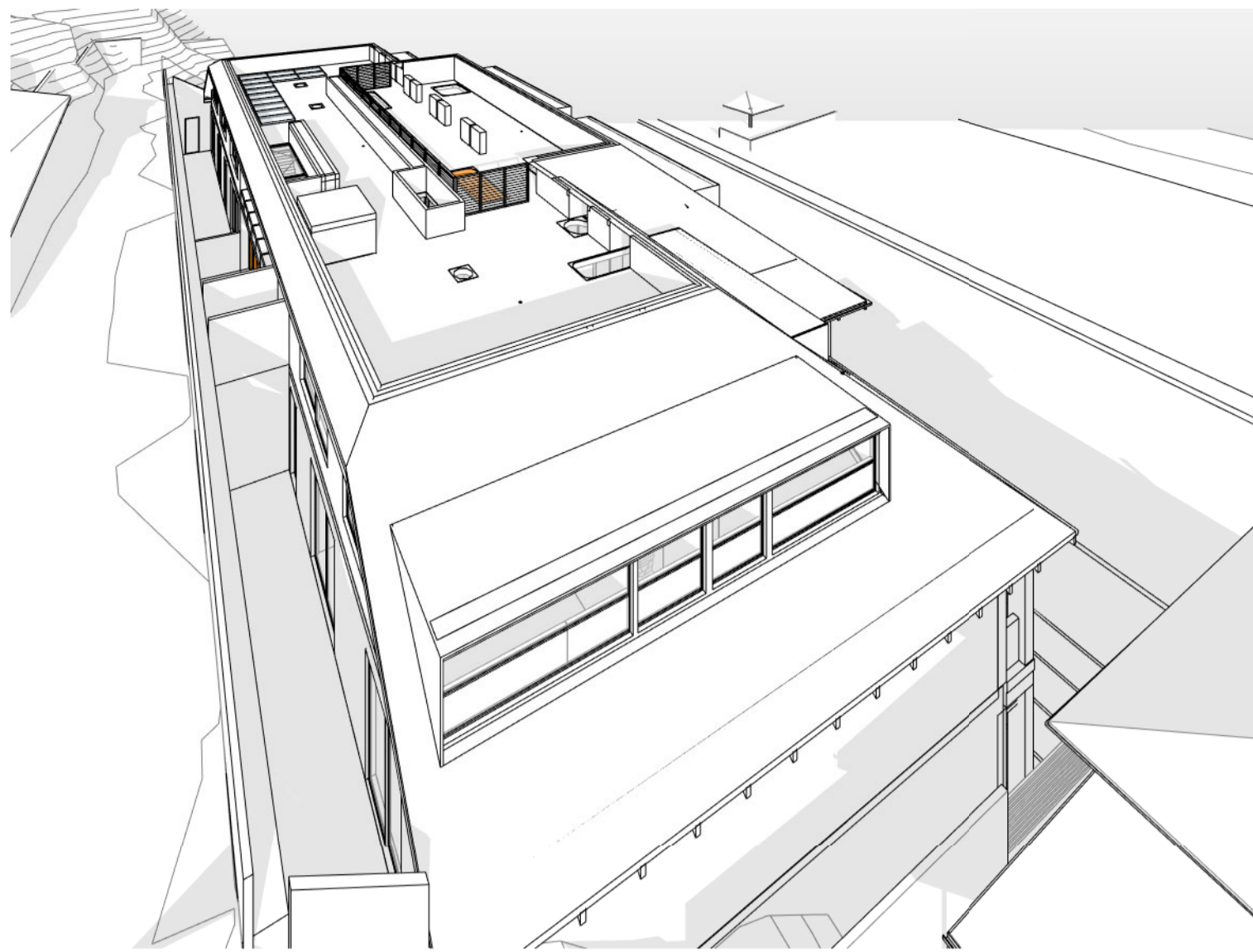
PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes

Job No.	2006	Scale:	1: 200 @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.70	B

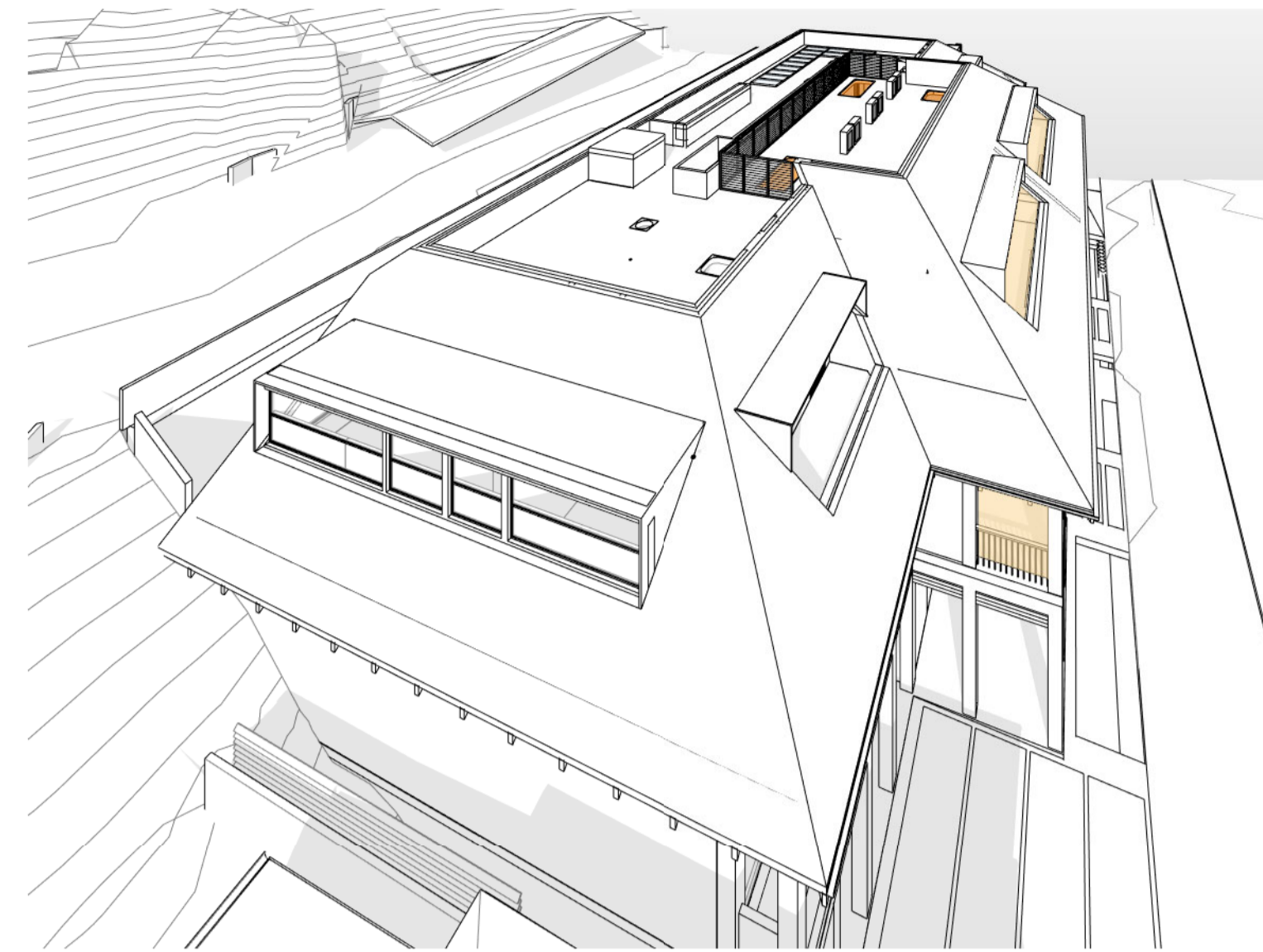


Melbourne Office:
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

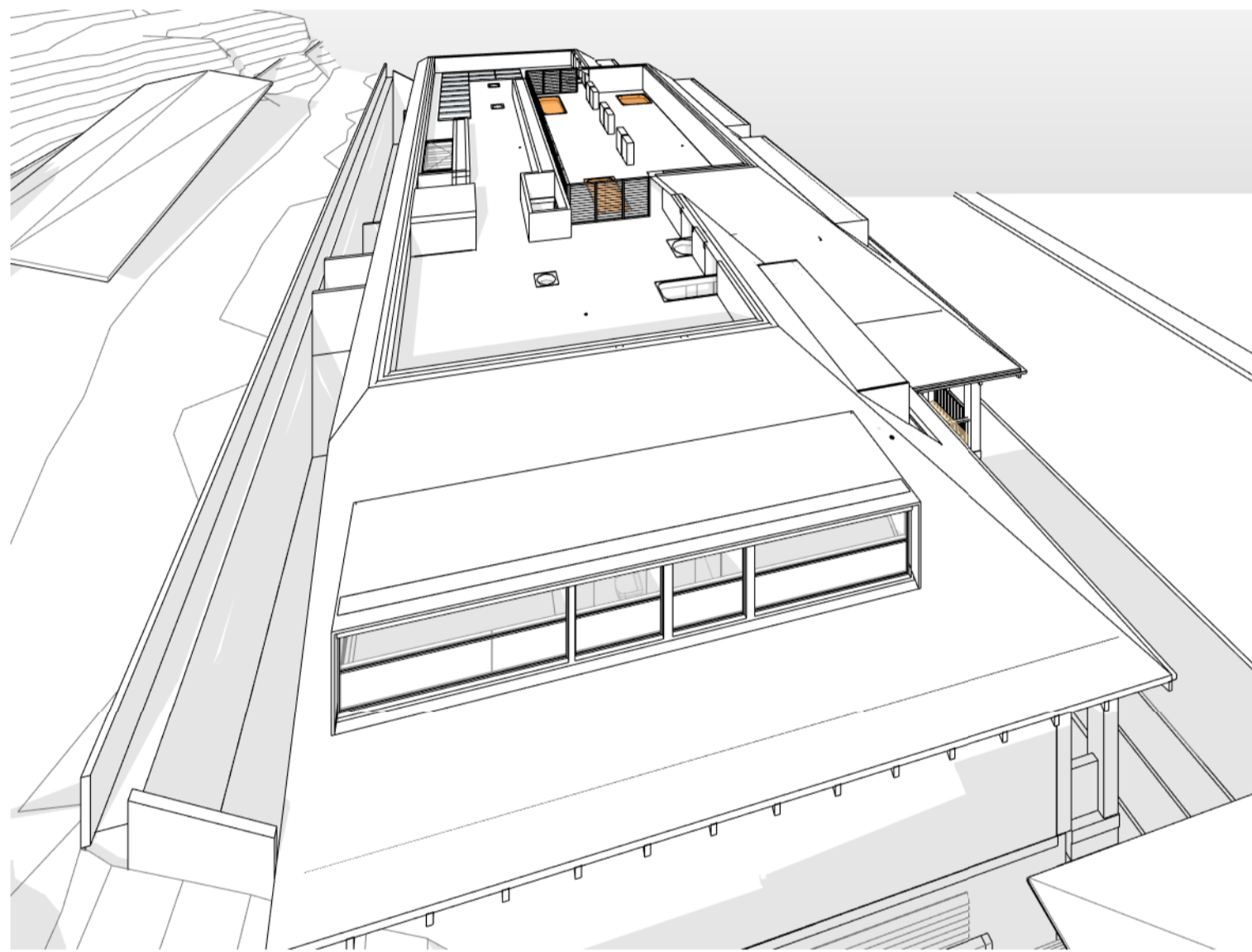
Sydney Office:
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



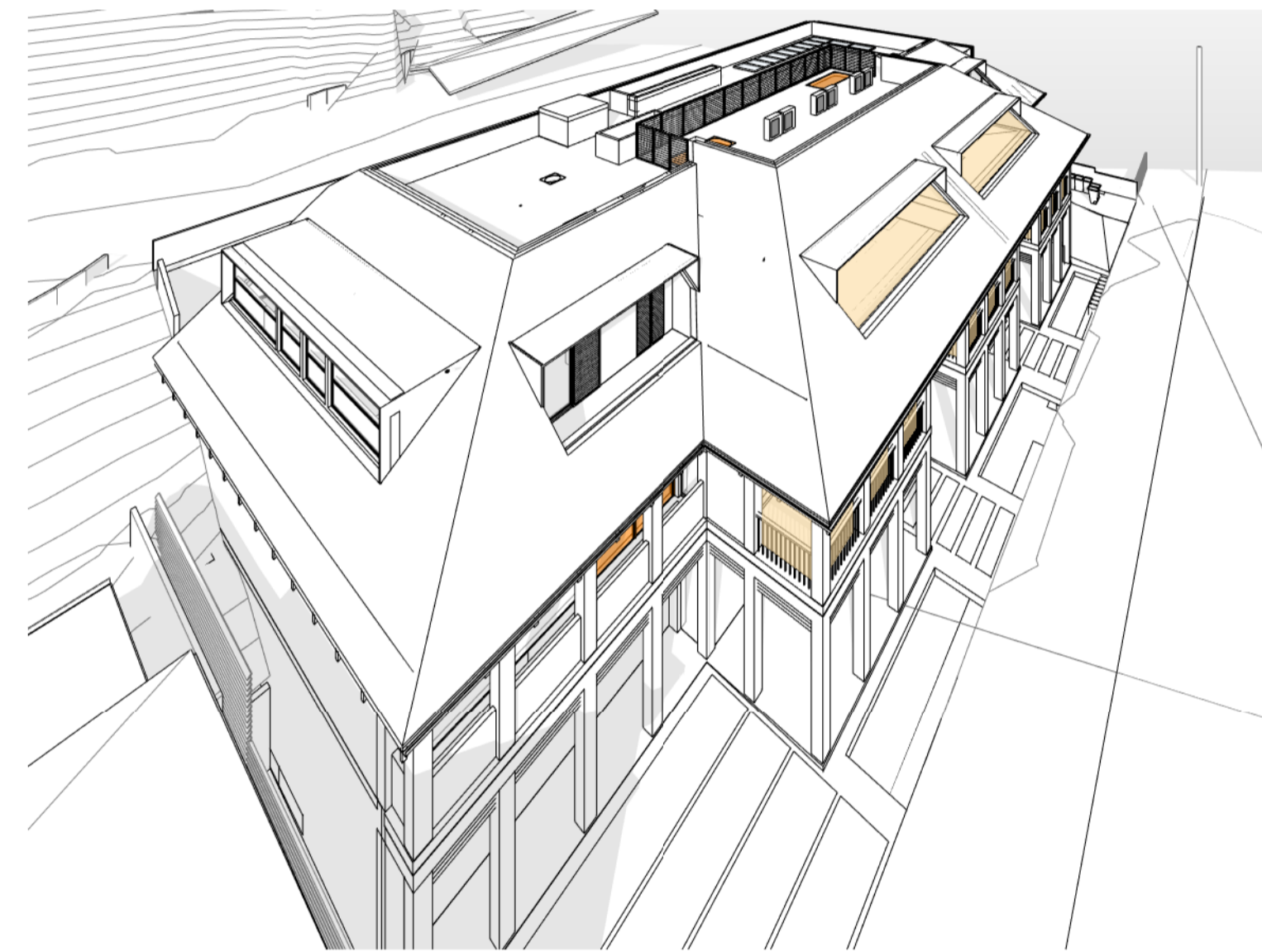
1 SOLAR ACCESS - 9AM



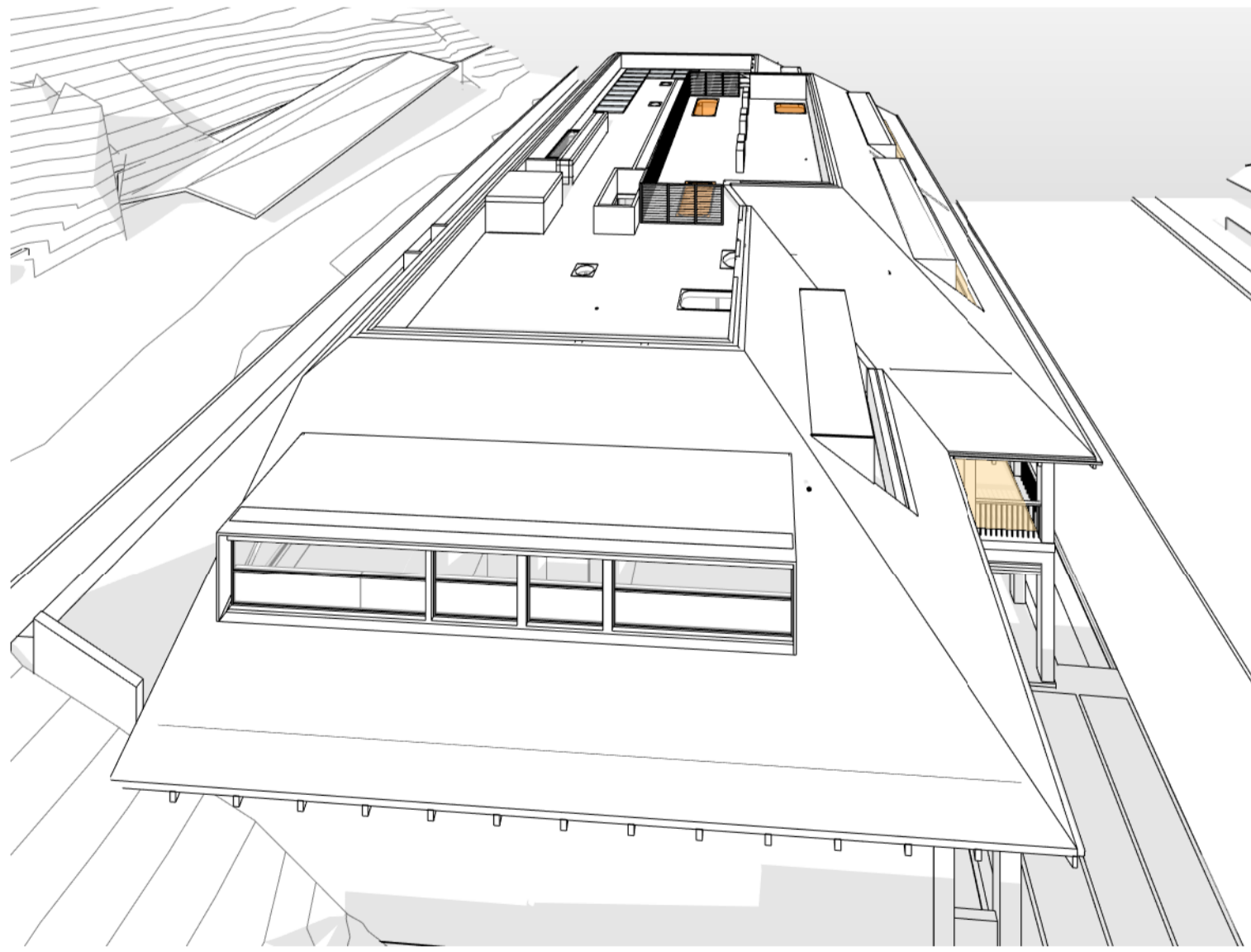
4 SOLAR ACCESS - 12PM



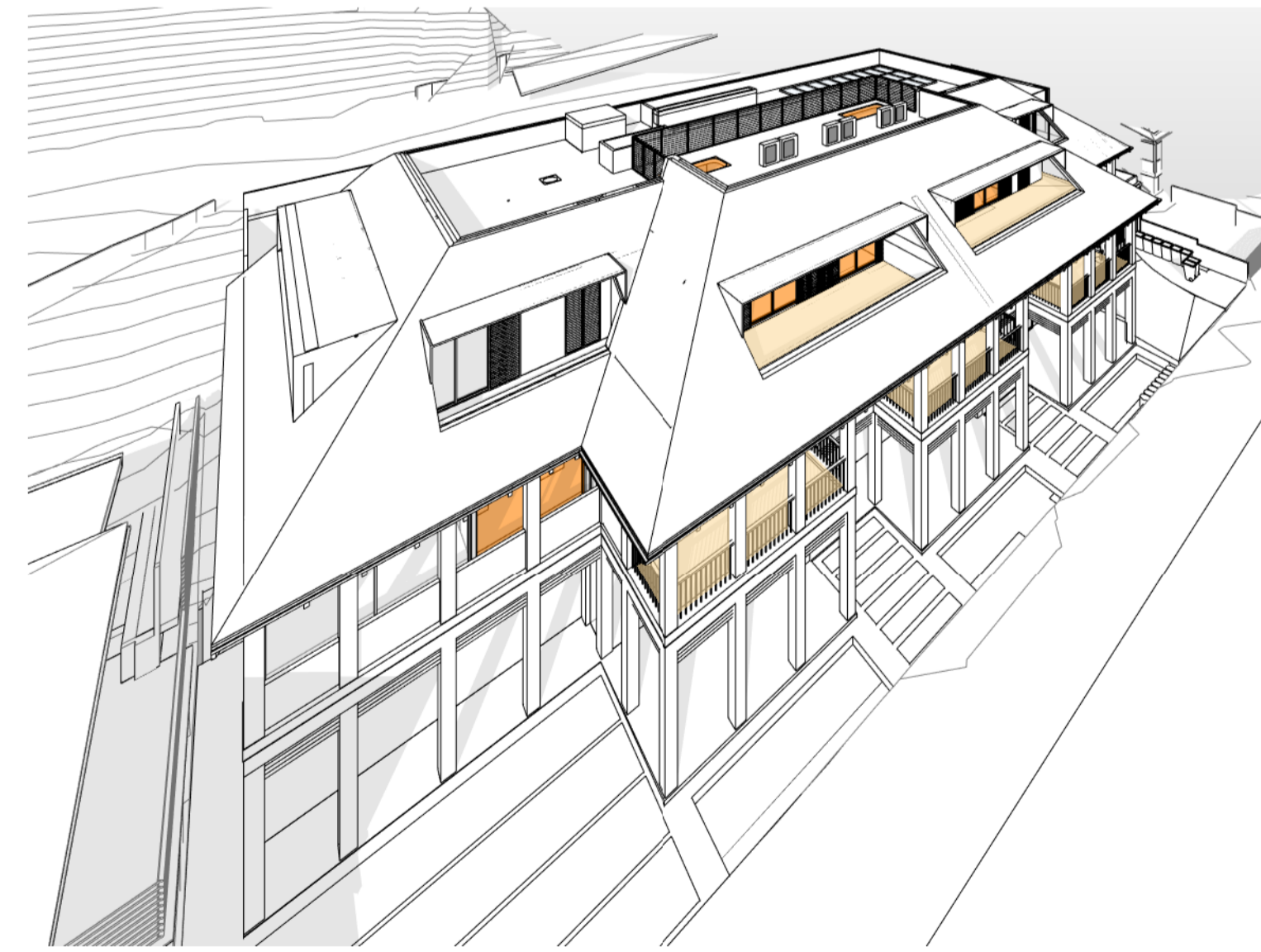
2 SOLAR ACCESS - 10AM



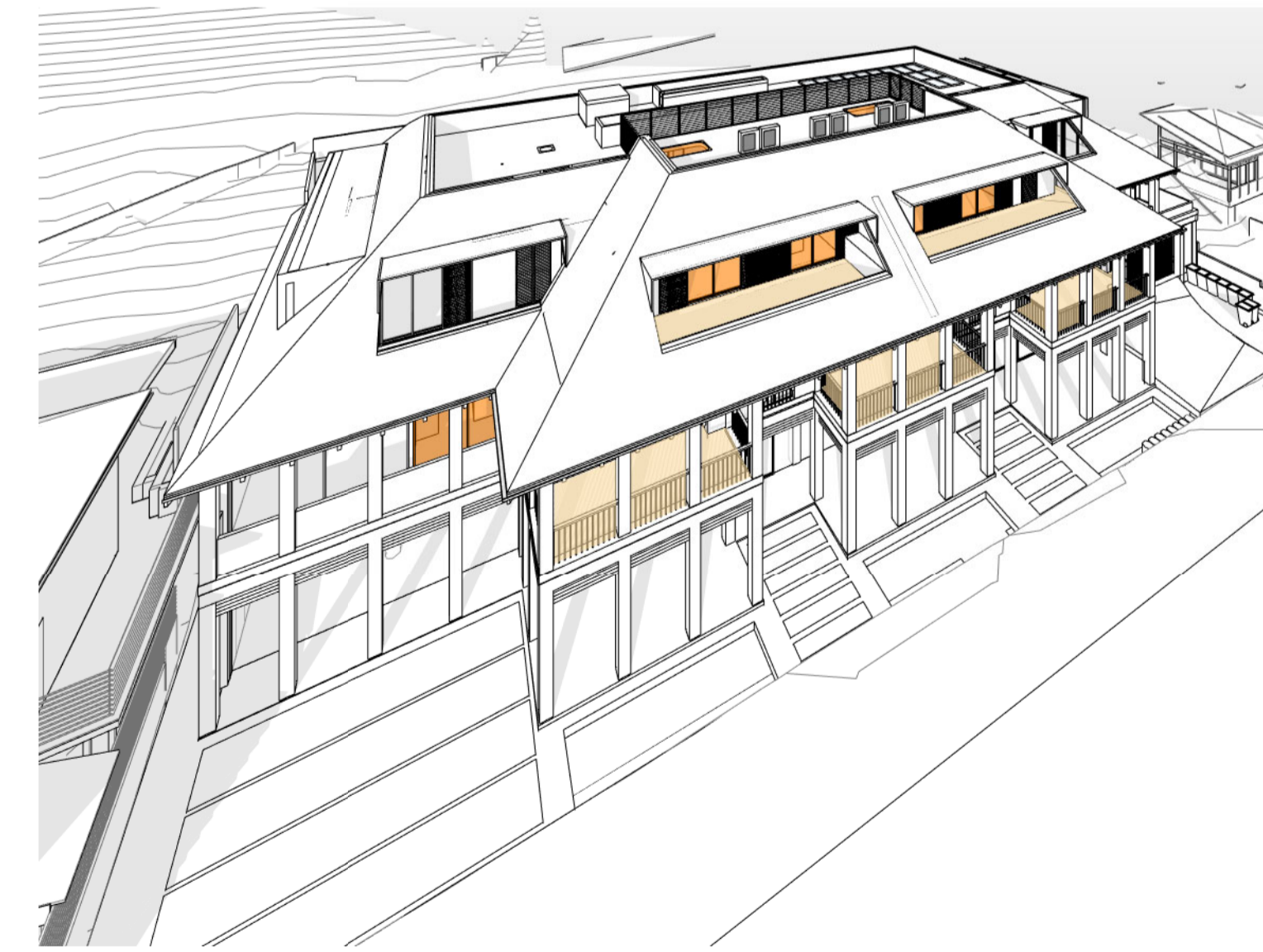
5 SOLAR ACCESS - 1PM



3 SOLAR ACCESS - 11AM



6 SOLAR ACCESS - 2PM



7 SOLAR ACCESS - 3PM

SOLAR ACCESS LEGEND	
	WINDOW
	PRIVATE OPEN SPACE

SOLAR ACCESS APARTMENT DESIGN GUIDE

1. LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 2 HOURS DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER IN THE SYDNEY METROPOLITAN AREA AND IN THE NEWCASTLE AND WOLLONGONG LOCAL GOVERNMENT AREAS.
2. IN ALL OTHER AREAS, LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER.
3. A MAXIMUM OF 15% OF APARTMENTS IN A BUILDING RECEIVE NO DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER.

SOLAR ACCESS ANALYSIS

APT	A1	A2	A3	A4	A5
9-10 AM				■	■
10-11 AM	■			■	■
11-12 PM	■			■	■
12-1 PM	■	■	■	■	■
1-2 PM	■	■	■	■	■
2-3 PM	■	■	■	■	■
HOURS	3	5	0	3	0
	3	0	3	6	4
	6	5			

SOLAR ACCESS - PROPOSED
5 APTS (100% OF TOTAL APT)

SOLAR ACCESS - CONTROL
3.5 APTS (70% OF TOTAL APT)

MAX. WITHOUT HOUR -PROPOSED
0 APTS (0% OF TOTAL APT)

MAX. WITHOUT HOUR -(CONTROL)
0.75 APTS (15% OF TOTAL APT)

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SOLAR ACCESS ANALYSIS - PROPOSED

PROJECT OVERVIEW
DEVELOPMENT APPLICATION

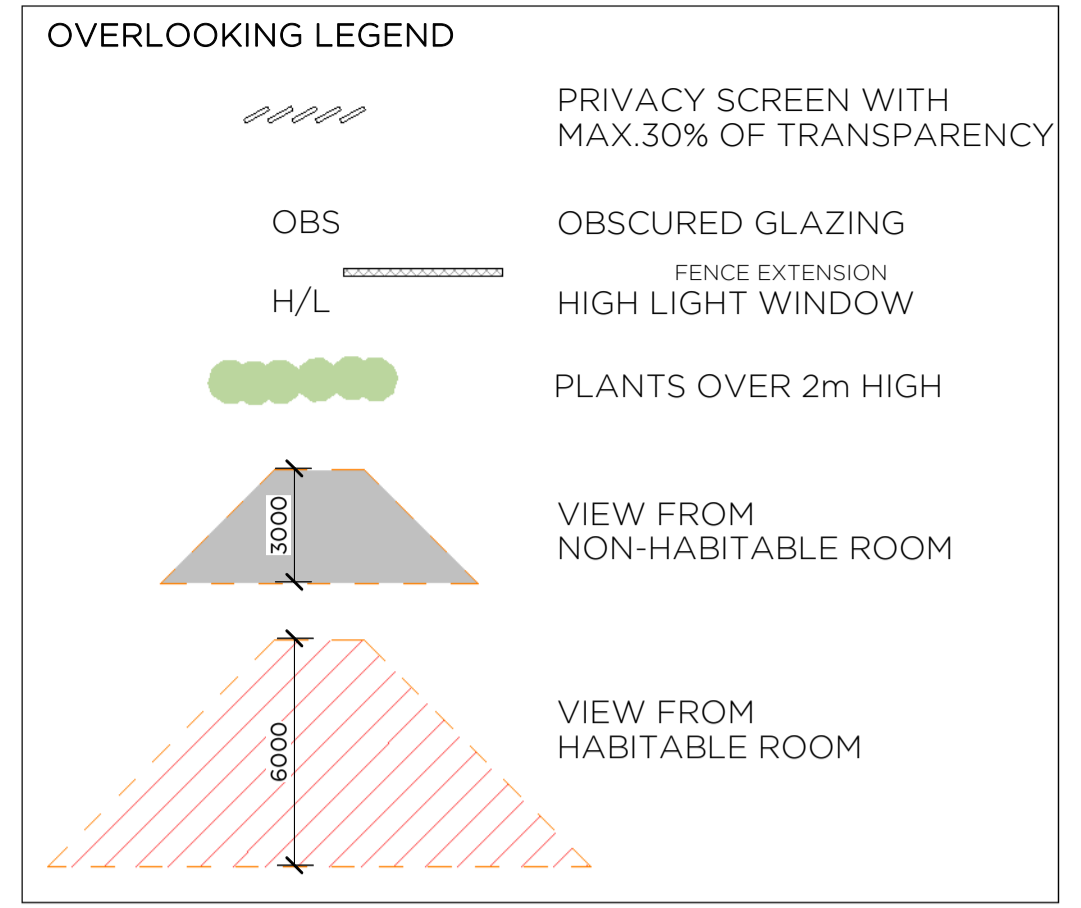
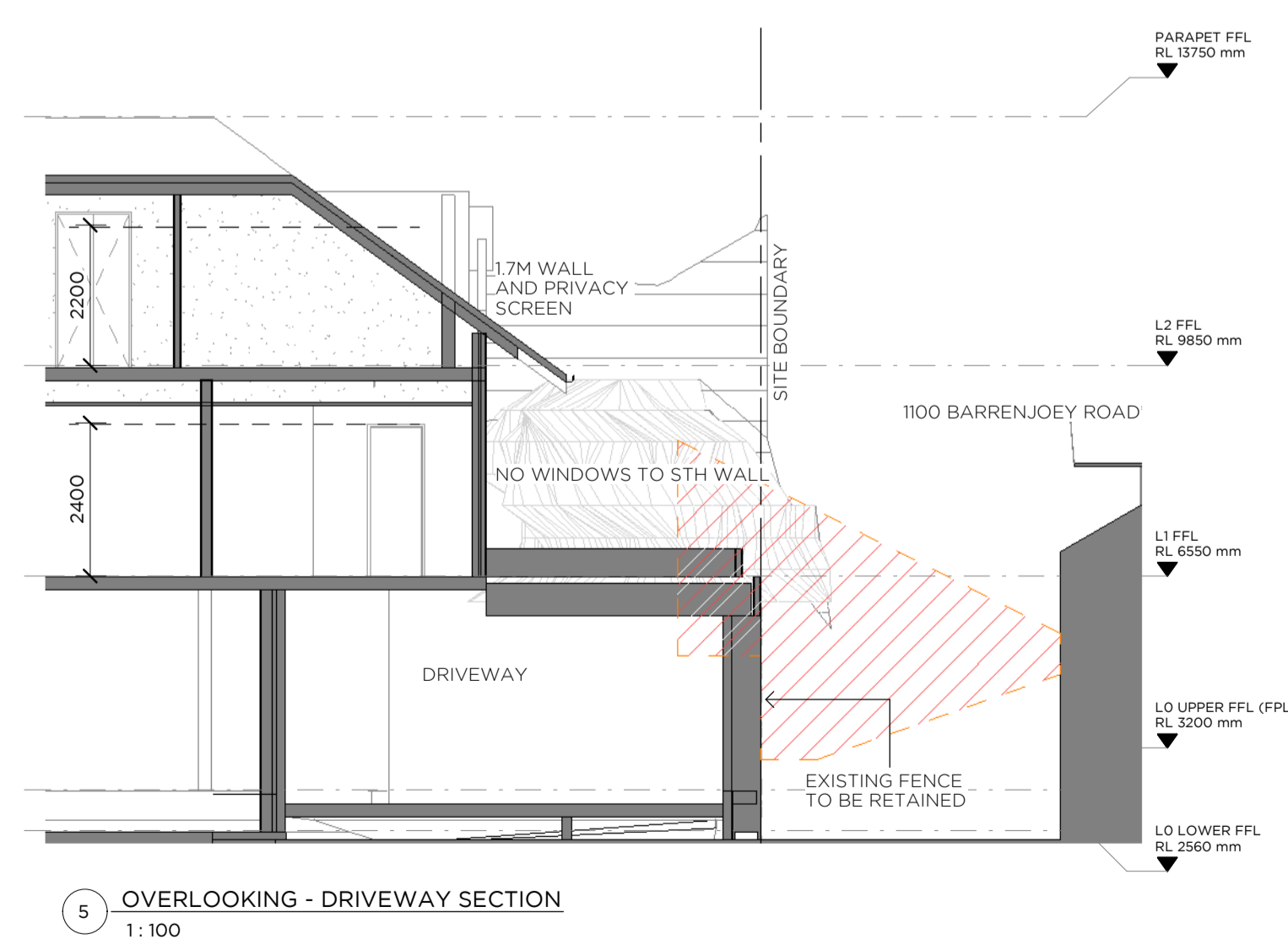
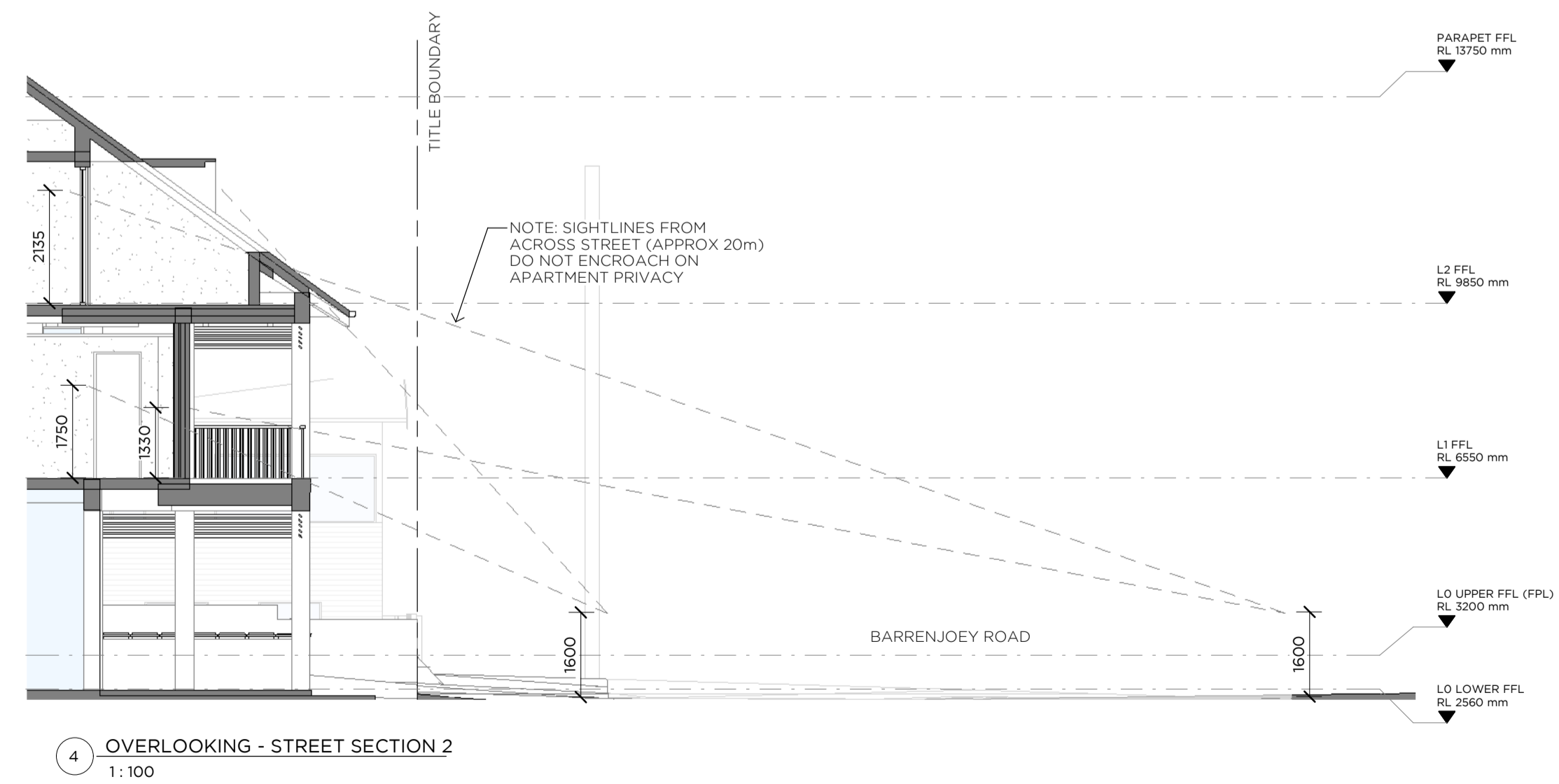
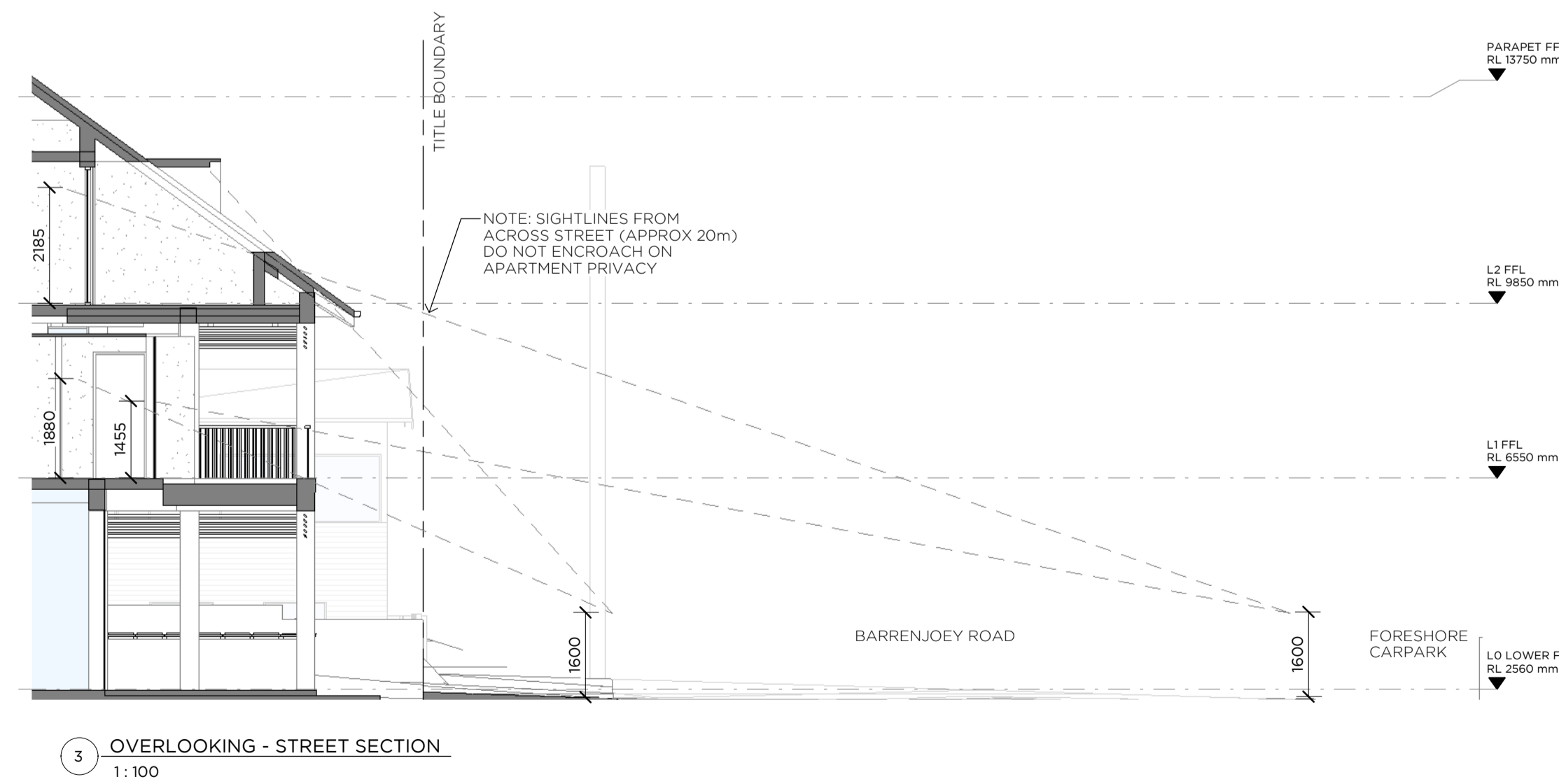
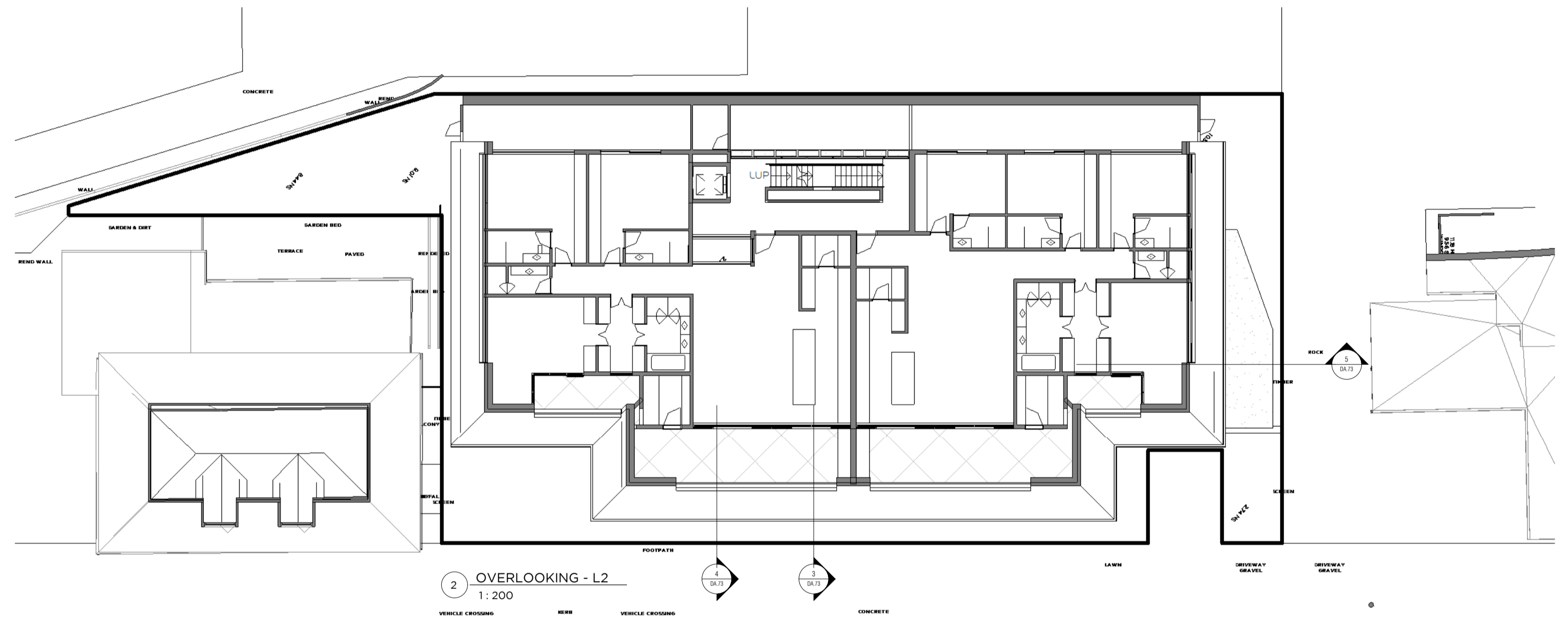
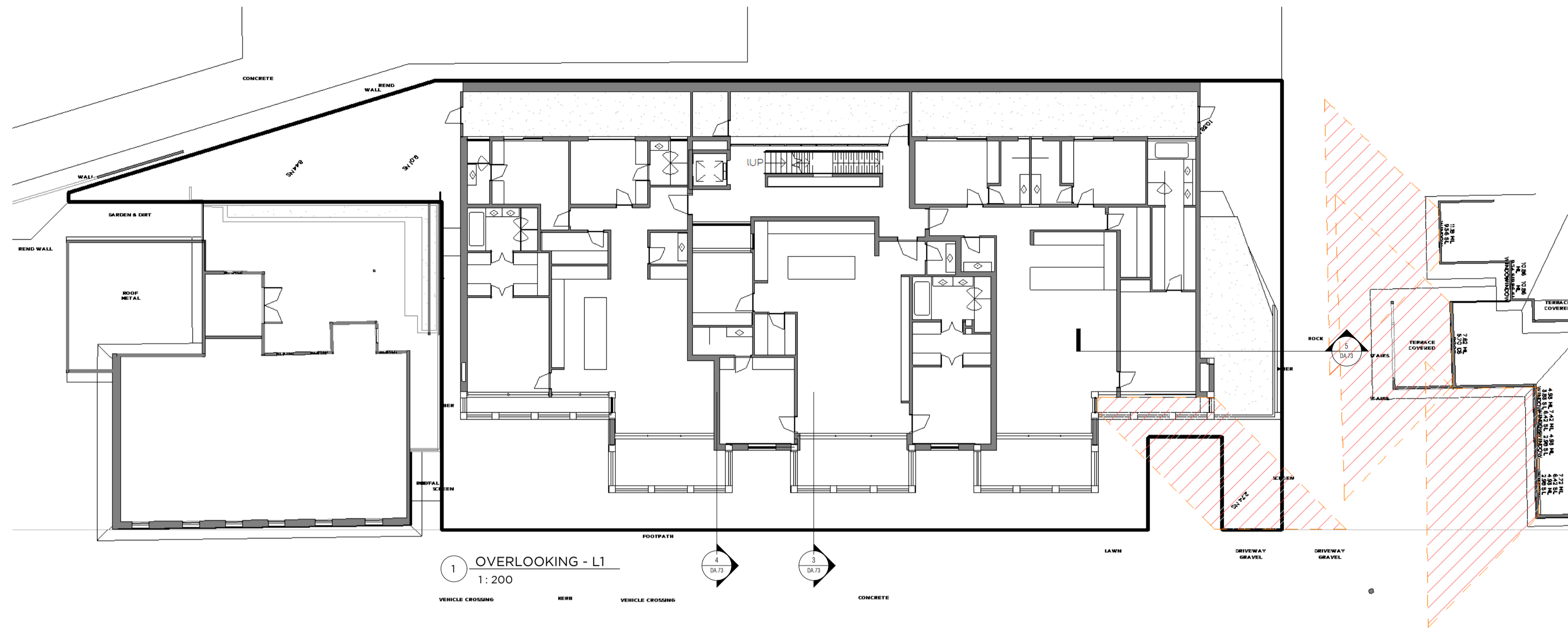
Not to be used for construction purposes

Job No.	2006	Scale.	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	12.09.22	DA.72	B



Melbourne Office.
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office.
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
OVERLOOKING ANALYSIS
0 2 10m

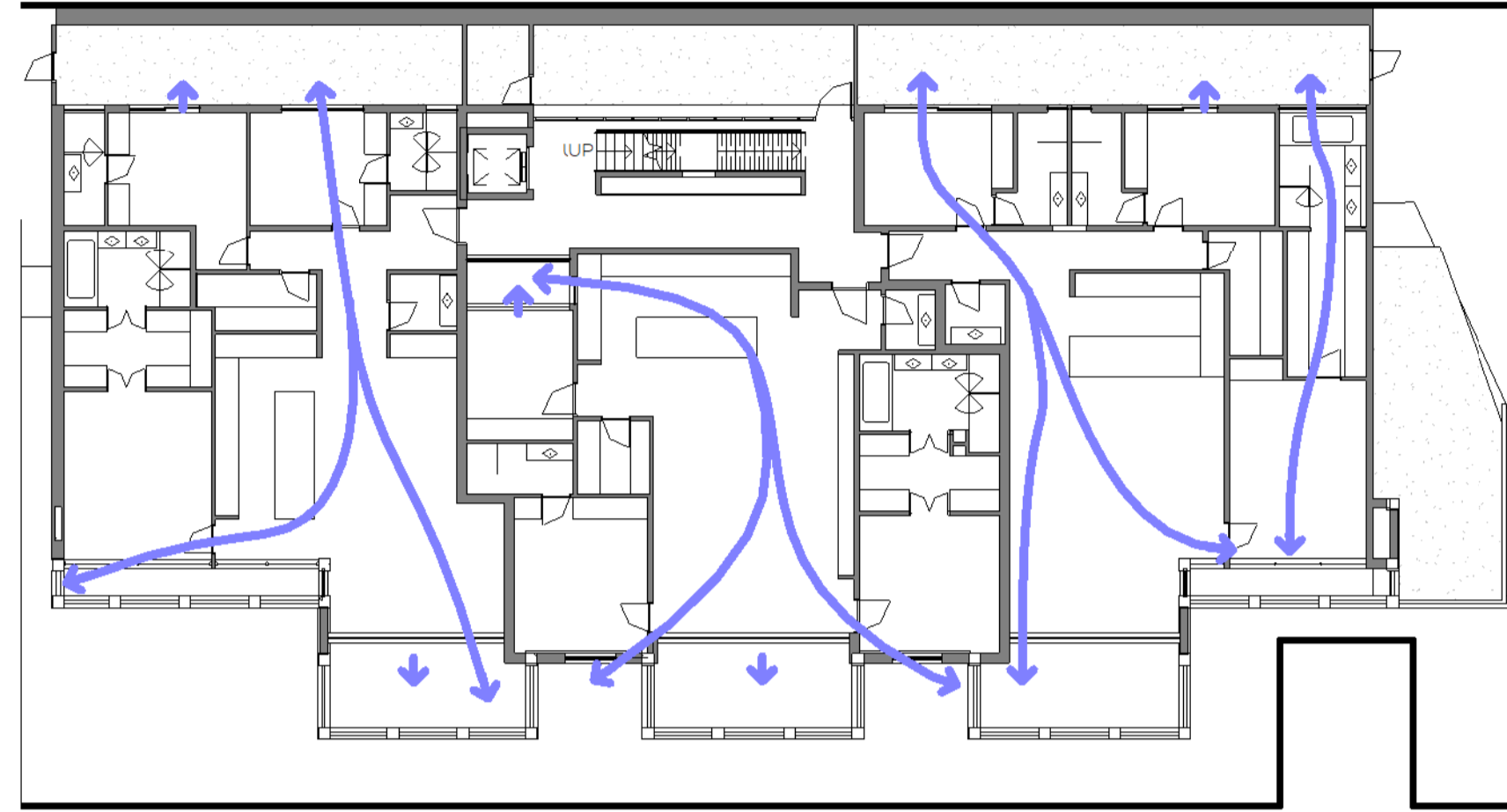
PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes
Job No. 2006
Drawn by. Author
Rev Date. 12.09.22

Scale. As indicated @ A1
Drawing No. DA.73
Rev B

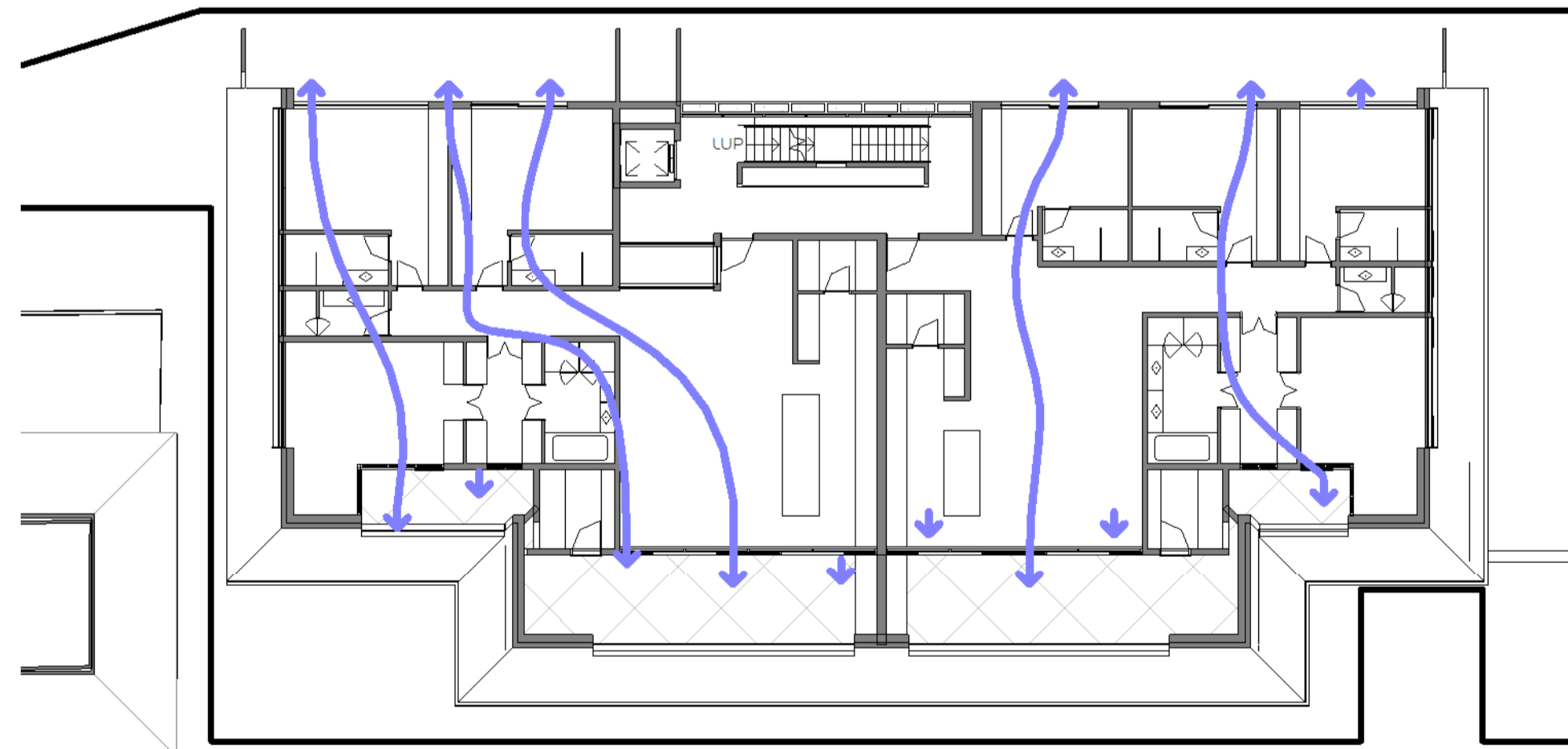


Melbourne Office.
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office.
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851



1 NATURAL VENTILATION - L1
1:200



2 NATURAL VENTILATION - L2
1:200



NATURAL VENTILATION APARTMENT DESIGN GUIDE

1. AT LEAST 60% OF APARTMENTS ARE NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING. APARTMENTS AT TEN STOREYS OR GREATER ARE DEEMED TO BE CROSS VENTILATED ONLY IF ANY ENCLOSURE OF THE BALCONIES AT THESE LEVELS ALLOWS ADEQUATE NATURAL VENTILATION AND CANNOT BE FULLY ENCLOSED.

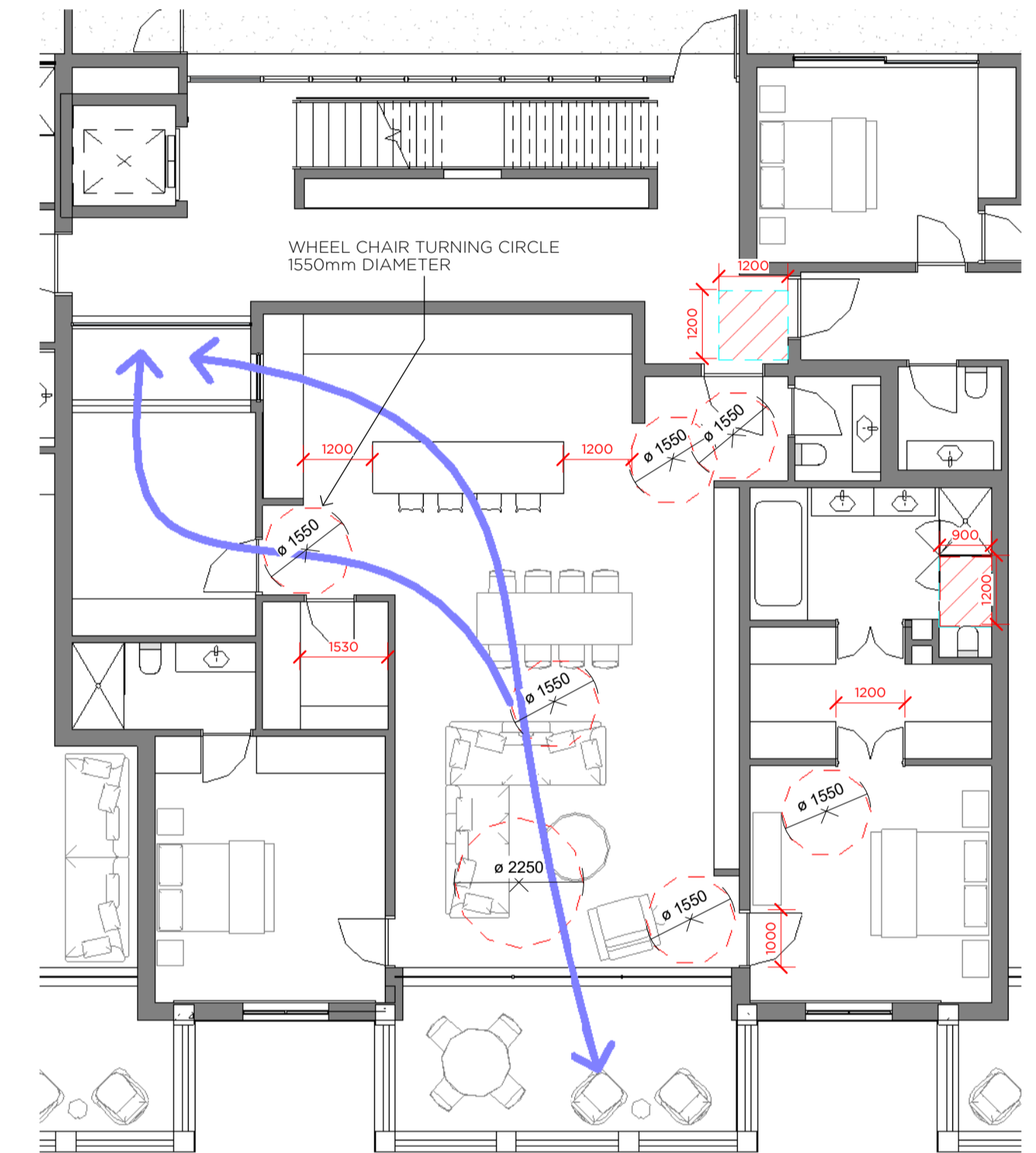
2. OVERALL DEPTH OF A CROSS-OVER OR CROSS-THROUGH APARTMENT DOES NOT EXCEED 18 M, MEASURED GLASS LINE TO GLASS LINE.

APARTMENT VENTILATION

APARTMENT 1	YES
APARTMENT 2	YES
APARTMENT 3	YES
APARTMENT 4	YES
APARTMENT 5	YES

COMPLIES ALL UNITS ARE NATURALLY VENTILATED AND THE OVERALL DEPTH DOES NOT EXCEED 18m.

PROPOSED	CONTROL
5 APTS (100% OF TOTAL APT)	4 APTS (60% OF TOTAL APT)



3 ADAPTABLE LAYOUT A2 (SILVER LEVEL)
1:100

ADAPTABLE HOUSING

1. 20% OF RESIDENTIAL FLAT BUILDINGS, SHOP TOP HOUSING AND MIXED USED DEVELOPMENTS COMPRISING RESIDENTIAL ACCOMMODATION.

2. SILVER LEVEL OF THE LIVEABLE HOUSING GUIDELINE

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Robert Mills Architect Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

© Robert Mills Architect Pty Ltd 2018. This confidential design and any accompanying documentation is and remains the exclusive property of Robert Mills Architect Pty Ltd and is to be used solely for the purpose of evaluating our design unless permitted otherwise under a licensing arrangement with Robert Mills Architect Pty Ltd. Design is schematic only and subject to council and other requisite approvals.

REV	NOTES	DATE
A	Development Application	24.02.22
B	DA Revision	06.04.22
C	Revision 2	12.09.22

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
NATURAL VENTILATION DIAGRAMS & ADAPTABLE HOUSING

PROJECT OVERVIEW
DEVELOPMENT APPLICATION

Not to be used for construction purposes

Job No.	2006	Scale:	As indicated @ A1
Drawn by.	Author	Drawing No.	DA.74
Rev Date.	12.09.22	Rev	C



Melbourne Office.
1/10 Grattan Street
Prahran VIC 3181
+613 9525 2406

Sydney Office.
3/34 Kellett Street
Potts Point NSW 2011
+612 9188 7851