



ROAD



PROPOSED SITE CALCULATIONS			
		%	m2
Site Total Area By D.P	-	100%	695.6
Soft Landscape Area	-	54.14%	376.60
Hard Landscape (Decking)	-	6.06%	42.18
Dwelling/Carport	-	17.74%	123.40
Driveway	-	22.06%	153.42

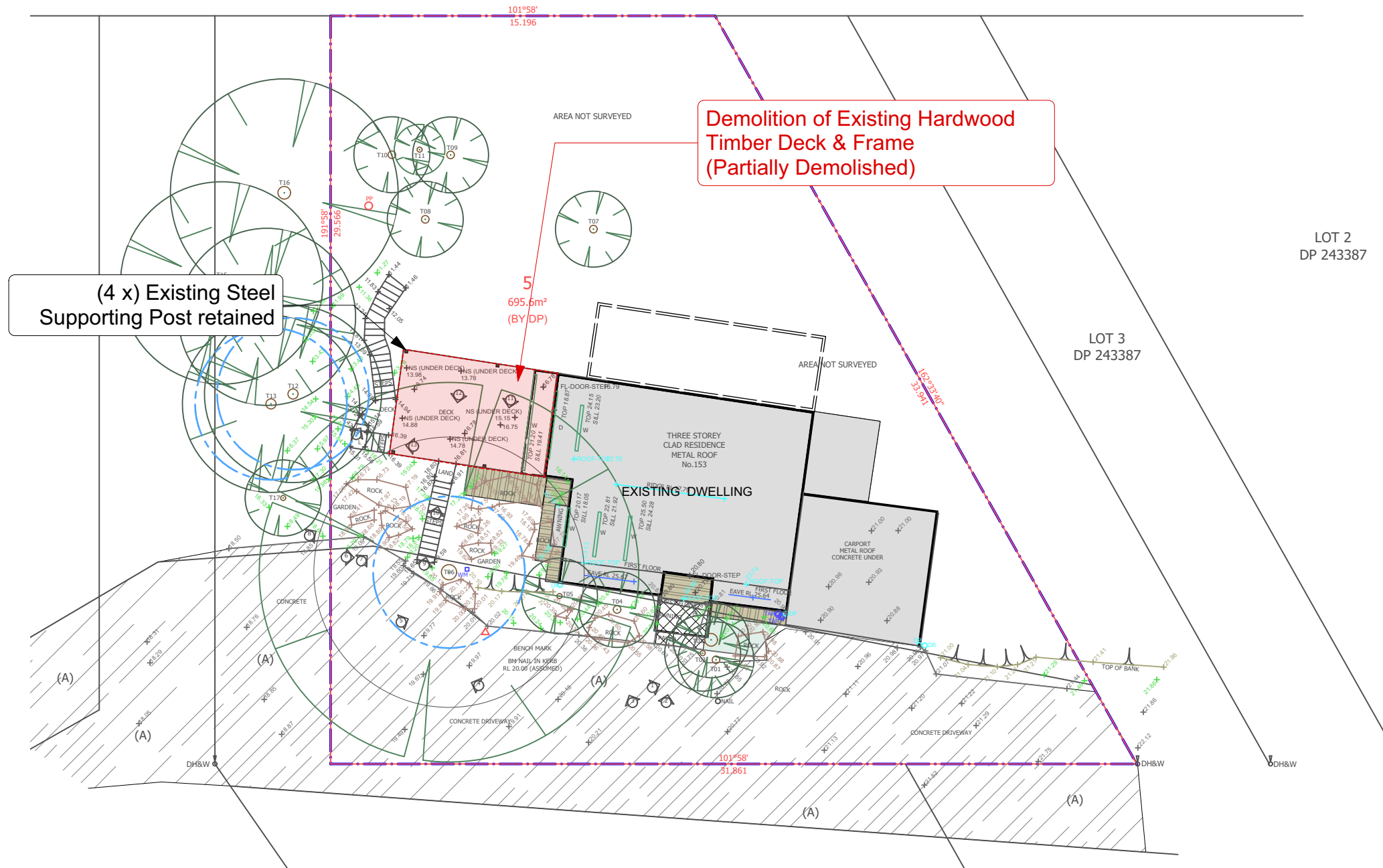


Drawing No. Rev #
DA 002 A
OF 8



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2024/0249



1 DEMOLITION PLAN
Scale: 1:200

Issue For Development Application

Notes:

1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
2. Do not scale from drawings.
3. If in doubt contact Landscape Architect.
4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of Grant Clement Landscape Architects.
5. This plan has been prepared for Development Application purposes only.
6. All Building Works shall be installed to Structural Engineers detail.

Legend:

- CADASTRAL BOUNDARY
- LANDSCAPE AREA (DEEP SOIL)
- HARD LANDSCAPE
- PRIVATE OPEN SPACE

Drawing:
DEMOLITION PLAN

Address:
Lot 5, DP 24338, 153 McCarrs Creek Rd, Church Point 2105

Project:
Existing Decking Upgrade

Client:
MR G & MRS K CLEMENT



Status



SCALE - 1:200 @ A3

Drawn By | GC

Dwg Date: | 30.11.23

Checked By | JS

Plot Date: |

CAD File Name | CLEM_DA_VER_C.vwx

Project No.

CL24100

Drawing No.

DA 200 A

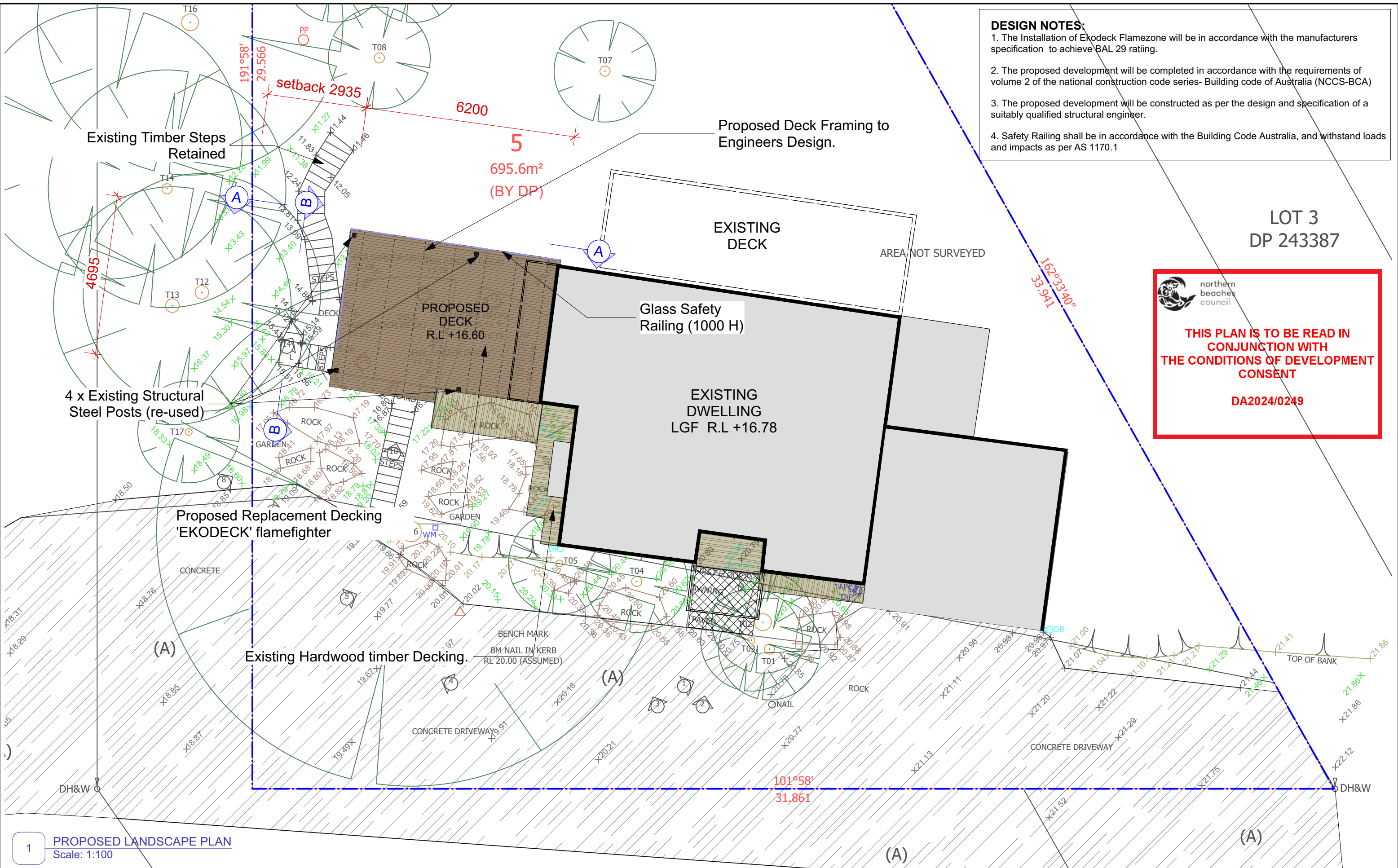
Rev #

OF 8

No.	Date	REVISION
A	9/11/23	For Development Application

GC

By



- DESIGN NOTES:**
1. The Installation of Ekodeck Flamezone will be in accordance with the manufacturers specification to achieve BAL 29 rating.
 2. The proposed development will be completed in accordance with the requirements of volume 2 of the national construction code series- Building code of Australia (NCCS-BCA)
 3. The proposed development will be constructed as per the design and specification of a suitably qualified structural engineer.
 4. Safety Railing shall be in accordance with the Building Code Australia, and withstand loads and impacts as per AS 1170.1

1

30/11/23 For Development Application

Date

GC

By

Notes:

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Legend:

Existing Concrete

Gravel/Stone Mulch

Proposed Composite Decking

Existing Hardwood Decking

Proposed Masonry Wall

Proposed Timber Wall

Existing Wall (Retained)

Slot/Channel Drain

Existing Vegetation/Planting

Garden edging

Existing Levels-Survey (grey)

Boundary Fencing

Glass Safety Railing (1000 H)

Cadastral Boundary

Existing Tree (Retained)

Existing Tree (Removed)

Finished Floor Level

Proposed Top Of Wall Level

Structural Slab Level

Surface Fall Direction

Drawing:

PROPOSED LANDSCAPE PLAN

Address:

Lot 5, DP 24338, 153 McCarrs Creek Rd, Church Point 2105

Project:

Existing Decking Upgrade

Client:

MR G & MRS K CLEMENT

Grant Clement

Landscape Architect & Pool Designers

153 McCarrs Creek Rd, Church Point NSW 2105

T: 0451 545 769 E: grant.clement@outlook.com

Status

SCALE - 1:100 @ A3

Drawn By | GC

Checked By | JS

CAD File Name | CLEM_DA_VER_C.vwx

Dwg Date: | 30.01.18

Plot Date: |

Project No.

CL24100

Drawing No.

DA 300 A

Rev #

OF 8

DESIGN NOTES:

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1 DETAIL SECTION A-A
DA 301 Scale 1:50



2 DETAIL SECTION B-B
DA 301 Scale 1:50

Issue For Development Application

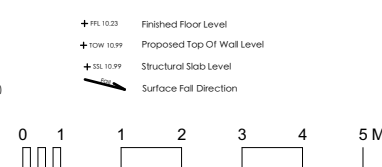
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Legend:

- | | | | |
|--|----------------------------|--|------------------------------|
| | Existing Concrete | | Proposed Masonry Wall |
| | Gravel/Stone Mulch | | Proposed Timber Wall |
| | Proposed Composite Decking | | Existing Wall (Retained) |
| | Existing Hardwood Decking | | Slot/Channel Drain |
| | | | Existing Vegetation/Planting |

- | | | | |
|--|-------------------------------|--|----------------------------|
| | Garden edging | | Proposed Top Of Wall Level |
| | Existing Levels Survey (grey) | | Structural Slab Level |
| | Boundary Fencing | | Surface Fall Direction |
| | Glass Safety Railing (1000 H) | | |
| | Cadastral Boundary | | |
| | Existing Tree (Retained) | | |
| | Existing Tree (Removed) | | |



Drawing:
ELEVATIONS

Address:
Lot 5, DP 24338, 153 McCarrs Creek Rd, Church Point 2105

Project:
Existing Decking Upgrade

Client:
MR G & MRS K CLEMENT



Status

SCALE - 1:100 @ A3

Drawn By | GC

Checked By | JS

CAD File Name | CLEM_DA_VER_C.vwx



Dwg Date: | 30.01.18

Plot Date: |

Project No.

CL24100

Drawing No.

DA 301 A

Rev #
OF 8