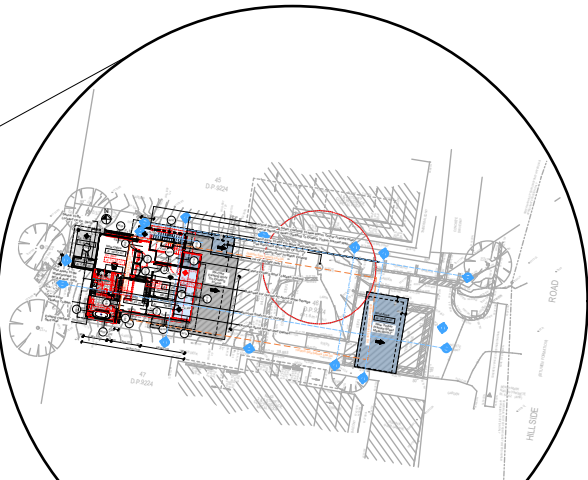


Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



Alterations & Additions To Existing Residence & Secondary Dwelling

For Anita & Erik Altmann
65 Hillside Road Newport
Lot 46 D.P.9224
Project Number: RP0821ALT



BASIX[®]Certificate
Building Sustainability Index www.basix.nsw.gov.au
Alterations and Additions
Certificate number: A444663

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 20 December 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



BASIX[®]Certificate
Building Sustainability Index www.basix.nsw.gov.au
Single Dwelling
Certificate number: 12700615

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 20 December 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



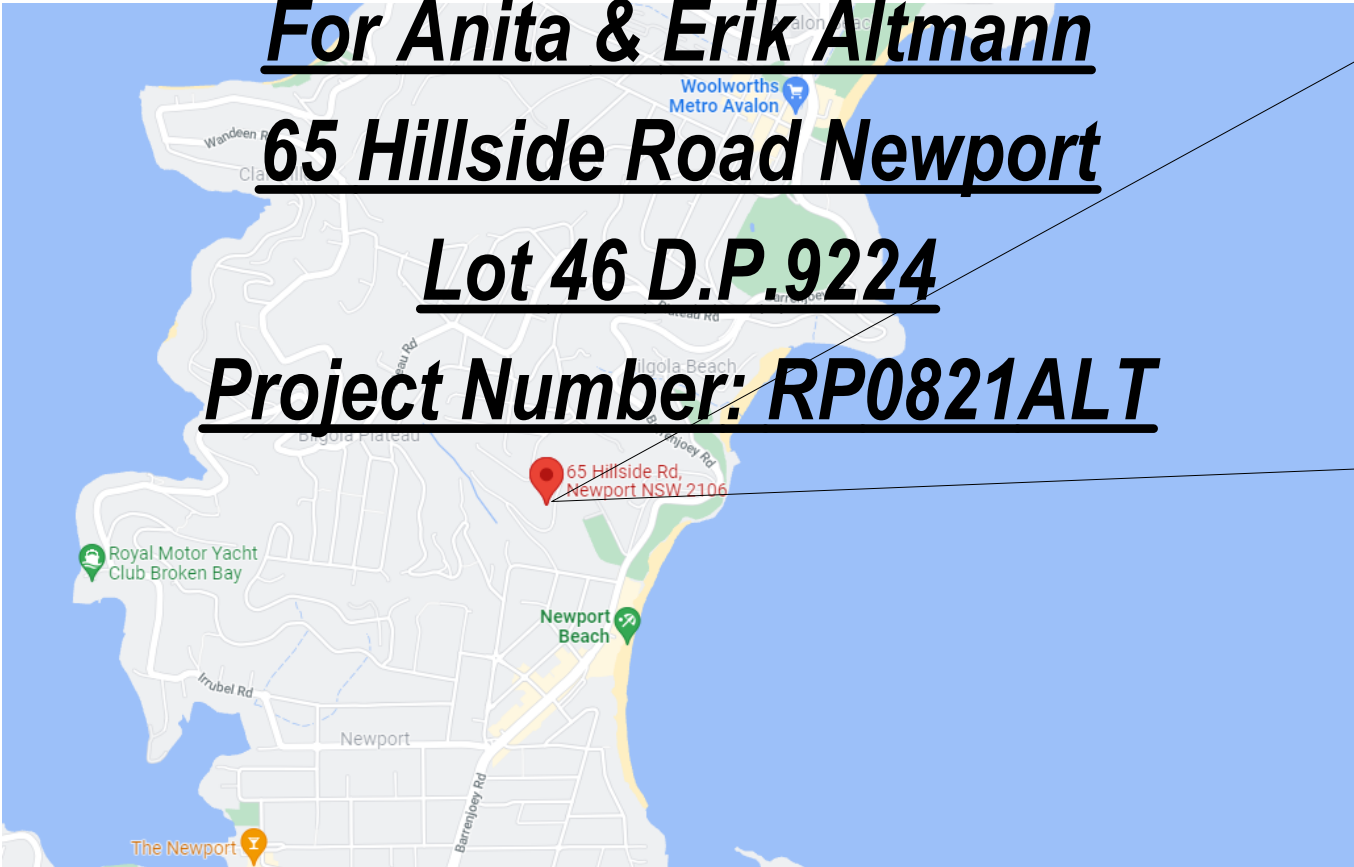
Description of project

Project address	
Project name	Altmann
Street address	65 Hillside Road Newport 2106
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 9224
Lot number	46
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Rapid Plans
ABN (if applicable): 43150064592

Project summary	
Project name	Altmann-Granny Flat
Street address	65 Hillside Road Newport 2106
Local Government Area	Northern Beaches Council
Plan type and plan number	deposited 9224
Lot no	46
Section no	-
Project type	attached dwelling house - secondary dwelling
No. of bedrooms	1
Project score	
Water	41 Target 40
Thermal Comfort	Pass Target Pass
Energy	54 Target 50

Certificate Prepared by
Name / Company Name: Rapid Plans
ABN (if applicable): 43150064592



Nationwide House Energy Rating Scheme
NatHERS Certificate No. 0006941629
Generated on 17 Dec 2021 using BERS Pro v4.6.4 (3.21)

Property	
Address	Unit Granny, 65 Hillside Road, Newport, NSW, 2106
Lot/DP	46/9224
NCC Class*	1A
Type	New Dwelling
Plans	
Main Plan	Rev A - Issued on- 03.12.2021
Prepared by	Rapid Plans
Construction and environment	
Assessed floor area (m ²)	
Conditioned*	43.0
Unconditioned*	51.0
Total	94.0
Garage	47.0
Exposure Type	Suburban
NatHERS climate zone	
Thermal performance	
Heating	31.1 MJ/m ²
Cooling	20.5 MJ/m ²



Accredited assessor

Name	Janine Bonnett
Business name	Certified Energy
Email	jobs@certifiedenergy.com.au
Phone	1300 443 674
Accreditation No.	10056
Assessor Accrediting Organisation	HERA
Declaration of interest	None

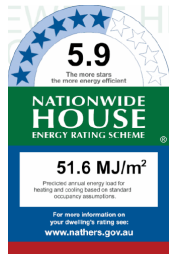
About the rating
NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.



National Construction Code (NCC) requirements
The NCC's requirements for NatHERS-rated houses are detailed in 3.12 (b)(v) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in 4.2 and 4.5 to 4.8 of the NCC Volume One.
In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation (insulation methods, thermal breaks, building sealing, solar heating and pumping, and artificial lighting requirements). The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au.
State and territory variations and additions to the NCC may also apply.

* Refer to glossary.
Generated on 17 Dec 2021 using BERS Pro v4.6.4 (3.21) for Unit Granny, 65 Hillside Road, Newport, NSW, 2106
Page 1 of 6

DRAWING No.	DESCRIPTION	REV	ISSUED DATE	DRAWING No.	DESCRIPTION	REV	ISSUED DATE	DRAWING No.	DESCRIPTION	REV	ISSUED DATE	DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	-	DA1013	Demolition Ground Floor Plan	-	20-12-2021	DA2004	FIRST FLOOR	-	20-12-2021	DA5000	PERSPECTIVE	-	20-12-2021
DA1001	A4 NOTIFICATION PLAN 1	-	20-12-2021	DA1014	Demolition First Floor Plan	-	20-12-2021	DA2005	SECOND FLOOR	-	20-12-2021	DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	20-12-2021
DA1002	A4 NOTIFICATION PLAN 2	-	20-12-2021	DA1015	Demolition Second Floor Plan	-	20-12-2021	DA2006	ROOF	-	20-12-2021	DA5002	SHADOW PLAN 21st June 9am	-	20-12-2021
DA1003	SITE SURVEY	-	20-12-2021	DA1016	Excavation & Fill Plan	-	20-12-2021	DA3000	SECTION 1	-	20-12-2021	DA5003	SHADOW PLAN 21st June 12pm	-	20-12-2021
DA1004	SITE PLAN Front	-	20-12-2021	DA1017	Landscape Open Space Plan Existing	-	20-12-2021	DA3001	SECTION 2	-	20-12-2021	DA5004	SHADOW PLAN 21st June 3pm	-	20-12-2021
DA1005	SITE PLAN Rear	-	20-12-2021	DA1018	Landscape Open Space Plan Proposed	-	20-12-2021	DA3002	SECTION 3	-	20-12-2021	DA5005	WALL ELEVATION SHADOWS No.63 Front	-	20-12-2021
DA1006	Existing Garage Plan	-	20-12-2021	DA1019	Landscape Plan	-	20-12-2021	DA3003	SECTION INCLINATOR 1	-	20-12-2021	DA5006	WALL ELEVATION SHADOWS No.63 Rear	-	20-12-2021
DA1007	Existing Studio Plan	-	20-12-2021	DA1020	Sediment & Erosion Plan	-	20-12-2021	DA3004	SECTION INCLINATOR 2	-	20-12-2021	DA6000	BASIX-ALTS & ADS	-	20-12-2021
DA1008	Existing Ground Floor Plan	-	20-12-2021	DA1021	Waste Management Plan	-	20-12-2021	DA4000	ELEVATIONS NORTH-1	-	20-12-2021	DA6001	BASIX-SECONDARY DWELLING	-	20-12-2021
DA1009	Existing First Floor Plan	-	20-12-2021	DA1022	Stormwater Plan	-	20-12-2021	DA4001	ELEVATIONS NORTH-2	-	20-12-2021	DA6002	NATHERS-SECONDARY DWELLING	-	20-12-2021
DA1010	Existing Second Floor Plan	-	20-12-2021	DA2001	GARAGE	-	20-12-2021	DA4002	ELEVATIONS SOUTH-1	-	20-12-2021				
DA1011	Demolition Garage Plan	-	20-12-2021	DA2002	STUDIO	-	20-12-2021	DA4003	ELEVATIONS SOUTH-2	-	20-12-2021				
DA1012	Demolition Studio Plan	-	20-12-2021	DA2003	GROUND FLOOR	-	20-12-2021	DA4004	ELEVATION EAST/WEST	-	20-12-2021				



ISG North (PLAN)

131
D.P.29010

47
D.P.9224

45
D.P.9224

46
D.P.9224
481.6m²

SURVEY PLAN
1:200

SCALE 1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

TITLE INDICATES THAT LOT 46 IN D.P.9224 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- AB40739 COVENANT (NOT INVESTIGATED)

- A BOUNDARY SURVEY HAS BEEN UNDERTAKEN.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ANITA & ERIK ALTMANN.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (ph 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2021.
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- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

STEPHEN EMERY
REGISTERED SURVEYOR BOSSI NUMBER 1605

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A
VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 61113
R.L. 47.5 (CLASS E)
SOURCE: S.C.I.M.S. (05/03/2021)

1 FIRST ISSUE 05/03/2021

CLIENT:
ANITA & ERIK ALTMANN
65 HILLSIDE ROAD
NEWPORT NSW 2106

SURVEY PLAN
SHOWING DETAIL & LEVELS
OVER LOT 46 IN D.P.9224
65 HILLSIDE ROAD
NEWPORT NSW 2106

**C.M.S. Surveyors
Pty Limited**

ACN: 096 240 201

PO Box 463 Dee Why
NSW 2099
2099 South Creek Road
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES		SHEET OF 1	
SURVEYED PB	DRAWN RN/PB	CHECKED PB	APPROVED AF
SURVEY INSTRUCTION 4904B		SCALE 1:100 @ A1 1:200 @ A3	DATE OF SURVEY 24/01/19 & 24/02/2021
DRAWING NAME 4904Bdetail CAD FILE 4904Bdetail 1.dwg			ISSUE 1

REVISION NO.

-
DATE:
20-12-2021
DRAWING NO.
DA1003

LEGEND:

BAL = BALCONY
BB = BOTTOM OF BANK
BLD = EXTERNAL BUILDING
BOR = BOTTOM OF ROCK
BW = BOTTOM WALL
CHI - CHIMNEY
CL = CENTRELINE
CON = CONCRETE
DK = DECK
FL = FLOOR LEVEL
FT = FOOTING
GAF = GARAGE FLOOR LEVEL
GM = GAS METER
GRT = GRATE
HL = HEAD LEVEL
LH = LAMP HOLE
NS = NATURAL SURFACE
RF = TOP OF ROOF
RR = ROOF RIDGE
SIP = SEWER INSPECTION PIT
SL = SILL LEVEL
STR = STAIRS
TB = TOP OF BANK
TER = TERRACE
TG = TOP OF GUTTER
TOR = TOP OF ROCK
TPIT = TELSTRA PIT
TR = TREE
TW = TOP OF WALL
WM = WATER METER
= ELECTRICITY OVERHEAD
= SEWER UNDERGROUND

TREE
SPREAD-DIAMETER-HEIGHT

Rapid Plans
Building Design and Architectural Drafting

Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9305-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

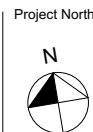
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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: GBJ
Project NO: 20/12/2021
Project Status: RP0821AL T
DA

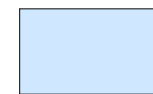
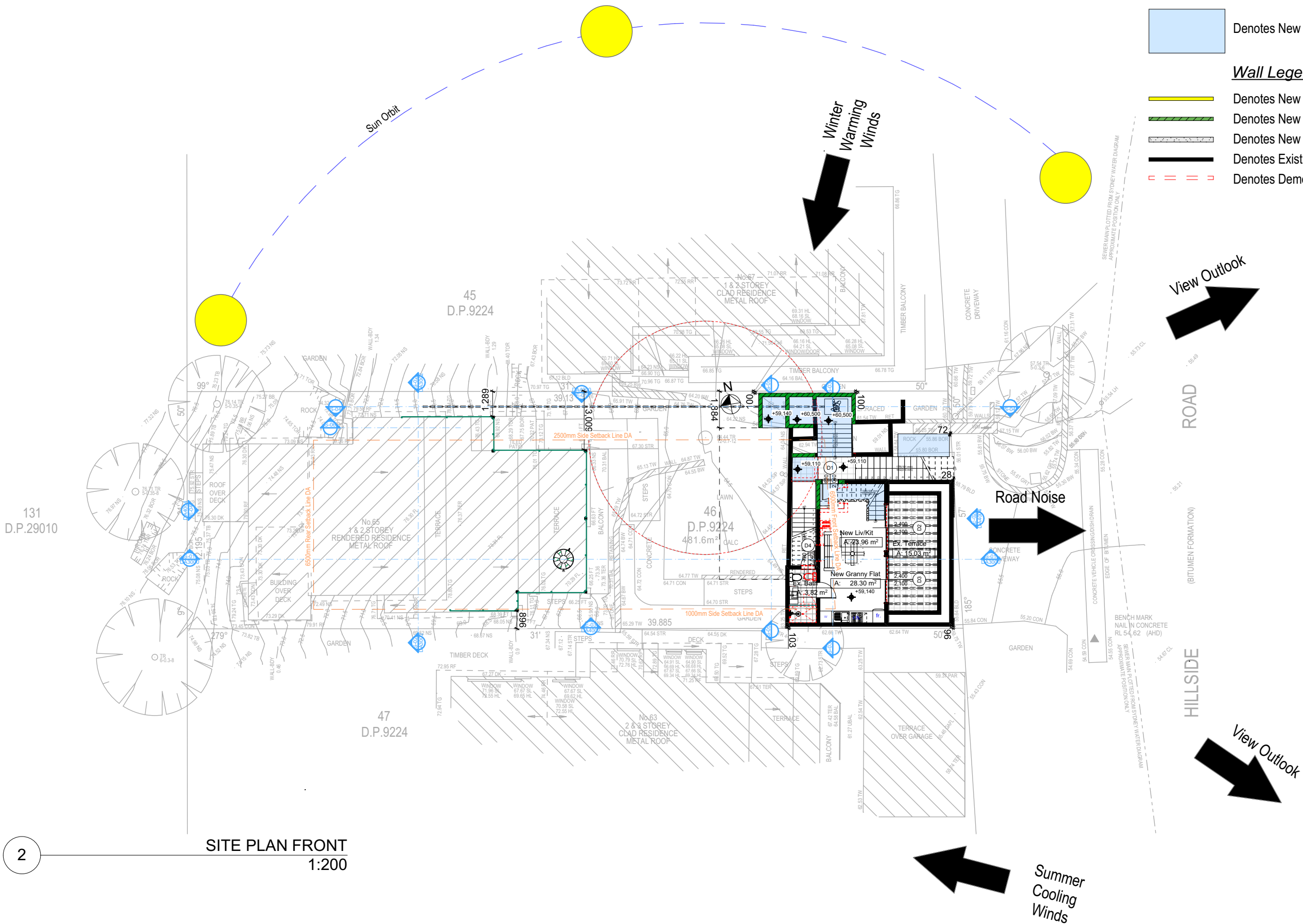
Client
Site: Anita & Erik Altmann
65 Hillside Road Newport

Sheet Size: A3

DRAWING TITLE :
**SITE AND LOCATION
SITE SURVEY**

PROJECT NAME :
Alterations & Additions

2

SITE PLAN FRONT
1:200

Denotes New Works

Wall Legend



Denotes New Timber Framed Wall



Denotes New Concrete Block Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item

View Outlook

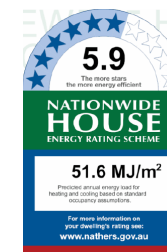
ROAD

(BITUMEN FORMATION)

HILLSIDE

View Outlook

Road Noise

Summer
Cooling
WindsDA APPLICATION
ONLY
NOT FOR CONSTRUCTION

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NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS07288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.
Basic Certificate Number AA44663, 1270915 & Nathers009091629
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE: SITE AND LOCATION
SITE PLAN Front

PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
-	20-12-2021

DRAWING NO. DA1004

Plot Date: 20/12/2021
Sheet Size: A3

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item



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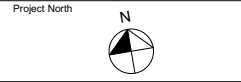
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NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers Specification and BCA
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.
Basic Certificate Number AA4663, 1270915 & Natures0091629
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex/Var.
Rear Setback (Min.)	6.5m	Ex/Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex/Var.
Building envelope	3.5m@ 45Deg	Ex/Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m2)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

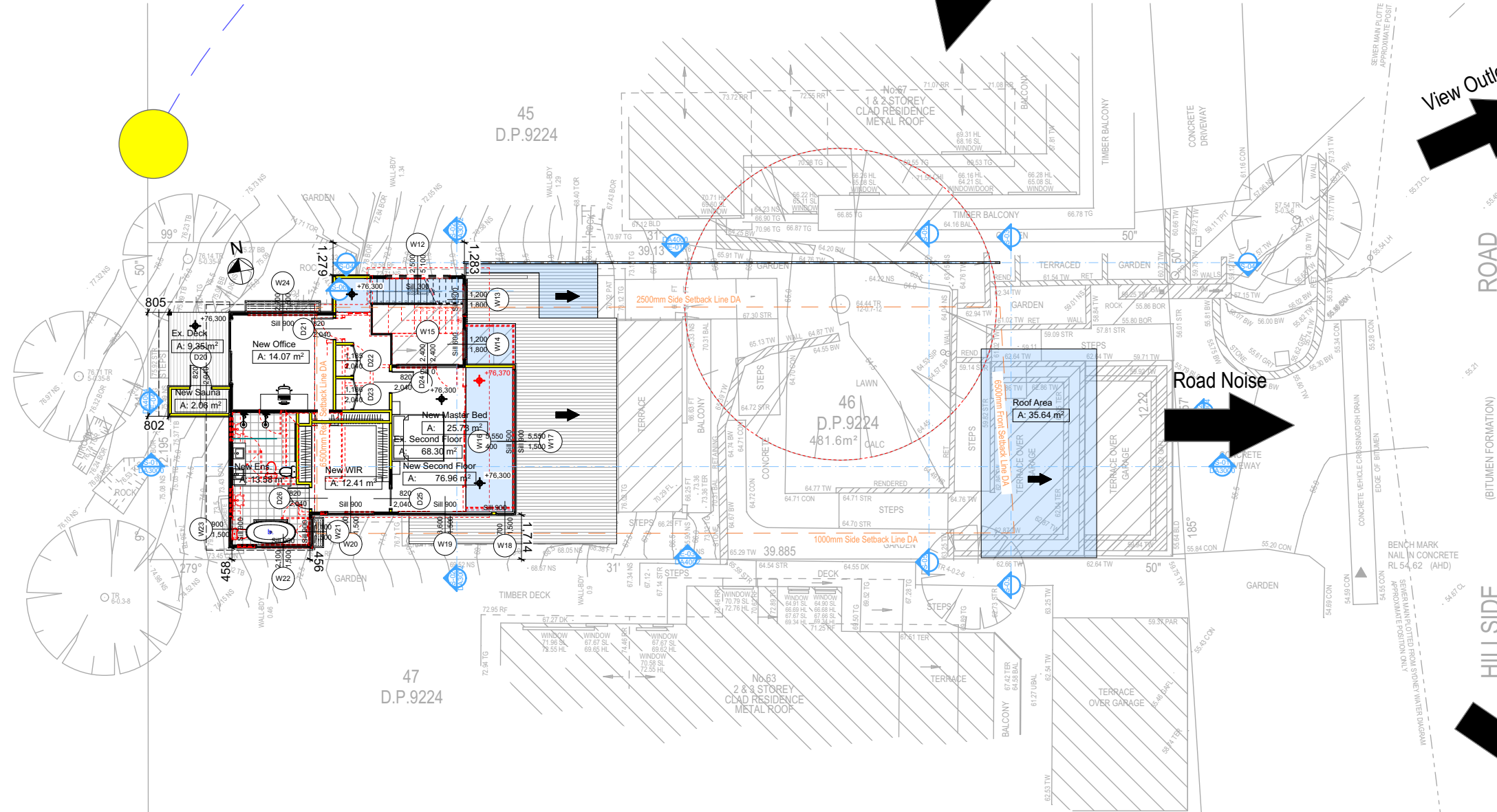
Site: 65 Hillside Road Newport

DRAWING TITLE :
SITE AND LOCATION
SITE PLAN Rear

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 20-12-2021
DRAWING NO.
DA1005

Plot Date: 20/12/2021
Sheet Size: A3



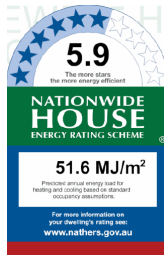
SITE PLAN REAR
1:200

5.

BASIX Certificate number: A444663

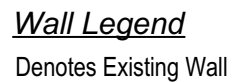
page 4 / 9

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)		✓
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		✓
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	✓



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DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



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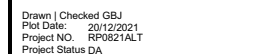
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
65 Hillside Road Newport is not considered a heritage item
All work is to be carried out in accordance with Building Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Framed Floor, Cladded Steel & Conc. Block Walls
Roof Sheet Metal to have R1.74 Insulation
Insulation to External Cladding Steel & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineering and BCA
Timber framing to BCA and AS 1984
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS20288-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lan
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia...

[illegible]

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepanci
to Rapid Plans**



DRAWING TITLE :
SITE AND LOCATION
Existing Garage Plan

PROJECT NAME : **Alterations & Additions**

REVISION NO. DATE
- 20-12-2021

DRAWING NO.
DA1006

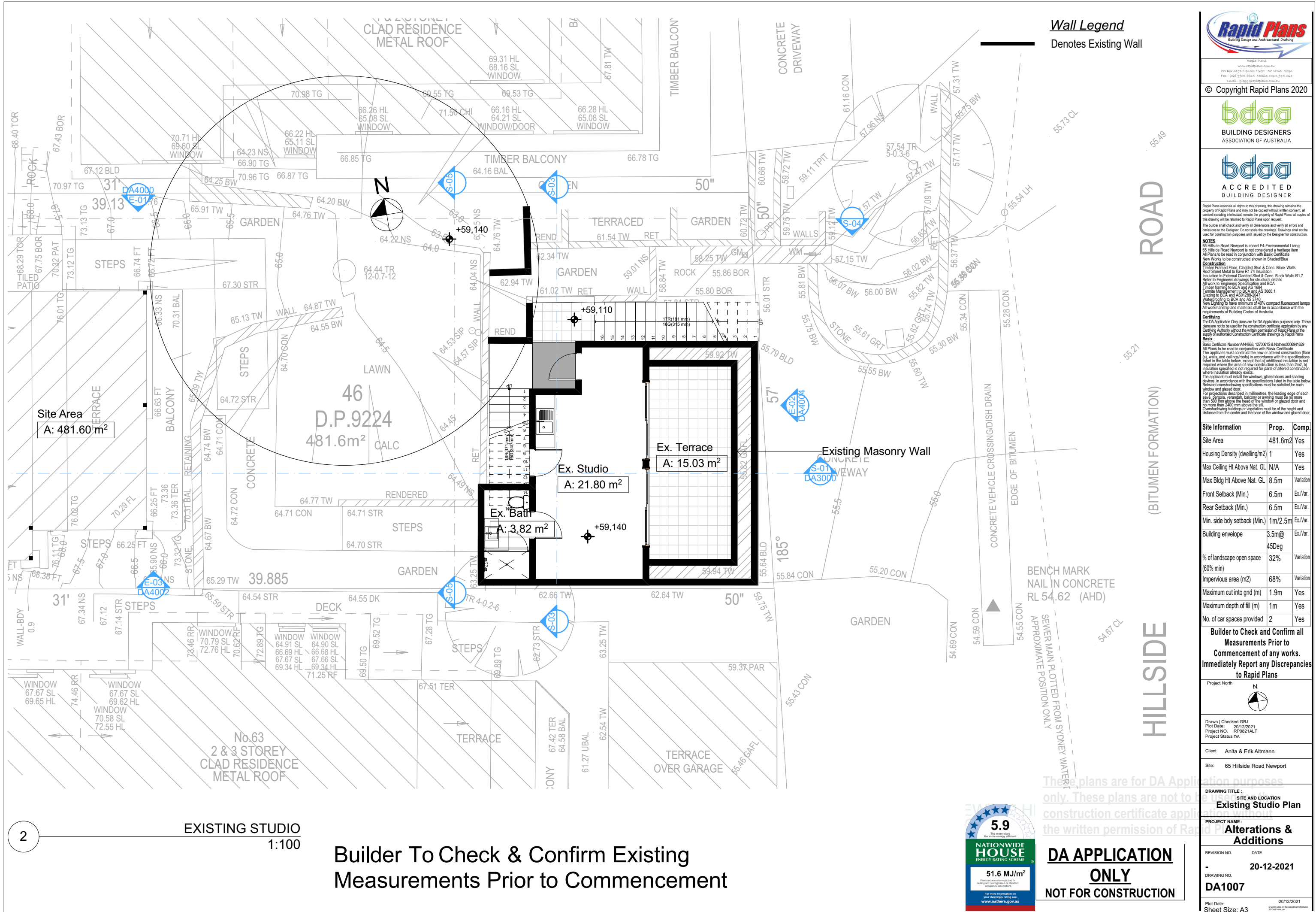
Plot Date: 20/12/2021
Sheet Size: A3
D:\Audi jobs on the go\Aldmann\Aldm
22-CA\Final pin



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Builder To Check & Confirm Existing Measurements Prior to Commencement

EXISTING GARAGE
1:100



Wall Legend
Denotes Existing Wall

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ACCREDITED BUILDING DESIGNER

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NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Timber Framed Floor, Clad Stud & Conc. Block Walls
Roof Sheet Metal to have R1.7 insulation
Insulation to External Clad Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	481.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m2)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE:
SITE AND LOCATION
Existing Studio Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	20-12-2021

DRAWING NO.
DA1007

Plot Date: 20/12/2021
Sheet Size: A3

5.9
The more stars the more energy efficient

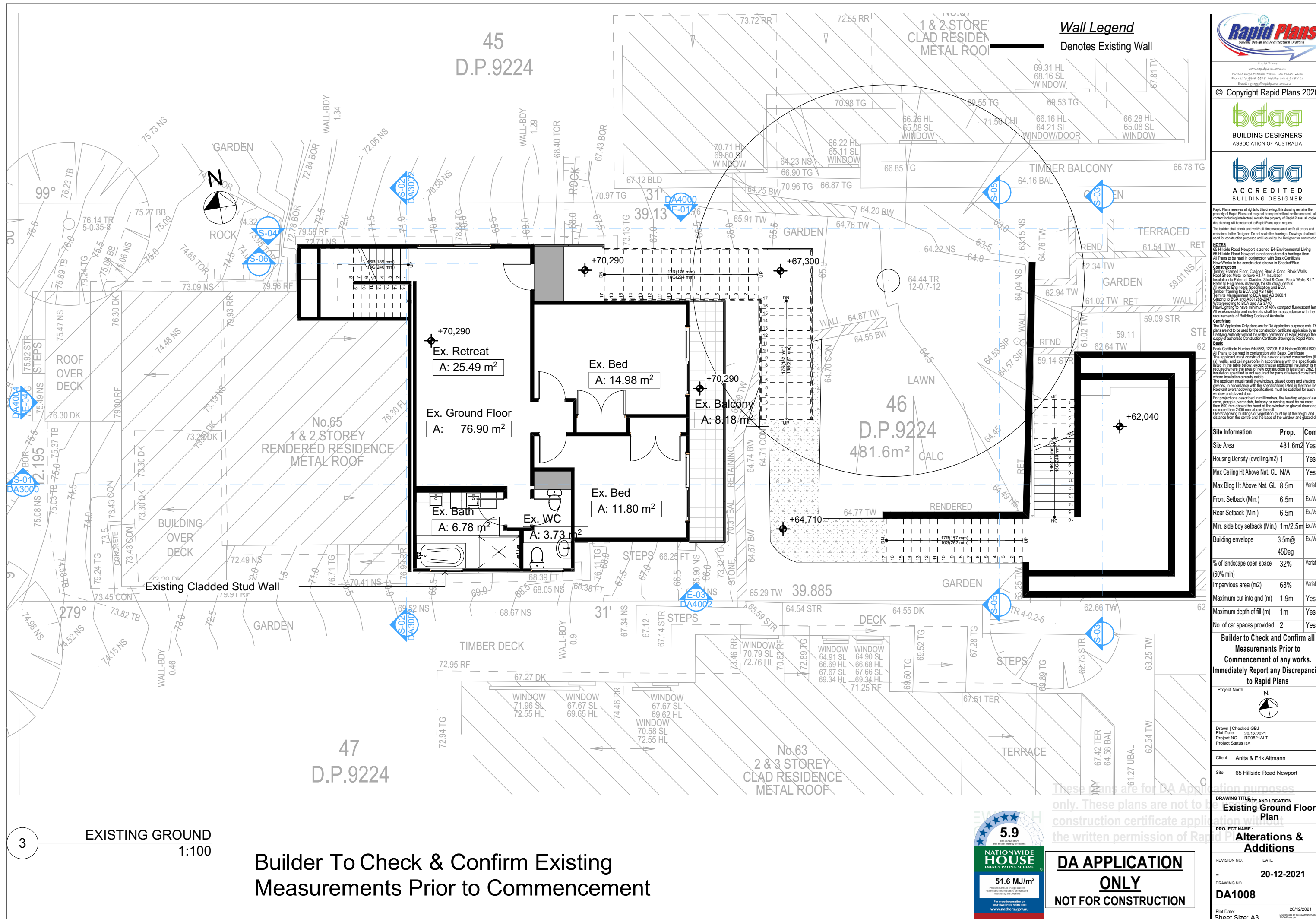
51.6 MJ/m²
Predicted annual energy use for heating and cooling based on standard occupancy assumptions.

For more information on your dwelling's energy use
www.nathers.gov.au

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Builder To Check & Confirm Existing Measurements Prior to Commencement



Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Rend Sheet to be read in conjunction with Basic Certificate
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate. Drawings by Rapid Plans

Basic Certificate Number AA4663, 1270915 & Nathan00991629
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For properties described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

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DRAWING TITLE SITE AND LOCATION
Existing Ground Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	20-12-2021

DRAWING NO.
DA1008

Plot Date: 20/12/2021
Sheet Size: A3

5.9
The more stars, the more energy efficient

51.6 MJ/m²
Prescribed annual energy use for heating and cooling based on standard occupancy assumptions.

For more information on your dwelling's energy use
www.nathers.gov.au

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Wall Legend

Denotes Existing Wall



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.4 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1028-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex/Var.
Rear Setback (Min.)	6.5m	Ex/Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex/Var.
Building envelope	3.5m@ 45Deg	Ex/Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE: SITE AND LOCATION

Existing First Floor Plan

PROJECT NAME:

Alterations & Additions

REVISION NO. DATE

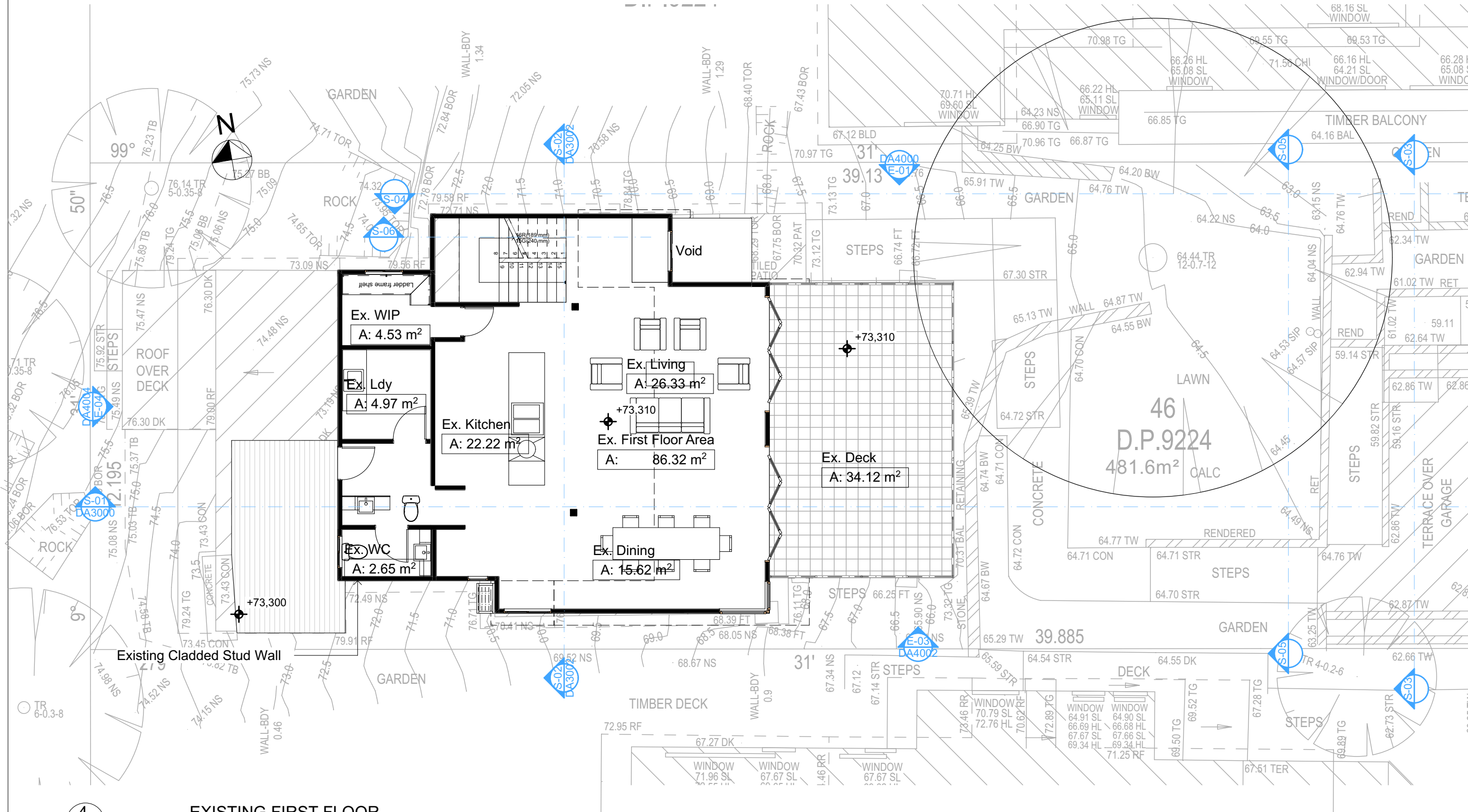
- 20-12-2021

DRAWING NO.

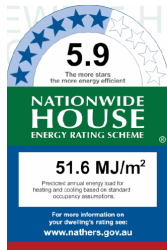
DA1009

Plot Date: 20/12/2021

Sheet Size: A3



Builder To Check & Confirm Existing Measurements Prior to Commencement



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NOT FOR CONSTRUCTION

Wall Legend

Denotes Existing Wall



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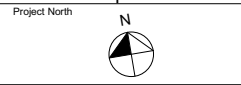
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NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
R1.7 Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1824
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
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Basic Certificate Number AA4663, 1270915 & Natures0091629
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For properties described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann
Site: 65 Hillside Road Newport

DRAWING TITLE SITE AND LOCATION
Existing Second Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 20-12-2021

DRAWING NO.
DA1010

Plot Date: 20/12/2021
Sheet Size: A3

45
D.P.9224

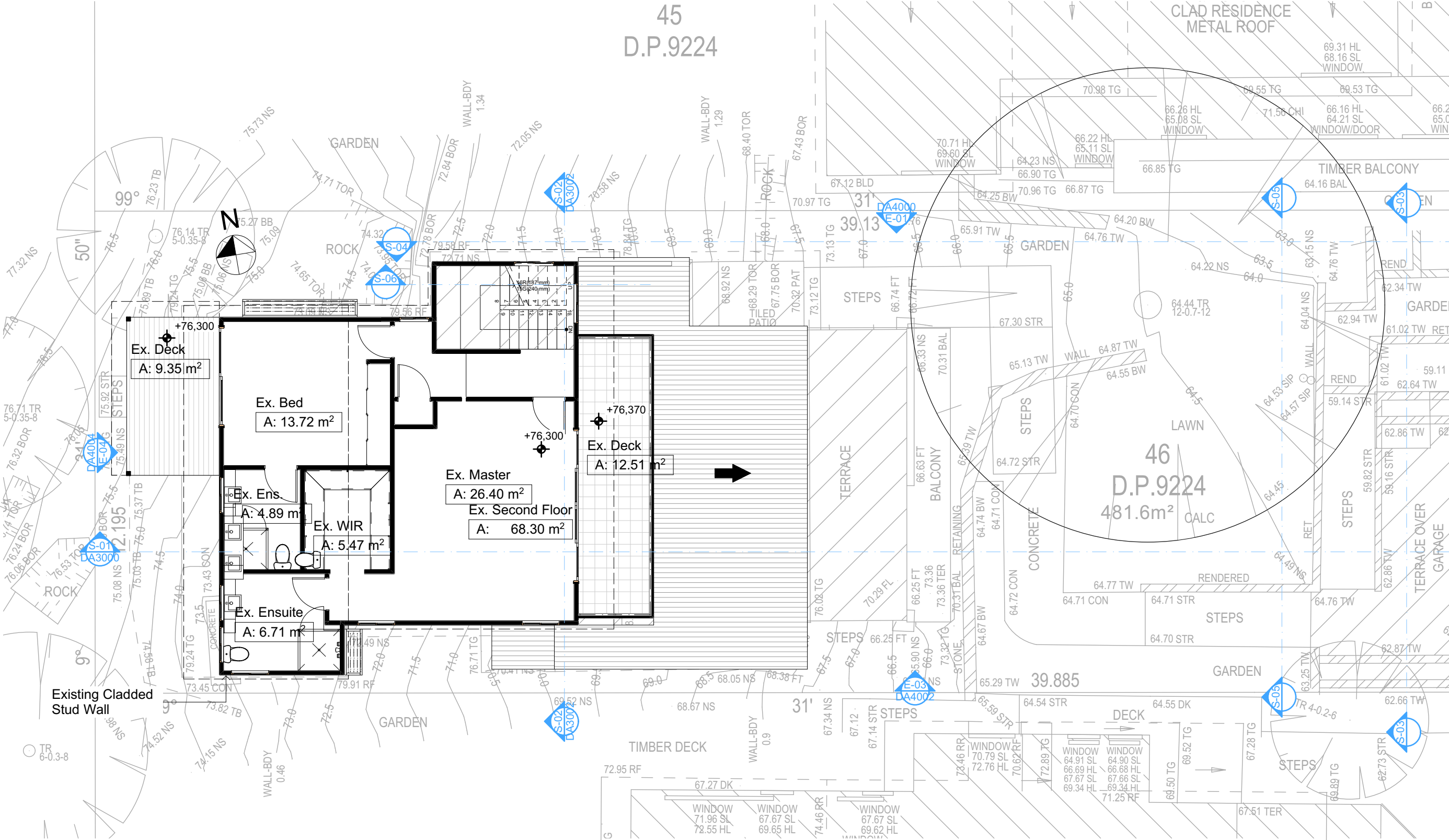
46
D.P.9224
481.6m²
CALC

Builder To Check & Confirm Existing Measurements Prior to Commencement

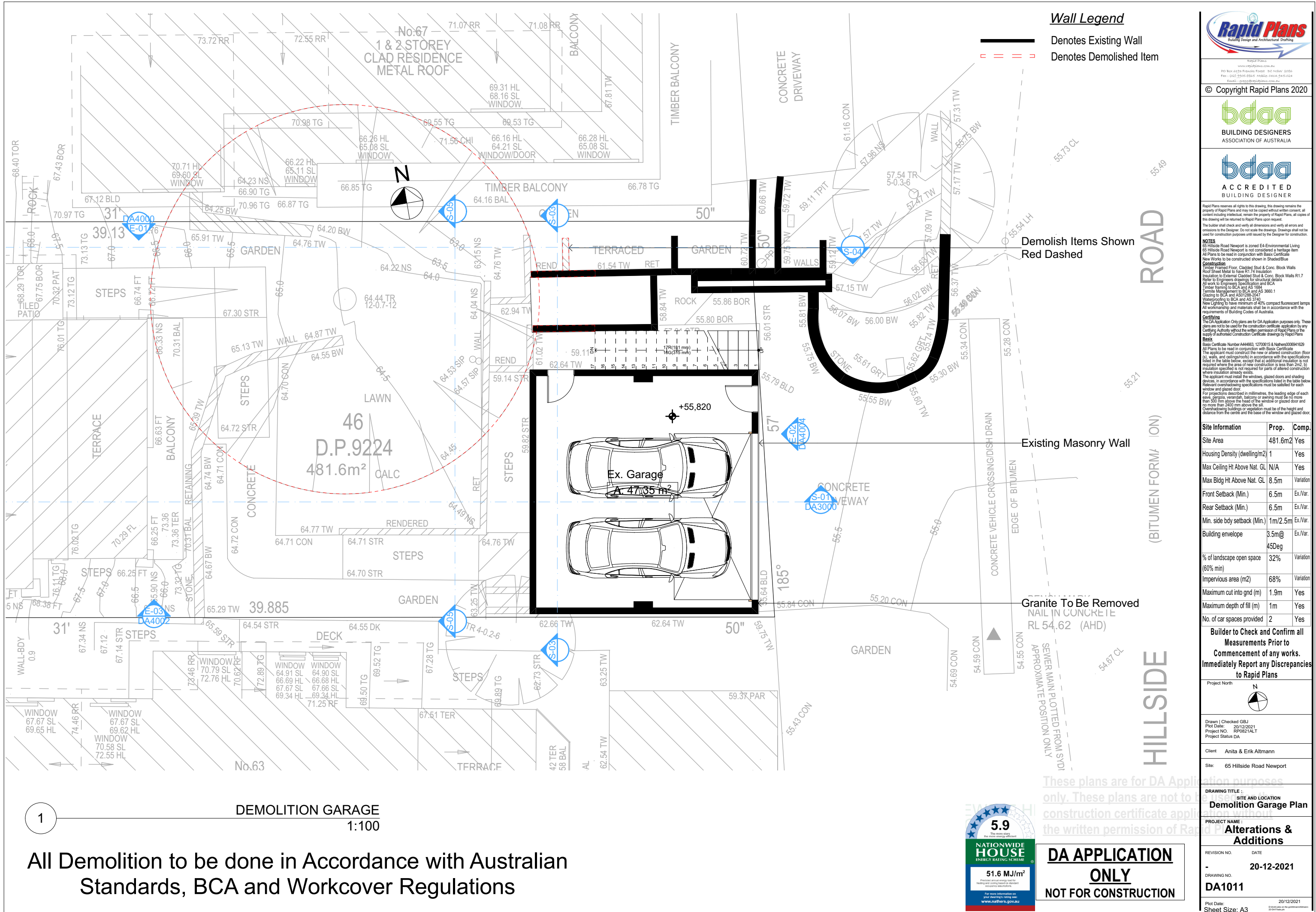
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EXISTING SECOND FLOOR
1:100



Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item

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NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Clad Stud & Conc. Block Walls
Roof Sheet Metal to have R1.4 insulation
Insulation to External Clad Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	481.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m2)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE:
SITE AND LOCATION
Demolition Garage Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 20-12-2021

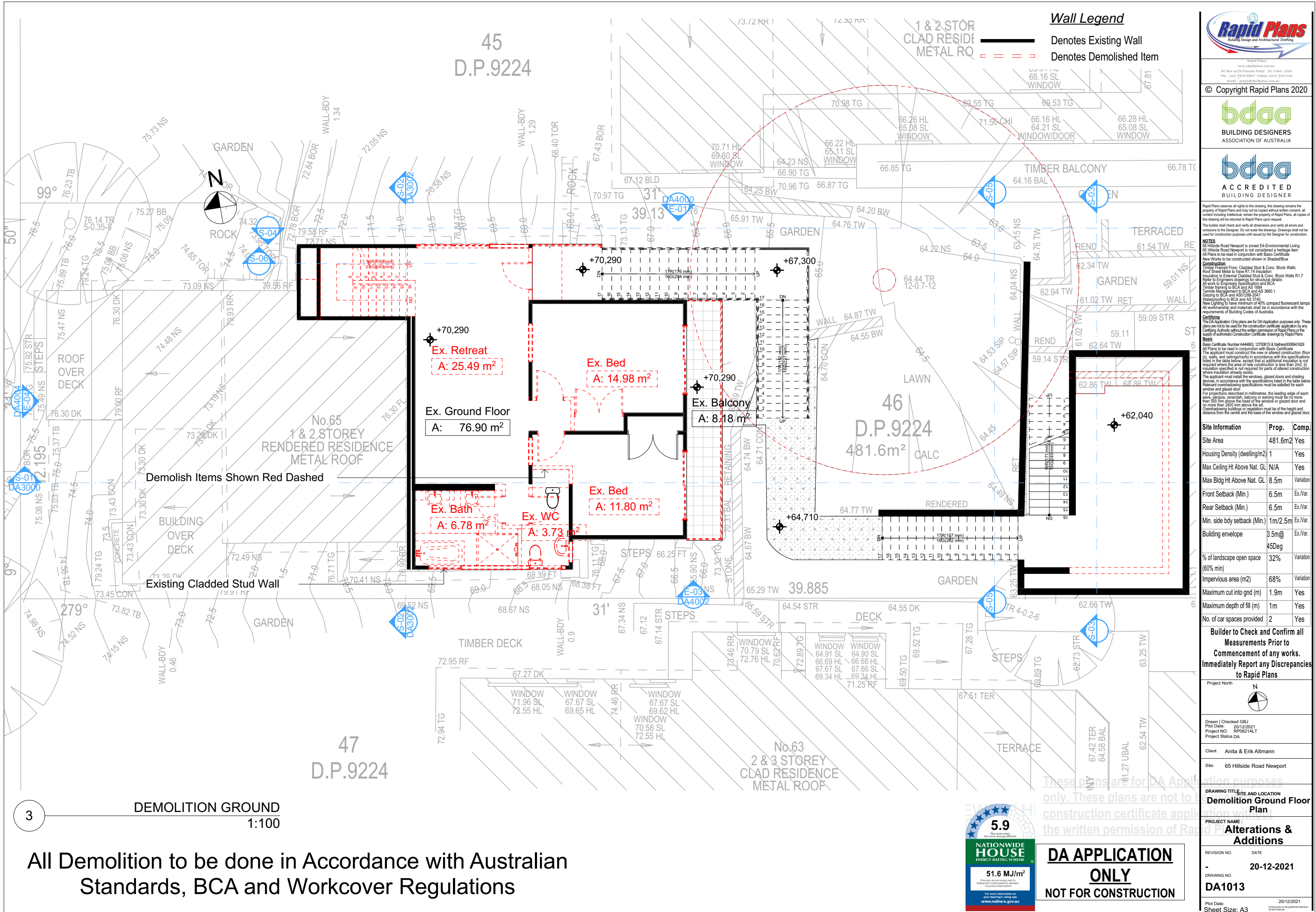
DRAWING NO.
DA1011

Plot Date: 20/12/2021
Sheet Size: A3

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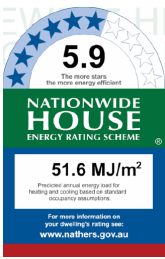
5.9
NATIONWIDE HOUSE
ENERGY RATING SCHEME
51.6 MJ/m²
For more information on your energy rating see www.nathers.gov.au



3

DEMOLITION GROUND
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



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Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Timber Framed Floor, Cladded Stud & Conc. Block Walls R1.7
Rood Sheet Metal to have R14 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers Specification and BCA
Timber framing to BCA and AS 1864
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.
Basic Certificate Number AA4663, 1270915 & 1270916
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For properties described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client: Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE: SITE AND LOCATION
Demolition Ground Floor Plan

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	20-12-2021

DRAWING NO.: **DA1013**

Plot Date: 20/12/2021
Sheet Size: A3

Wall Legend

- Denotes Existing Wall
- - - - - Denotes Demolished Item



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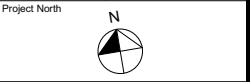
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NOTES
65 Hillside Road Newport is zoned E4-Environmental Living. Hillside Road Newport is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate. New Works to be constructed shown in ShadedBlue. Construction: Timber Framed Floor, Cladded Stud & Conc. Block Walls. Roof Sheet Metal to have R1.74 insulation. Insulation to External Cladded Stud & Conc. Block Walls R1.7. Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA. Timber framing to BCA and AS 1884. Termite Management to BCA and AS 3660.1. Glazing to BCA and AS1028-2017. Waterproofing to BCA and AS 3745. New Lighting to have minimum of 40% compact fluorescent lamps. All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information
Site Area: 481.6m² Yes
Housing Density (dwelling/m²): 1 Yes
Max Ceiling Ht Above Nat. GL: N/A Yes
Max Bldg Ht Above Nat. GL: 8.5m Variation
Front Setback (Min.): 6.5m Ex/Var.
Rear Setback (Min.): 6.5m Ex/Var.
Min. side bdy setback (Min.): 1m/2.5m Ex/Var.
Building envelope: 3.5m@ 45Deg Ex/Var.
% of landscape open space (60% min): 32% Variation
Impervious area (m²): 68% Variation
Maximum cut into gnd (m): 1.9m Yes
Maximum depth of fill (m): 1m Yes
No. of car spaces provided: 2 Yes

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex/Var.
Rear Setback (Min.)	6.5m	Ex/Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex/Var.
Building envelope	3.5m@ 45Deg	Ex/Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status: DA

Client: Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE: Demolition Second Floor Plan

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 20-12-2021

DRAWING NO.: DA1015

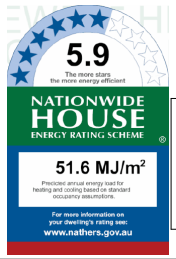
Plot Date: 20/12/2021
Sheet Size: A3

D.P.9224

Demolish Items Shown Red Dashed

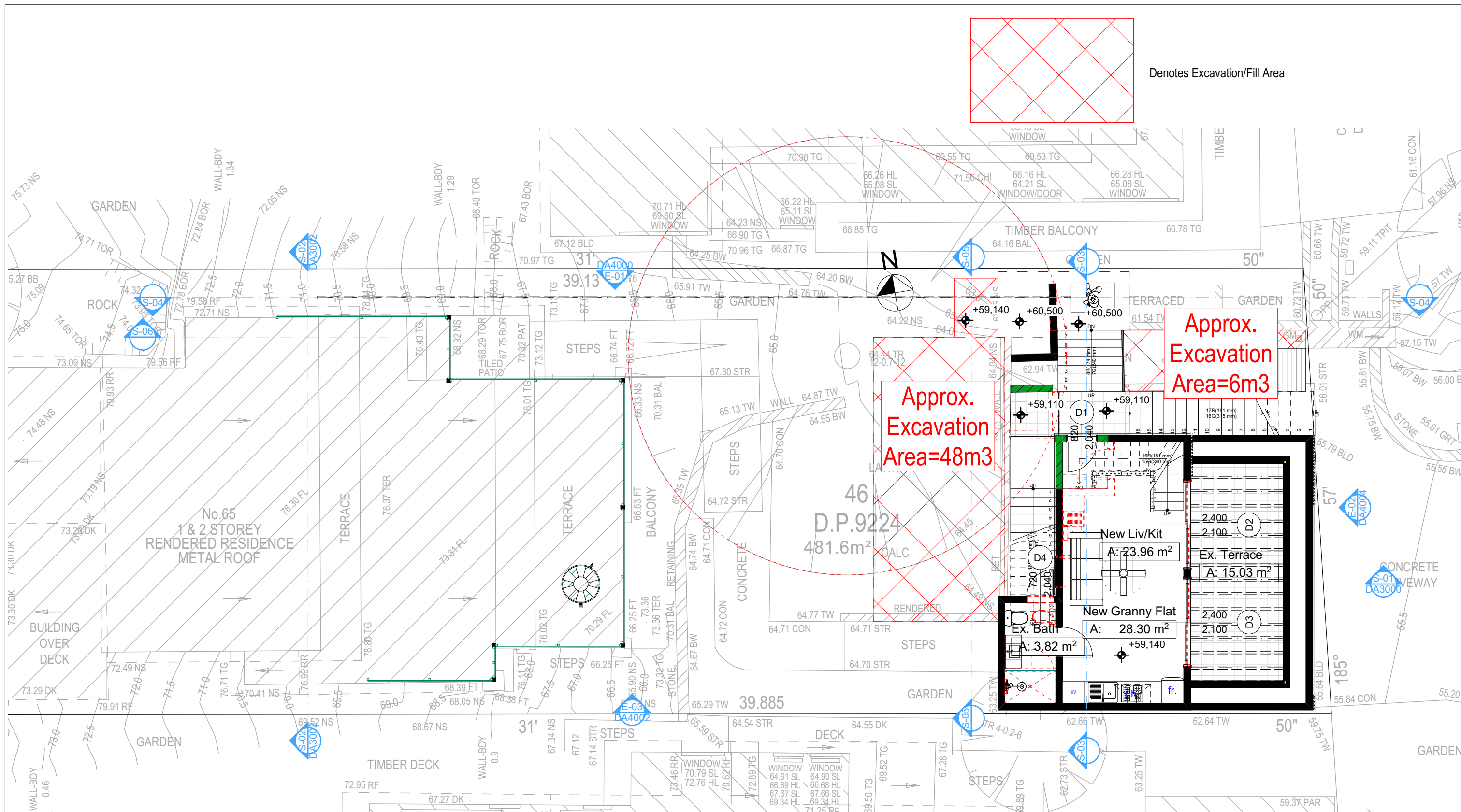
5. DEMOLITION SECOND FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



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EXCAVATION & FILL PLAN

1:100

NOTES

65 Hillside Road Newport is zoned E4-Environmental Living
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
65 Hillside Road Newport is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 Insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01289-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A444663, 1270061S & Nathens0006941629

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

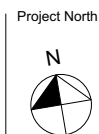


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
20/12/2021
RP0821ALT
DA

Client
Site:

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Excavation & Fill Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE
20-12-2021
DRAWING NO.
DA1016



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	481.6m2	Yes	Building envelope	3.5m@45Deg	Exist/Var.
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (60% min)	32%	Variation
Max Ceiling Ht Above Nat. GL	N/A	Yes	Impervious area (m2)	68%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Exist/Var.	Maximum depth of fill (m)	1m	Yes
Rear Setback (Min.)	6.5m	Exist/Var.	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m/2.5m	Exist/Var.			

Denotes Impervious Area

Denotes Pervious Area



Rapid Plans
PO Box 6239 Fitzroy Vic 3065
Tel: (03) 9350-8845 Mobile: 0414-545-024
Email: info@rapidplans.com.au

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NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Council Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.
Basic Certificate Number AA4663, 1270915 & Nathers00091620
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 200.0 b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m2)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE AND LOCATION
Landscape Open Space Plan Existing

PROJECT NAME:
Alterations & Additions

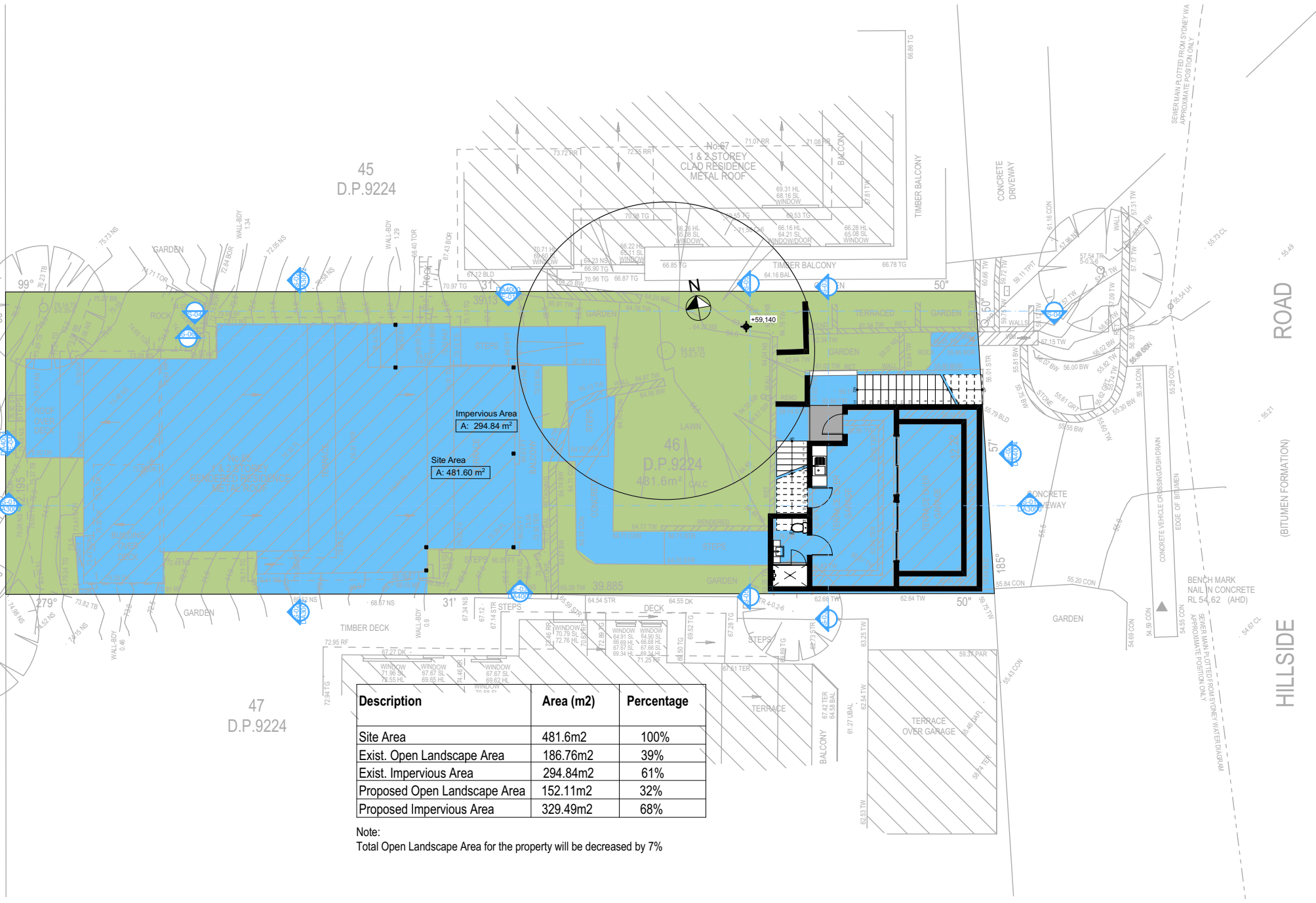
REVISION NO. DATE
- 20-12-2021
DRAWING NO.
DA1017

Plot Date: 20/12/2021
Sheet Size: A3

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Description	Area (m2)	Percentage
Site Area	481.6m2	100%
Exist. Open Landscape Area	186.76m2	39%
Exist. Impervious Area	294.84m2	61%
Proposed Open Landscape Area	152.11m2	32%
Proposed Impervious Area	329.49m2	68%

Note:
Total Open Landscape Area for the property will be decreased by 7%

2

LANDSCAPE OPEN SPACE EXISTING
1:200

Denotes Impervious Area

Denotes Pervious Area



Rapid Plans
www.rapidplans.com.au
PO Box 6239 Fitzroy East VIC 3068
Ph: (03) 9350-8845 Mob: 0414-945-024
Email: info@rapidplans.com.au

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BUILDING DESIGNER

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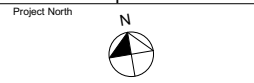
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Rust Sheet Metal to have R1.7 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3745
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.
Basic Certificate
Basic Certificate Number AA4663, 127009 S 15 Nathan009091629
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 200.0, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m2)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

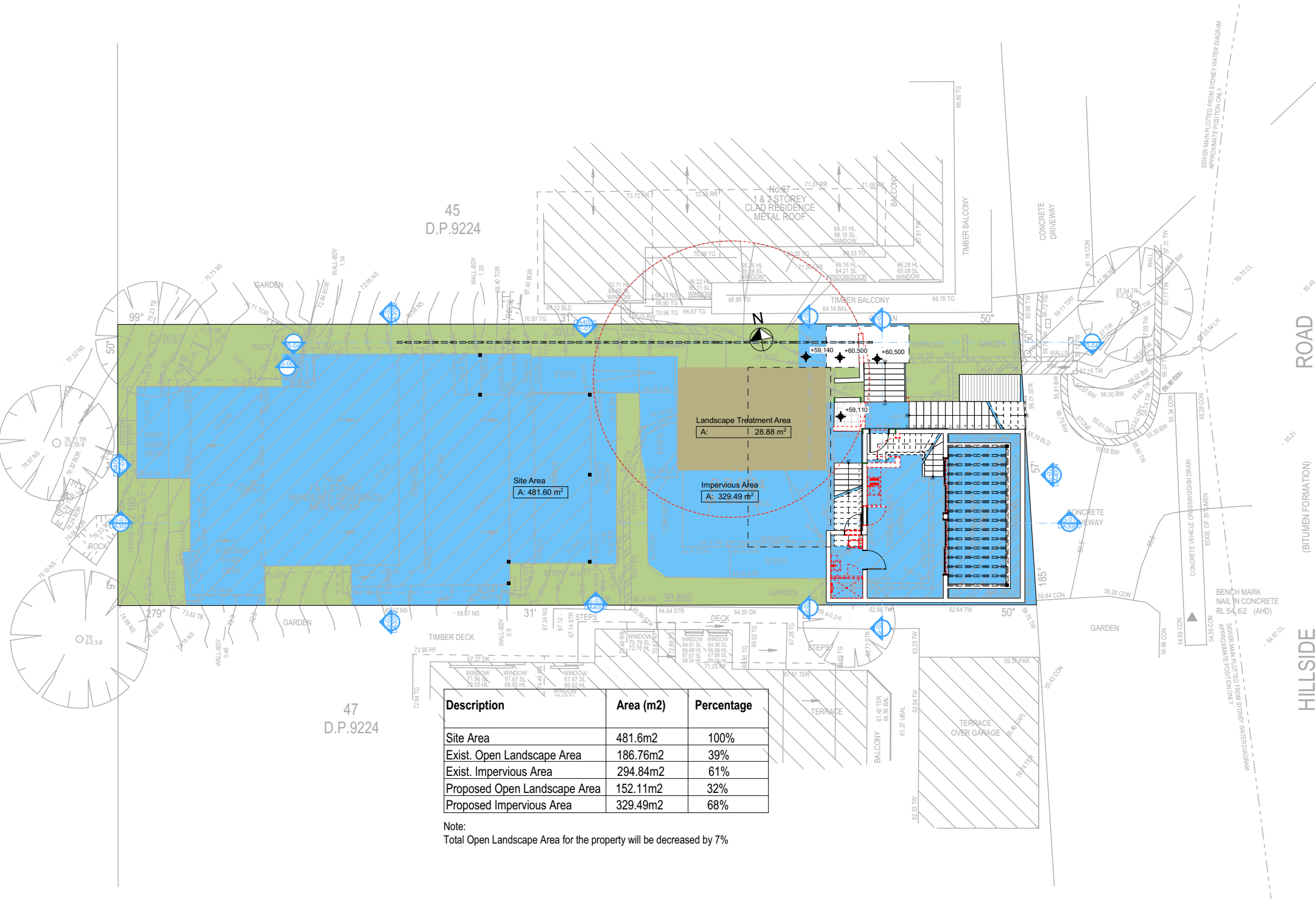
DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 20-12-2021

DRAWING NO.
DA1018

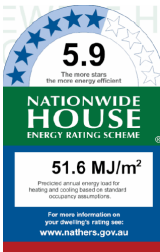
Plot Date: 20/12/2021
Sheet Size: A3



Description	Area (m2)	Percentage
Site Area	481.6m2	100%
Exist. Open Landscape Area	186.76m2	39%
Exist. Impervious Area	294.84m2	61%
Proposed Open Landscape Area	152.11m2	32%
Proposed Impervious Area	329.49m2	68%

Note:
Total Open Landscape Area for the property will be decreased by 7%

2 LANDSCAPE OPEN SPACE PROPOSED
1:200

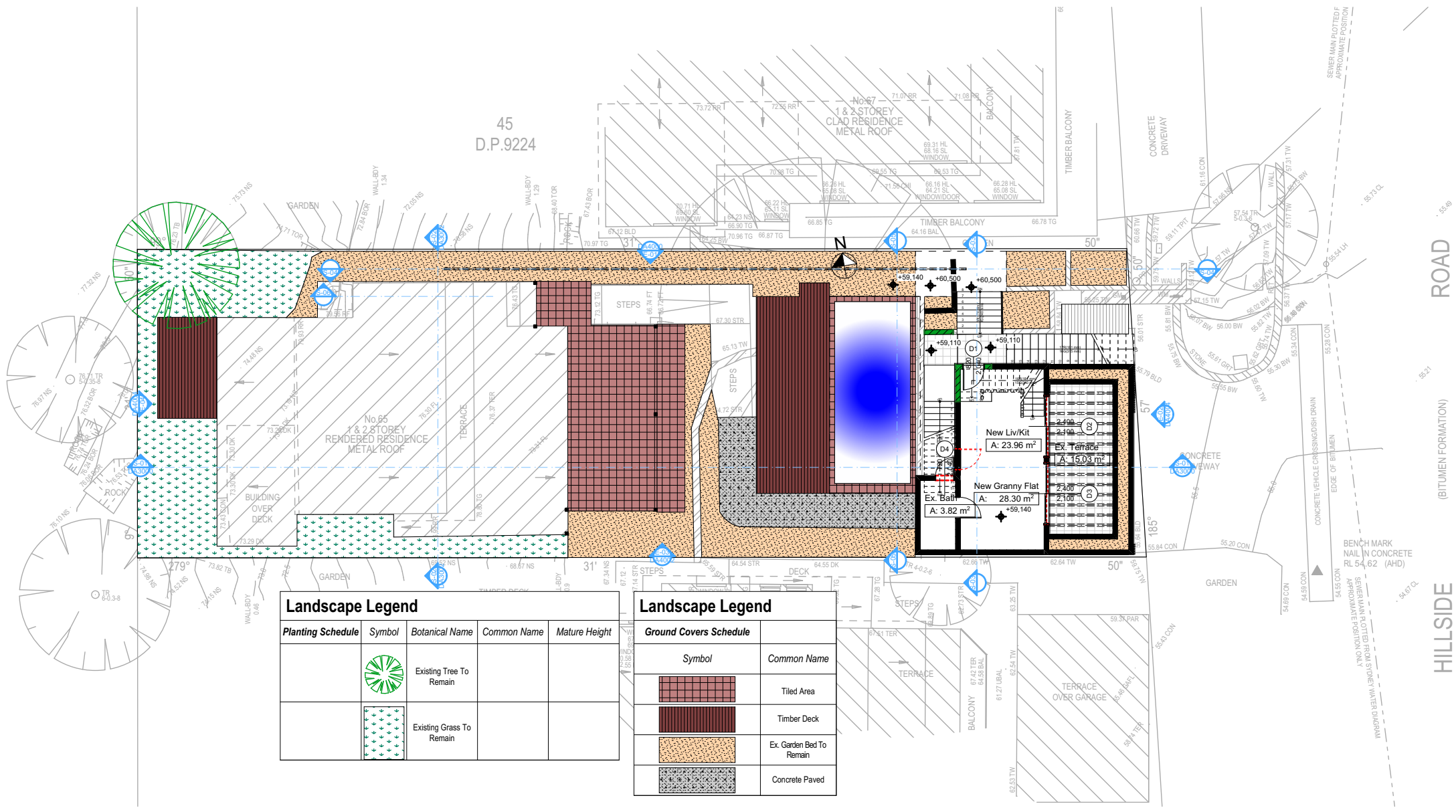


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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

2

LANDSCAPE PLAN
1:200



Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Existing Tree To Remain		
		Existing Grass To Remain		

Ground Covers Schedule	
Symbol	Common Name
	Tiled Area
	Timber Deck
	Ex. Garden Bed To Remain
	Concrete Paved



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DA APPLICATION ONLY
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DRAWING TITLE : SITE AND LOCATION Landscape Plan	
PROJECT NAME : Alterations & Additions	
REVISION NO.	DATE
-	20-12-2021
DRAWING NO. DA1019	
Plot Date:	20/12/2021
Sheet Size: A3	

Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.7 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers Specification and BCA
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certification
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Basic Certificate Number AA4663, 1270915 & Nathan00901629
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

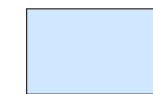
Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE :
SITE AND LOCATION
Landscape Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
-	20-12-2021
DRAWING NO. DA1019	
Plot Date:	20/12/2021
Sheet Size: A3	



Denotes New Works



Wall Legend

Denotes New Concrete Block Wall



Denotes Existing Wall



Denotes Demolished Item



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Email: info@rapidplans.com.au

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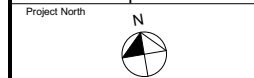
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NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have RT 14 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Building Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.
Basic Certificate
Basic Certificate Number AA4663, 1270915 & 1270916
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the base of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex/Var.
Rear Setback (Min.)	6.5m	Ex/Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex/Var.
Building envelope	3.5m@ 45Deg	Ex/Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE:
SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME:
Alterations & Additions

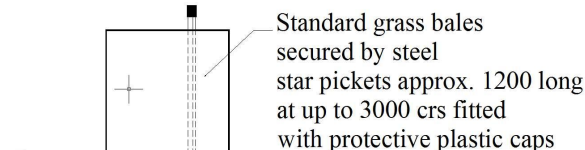
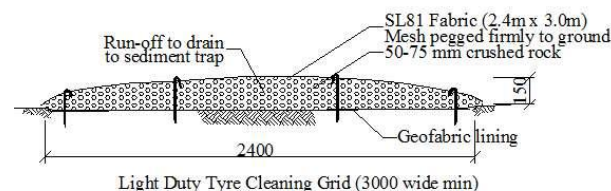
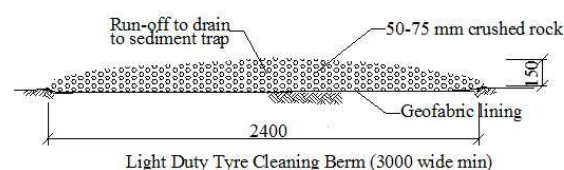
REVISION NO. DATE
- 20-12-2021
DRAWING NO.
DA1020

Plot Date: 20/12/2021
Sheet Size: A3

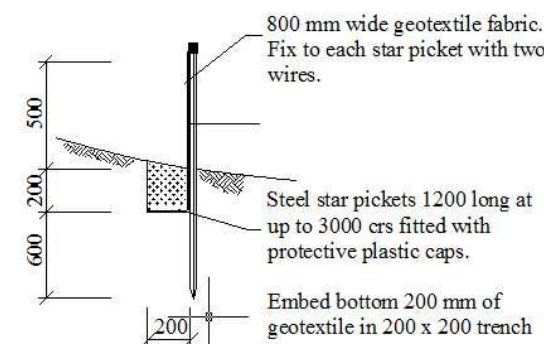
2

SEDIMENT & EROSION CONTROL PLAN

1:200



Typical Detail Grass Bale Sediment Barrier

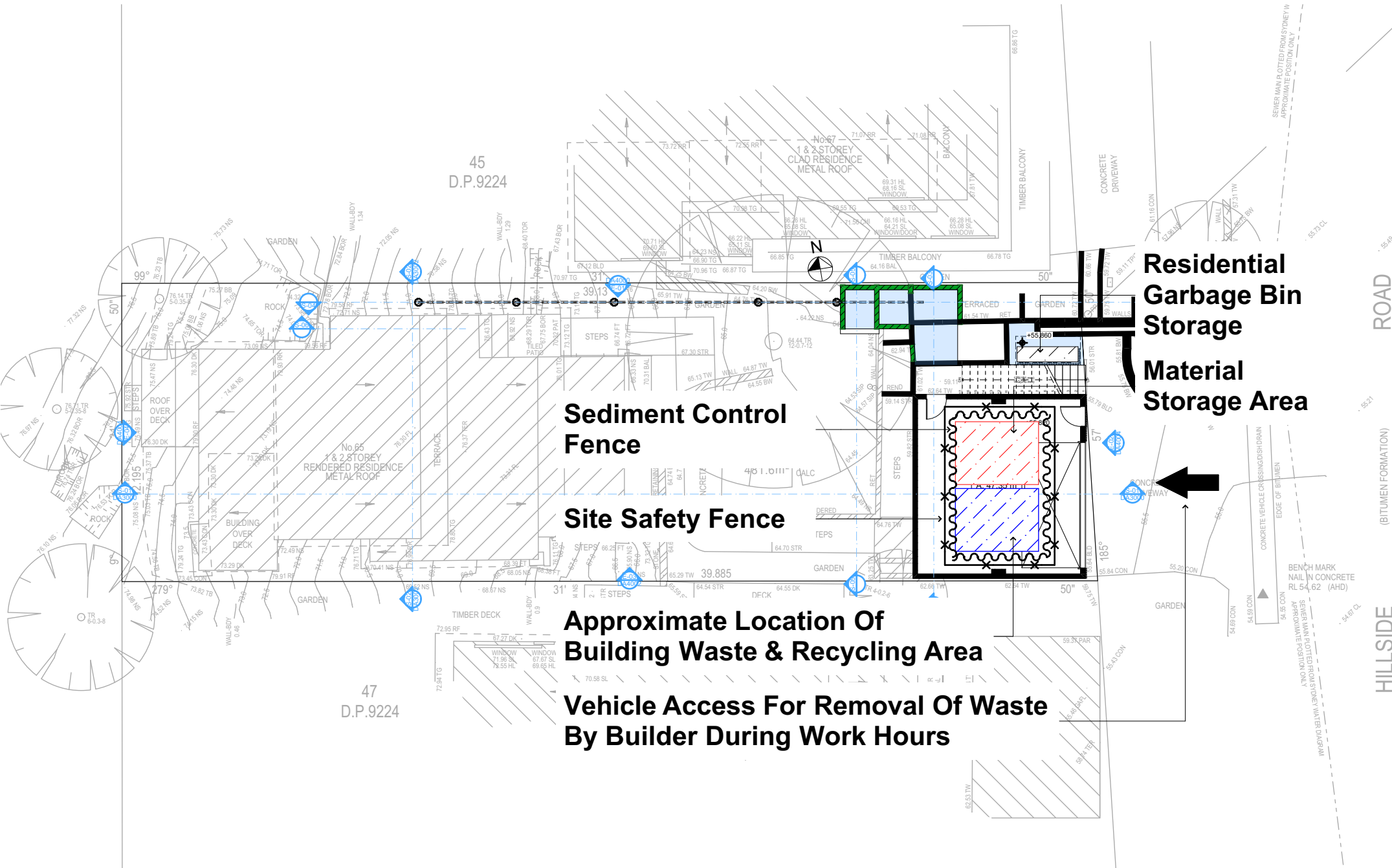


Typical Detail Sediment Control Barrier



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1. WASTE MANAGEMENT
1:200

Denotes New Works

Denotes New Concrete Block Wall

Denotes Existing Wall

Denotes Demolished Item

Wall Legend

Denotes New Works

Denotes New Concrete Block Wall

Denotes Existing Wall

Denotes Demolished Item

5.9

the more stars the more energy efficient

NATIONWIDE HOUSE ENERGY RATING SCHEME

51.6 MJ/m²

Prescribed annual energy use for heating and cooling based on standard occupancy assumptions.

For more information on your dwelling's energy use visit www.nathers.gov.au

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Waste Management Plan

Building Designers Association of Australia

Accredited Building Designer

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65 Hillside Road Newport is zoned E4-Environmental Living

Hillside Road Newport is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded Blue

Construction

Timber Framed Floor, Cladded Stud & Conc. Block Walls

Road Sheet Metal to have R1.74 insulation

Insulation to External Cladded Stud & Conc. Block Walls R1.7

Refer to Engineers Specification and BCA

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certification

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number AA4663, 1270915 & Nathan0091629

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of a window or glazed door and no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 20/12/2021

Project NO.: RP0821ALT

Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE: SITE AND LOCATION

Waste Management Plan

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 20-12-2021

DRAWING NO. DA1021

Plot Date: 20/12/2021

Sheet Size: A3

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 989 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 159.59 square metres of roof area.	✓	✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.	✓	✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 37 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.	✓	✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: solar (electric boosted).	✓	✓	✓



Denotes New Works



Wall Legend



Denotes New Concrete Block Wall



Denotes Existing Wall

Denotes Demolished Item



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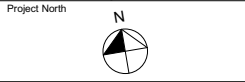
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NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.7 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers Specification and BCA
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3745
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a authorised Construction Certificate drawings by Rapid Plans.
Basic Certificate Number A444663, 1270915 & 1270916
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

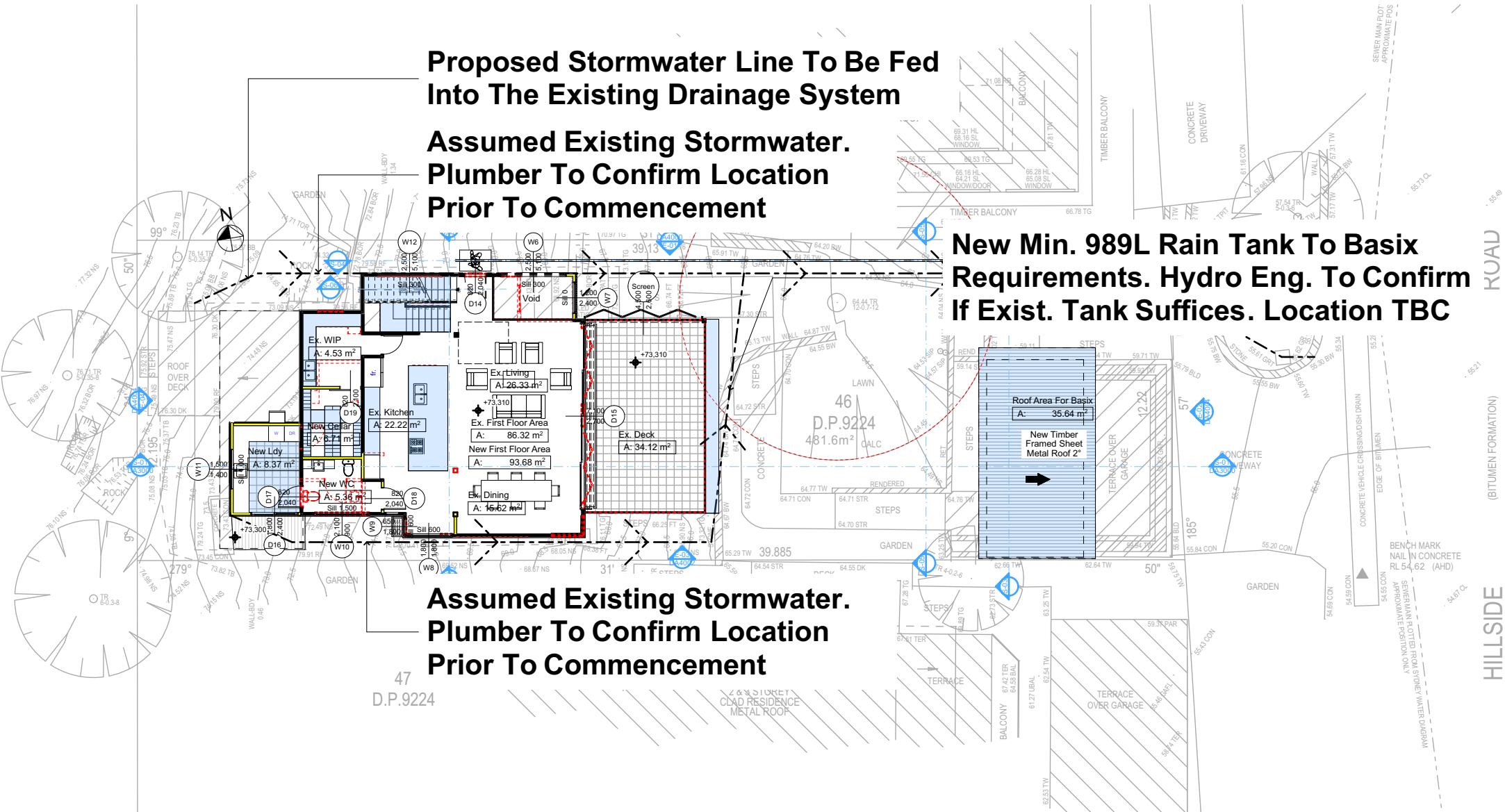
Site: 65 Hillside Road Newport

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 20-12-2021
DRAWING NO.
DA1022

Plot Date: 20/12/2021
Sheet Size: A3



4 STORMWATER PLAN
1:200

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement



These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

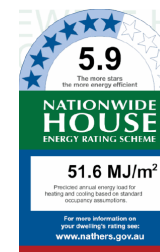
**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancy
to Rapid Plans**



DRAWING TITLE : **PLANS**
STUDIO

REVISION NO.	DATE
-	20-12-2021
DRAWING NO.	
DA2002	

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



Note:
All New Glazing To Be Double Glazed

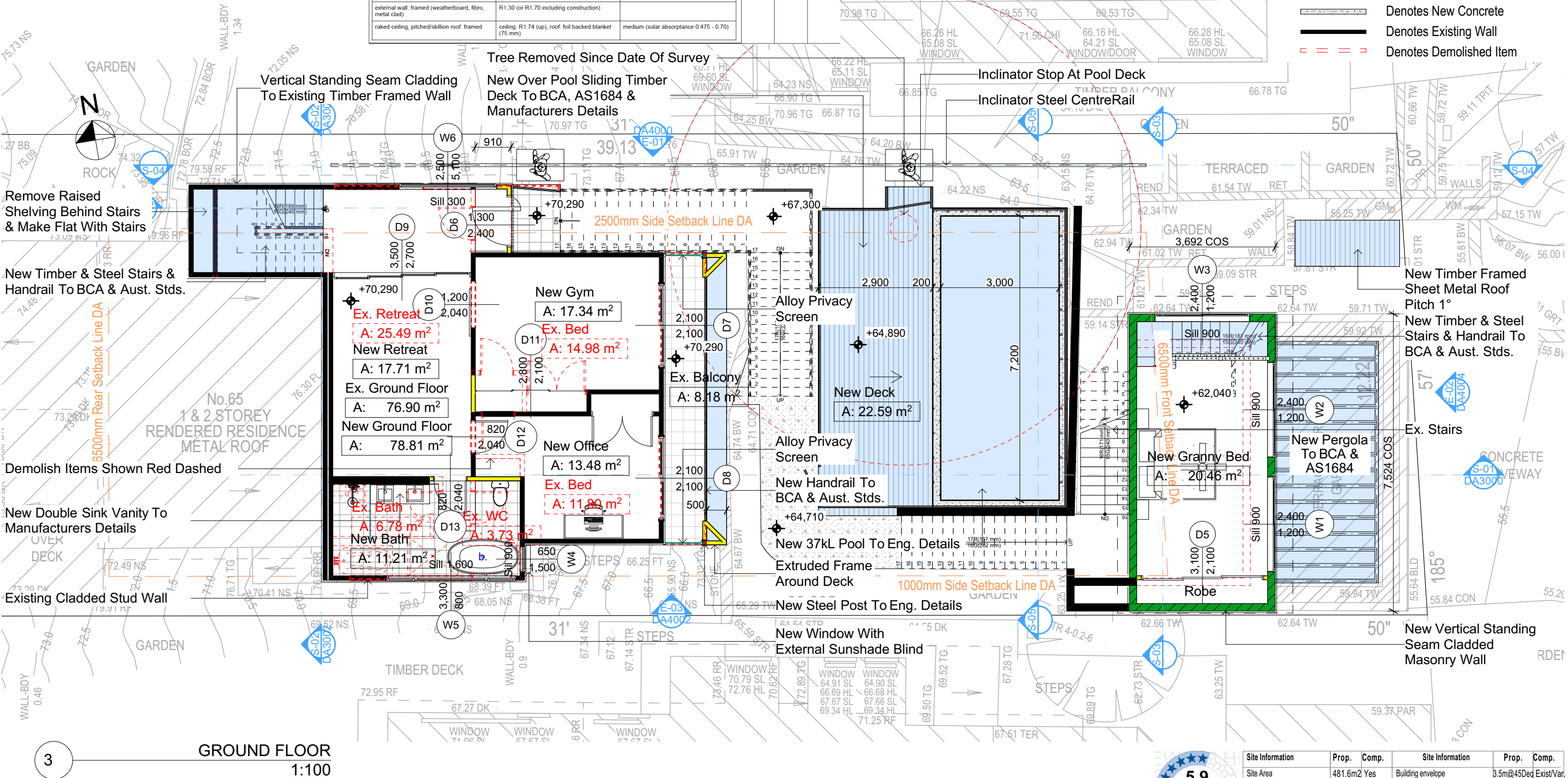
BASIX Certificate number: A444663

page 4 / 9

Construction	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

Wall Legend

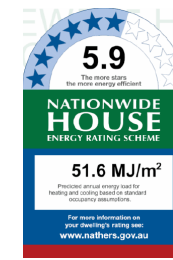


DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
65 Hillside Road Newport is not considered a heritage item
Certifying
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Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 Insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A444663, 1270061S & Nathans0006941629
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



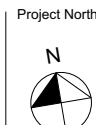
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes	Building envelope	3.5m@45Deg	Exist/Var.
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (60% min)	32%	Variation
Max Ceiling Ht Above Nat. GL	N/A	Yes	Impervious area (m ²)	68%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Exist/Var.	Maximum depth of fill (m)	1m	Yes
Rear Setback (Min.)	6.5m	Exist/Var.	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m/2.5m	Exist/Var.			



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9305-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 20/12/2021
Project NO: RP0821ALT
Project Status: DA
Client
Site: Anita & Erik Altmann
65 Hillside Road Newport
Sheet Size: A3

DRAWING TITLE :
PLANS
GROUND FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
20-12-2021
DRAWING NO.
DA2003

Note:
All New Glazing To Be Double Glazed

BASIX Certificate number: A444663

page 4 / 9

Construction	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)	

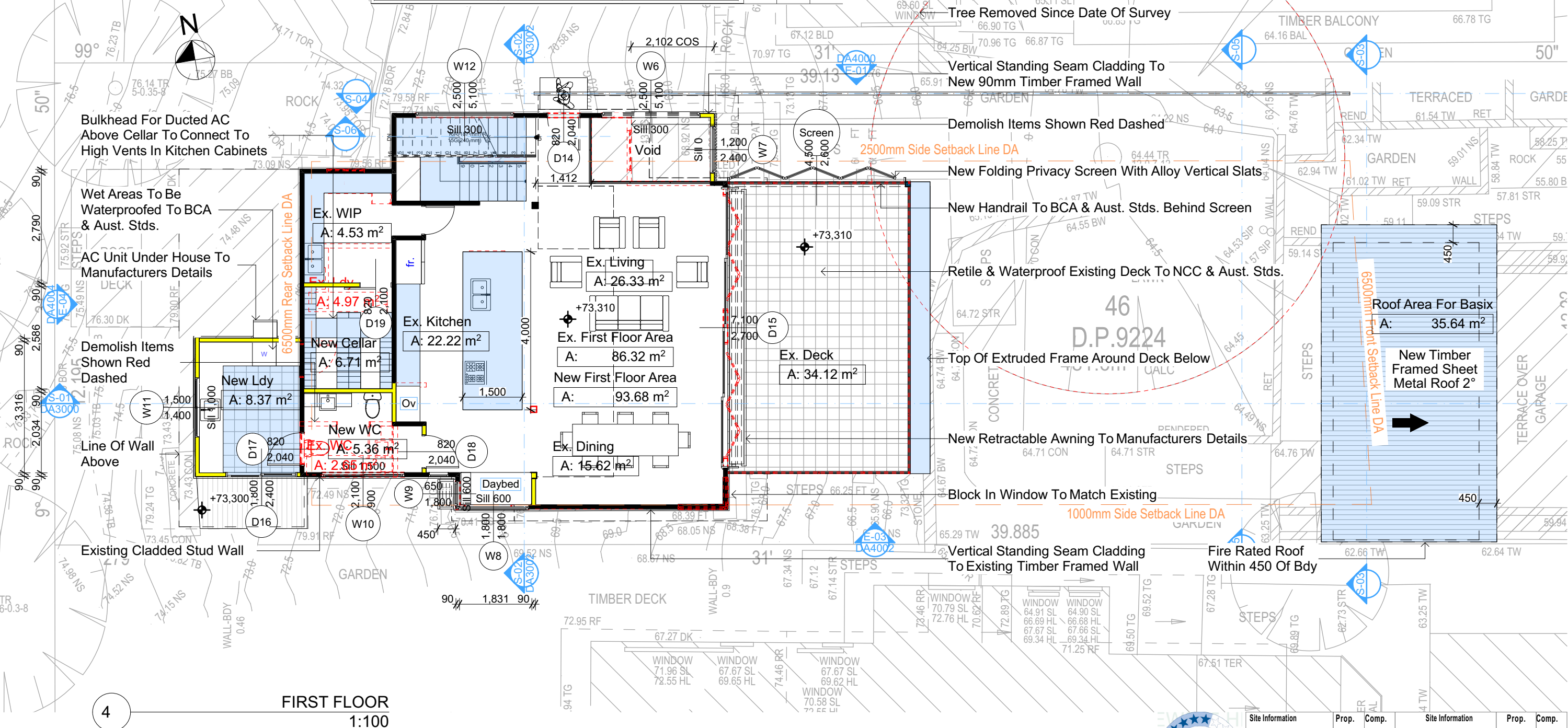
Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Construction

Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 Insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01289-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

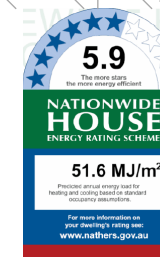
Basix

Basix Certificate Number A444663, 1270061S & Natthers0006941629

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes	Building envelope	3.5m@45Deg	Exist/Var.
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (60% min)	32%	Variation
Max Ceiling Ht Above Nat. GL	N/A	Yes	Impervious area (m ²)	68%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Exist/Var.	Maximum depth of fill (m)	1m	Yes
Rear Setback (Min.)	6.5m	Exist/Var.	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m/2.5m	Exist/Var.			



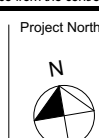
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
20/12/2021
RP0821ALT
DA

Client
Site:

Anita & Erik Altmann
65 Hillside Road Newport

Sheet Size: A3

DRAWING TITLE :
**PLANS
FIRST FLOOR**

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
20-12-2021
DRAWING NO.
DA2004

Note:
All New Glazing To Be Double Glazed

BASIX Certificate number: A444663

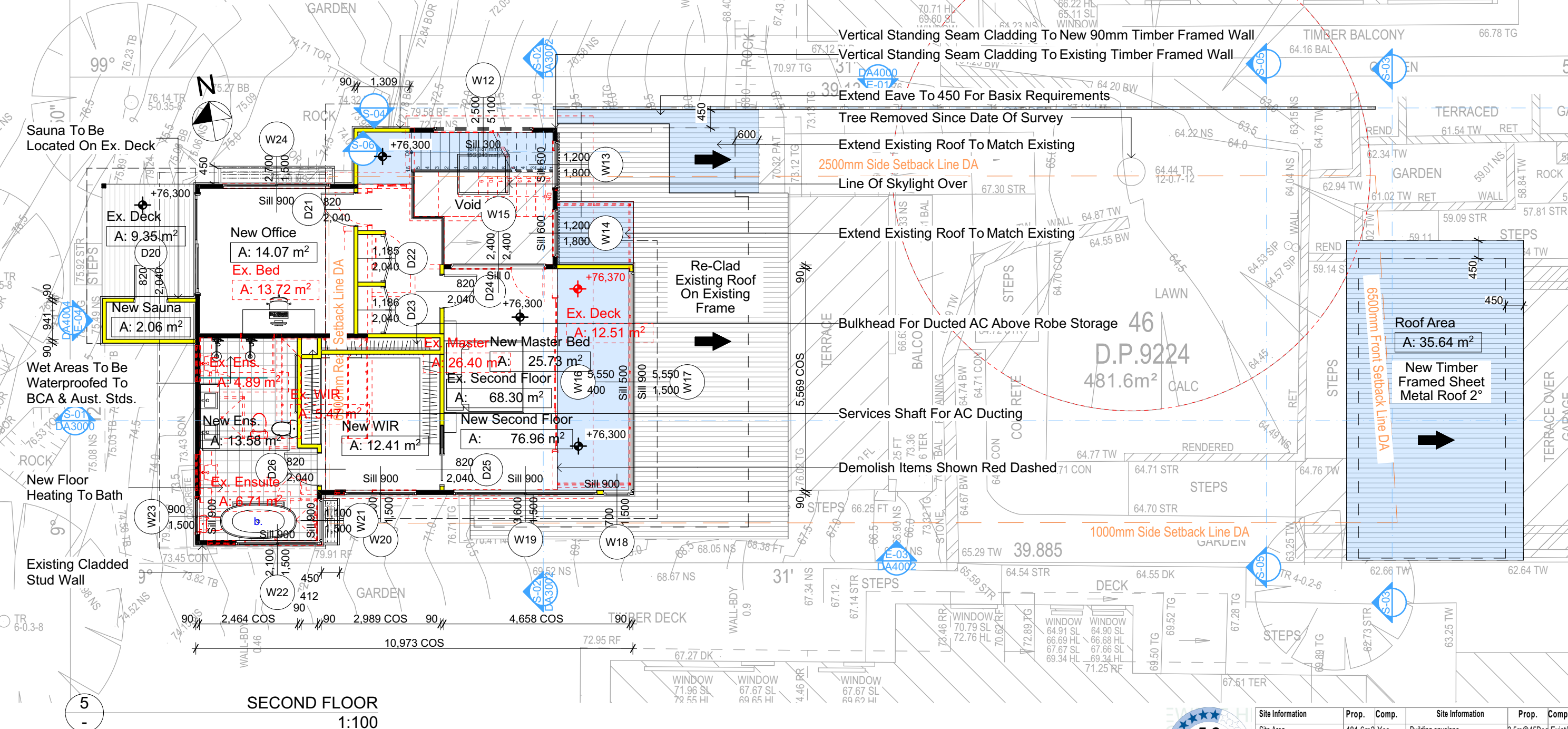
page 4 / 9

Construction	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
raked ceiling, pitched/skillion roof: framed (75 mm)	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)	

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item



NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
65 Hillside Road Newport is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 Insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A444663, 1270061S & Nathens0006941629
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

5.9
NATIONWIDE HOUSE ENERGY RATING SCHEME
51.6 MJ/m²
For more information on your energy rating visit: www.nathers.gov.au

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes	Building envelope	3.5m@45Deg	Exist/Var.
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (60% min)	32%	Variation
Max Ceiling Ht Above Nat. GL	N/A	Yes	Impervious area (m ²)	68%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Exist/Var.	Maximum depth of fill (m)	1m	Yes
Rear Setback (Min.)	6.5m	Exist/Var.	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m/2.5m	Exist/Var.			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



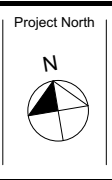
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9505-8865
Mobile: 0414-945-024
Email: info@rapidplans.com.au

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 20/12/2021
Project NO: RP0821ALT
Project Status: DA
Client: Anita & Erik Altmann
Site: 65 Hillside Road Newport
Sheet Size: A3

DRAWING TITLE :
PLANS
SECOND FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 20-12-2021
DRAWING NO.
DA2005

45
D.P.9224

Denotes New Works

Wall Legend

Denotes Demolished Item

Tree Removed Since Date Of Survey

Re-Clad Existing Roof
On Existing Frame

New Solar Voltaic
Panels To
Manufacturers Details

Re-Clad Existing Roof
On Existing Frame

New Solar Voltaic
Panels To
Manufacturers Details

New Skylight To
Manufacturers Details

Existing Sheet
Metal Clad Roof

Existing Sheet
Metal Clad Roof

New Timber Framed Sheet
Metal Roof To Match Into
Existing Pitch Approx. 6°

Roof Area For Basix
A: 159.59 m²

Existing Sheet
Metal Clad Roof

Re-Clad Existing Roof
On Existing Frame

ROOF
1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
65 Hillside Road Newport is not considered a heritage item

Certifying
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plans are not to be used for the construction certificate application by any
Certifying Authority without the written permission of Rapid Plans or the
supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 Insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A444663, 1270061S & Nathens0006941629
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes	Building envelope	3.5m@45Deg	Exist/Var.
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (60% min)	32%	Variation
Max Ceiling Ht Above Nat. GL	N/A	Yes	Impervious area (m ²)	68%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Exist/Var.	Maximum depth of fill (m)	1m	Yes
Rear Setback (Min.)	6.5m	Exist/Var.	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m/2.5m	Exist/Var.			

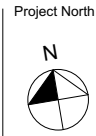


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purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

GBJ
20/12/2021
RP0821ALT
DA

Anita & Erik Altmann
65 Hillside Road Newport

Sheet Size: A3

DRAWING TITLE :
**PLANS
ROOF**

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
20-12-2021
DRAWING NO.
DA2006

New Skylight To Manufacturers Details

+79,930

6 ROOF
Existing
Sheet Metal
Clad Roof

Sauna To Be
Located On
Ex. Deck

+76,300

SECOND FLOOR

Ag. Pipe &
Clear Behind
Wall Where
Necessary

+73,310

4 FIRST FLOOR

+70,290

GROUND FLOOR

BASIX Certificate number: A444663

page 4/19

Construction	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)		✓
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		✓
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)	✓

New Min. 989L Rain Tank
To Basix Requirements.
Hydro Eng. To Confirm If
Exist. Tank Suffices.
Location TBC

Natural Ground Level

New Timber Framed Sheet
Metal Roof To Match Into
Existing Pitch Approx. 6°

Bulkhead For Ducted AC
Above Robe Storage
Services Shaft For AC Ducting
Re-Clad Existing Roof On
Existing Frame
New Retractable Awning To
Manufacturers Details

New Folding Privacy Screen
With Alloy Vertical Slats

New Handrail To BCA &
Aust. Stds. Behind Screen

Alloy Privacy Screen

Extruded Frame Around Deck

Demolish Items Shown Red Dashed
Block In Door To Match Existing

Alloy Cladding Between Posts
To Undercroft Area

Ex. Stairs
New Over Pool Sliding Timber
Deck To BCA, AS1684 &
Manufacturers Details
New Concrete Slab To
Eng. Details

Adjoins DA4001

+59,140

2 STUDIO

S-01

SECTION 1
1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

65 Hillside Road Newport is zoned E4-Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
65 Hillside Road Newport is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 Insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A444663, 1270061S & Nathens0006941629

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes	Building envelope	3.5m@45Deg	Exist/Var.
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (60% min)	32%	Variation
Max Ceiling Ht Above Nat. GL	N/A	Yes	Impervious area (m ²)	68%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Exist/Var.	Maximum depth of fill (m)	1m	Yes
Rear Setback (Min.)	6.5m	Exist/Var.	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m/2.5m	Exist/Var.			

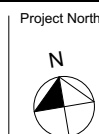


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9305-8665
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
20/12/2021
RP0821ALT
DA

Client
Site:
Anita & Erik Altmann
65 Hillside Road Newport

Sheet Size: A3

DRAWING TITLE :

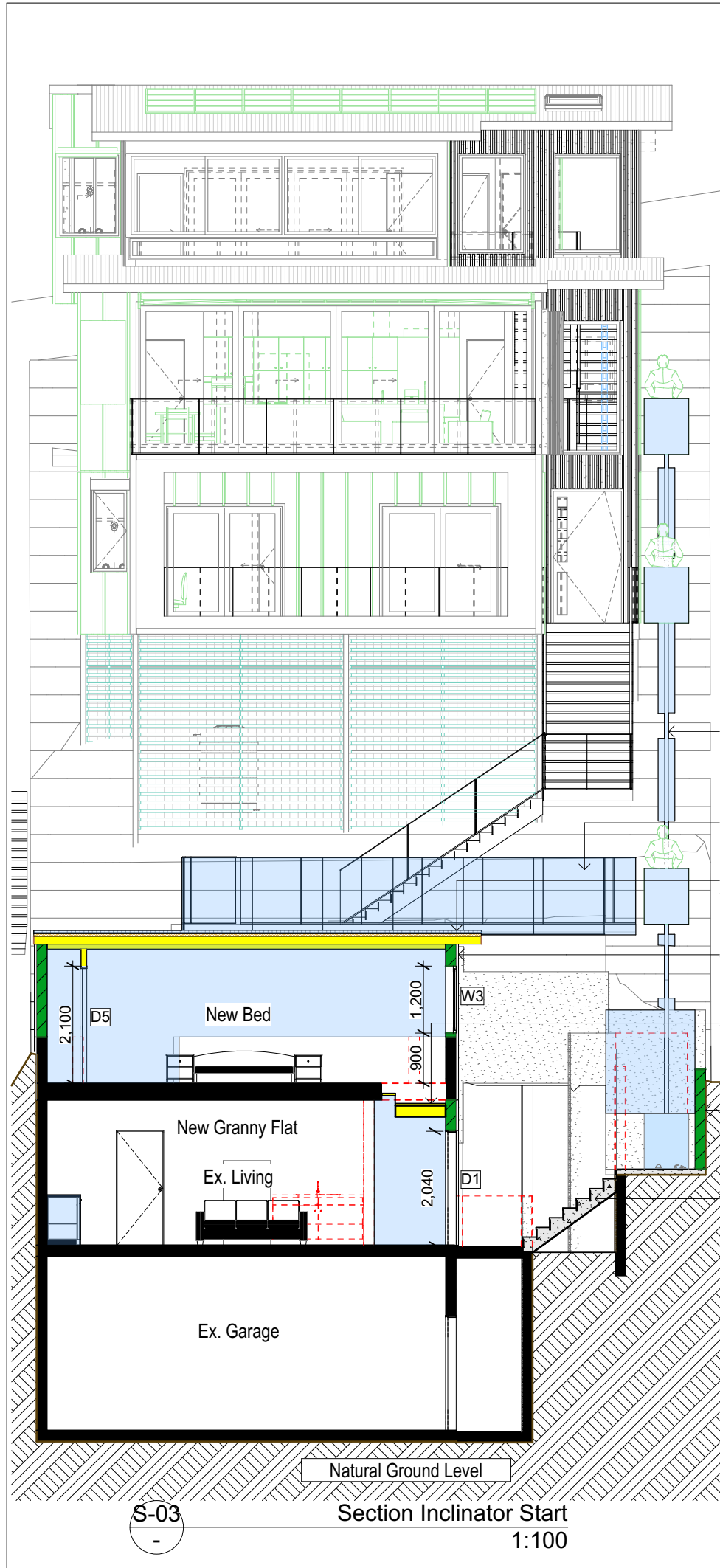
SECTIONS
SECTION 1

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
20-12-2021
DRAWING NO.
DA3000



- +79,930
6 ROOF
 - +76,300
5 SECOND FLOOR
 - +73,310
4 FIRST FLOOR
 - +70,290
3 GROUND FLOOR
 - +55,820
1 GARAGE
- New Timber Framed Sheet Metal Roof To Match Into Existing Pitch Approx. 6°
- Vertical Standing Seam Cladding To Existing Timber Framed Wall
- New Inclinator To Manufacturers Details
- New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.
- New Timber Framed Sheet Metal Roof 2°
- New Vertical Standing Seam Cladded Masonry Wall
- New Timber & Steel Stairs & Handrail To BCA & Aust. Stds.
- New Concrete Block Retaining Wall To Eng. Details
- New Concrete Stairs To BCA, Aust. Stds. & Eng. Details

New Timber Framed Sheet Metal Roof To Match Into Existing Pitch Approx. 6°

Vertical Standing Seam Cladding To Existing Timber Framed Wall

New Inclinator To Manufacturers Details

New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.

New Timber Framed Sheet Metal Roof 2°

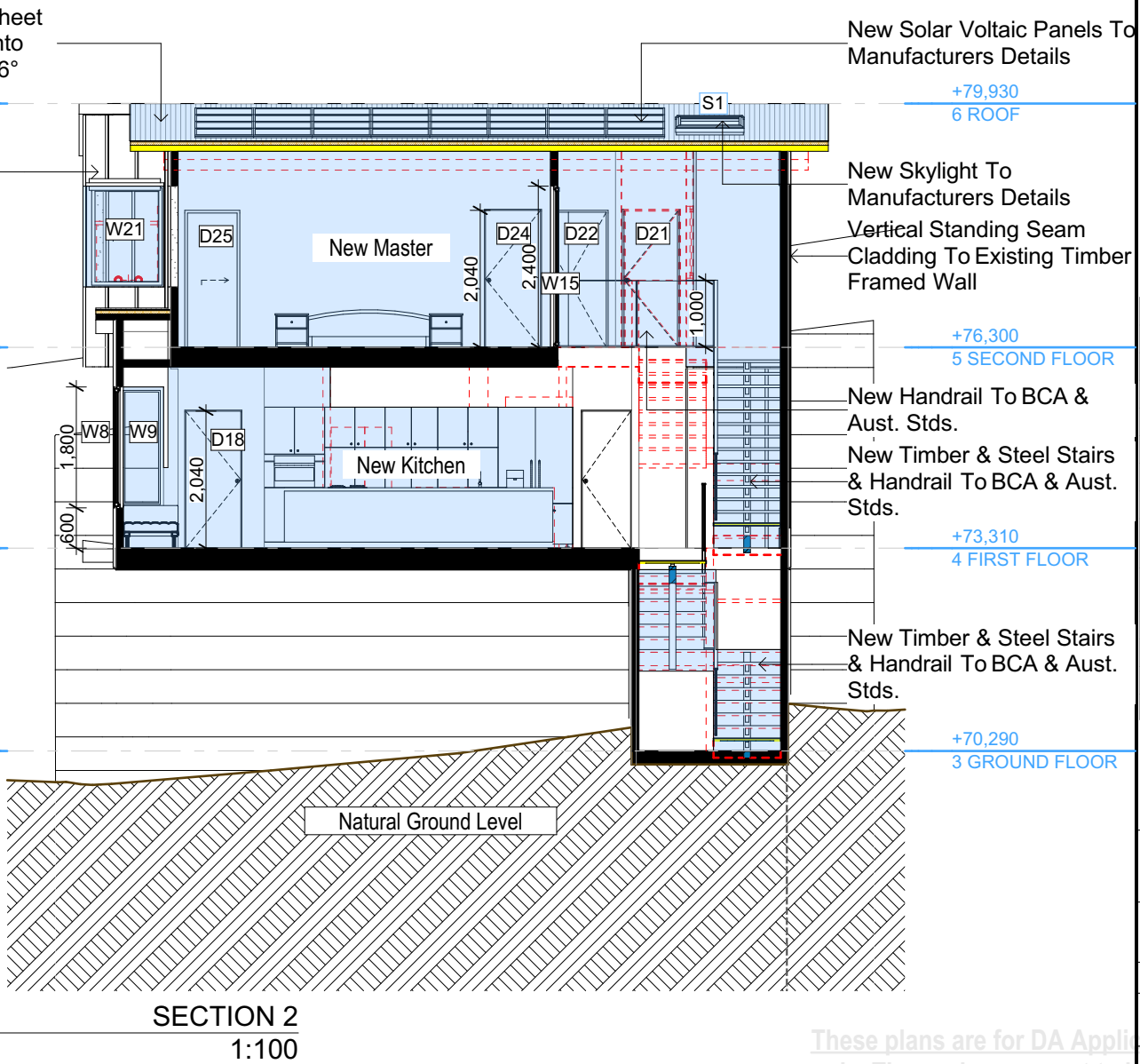
New Vertical Standing Seam Cladded Masonry Wall

New Timber & Steel Stairs & Handrail To BCA & Aust. Stds.

New Concrete Block Retaining Wall To Eng. Details

New Concrete Stairs To BCA, Aust. Stds. & Eng. Details

S-02



New Solar Voltaic Panels To Manufacturers Details

New Skylight To Manufacturers Details

Vertical Standing Seam Cladding To Existing Timber Framed Wall

New Handrail To BCA & Aust. Stds.

New Timber & Steel Stairs & Handrail To BCA & Aust. Stds.

New Timber & Steel Stairs & Handrail To BCA & Aust. Stds.

SECTION 2
1:100



These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information		Prop.	Comp.
Site Area	481.6m2	Yes	
Housing Density (dwelling/m2)	1	Yes	
Max Ceiling Ht Above Nat. GL	N/A	Yes	
Max Bldg Ht Above Nat. GL	8.5m	Variation	
Front Setback (Min.)	6.5m	Ex./Var.	
Rear Setback (Min.)	6.5m	Ex./Var.	
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.	
Building envelope	3.5m@ 45Deg	Ex./Var.	
% of landscape open space (60% min)	32%	Variation	
Impervious area (m2)	68%	Variation	
Maximum cut into gnd (m)	1.9m	Yes	
Maximum depth of fill (m)	1m	Yes	
No. of car spaces provided	2	Yes	

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE: SECTIONS
SECTION 3

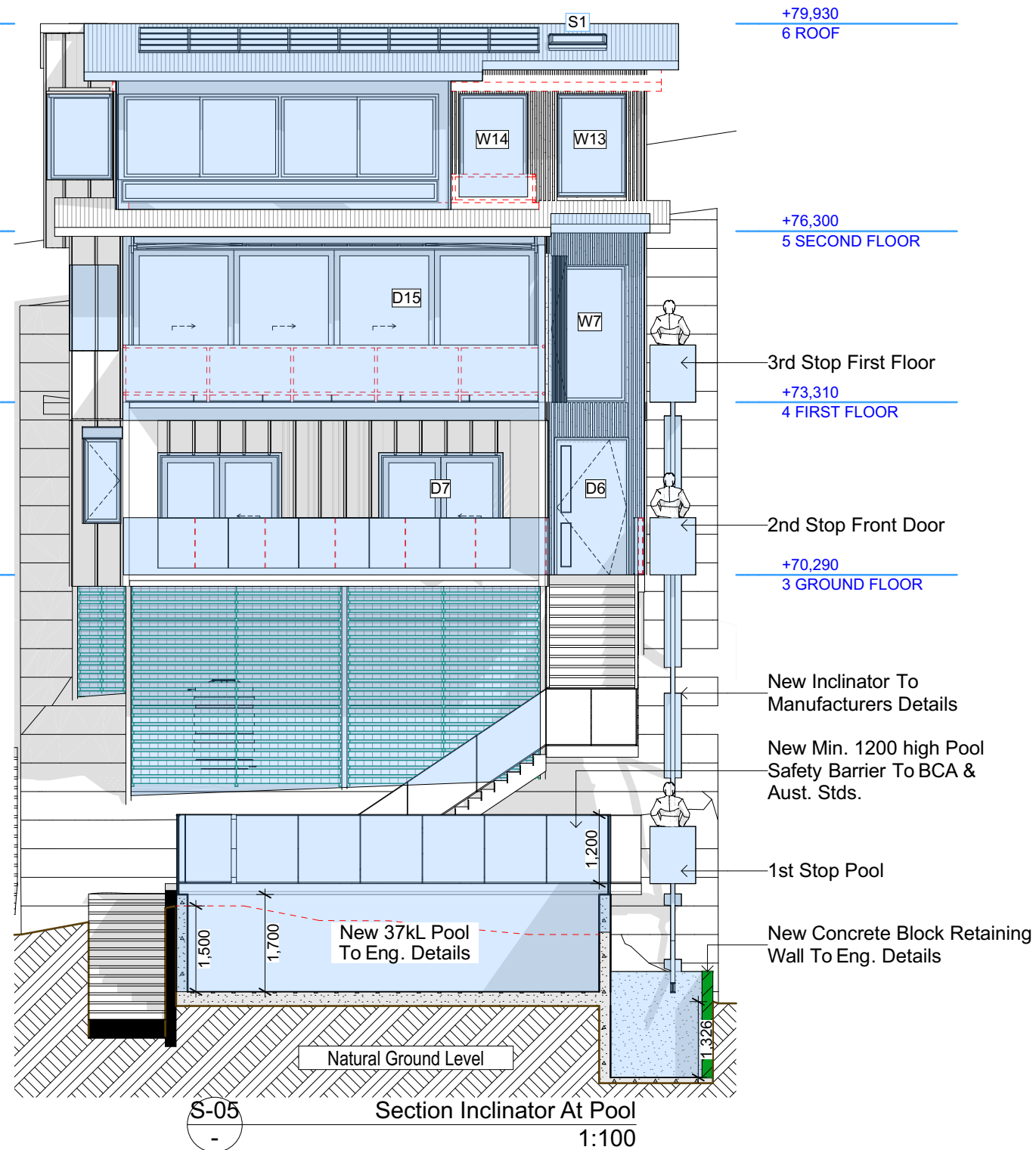
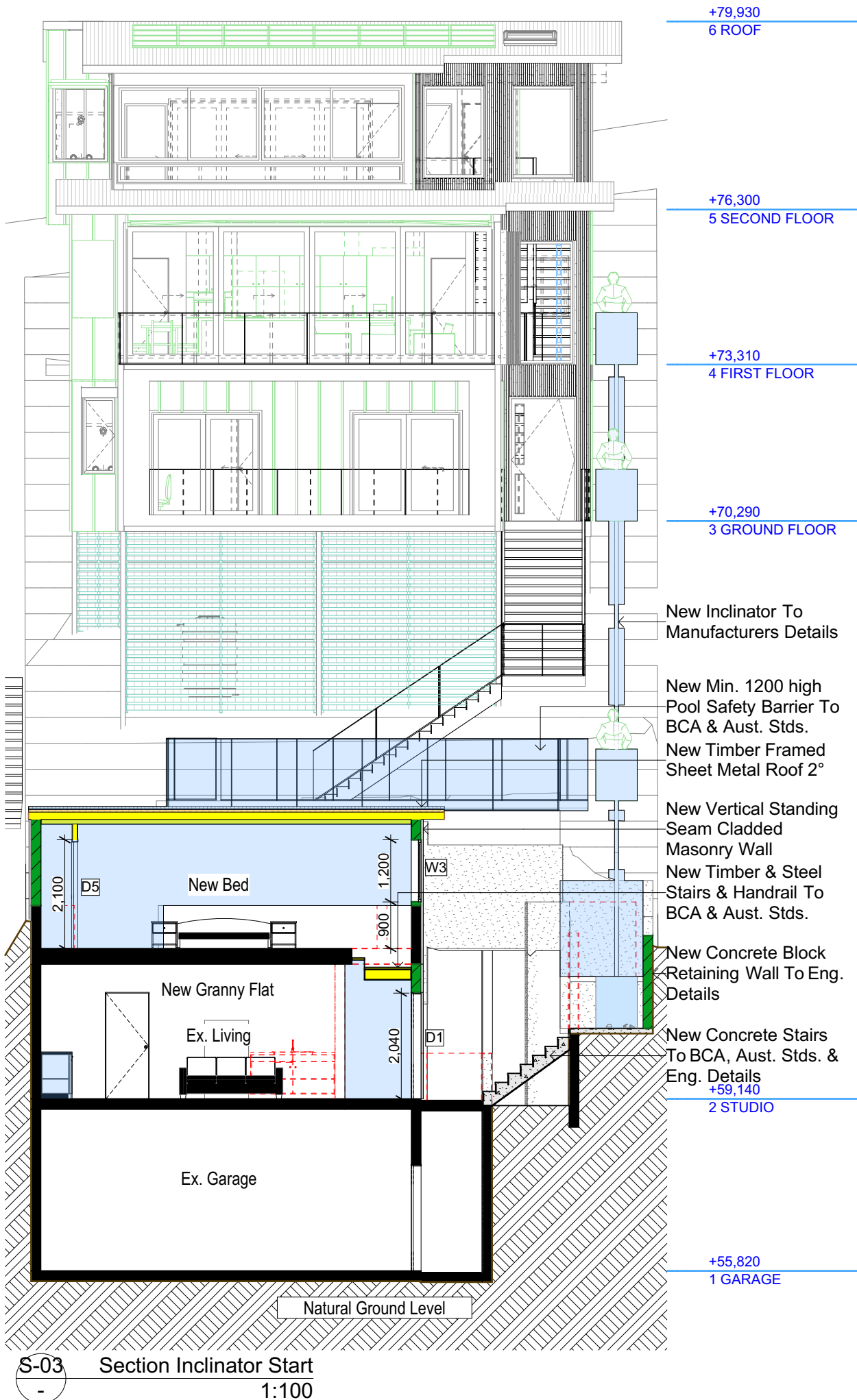
PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

- 20-12-2021

DRAWING NO. **DA3002**

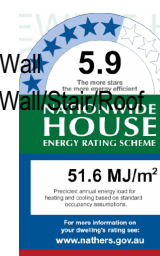
Plot Date: 20/12/2021
Sheet Size: A3



Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

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bdaa
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

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ACCREDITED BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have RT14 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	481.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m2)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE:
SECTIONS
SECTION INCLINATOR 1

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 20-12-2021

DRAWING NO.
DA3003

Plot Date: 20/12/2021
Sheet Size: A3



Denotes New Works

Wall Legend



Denotes New Timber Framed Roof



Denotes New Concrete Block Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item

New Timber Framed Sheet
Metal Roof To Match Into
Existing Pitch Approx. 6°

Existing Sheet Metal
Clad Roof

Extend Existing Roof
To Match Existing

New Folding Privacy
Screen With Alloy
Vertical Slats

New Handrail To BCA &
Aust. Stds. Behind Screen

Alloy Privacy
Screen

Extruded Frame
Around Deck

New Inclinator To
Manufacturers Details

New 37KL Pool To
Eng. Details

New Min. 1200 high
Pool Safety Barrier To
BCA & Aust. Stds.

Ex. Retaining Wall

Demolish Items Shown
Red Dashed

Vertical Standing
Seam Cladding To
Existing Masonry Wall

New Vertical Standing
Seam Cladded
Masonry Wall

New Pergola To
BCA & AS1684

Ex. Garden
Bed

Ex. Garden
Bed

Ex. Garden
Bed

Natural Ground Level

+79,930
6 ROOF

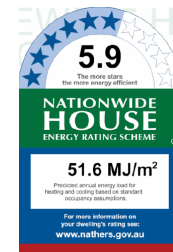
+76,300
5 SECOND FLOOR

+73,310
4 FIRST FLOOR

+70,290
3 GROUND FLOOR

+59,140
2 STUDIO

S-04 Section Inclinator Long Section
1:100



**DA APPLICATION
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Rapid Plans
Building Design and Architectural Drafting
PO Box 6239 Fitzroy North VIC 3060
Tel: (03) 9350-8844 Mobile: 0414-545-024
Email: info@rapidplans.com.au

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.7 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS0128-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number AA4663, 1270915 & Nether00991629
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
N

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

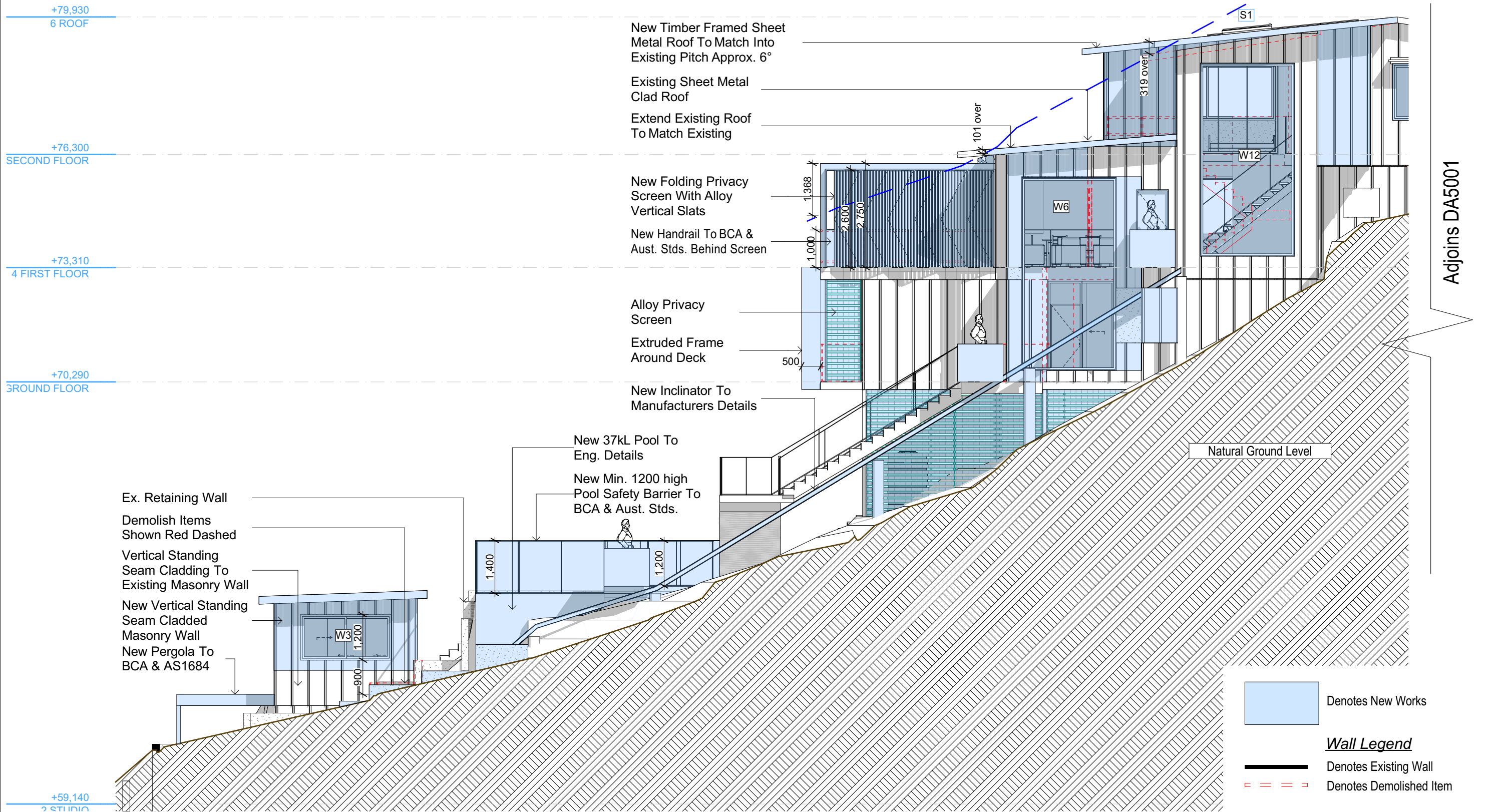
DRAWING TITLE: SECTIONS
SECTION INCLINATOR 2

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 20-12-2021

DRAWING NO.
DA3004

Plot Date: 20/12/2021
Sheet Size: A3



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

65 Hillside Road Newport is zoned E4-Environmental Living. All Plans to be read in conjunction with Basix Certificate. New Works to be constructed shown in Shaded/Blue. 65 Hillside Road Newport is not considered a heritage item.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction

Timber Framed Floor, Cladded Stud & Conc. Block Walls. Roof Sheet Metal to have R1.74 Insulation. Insulation to External Cladded Stud & Conc. Block Walls R1.7. Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA. Timber framing to BCA and AS 1684. Termite Management to BCA and AS 3660.1. Glazing to BCA and AS01288-2047. Waterproofing to BCA and AS 3740. New Lighting to have minimum of 40% compact fluorescent lamps.

Basix

Basix Certificate Number A444663, 1270061S & Natthers0006941629. All Plans to be read in conjunction with Basix Certificate. The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

5.9

NATIONWIDE HOUSE ENERGY RATING SCHEME

51.6 MJ/m²

For more information on your energy rating, visit: www.nathers.gov.au

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes	Building envelope	3.5m@45Deg	Exist/Var.
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (60% min)	32%	Variation
Max Ceiling Ht Above Nat. GL	N/A	Yes	Impervious area (m ²)	68%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Exist/Var.	Maximum depth of fill (m)	1m	Yes
Rear Setback (Min.)	6.5m	Exist/Var.	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m/2.5m	Exist/Var.			

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Rapid Plans

Building Design and Architectural Drafting

bdaa

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa

ACCREDITED BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Checked Plot Date: Project Status

GBJ 20/12/2021 RP0821ALT DA

Client Site:

Anita & Erik Altmann 65 Hillside Road Newport

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS NORTH-1

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE: 20-12-2021

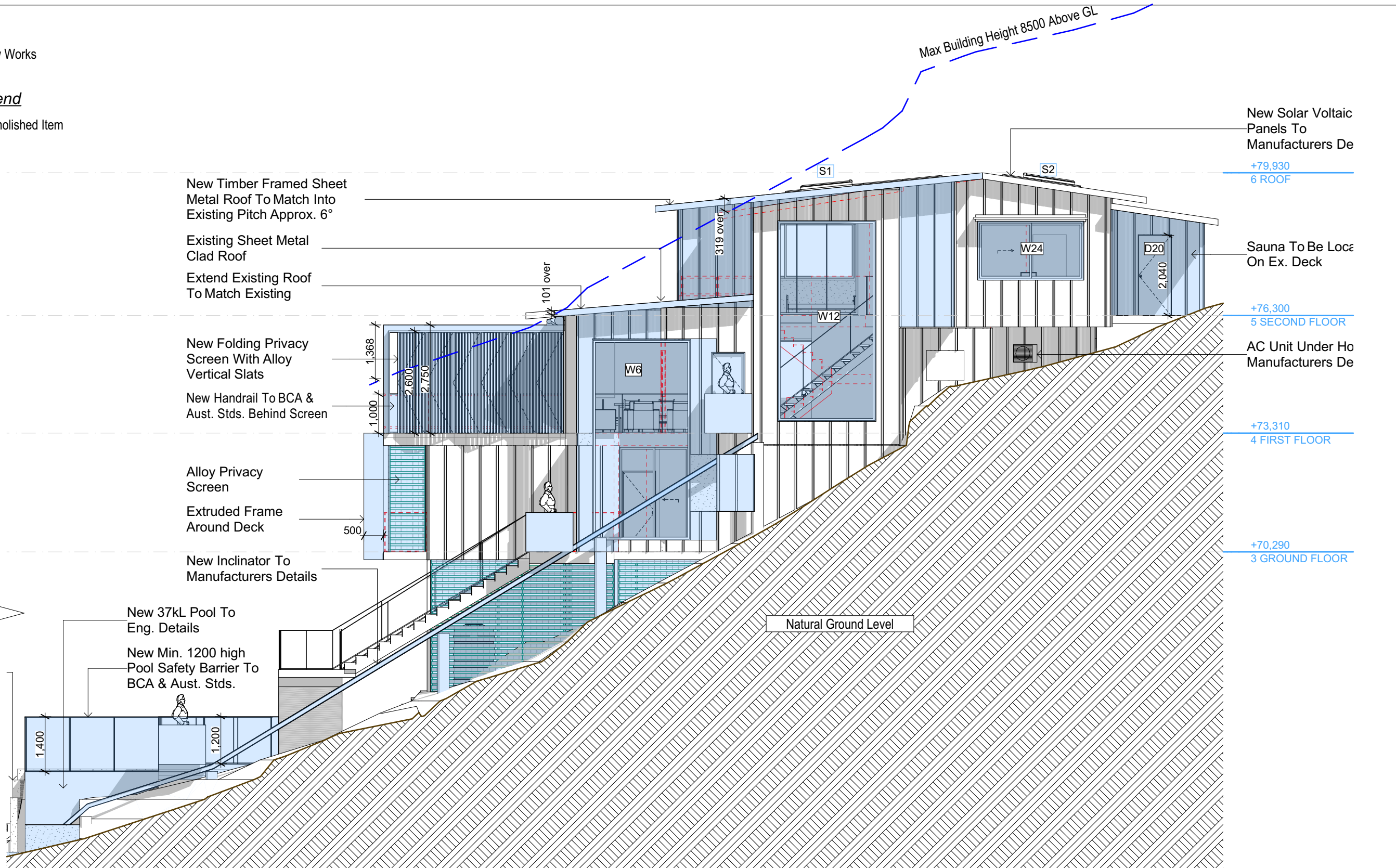
DRAWING NO. DA4000

Denotes New Works

Wall Legend

Denotes Demolished Item

Adjoins DA5000



E-01

North
1:100

NOTES

65 Hillside Road Newport is zoned E4-Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
65 Hillside Road Newport is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 Insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A444663, 1270061S & Nathers0006941629

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes	Building envelope	3.5m@45Deg	Exist/Var.
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (60% min)	32%	Variation
Max Ceiling Ht Above Nat. GL	N/A	Yes	Impervious area (m ²)	68%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Exist/Var.	Maximum depth of fill (m)	1m	Yes
Rear Setback (Min.)	6.5m	Exist/Var.	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m/2.5m	Exist/Var.			

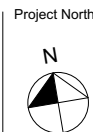
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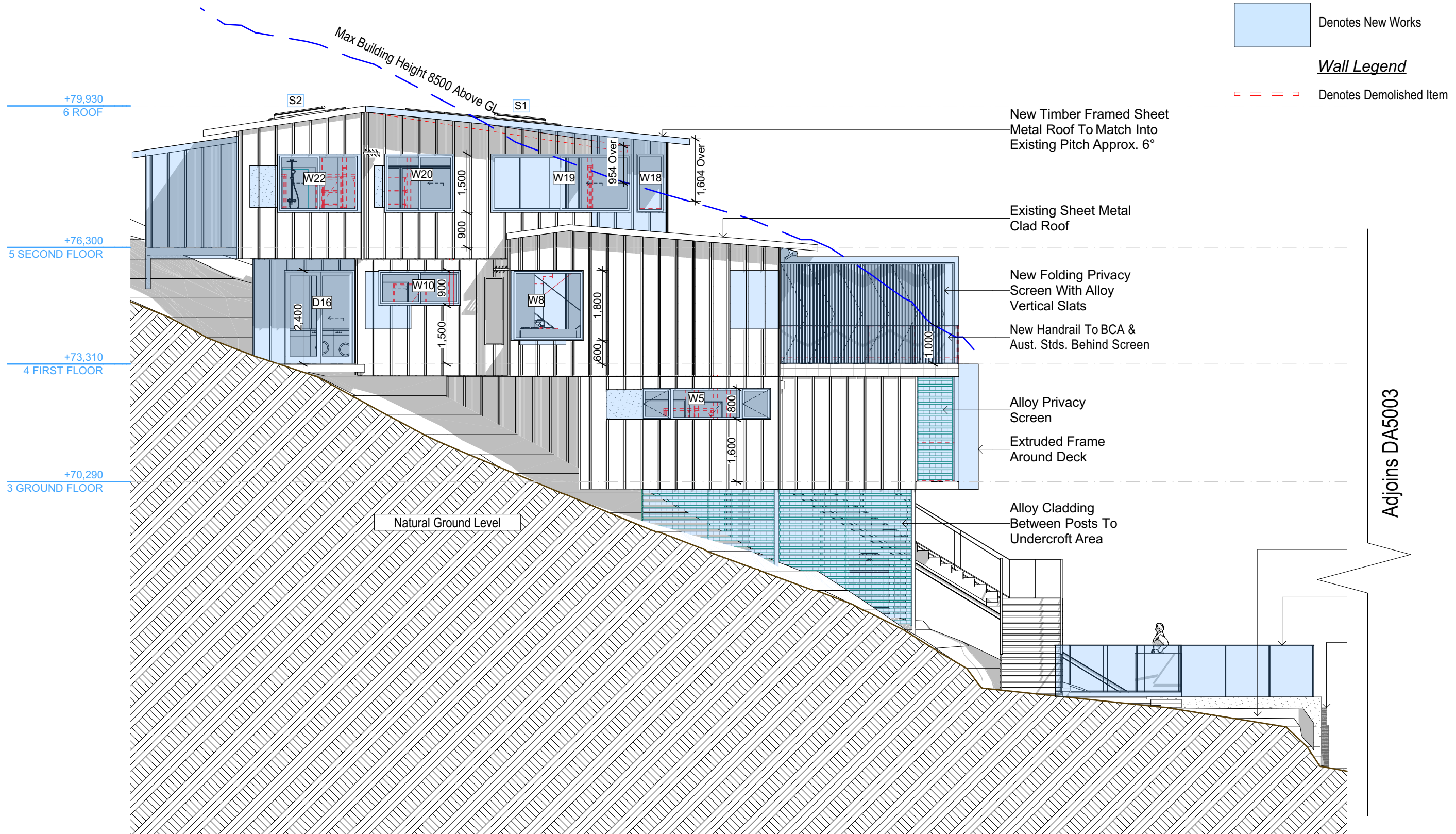
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 20/12/2021
Project NO: RP0821ALT
Project Status: DA
Client: Anita & Erik Altmann
Site: 65 Hillside Road Newport
Sheet Size: A3

DRAWING TITLE :
ELEVATIONS NORTH-2
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
20-12-2021
DRAWING NO.
DA4001



Denotes New Works

Wall Legend

Denotes Demolished Item

E-03

South
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Building Design and Architectural Drafting

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
65 Hillside Road Newport is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 Insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A444663, 1270061S & Natthers0006941629
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

5.9
NATIONWIDE HOUSE
ENERGY RATING SCHEME
51.6 MJ/m²

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes	Building envelope	3.5m@45Deg	Exist/Var.
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (60% min)	32%	Variation
Max Ceiling Ht Above Nat. GL	N/A	Yes	Impervious area (m ²)	68%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Exist/Var.	Maximum depth of fill (m)	1m	Yes
Rear Setback (Min.)	6.5m	Exist/Var.	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m/2.5m	Exist/Var.			

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Checked
Plot Date: 20/12/2021
Project Status: RP0821ALT DA

Client
Site: Anita & Erik Altmann
65 Hillside Road Newport

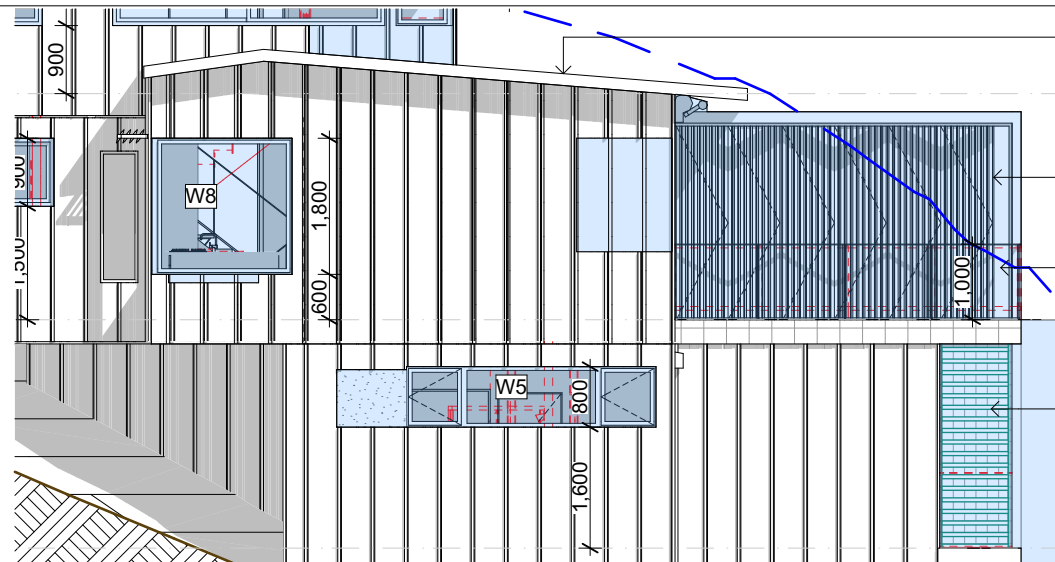
Sheet Size: A3

DRAWING TITLE :
ELEVATIONS
ELEVATIONS SOUTH-1

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 20-12-2021
DRAWING NO.
DA4002

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Existing Sheet Metal
Clad Roof

New Folding Privacy
Screen With Alloy
Vertical Slats

New Handrail To BCA &
Aust. Stds. Behind Screen

Alloy Privacy
Screen

Extruded Frame
Around Deck

Alloy Cladding
Between Posts To
Undercroft Area

+76,300
5 SECOND FLOOR

+73,310
4 FIRST FLOOR

+70,290
3 GROUND FLOOR

New 37kL Pool To
Eng. Details
New Min. 1200 high
Pool Safety Barrier To
BCA & Aust. Stds.

Ex. Retaining Wall
Vertical Standing
Seam Cladding To
Existing Masonry Wall

New Vertical Standing
Seam Cladded
Masonry Wall

New Pergola To
BCA & AS1684

Natural Ground Level

+59,140
2 STUDIO

+55,820
1 GARAGE

Denotes New Works

Denotes Demolished Item

E-03

South
1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES

65 Hillside Road Newport is zoned E4-Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
65 Hillside Road Newport is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These
plans are not to be used for the construction certificate application by any
Certifying Authority without the written permission of Rapid Plans or the
supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.74 Insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number A444663, 1270061S & Natthers0006941629

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing
specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window
or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes	Building envelope	3.5m@45Deg	Exist/Var.
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (60% min)	32%	Variation
Max Ceiling Ht Above Nat. GL	N/A	Yes	Impervious area (m ²)	68%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Exist/Var.	Maximum depth of fill (m)	1m	Yes
Rear Setback (Min.)	6.5m	Exist/Var.	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m/2.5m	Exist/Var.			

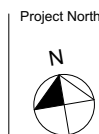


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 1585
Fax: (02) 9305-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
20/12/2021
RP0821ALT
DA

Client
Site:

Anita & Erik Altmann
65 Hillside Road Newport

Sheet Size: A3

DRAWING TITLE :

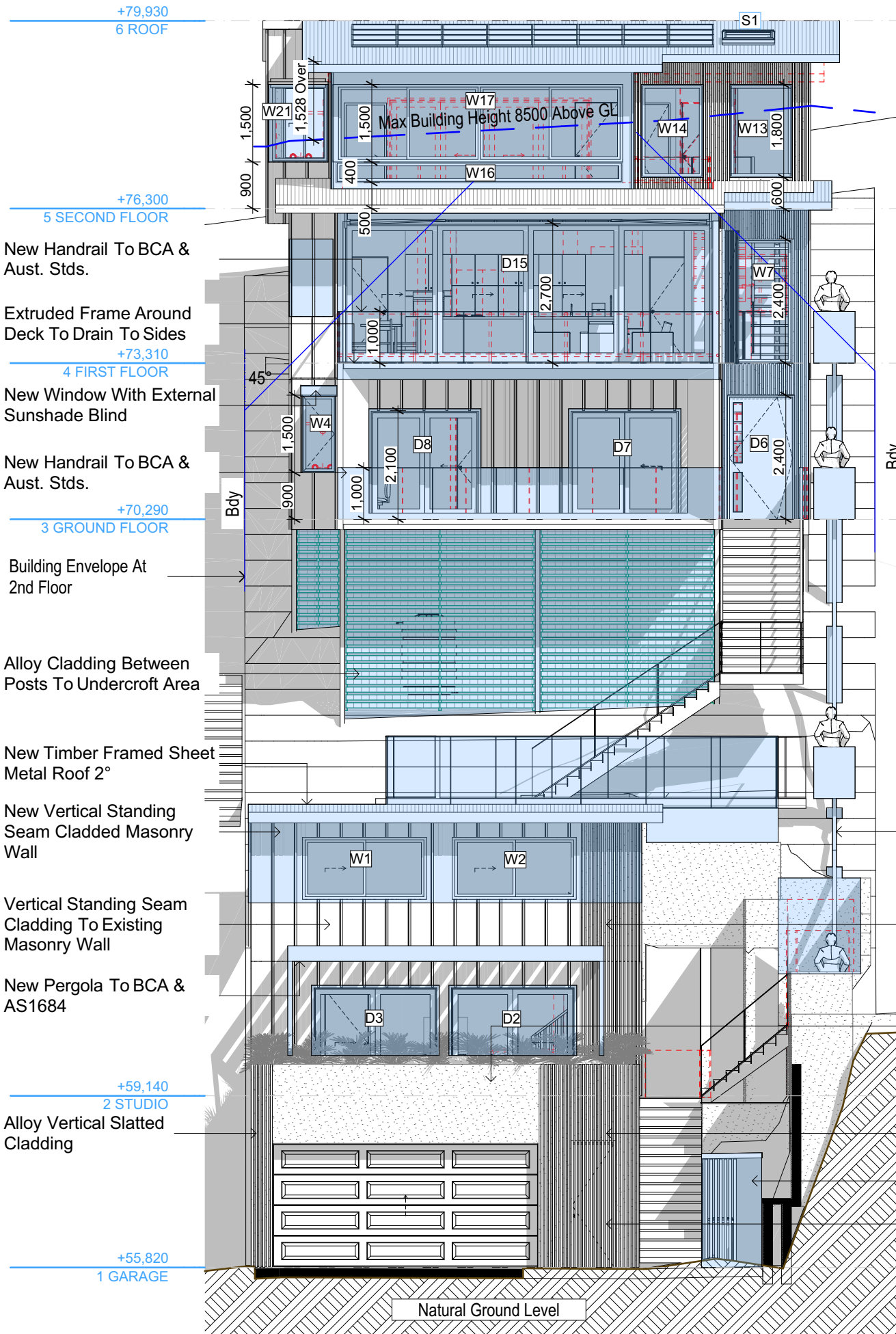
ELEVATIONS
ELEVATIONS SOUTH-2

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE
20-12-2021
DRAWING NO.
DA4003



E-02
East
1:100



E-04
West
1:100

Denotes New Works

Wall Legend

Denotes Existing Item

Denotes Demolished Item

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.7 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	481.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m2)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

**DRAWING TITLE: ELEVATIONS
ELEVATION EAST/WEST**

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 20-12-2021

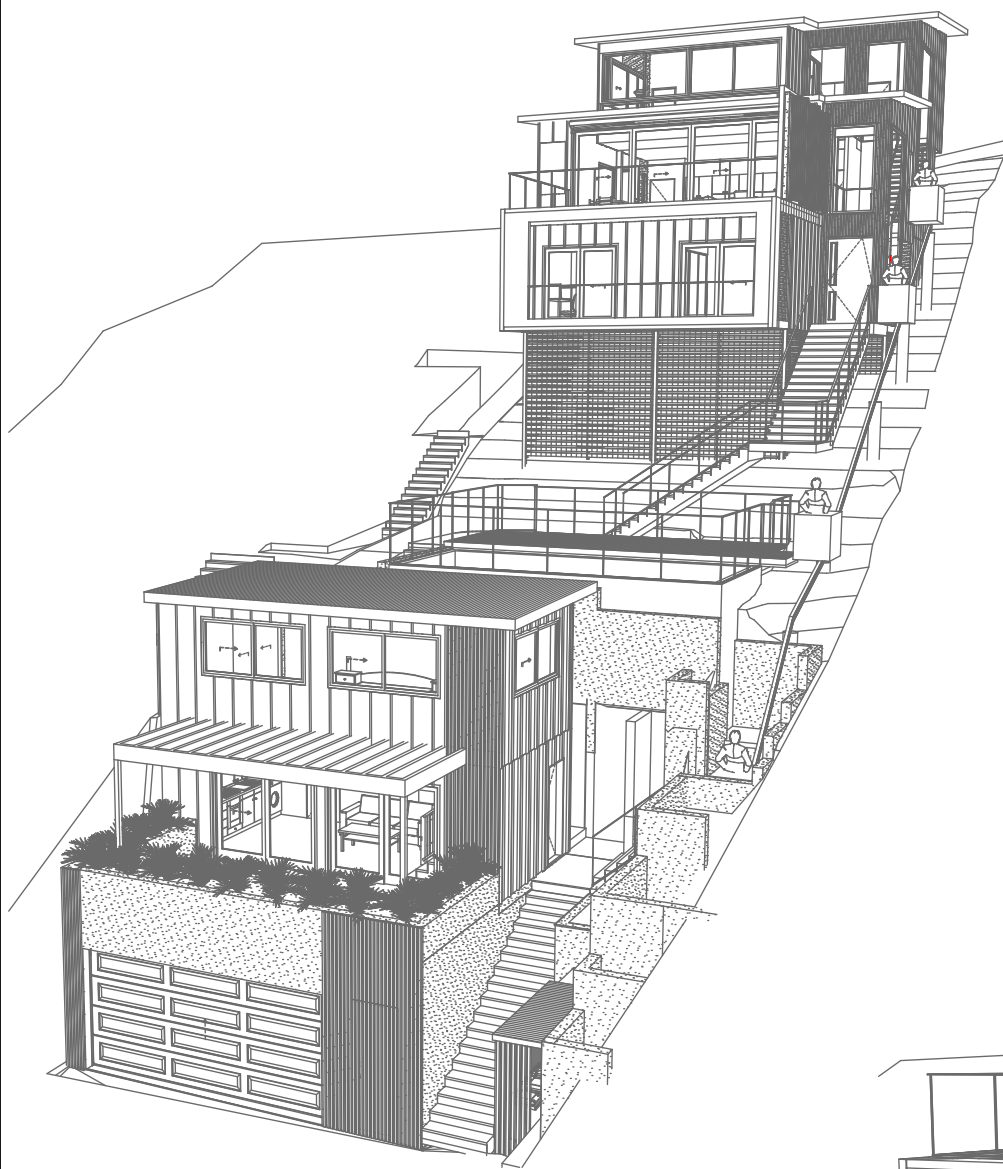
DRAWING NO. **DA4004**

Plot Date: 20/12/2021
Sheet Size: A3

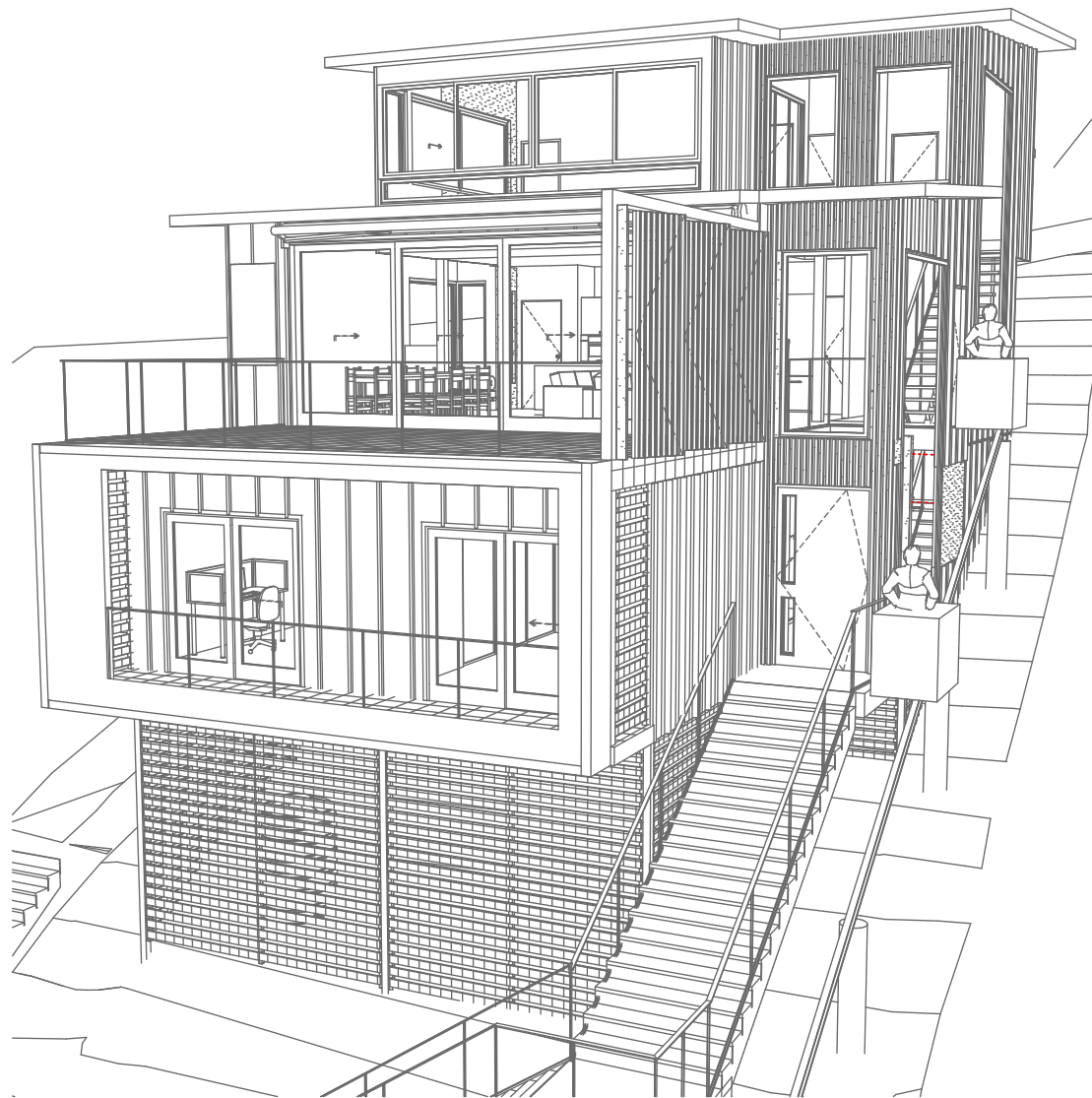


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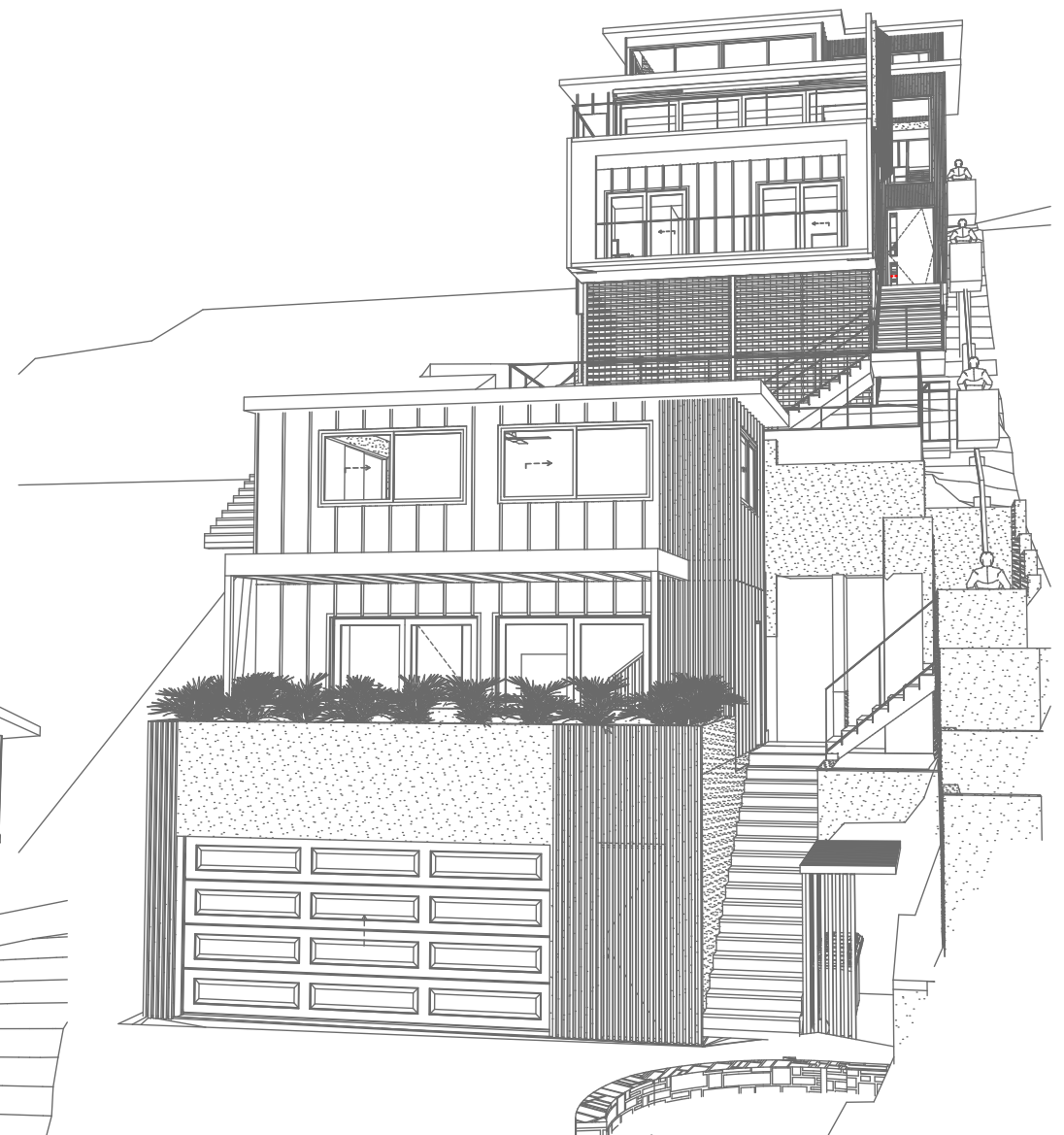
DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Perspective 1
1:200



Perspective 3
1:200



Perspective 2
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**





Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Vertical Folding Screen (Typical).
Owner To Confirm Type & Colour



Denotes Alloy Doors & Windows (Typical).
Owner To Confirm Type & Colour



Denotes Rendered Wall (Typical). Owner
To Confirm Type & Colour



Denotes Vertical Cladding (Typical).
Owner To Confirm Type & Colour



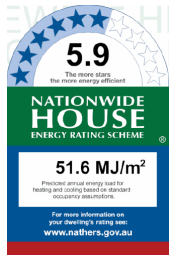
Denotes Glass Handrail (Typical). Owner
To Confirm Type & Colour



Denotes Inclinator (Typical).
Owner To Confirm Type & Colour




Denotes Timber Deck (Typical).
Owner To Confirm Type & Colour



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
65 Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Rust Sheet Metal to have R1.74 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1864
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number AA4663, 127091S & Nathan009091629
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of a window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m ²)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
N

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME:
Alterations & Additions

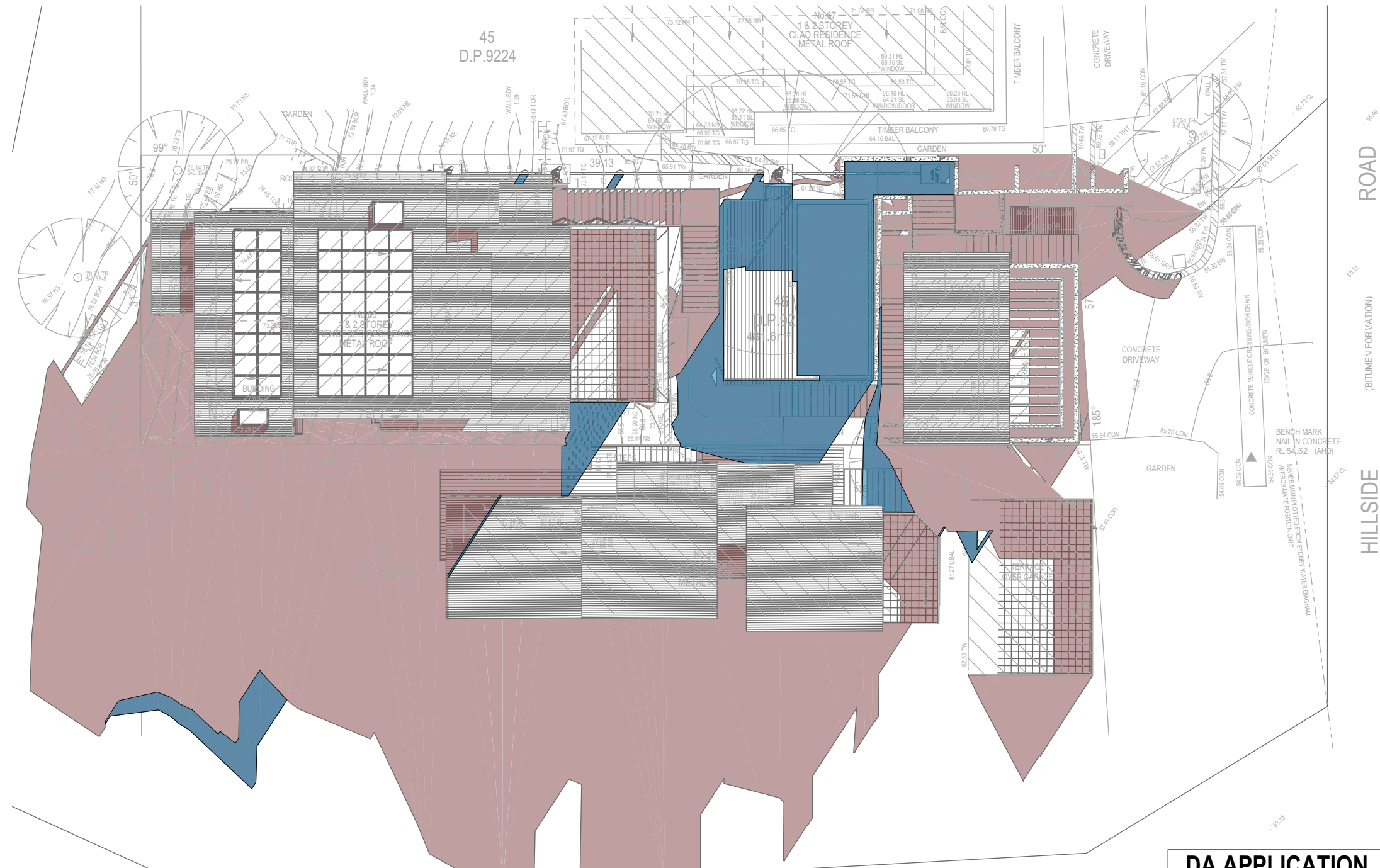
REVISION NO. DATE
- 20-12-2021

DRAWING NO.
DA5001

Plot Date: 20/12/2021
Sheet Size: A3

Denotes Proposed Shadow

Denotes Existing Shadow



01 SHADOW PLAN 21 JUN at 0900h
1:200

**DA APPLICATION
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5.9
The more stars
the more energy efficient

**NATIONWIDE
HOUSE
ENERGY RATING SCHEME**

51.6 MJ/m²
Predicted annual energy load for
heating and cooling based on standard
occupancy assumptions.

For more information on
your dwelling's rating see:
www.nathers.gov.au

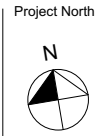


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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked Plot Date: GBJ 20/12/2021
Project NO: RP0821ALT
Project Status: DA

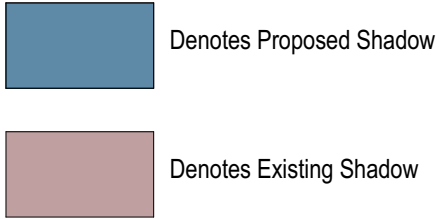
Client Site: Anita & Erik Altmann
65 Hillside Road Newport

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
9am**

PROJECT NAME : **Alterations & Additions**

REVISION NO. -
DATE: **20-12-2021**
DRAWING NO. **DA5002**



SHADOW PLAN 21 JUN at 1200h
1:200



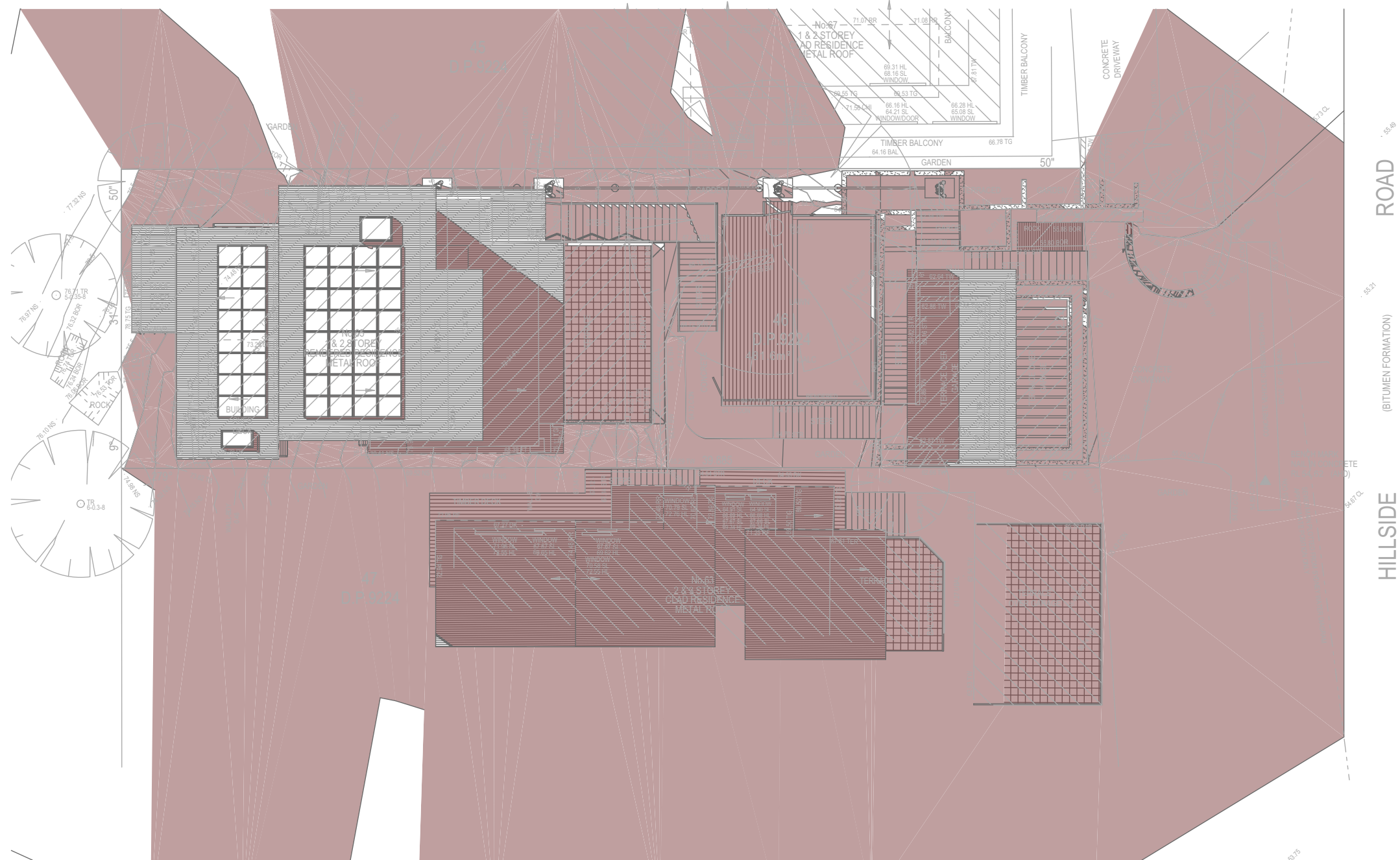
5.9
The more stars
the more energy efficient

**NATIONWIDE
HOUSE
ENERGY RATING SCHEME** 

51.6 MJ/m²

Predicted annual energy load for
heating and cooling based on standard
occupancy assumptions.

For more information on
your dwelling's rating see:
www.nathers.gov.au



Denotes Proposed Shadow

Denotes Existing Shadow

03 SHADOW PLAN 21 JUN at 1500h
1:200

**DA APPLICATION
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NOT FOR CONSTRUCTION**

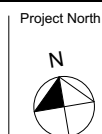


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
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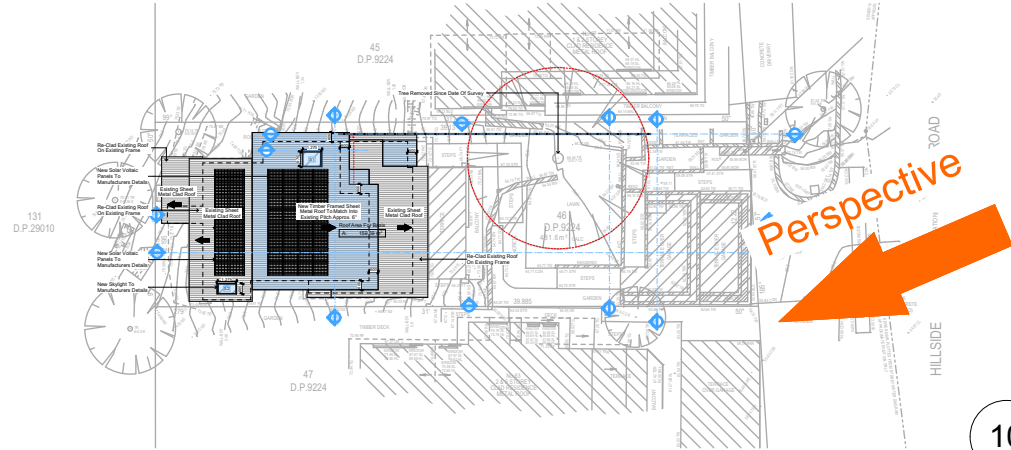
**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date: 20/12/2021
Project NO: RP0821ALT
Project Status: DA
Client
Site: Anita & Erik Altmann
65 Hillside Road Newport
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
3pm**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
20-12-2021
DRAWING NO.
DA5004



Denotes Proposed Shadow

Denotes Existing Shadow

Perspective

6. - ROOF 1:500

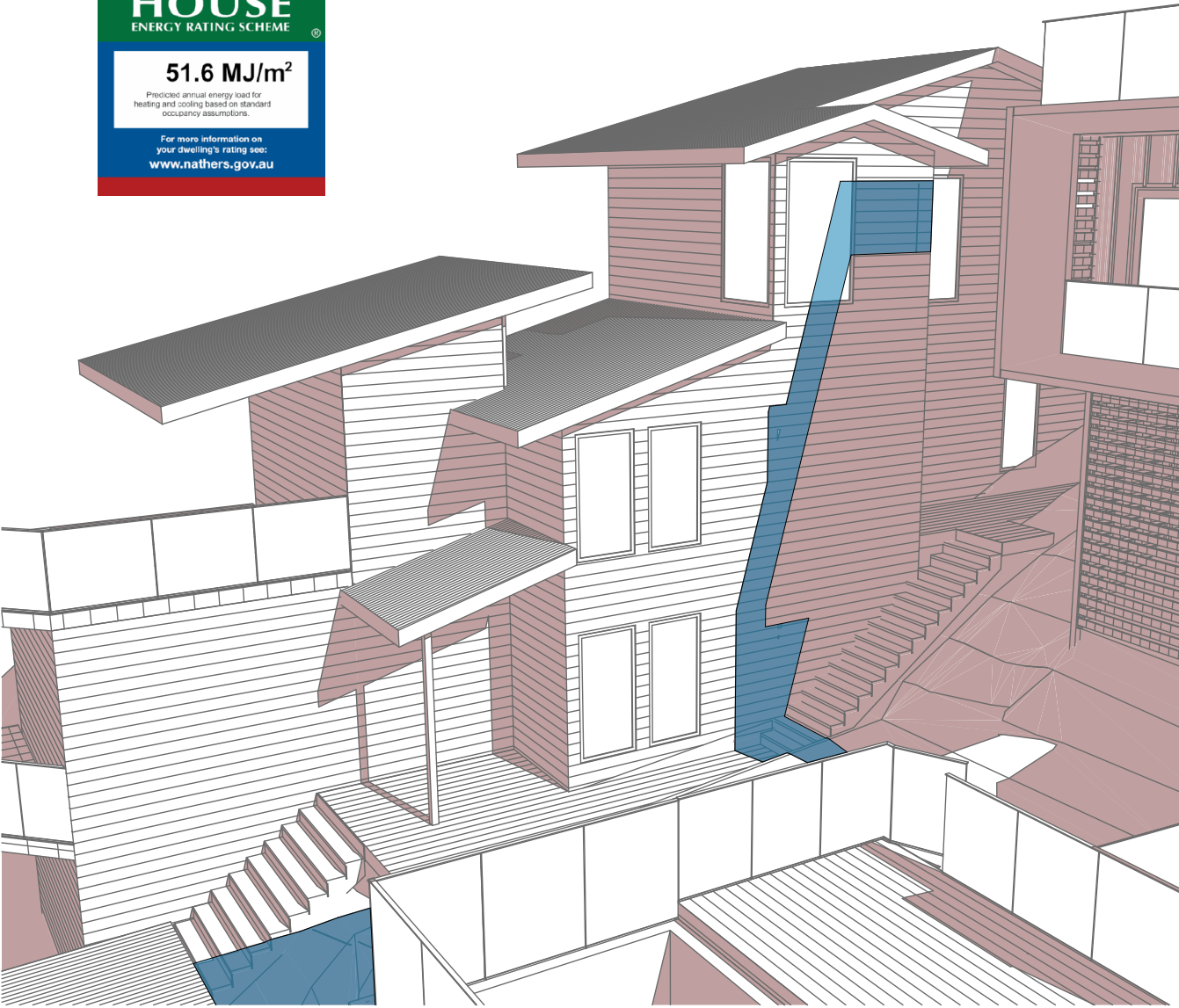
10 Wall Elev No.63 Front 21 Jun 9am 1:200

5.9
The more stars the more energy efficient

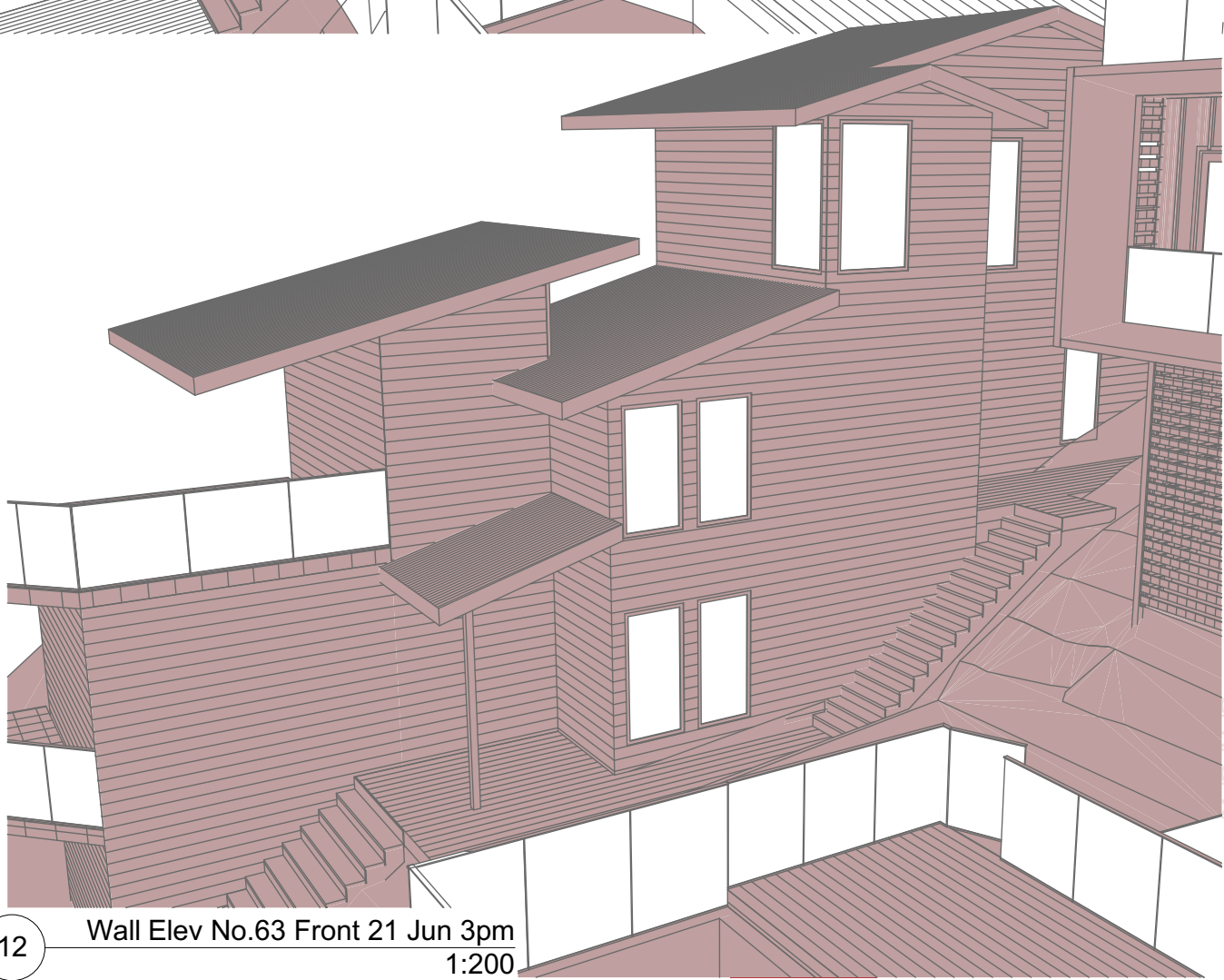
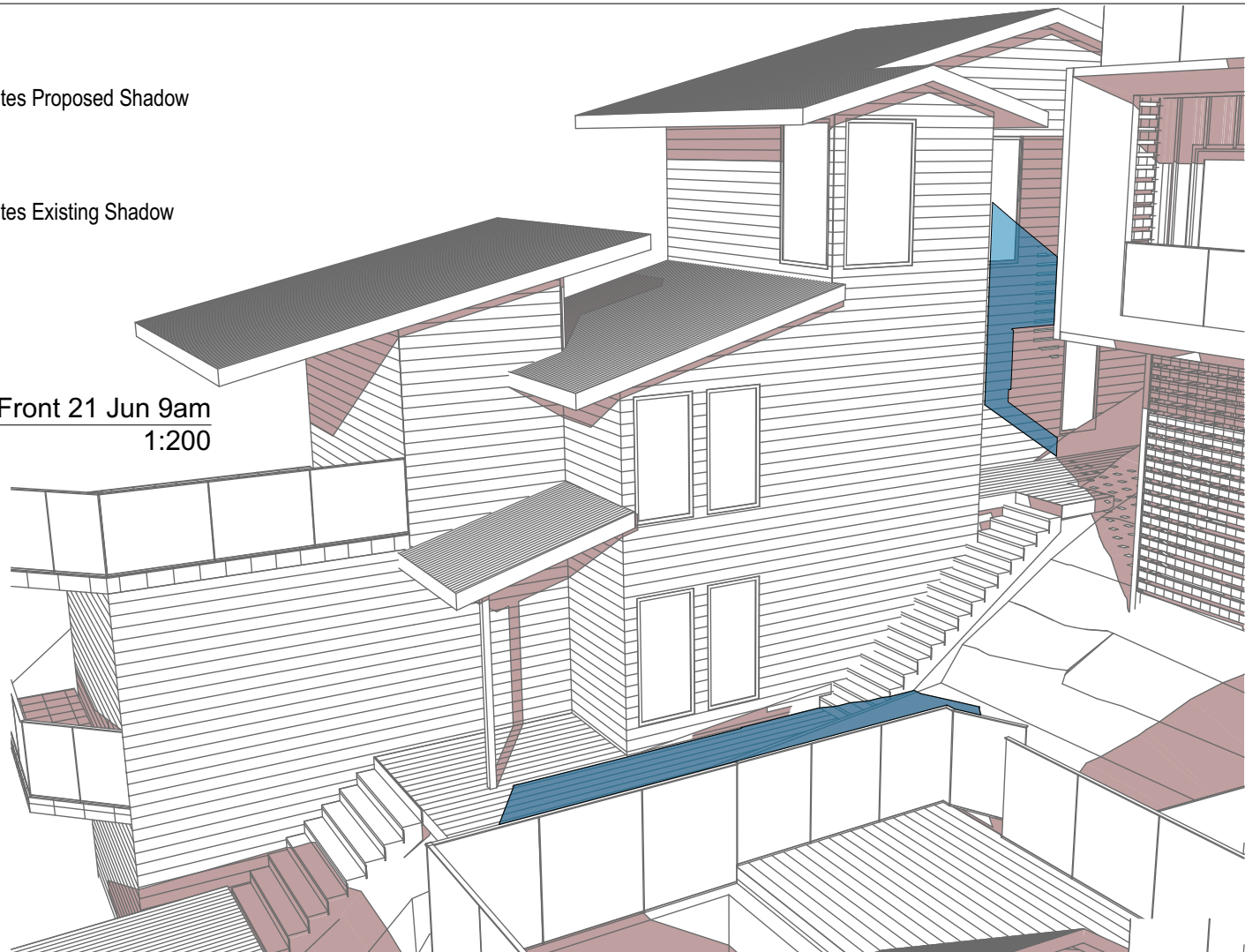
NATIONWIDE HOUSE ENERGY RATING SCHEME

51.6 MJ/m²
Predicted annual energy load for heating and cooling based on standard occupancy assumptions.

For more information on your dwelling's rating see: www.nathers.gov.au



11 Wall Elev No.63 Front 21 Jun 12pm 1:200



12 Wall Elev No.63 Front 21 Jun 3pm 1:200

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Building Design and Architectural Drafting

World Plans
PO Box 6239 Fitzroy Vic 3065
Tel: (03) 9350-8845 Mobile: 0414-946-024
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.4 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number AA4663, 127091S & Nathan00991629
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 200c, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of any window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m2)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

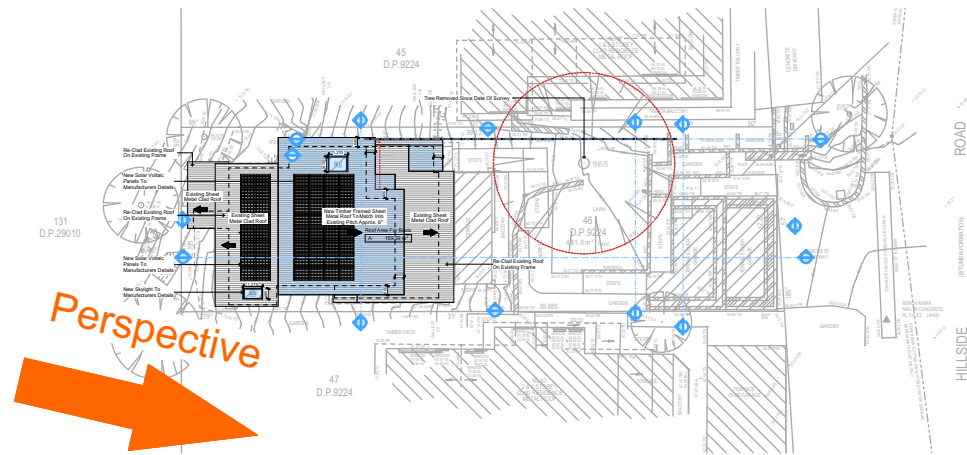
DRAWING TITLE SHADOW PLANS
WALL ELEVATION
SHADOWS No.63 Front

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 20-12-2021

DRAWING NO.
DA5005

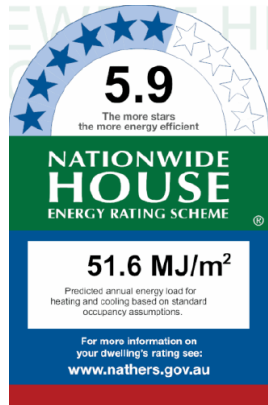
Plot Date: 20/12/2021
Sheet Size: A3



Perspective

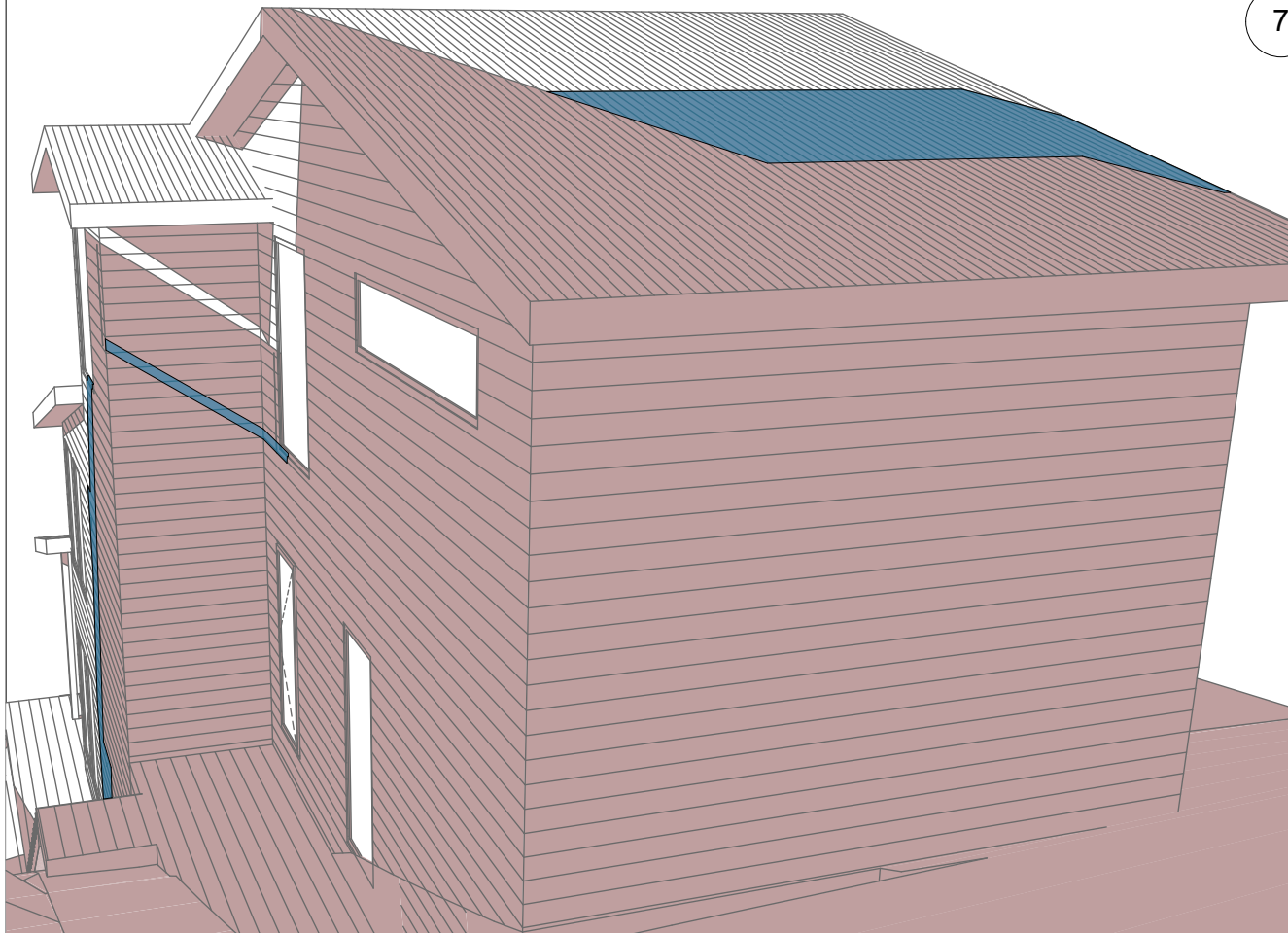
6.

ROOF
1:500



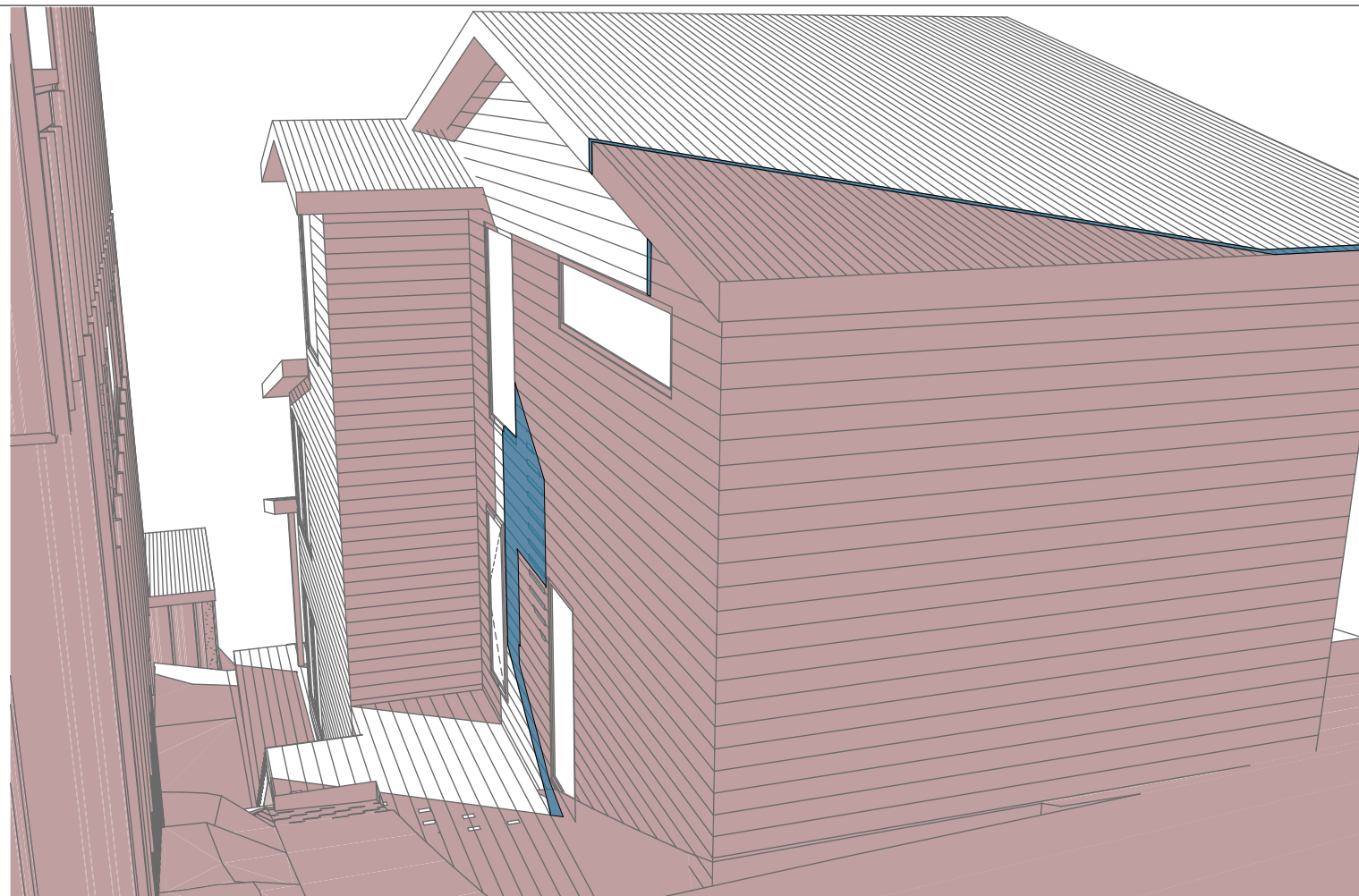
Denotes Proposed Shadow

Denotes Existing Shadow



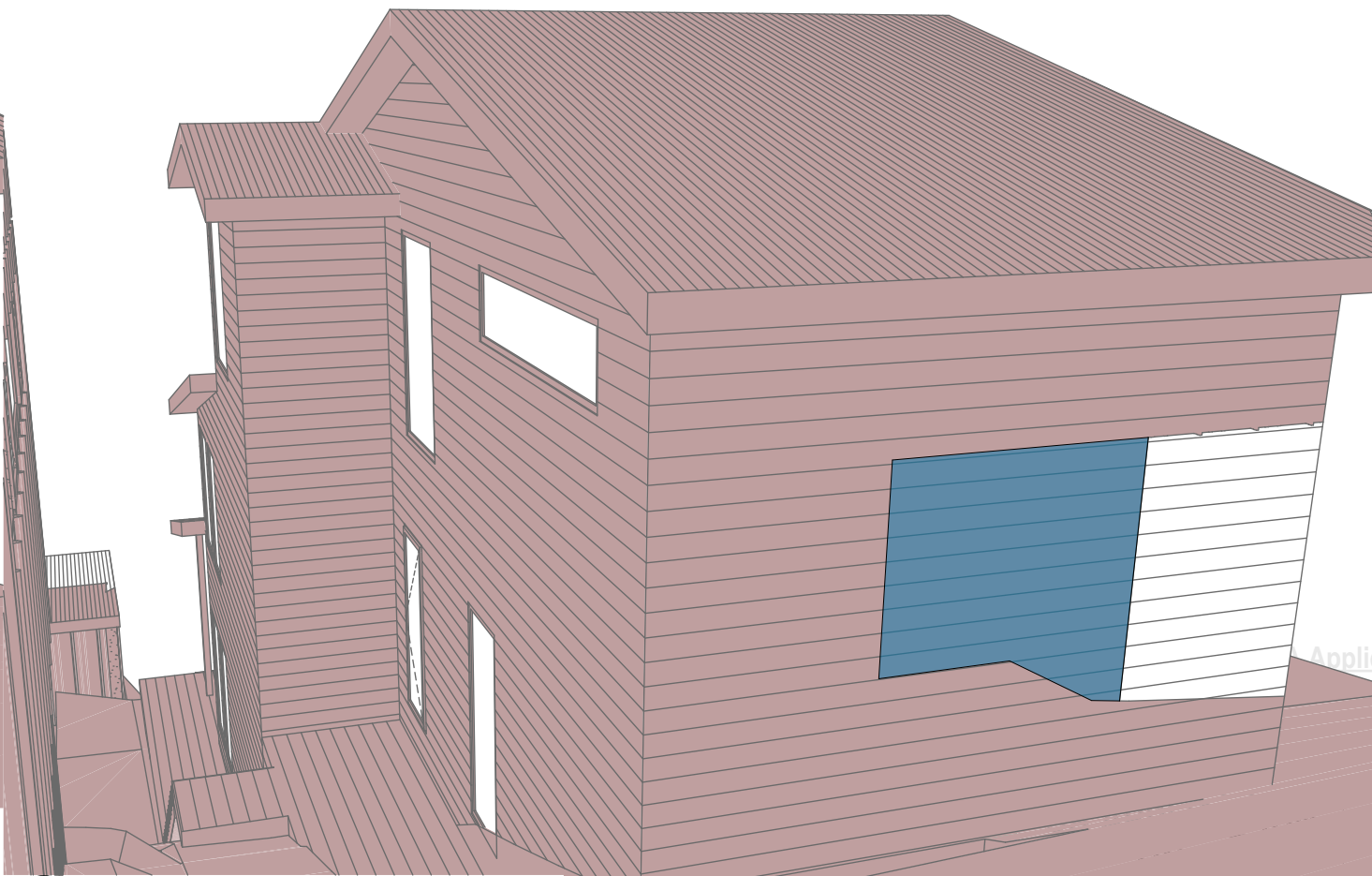
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Wall Elev No.63 Rear 21 Jun 12pm
1:200



7

Wall Elev No.63 Rear 21 Jun 9am
1:200



9

Wall Elev No.63 Rear 21 Jun 3pm
1:200

Building Design and Architectural Drafting

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NOTES
65 Hillside Road Newport is zoned E4-Environmental Living
65 Hillside Road Newport is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Framed Floor, Cladded Stud & Conc. Block Walls
Roof Sheet Metal to have R1.7 insulation
Insulation to External Cladded Stud & Conc. Block Walls R1.7
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1864
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number AA4663, 1270915 & Nathan00091629
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gorgola, verandah, balcony or awning must be no more than 500 mm above the head of any window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	481.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Ex./Var.
Rear Setback (Min.)	6.5m	Ex./Var.
Min. side bdy setback (Min.)	1m/2.5m	Ex./Var.
Building envelope	3.5m@ 45Deg	Ex./Var.
% of landscape open space (60% min)	32%	Variation
Impervious area (m2)	68%	Variation
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	1m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 20/12/2021
Project NO.: RP0821ALT
Project Status DA

Client Anita & Erik Altmann

Site: 65 Hillside Road Newport

DRAWING TITLE SHADOW PLANS
WALL ELEVATION
SHADOWS No.63 Rear

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 20-12-2021

DRAWING NO.
DA5006

Plot Date: 20/12/2021
Sheet Size: A3

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A444663

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Monday, 20, December 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.

Planning,
Industry &
Environment

Description of project

Project address	
Project name	Altmann
Street address	65 Hillside Road Newport 2106
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 9224
Lot number	46
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592

BASIX Certificate number: A444663

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

Rainwater tank	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
The applicant must install a rainwater tank of at least 989 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓

The applicant must configure the rainwater tank to collect rainwater runoff from at least 159.59 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 37 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: solar (electric boosted).

BASIX Certificate number: A444663

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

Lighting	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓

Fixtures	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

BASIX Certificate number: A444663

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

Insulation requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

External louvers and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W4	E	1	0	0	external louvre/blind (adjustable)	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
W5	S	2.6	0	0	none	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)

BASIX Certificate number: A444663

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W6	N	12.8	0	0	eave/verandah/pergola/balcony >=450 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)
W7	E	2.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)
W8	S	3.4	0	0	none	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
W9	W	1.2	1.07	10.1	eave/verandah/pergola/balcony >=450 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)
W10	S	1.9	0	0	none	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
W11	W	2.1	2.02	3.5	projection/height above sill ratio >=0.23	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)
W12	N	12.8	0	0	eave/verandah/pergola/balcony >=600 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)
W13	W	2.2	0	0	eave/verandah/pergola/balcony >=600 mm	aluminium, double Lo-Tsol/air gap/clear, (U-value: 4.9, SHGC: 0.33)
W14	W	2.2	0	0	eave/verandah/pergola/balcony >=600 mm	aluminium, double Lo-Tsol/air gap/clear, (U-value: 4.9, SHGC: 0.33)
W15	N	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
W16	E	2.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)
W17	E	8.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W18	S	1.1	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
W19	S	5.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
W20	S	2.7	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
W21	E	1.7	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)
W22	S	3.2	0	0	none	improved aluminium, toned/air gap/clear, (U-value: 4.09, SHGC: 0.47)
W23	W	1.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
W24	N	4	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, clear/air gap/clear, (U-value: 4.09, SHGC: 0.47)
D7	E	4.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
D8	E	4.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
D15	E	19.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)
D16	S	4.3	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, clear/air gap/clear, (U-value: 4.12, SHGC: 0.66)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

BASIX Certificate number: A444663

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.23	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	0.85	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

BASIX Certificate number: A444663

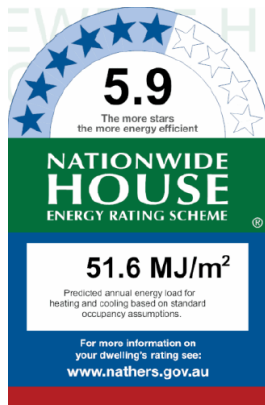
Legend
In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA Plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

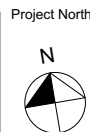
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NOT FOR CONSTRUCTION

Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au© Copyright
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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Checked
Plot Date:
Project NO.
Project StatusGBJ
20/12/2021
RP0821ALT
DAClient
Site:
Anita & Erik Altmann
65 Hillside Road Newport

Sheet Size: A3

DRAWING TITLE :
Schedule
BASIX-ALTS & ADSPROJECT NAME :
Alterations & Additions

REVISION NO.

-
DATE:
20-12-2021
DRAWING NO.
DA6000

Single Dwelling

Certificate number: 1270061S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Monday, 20 December 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Altmann-Granny Flat	
Street address	65 Hillside Road Newport 2106	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 9224	
Lot no.	46	
Section no.	-	
Project type	attached dwelling house - secondary dwelling	
No. of bedrooms	1	
Project score		
Water	✔ 41	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 54	Target 50

Certificate Prepared by

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - new floor above another dwelling or building	All or part of floor area

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

Description of project

Project address	
Project name	Altmann-Granny Flat
Street address	65 Hillside Road Newport 2106
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 9224
Lot no.	46
Section no.	-
Project type	
Project type	attached dwelling house - secondary dwelling
No. of bedrooms	1
Site details	
Site area (m²)	482
Roof area (m²)	36
Conditioned floor area (m2)	48.8
Unconditioned floor area (m2)	0.0
Total area of garden and lawn (m2)	16
Roof area (m2) of the existing dwelling	160
No. of bedrooms in the existing dwelling	4

Assessor details and thermal loads		
Assessor number	10056	
Certificate number	0006941629	
Climate zone	56	
Area adjusted cooling load (MJ/m² year)	21	
Area adjusted heating load (MJ/m² year)	31	
Ceiling fan in at least one bedroom	Yes	
Ceiling fan in at least one living room or other conditioned area	Yes	
Project score		
Water	✔ 41	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 54	Target 50

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 16 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric instantaneous.	✓	✓	✓
Cooling system			
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 1 of the bedrooms / study; dedicatedat least 1 of the living / dining rooms; dedicatedthe kitchen; dedicated		✓ ✓ ✓	✓ ✓ ✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">all bathrooms/toilets; dedicatedthe laundry; dedicatedall hallways; dedicated		✓ ✓ ✓	✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



Nationwide House Energy Rating Scheme NatHERS Certificate No. 0006941629

Generated on 17 Dec 2021 using BERS Pro v4.0.0.4 (3.21)

Property

Address Unit Granny, 65 Hillside Road , Newport, NSW , 2106
Lot/DP 46/9224
NCC Class* 1A
Type New Dwelling

Plans

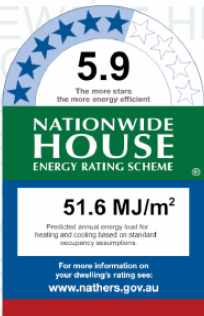
Main Plan Rev A - Issued on - 03.12.2021
Prepared by Rapid Plans

Construction and environment

Assessed floor area (m²)*	Exposure Type
Conditioned*	43.0 Suburban
Unconditioned*	51.0 NatHERS climate zone
Total	94.0 56
Garage	47.0

Accredited assessor

Name Jamie Bornefin
Business name Certified Energy
Email jobs@certifiedenergy.com.au
Phone 1300 443 674
Accreditation No. 10056
Assessor Accrediting Organisation HERA
Declaration of interest None



Thermal performance

Heating 31.1 MJ/m²
Cooling 20.5 MJ/m²

About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

Verification

To verify this certificate, scan the QR code or visit hstar.com.au/QR/Generate?p=UbmMqFJ. When using either link, ensure you are visiting hstar.com.au



National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in 3.0.2 and 3.5 of the NCC Volume One. In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods; thermal breaks; building sealing; water heating and pumping; and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au. State and territory variations and additions to the NCC may also apply.

* Refer to glossary.
Generated on 17 Dec 2021 using BERS Pro v4.0.0.4 (3.21) for U&E Granny, 65 Hillside Road, Newport, NSW, 2106

Page 1 of 6

0006941629 NatHERS Certificate

5.9 Star Rating as of 17 Dec 2021



Window and glazed door schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orientation	Window shading device*
Kitchen/Living	ALM-002-01 A	n/a	2400	2000	n/a	45	E	No
Kitchen/Living	ALM-002-01 A	n/a	2400	2000	n/a	45	E	No
Stairs-FF	ALM-002-01 A	n/a	1200	2400	n/a	45	N	No
Granny Bedroom	ALM-002-01 A	n/a	1200	2400	n/a	45	E	No
Granny Bedroom	ALM-002-01 A	n/a	1200	2400	n/a	45	E	No

Roof window type and performance

Default* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit

No Data Available

Custom* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit

No Data Available

Roof window schedule

Location	Window ID	Window no.	Opening %	Height (mm)	Width (mm)	Orientation	Outdoor shade	Indoor shade
----------	-----------	------------	-----------	-------------	------------	-------------	---------------	--------------

No Data Available

Skylight type and performance

Skylight ID	Skylight description
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No Data Available

Skylight schedule

Location	Skylight ID	Skylight No.	Skylight shaft length (mm)	Area (m²)	Orientation	Outdoor shade	Diffuser	Skylight shaft reflectance
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No Data Available

External door schedule

Location	Height (mm)	Width (mm)	Opening %	Orientation
Garage	2040	820	90	N
Garage	2400	820	90	E
Garage	2400	5100	90	E

* Refer to glossary.
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5.9 Star Rating as of 17 Dec 2021



Location	Height (mm)	Width (mm)	Opening %	Orientation
Kitchen/Living	2040	820	90	N
Bath	2040	720	90	N

External wall type

Wall ID	Wall type	Solar absorptance	Wall shade (colour)	Bulk insulation (R-value)	Reflective wall wrap*
EW-1	Concrete Block	0.50	Medium	Anti-glare foil with bulk no gap R2.7	No

External wall schedule

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* maximum projection (mm)	Vertical shading feature (yes/no)
Garage	EW-1	3120	6600	N	0	NO
Garage	EW-1	3120	7100	E	0	NO
Garage	EW-1	3120	6600	S	0	NO
Garage	EW-1	3120	7100	W	0	NO
Kitchen/Living	EW-1	2600	4400	W	1600	YES
Kitchen/Living	EW-1	2600	3300	N	0	NO
Kitchen/Living	EW-1	2600	7100	E	2900	NO
Kitchen/Living	EW-1	2600	3295	S	0	NO
Bath	EW-1	2600	1595	S	0	NO
Bath	EW-1	2600	2700	W	0	NO
Bath	EW-1	2600	1595	N	4400	YES
Stairs-FF	EW-1	2400	895	E	400	NO
Stairs-FF	EW-1	2400	1095	W	400	NO
Stairs-FF	EW-1	2400	3300	N	400	NO
Granny Bedroom	EW-1	2400	6195	E	400	NO
Granny Bedroom	EW-1	2400	3300	S	0	NO
Granny Bedroom	EW-1	2400	5995	W	400	NO

Internal wall type

Wall ID	Wall type	Area (m²)	Bulk insulation
IW-1 - Cavity wall, direct fix plasterboard, single gap		15.00	No insulation

Floor type

Location	Construction	Area (m²)	Sub-floor ventilation (R-value)	Added insulation (R-value)	Covering
Garage	Concrete Slab on Ground 200mm	46.90	None	No Insulation	Bare
Kitchen/Living/Garage	Concrete Above Plasterboard 200mm	23.30	No Insulation	No Insulation	Ceramic Tiles 8mm

* Refer to glossary.
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Location	Construction	Area (m²)	Sub-floor ventilation (R-value)	Added insulation (R-value)	Covering
Bath	Concrete Slab on Ground 200mm	4.20	None	No Insulation	Ceramic Tiles 8mm
Stairs-FF/Kitchen/Living	Concrete Above Plasterboard 200mm	3.00	No Insulation	No Insulation	Ceramic Tiles 8mm
Granny Bedroom/Kitchen/Living	Concrete Above Plasterboard 200mm	20.10	No Insulation	No Insulation	Ceramic Tiles 8mm

Ceiling type

Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap*
Garage	Concrete, Plasterboard	Bulk Insulation R3.5	No
Garage	Concrete Above Plasterboard	No Insulation	No
Kitchen/Living	Concrete, Plasterboard	Bulk Insulation R3.5	No
Kitchen/Living	Concrete Above Plasterboard	No Insulation	No
Bath	Concrete, Plasterboard	Bulk Insulation R3.5	No
Stairs-FF	Plasterboard	Bulk Insulation R3.5	No
Granny Bedroom	Plasterboard	Bulk Insulation R3.5	No

Ceiling penetrations*

Location	Quantity	Type	Diameter (mm)	Sealed/unsealed
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No Data Available

Ceiling fans

Location	Quantity	Diameter (mm)
Kitchen/Living	1	900
Granny Bedroom	1	900

Roof type

Construction	Added insulation (R-value)	Solar absorptance	Roof shade
Waterproofing Membrane	No Insulation, Only an Air Gap	0.30	Light
Corrugated Iron	Bulk, Reflective Side Down, No Air Gap Above R1.8	0.30	Light

* Refer to glossary.
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5.9 Star Rating as of 17 Dec 2021



Explanatory notes

About this report

A NatHERS rating is a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate an energy load, it addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances or energy production of solar panels.

Ratings are based on a unique climate zone where the home is located and are generated using standard assumptions, including occupancy patterns and thermal settings. The actual energy consumption of a home may vary significantly from the predicted energy load, as the assumptions used in the rating will not match actual usage patterns. For example, the number of occupants and personal heating or cooling preferences will vary.

While the figures are an indicative guide to energy use, they can be used as a reliable guide for comparing different dwelling designs and to demonstrate that the design meets the energy efficiency requirements in the National Construction Code. Homes that are energy efficient use less energy, are warmer on cool days, cooler on hot days and cost less to run. The higher the star rating the more thermally efficient the dwelling is.

Accredited assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licensed assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO).

Australian Capital Territory (ACT) licensed assessors may only produce assessments for regulatory purposes using software for which they have a licence endorsement. Licence endorsements can be confirmed on the ACT licensing register.

AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country. Non-accredited assessors do not have this level of quality assurance or any ongoing training requirements.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content of each individual certificate is entered and created by the assessor to create a NatHERS Certificate. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

The predicted annual energy load in the NatHERS Certificate is an estimate based on an assessment of the building by the assessor. It is not a prediction of actual energy use, but may be used to compare how other buildings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, indoor air temperature and local climate.

Not all assumptions that may have been made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor.

Glossary

Annual energy load	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
Assessed floor area	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
Ceiling penetrations	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, rafterhoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans, pendant lights, and heating and cooling ducts.
Conditioned	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
Custom windows	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
Default windows	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
Entrance door	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a naturally ventilated corridor in a Class 2 building.
Exposure category - exposed	terrain with no obstructions e.g. flat grassland, ocean frontage, desert, exposed high-rise unit (usually above 10 floors).
Exposure category - open	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m (landward with scattered sheds, lightly vegetated bush-lands, elevated units (e.g. above 3 floors)).
Exposure category - suburban	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
Exposure category - protected	terrain with numerous, closely spaced obstructions over 10m e.g. city and industrial areas.
Horizontal shading feature	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
National Construction Code (NCC) Class	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 (NCC) Class buildings and attached Class 10a buildings. Definitions can be found at www.abcb.gov.au .
Opening percentage	the openability percentage or openable (reversible) area of doors or windows that is used in ventilation calculations.
Provisional value	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at www.nathers.gov.au .
Reflective wrap (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
Roof window	generally classed as a window, but is typically an operable window (i.e. can be opened), will have a plaster or similar light seal if there is an attic space, and a device fixed to windows that provides shading e.g. window awnings or screens but excludes eaves.
Shading device	includes neighbouring buildings, fences, and wiring walls, but excludes eaves.
Shading features	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGCs expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
Solar heat gain coefficient (SHGC)	for NatHERS this is typically a modelled unit with flexible reflective shading (light walls) and a diffuse ceiling level.
Skylight (also known as roof light)	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
Unconditioned	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions.
Vertical shading features	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).

* Refer to glossary.
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Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8665
Mobile: 0414-945-024
Email: orp@rapidplans.com.au

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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Client
Site:

Checked
Plot Date:
Project No.
Project Status

Client
Site:

Sheet Size: A3

GBJ
20/12/2021
RP0821ALT
DA

Anita & Erik Altmann
65 Hillside Road Newport

DRAWING TITLE :

Schedule
**NATHERS-SECONDARY
DWELLING**

PROJECT NAME :

Alterations & Additions

REVISION NO.

-
DATE:
20-12-2021
DRAWING NO.
DA6002