

Jake Wall and Nick Goodwin

C/o

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27<sup>th</sup> March 2025

Re: Ecologist letter regarding the s4.55 Modification of DA2023/1505 for Demolition works and construction of a dwelling house including landscaping works, at 30 Rayner Road, Whale Beach

## **Impact to Biodiversity as a result of the proposed changes to the Application**

### **Background Chronology**

1. Flora and Fauna Report was finalised on 13/10/2023 and submitted as part of DA2023/1505 on the 25/10/2023.
2. Council's Natural Environment Referral Response - Biodiversity on 15/11/2023 concluded that the proposal is supported.
3. DA2023/1505 was approved on 10/05/2024.
4. The applicant now seeks to submit a modification to DA2023/1505.
5. This letter provides an ecological review of the plans with regard to determining if any additional impact will occur as a result of the changes to the plans.

### **Biodiversity Values on the Property and Immediately Adjacent**

The Biodiversity values present at this site are;

- the adjacent downslope marine environment and rocky foreshore,
- microbat breeding colony with several threatened species, including the Little and Large Bent-winged Bats, nearby in St Michael's Cave in the sea cliff approximately 720m away,
- low vegetation which is habitat for reptiles,
- natural rock features on the cliff face providing habitat for native reptiles, mammals, birds and invertebrates including several threatened flora and fauna species,
- low dense remnant native heathland which is habitat for small mammals such as bandicoots, ring-tailed possums and pygmy possums,
- an east to west wildlife corridor connecting remnant cliff top bushland to Careel Headland Reserve, and
- the presence of the Plant Community Type, Coastal Headland Clay Heath (PCT 1817).

The site has a high proportion of weeds with twice as many weed species as there are native plant species.

### **The extent of the proposed Modifications**

The proposed modifications are shown in red on the plans dated 06/03/2025 in the Modification Application and are also provided in Appendix A. In summary the changes since the October 2023 Flora and Fauna report are:

1. Canopy over stair 2 (no negative biodiversity impact)
2. Continuation of lift 1 to level 1 (no negative biodiversity impact)
3. Continuation of stair 2 to level 2 (no negative biodiversity impact)
4. Extension of services under the padel court (no negative biodiversity impact)
5. Addition of outdoor lighting to padel court (increase in outdoor lighting, small negative biodiversity impact)
6. Extension of bin storage (slight reduction in Landscaped area, small negative biodiversity impact)

#### **Impact of Proposed Modifications on Biodiversity Values**

The changes shown on the plans are an improvement and will have a slight increase to biodiversity. The negatives impacts to biodiversity include:

- Increased disturbance to native wildlife at night time and increased risk of predation to native fauna by red foxes and feral cats due to the additional of outdoor lighting; and
- A slight reduction in the Landscaped area due to the extension of the bin storage area.

In conclusion, the changes proposed in the s4.55 modification will have a slightly increased negative impact to native flora and fauna, however, they are insignificant and do not change the conclusions of the Flora and Fauna report. The recommendations made in the October 2023 Flora and Fauna report still apply. In addition, it is recommend that a Condition of Consent that controls the intensity of the proposed outdoor lights.

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If you would like any further clarification, please contact us on (02) 9939 5129 or 0419 438 672.

Yours sincerely,



Nicholas Skelton - BSc. (Hons) (USyd), M. App. Sc. (UNSW), ECANSW, ESA, MRZS  
Director - GIS Environmental Consultants

## Attachment A - Changes since DA Site Plans

| S4.55 MODIFICATION DRAWING LIST |   |          | S4.55 - SCHEDULE OF MODIFICATION               |  |  |
|---------------------------------|---|----------|--|--|--|
| NO.                             | DRAWING NAME                                | REVISION |  |  |  |
| MOD00                           | COVER PAGE                                  | 1        | 1. Proposed extension canopy over stair 2      |  |  |
| MOD01                           | SITE ANALYSIS PLAN                          | 1        | 2. Continue lift to level 1                    |  |  |
| MOD02                           | ROOF PLAN                                   | 1        | 3. Continue stair 2 down to level 2            |  |  |
| MOD03                           | LEVEL 4 PLAN                                | 1        | 4. Extend services under padel court           |  |  |
| MOD04                           | LEVEL 2 PLAN                                | 1        | 5. Addition of outdoor lighting to padel court |  |  |
| MOD05                           | LEVEL 1 PLAN                                | 1        | 6. Proposed extension to bin storage           |  |  |
| MOD06                           | NORTH ELEVATION                             | 1        |  |  |  |
| MOD07                           | EAST ELEVATION                              | 1        |  |  |  |
| MOD08                           | SOUTH ELEVATION                             | 1        |  |  |  |
| MOD09                           | WEST ELEVATION                              | 1        |  |  |  |
| MOD10                           | SECTION AA                                  | 1        |  |  |  |
| MOD11                           | CUT + FILL DIAGRAM                          | 1        |  |  |  |
| MOD12                           | NUMERIC COMPLIANCE SCHEDULE                 | 1        |  |  |  |
| MOD13                           | FINISHES AND MATERIALS SCHEDULE (NO CHANGE) | 1        |  |  |  |

ABBREVIATION LEGEND

|      |                                  |
|------|----------------------------------|
| COS  | Check on Site                    |
| CT   | Cooktop                          |
| DP   | Downpipe                         |
| EX   | Existing                         |
| FFL  | Finished Floor Level             |
| FR   | Fridge                           |
| FW   | Floor Waste - Tile Insert        |
| FZ   | Freezer                          |
| GL   | Ground Level                     |
| GPO  | General Power Outlet             |
| LFW  | Linear Floor Waste - Tile Insert |
| LTG  | Linear Grated Drain              |
| NGL  | Natural Ground Level             |
| OV   | Oven                             |
| RD   | Roller/Panel-Lift Door           |
| RL   | Relative Level                   |
| RWT  | Rainwater Tank                   |
| SHWR | Shower Rose/Rail                 |
| TG   | Grated Drain                     |
| TOW  | Top of Wall Level                |

| GENERAL LEGEND |                                  |
|----------------|----------------------------------|
| <div></div>    | outline of approved DA2023/1505  |
| <div></div>    | existing                         |
| <div></div>    | proposed                         |
| <div></div>    | extents of proposed modification |

BASIX SUMMARY NOTES

Landscape  
-Plant 200m2 of indigenous or low water use species of vegetation

Fixtures  
-Install showerheads with a minimum rating of 4 star( >6 but <=7.5L/min plus spray force and/or coverage tests) in all showers  
-Install a toilet flushing system with a minimum rating of 4 stars in each toilet  
-Install basin taps with a minimum rating of 5 stars in each bathroom

Alternative water  
*Rainwater tank*  
- Install a rainwater tank of at least 2500 litres on the site. This tank must be installed in accordance with the requirements of all regulatory authorities  
- Runoff to be configured from at least 43m2 of the roof area (excluding the area of the roof that drains to any stormwater tank or private dam)  
- Must be configured so overflow is diverted to a stormwater tank  
- Connect this water supply to the cold water tap that supplies each clothes washer  
- Connect this water supply to at least one outdoor tap (not fit for human consumption)  
*Stormwater tank*  
-Install a stormwater tank of at least 2500 litres on the site. This tank must be installed in accordance with the requirements of all regulatory authorities  
- Stormwater tank must be configured to collect overflow from the rainwater tank  
- The stormwater tank must be configured to collect runoff from at least 200m2 of impervious areas  
- The stormwater tank must be connected to a sub-surface or non-aerosol irrigation system, or if the stormwater has been appropriately treat in accordance with the applicable regulatory requirements, to at least one outdoor tap (NSW hHealth does not recommend stormwater to be used ion edible plants that are to be eaten raw)

Hot water  
- Install a electric heat pump with a performance of 26 to 30 STCs or better

Cooling system  
- Cooling system to be installed with a higher energy rating in at least 1 living area: 1-phase air-conditioning; EER 3.5-4  
- Cooling system to be installed with a higher energy rating in at least 1 bedroom area: 1-phase air-conditioning; EER >4

Heating system  
- Heating system to be installed with a higher energy rating in at least 1 living area: 1-phase air-conditioning; EER >4  
- Heating system to be installed with a higher energy rating in at least 1 bedroom area: 1-phase air-conditioning; EER >4

Ventilation  
Install the following exhaust systems:  
- At least 1 bathroom; individual fan; ducted to facade or roof; operation control: manual on/timer off  
- Kitchen; individual fan; ducted to facade or roof; operation control: manual on/timer off  
- Laundry; individual fan; ducted to facade or roof; operation control: manual on/timer off

Natural lighting  
- Install a window and/or skylight in the kitchen  
- Install a window and/or skylight in 2 bathroom(s)/toilet(s)

Other  
- Install an induction cooktop and electric oven in the kitchen of the dwelling  
- Install a fixed indoor or sheltered clothes drying line

FINISHES CODES

|                |  |                |   |
|----------------|--|----------------|---|
| <div>CB</div>  | COBBLE STONE<br>COLOUR: MEDIUM                     | <div>PB1</div> | PEBBLES 1<br>COLOUR: MEDIUM             |
| <div>CF1</div> | CONCRETE FINISH<br>COLOUR: LIGHT                   | <div>PB2</div> | PEBBLES 2<br>COLOUR: MEDIUM             |
| <div>CF2</div> | CONCRETE FINISH<br>COLOUR: LIGHT                   | <div>PAV</div> | PAVING                                  |
| <div>GL1</div> | GLAZED BALUSTRADE                                  | <div>ST1</div> | SANDSTONE CLADDING                      |
| <div>GL2</div> | FIXED GLAZING<br>FRAME COLOUR: LIGHT               | <div>ST2</div> | TRAVERTINE CLADDING                     |
| <div>GL3</div> | SLIDING GLAZED DOORS<br>FRAME COLOUR: LIGHT        | <div>TFB</div> | TIMBER FLOOR BOARD                      |
| <div>GL4</div> | SKYLIGHT<br>FRAME COLOUR: LIGHT                    | <div>TL</div>  | TILES                                   |
| <div>GL5</div> | SASHLESS DOUBLE HUNG WINDOW<br>FRAME COLOUR: LIGHT | <div>WD1</div> | TIMBER PRIVACY SCREEN<br>COLOUR: MEDIUM |

S4.55 MODIFICATION APPLICATION

New Dwelling

to


30 Rayner Road Whale Beach NSW 2107

for

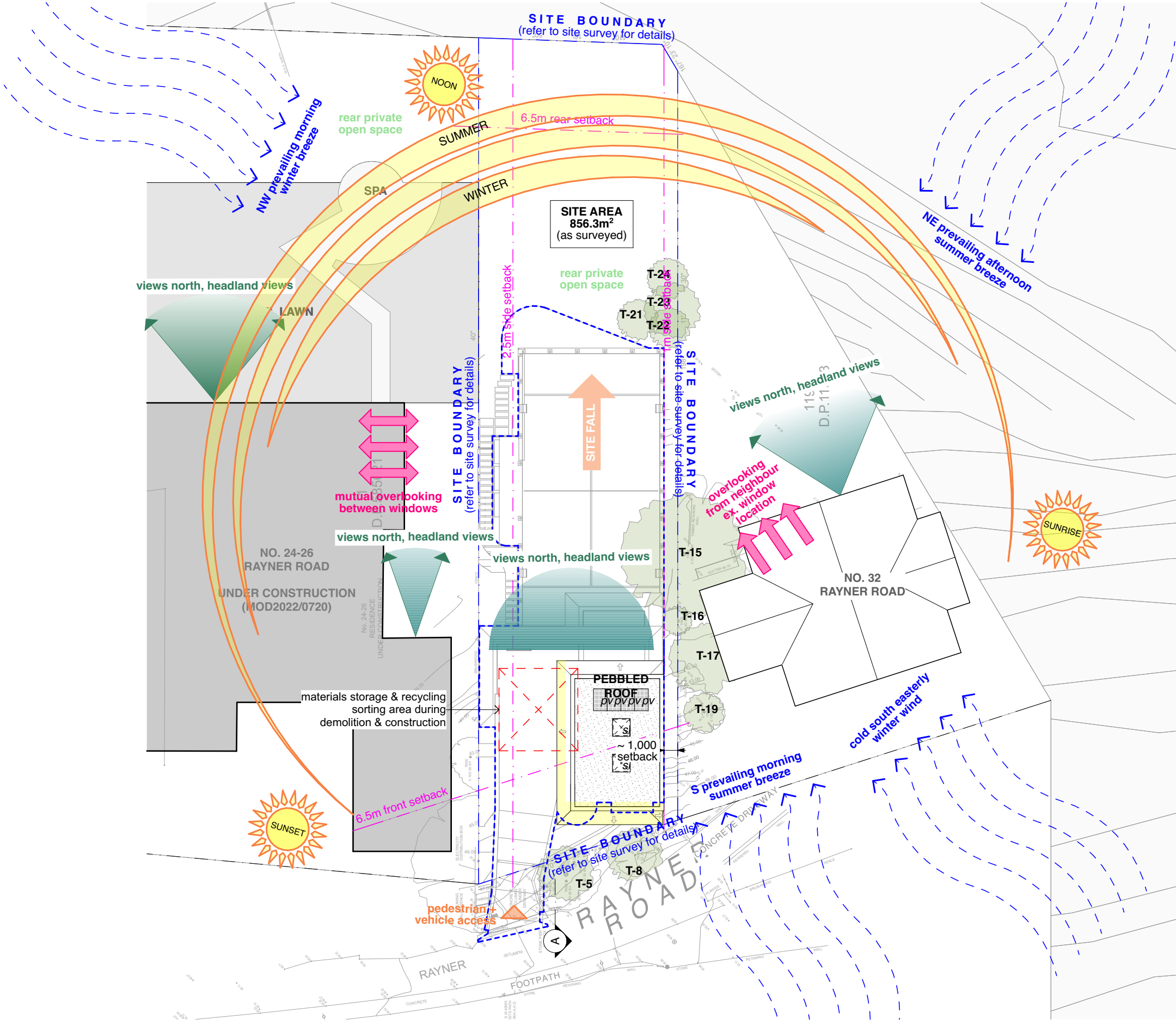
J GROUP PROJECTS



INDICATIVE AERIAL IMAGE

| Notes  |  | Notes Regarding "FOR CONSTRUCTION" Documents |  | Notes                                |  | Project Details |          |                    | Drawing Details  |   | S4.55 MODIFICATION APPLICATION  |                      |          |            |              |            |
|--|--|--|--|--------------------------------------|--|-----------------|----------|--------------------|------------------|---|---|----------------------|----------|------------|--------------|------------|
| Do not scale the drawings. Use figured dimensions only. Builder to examine site, check and verify all dimensions and levels prior to commencement of construction. Notify all discrepancies to the Architect.  |  | FOR APPROVALS<br>NOT FOR CONSTRUCTION        |  | S4.55<br>MODIFICATION<br>APPLICATION |  | Revision        | Printed  | Revision Note      | Project          | Project Address                           |  <div>J GROUP PROJECTS<br/>2/57 Avalon Parade<br/>AVALON BEACH<br/>NSW 2107<br/><br/>JAKE WALL<br/><br/>Licence Number<br/>257772C</div> | Scale                | NTS @ A3 | Dwg Name   |              |            |
| All work to be carried out in accordance with the NCC/BCA, the Australian Standard (AS), other relevant codes and manufacturers' specification and instructions. Comply with the BASIX certificate. Comply with the local regulatory authority requirements. |  |  |  |                                      |  | 1               | 6/3/2025 | S4.55 Modification | JG30             | 30 Rayner Road<br>Whale Beach<br>NSW 2107 |   | Drawn                | DS       | COVER PAGE |              |            |
|  |  |  |  |                                      |  |                 |          |                    | Client Name      |   |   | Date                 | 6/3/2025 | Dwg #      | Project Code | Revision # |
|  |  |  |  |                                      |  |                 |          |                    | J Group Projects |   |   | Project Architect(s) | MC/AH    | MOD00      | JG30         | 1          |





**GENERAL LEGEND**

- outline of approved DA2023/1505
- existing
- proposed
- extents of proposed modification

**S4.55 MODIFICATION APPLICATION**

**SITE ANALYSIS PLAN**

|       |              |            |
|-------|--------------|------------|
| Dwg # | Project Code | Revision # |
| MOD01 | JG30         | 1          |

Notes

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Notes Regarding "FOR CONSTRUCTION" Documents

**FOR APPROVALS  
NOT FOR CONSTRUCTION**

Notes

**S4.55  
MODIFICATION  
APPLICATION**

| Revision | Printed  | Revision Note      |
|----------|----------|--------------------|
| 1        | 6/3/2025 | S4.55 Modification |

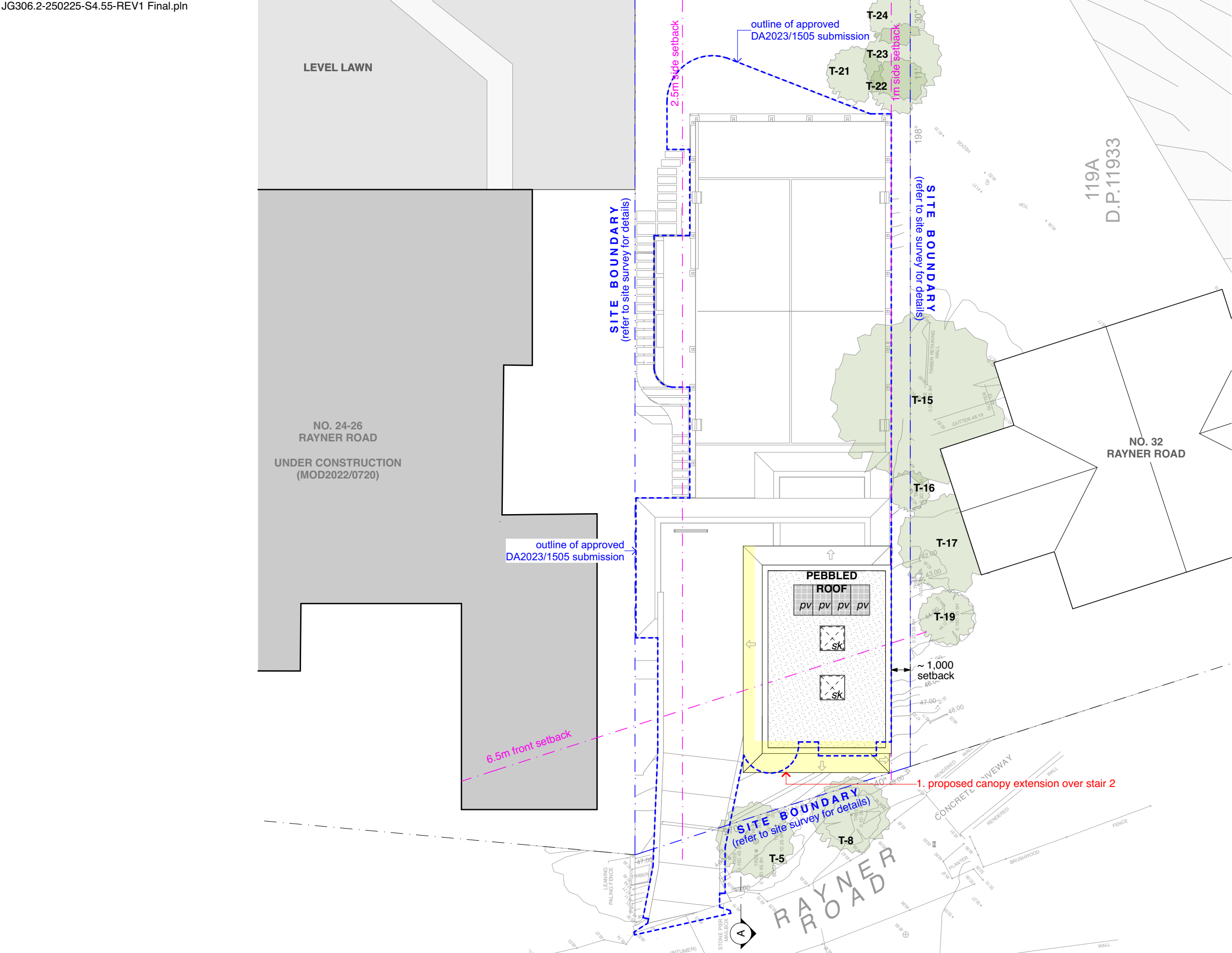
Project Details

|                  |  |
|------------------|--|
| Project          | Project Address                            |
| JG30             | 30 Rayner Road<br>Avalon Beach<br>NSW 2107 |
| Client Name      |  |
| J Group Projects |  |

|  |
|--|
| J GROUP PROJECTS                               |
| 2/57 Avalon Parade<br>AVALON BEACH<br>NSW 2107 |
| JAKE WALL                                      |
| Licence Number<br>257772C                      |

Drawing Details

|                      |            |
|----------------------|------------|
| Scale                | 1:300 @ A3 |
| Drawn                | DS         |
| Date                 | 6/3/2025   |
| Project Architect(s) | MC/AH      |



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Project Details

| Project | Project Address                           |
|---------|---|
| JG30    | 30 Rayner Road<br>Whale Beach<br>NSW 2107 |

| Client Name      |
|------------------|
| J Group Projects |



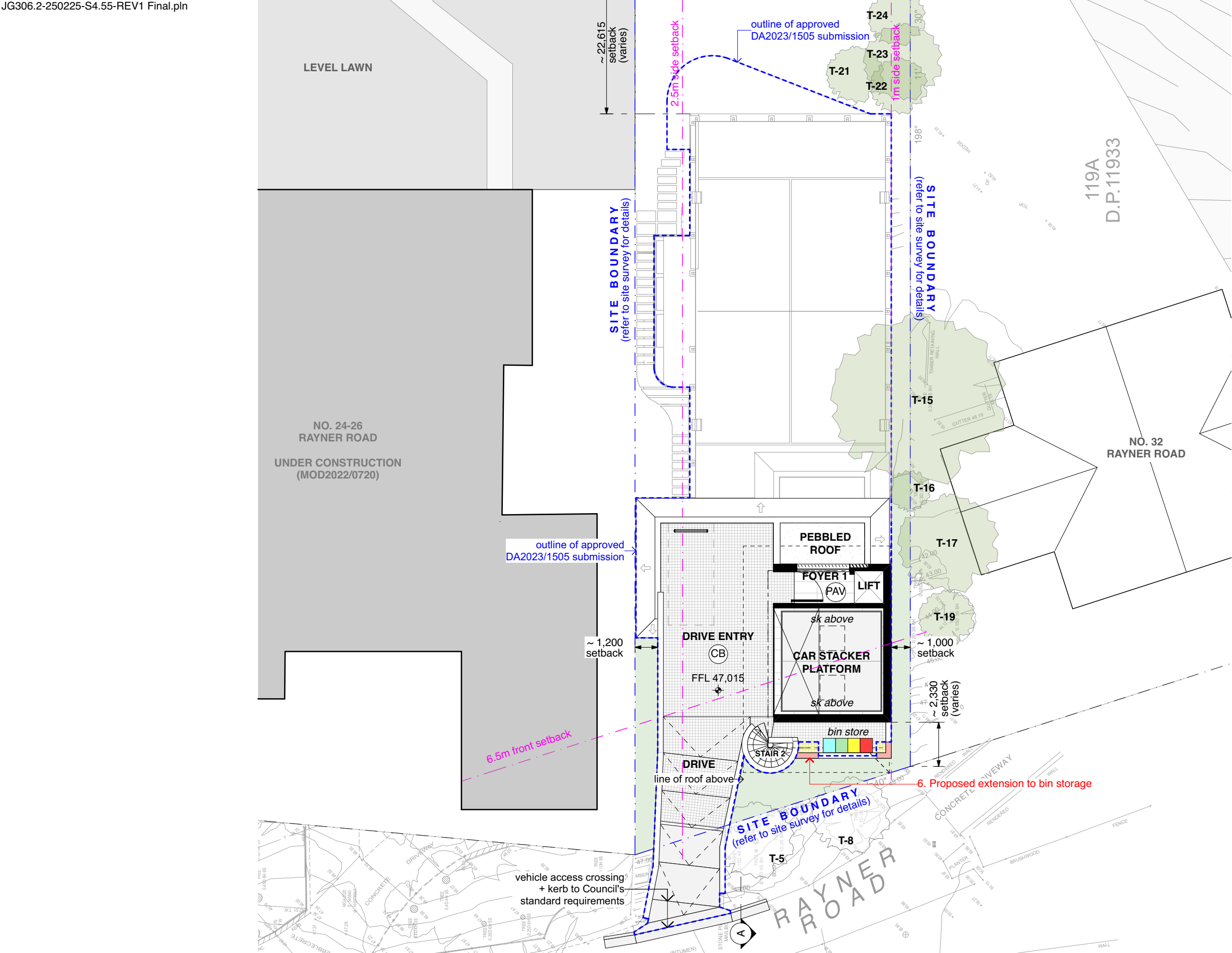
| Project          | Project Address                                |
|------------------|--|
| J GROUP PROJECTS | 2/57 Avalon Parade<br>AVALON BEACH<br>NSW 2107 |
| JAKE WALL        | Licence Number<br>257772C                      |

Drawing Details

| Scale                | 1:200 @ A3 |
|----------------------|------------|
| Drawn                | DS         |
| Date                 | 6/3/2025   |
| Project Architect(s) | MC/AH      |

Dwg Name  
ROOF PLAN

| Dwg # | Project Code | Revision # |
|-------|--------------|------------|
| MOD02 | JG30         | 1          |



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S4.55  
MODIFICATION  
APPLICATION

| Revision | Printed  | Revision Note      |
|----------|----------|--------------------|
| 1        | 6/3/2025 | S4.55 Modification |

Project Details

| Project     | Project Address                           |
|-------------|---|
| JG30        | 30 Rayner Road<br>Whale Beach<br>NSW 2107 |
| Client Name | J Group Projects                          |



| Project        | J GROUP PROJECTS                               |
|----------------|--|
| Address        | 2/57 Avalon Parade<br>AVALON BEACH<br>NSW 2107 |
| Architect      | JAKE WALL                                      |
| Licence Number | 257772C  |

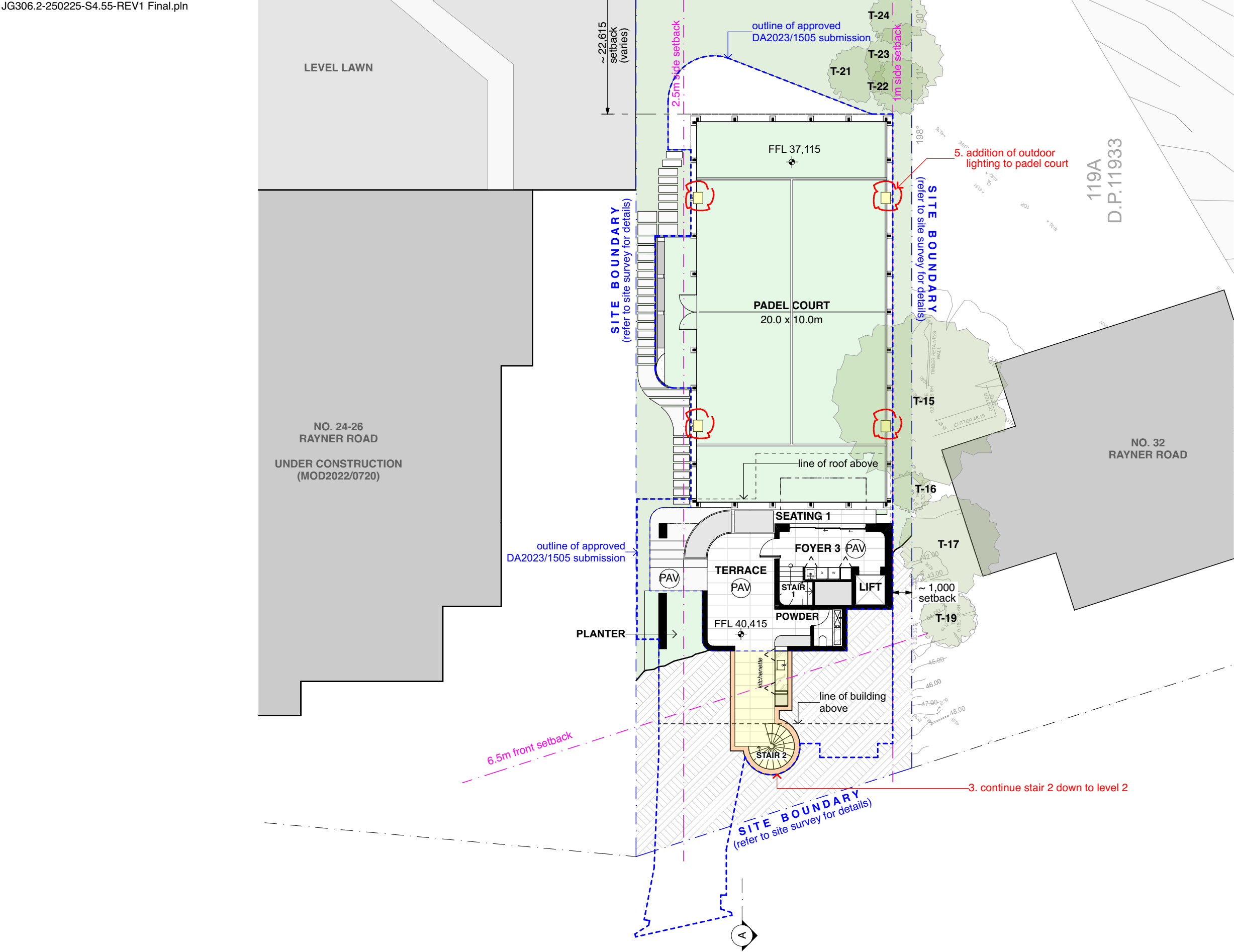
Drawing Details

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|----------------------|------------|
| Drawn                | DS         |
| Date                 | 6/3/2025   |
| Project Architect(s) | MC/AH      |

Dwg Name

LEVEL 4 PLAN

| Dwg # | Project Code | Revision # |
|-------|--------------|------------|
| MOD03 | JG30         | 1          |



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APPLICATION

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| 1        | 6/3/2025 | S4.55 Modification |

Project Details

| Project | Project Address                           |
|---------|---|
| JG30    | 30 Rayner Road<br>Whale Beach<br>NSW 2107 |

Client Name  
J Group Projects



J GROUP PROJECTS  
2/57 Avalon Parade  
AVALON BEACH  
NSW 2107  
JAKE WALL  
Licence Number  
257772C

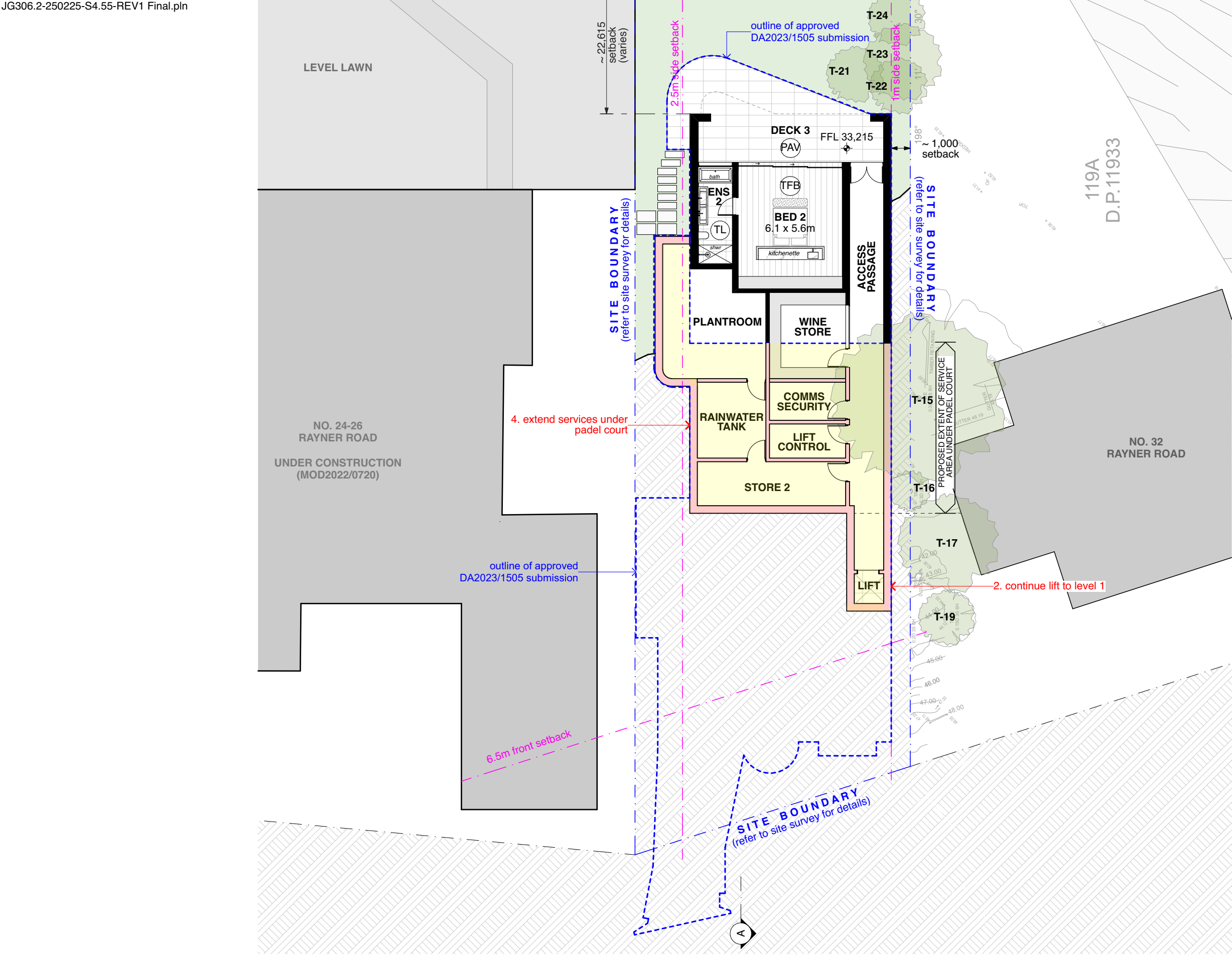
Drawing Details

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| Drawn                | DS         |
| Date                 | 6/3/2025   |
| Project Architect(s) | MC/AH      |

Dwg Name  
LEVEL 2 PLAN

| Dwg # | Project Code | Revision # |
|-------|--------------|------------|
| MOD04 | JG30         | 1          |





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S4.55 MODIFICATION APPLICATION

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S4.55  
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|----------|----------|--------------------|
| 1        | 6/3/2025 | S4.55 Modification |

Project Details

| Project | Project Address                           |
|---------|---|
| JG30    | 30 Rayner Road<br>Whale Beach<br>NSW 2107 |

| Client Name      |
|------------------|
| J Group Projects |



|  |
|--|
| J GROUP PROJECTS                               |
| 2/57 Avalon Parade<br>AVALON BEACH<br>NSW 2107 |
| JAKE WALL                                      |
| Licence Number<br>257772C                      |

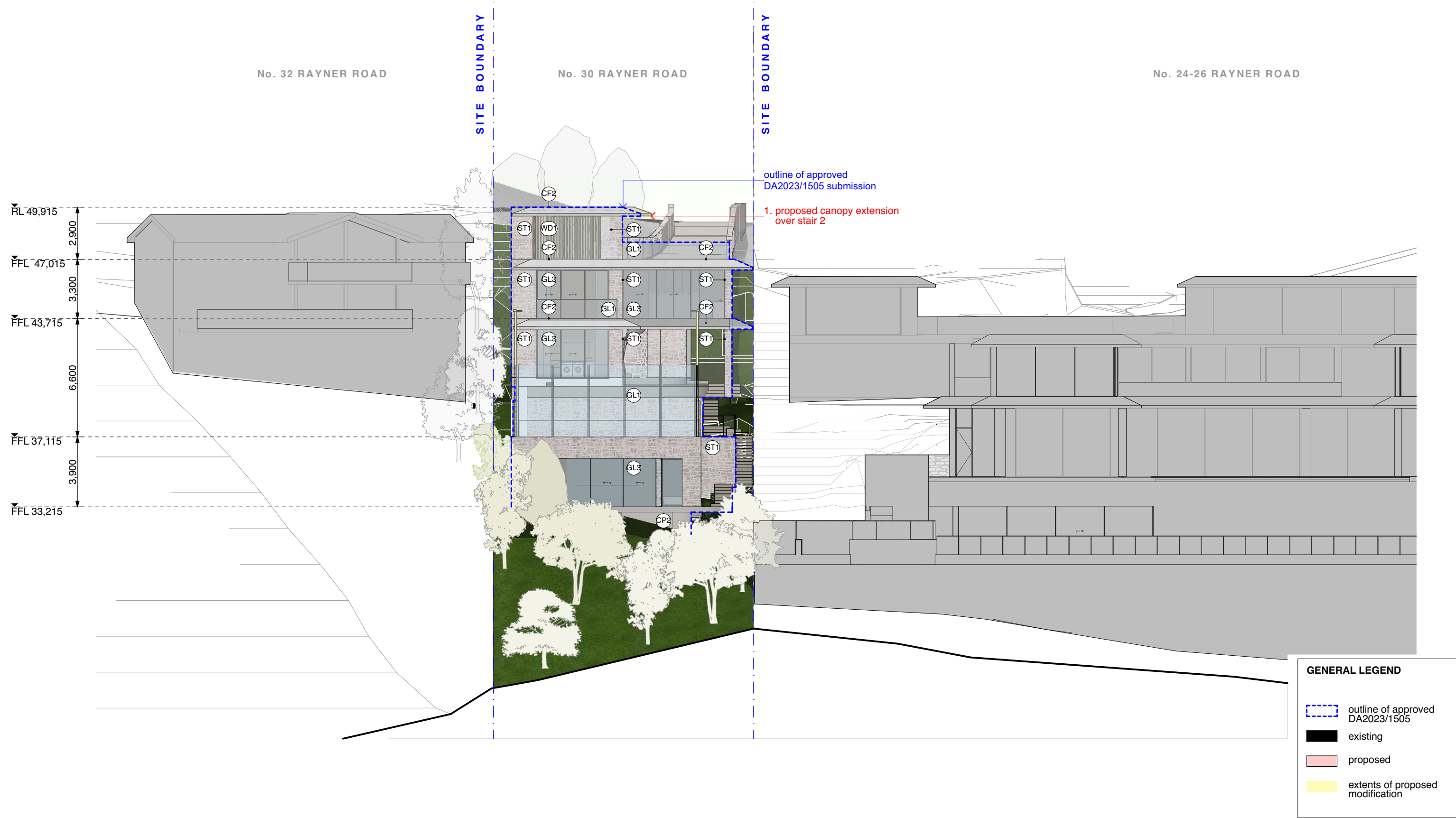
Drawing Details

| Scale                | 1:200 @ A3 |
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| Drawn                | DS         |
| Date                 | 6/3/2025   |
| Project Architect(s) | MC/AH      |

Dwg Name  
LEVEL 1 PLAN

| Dwg # | Project Code | Revision # |
|-------|--------------|------------|
| MOD05 | JG30         | 1          |



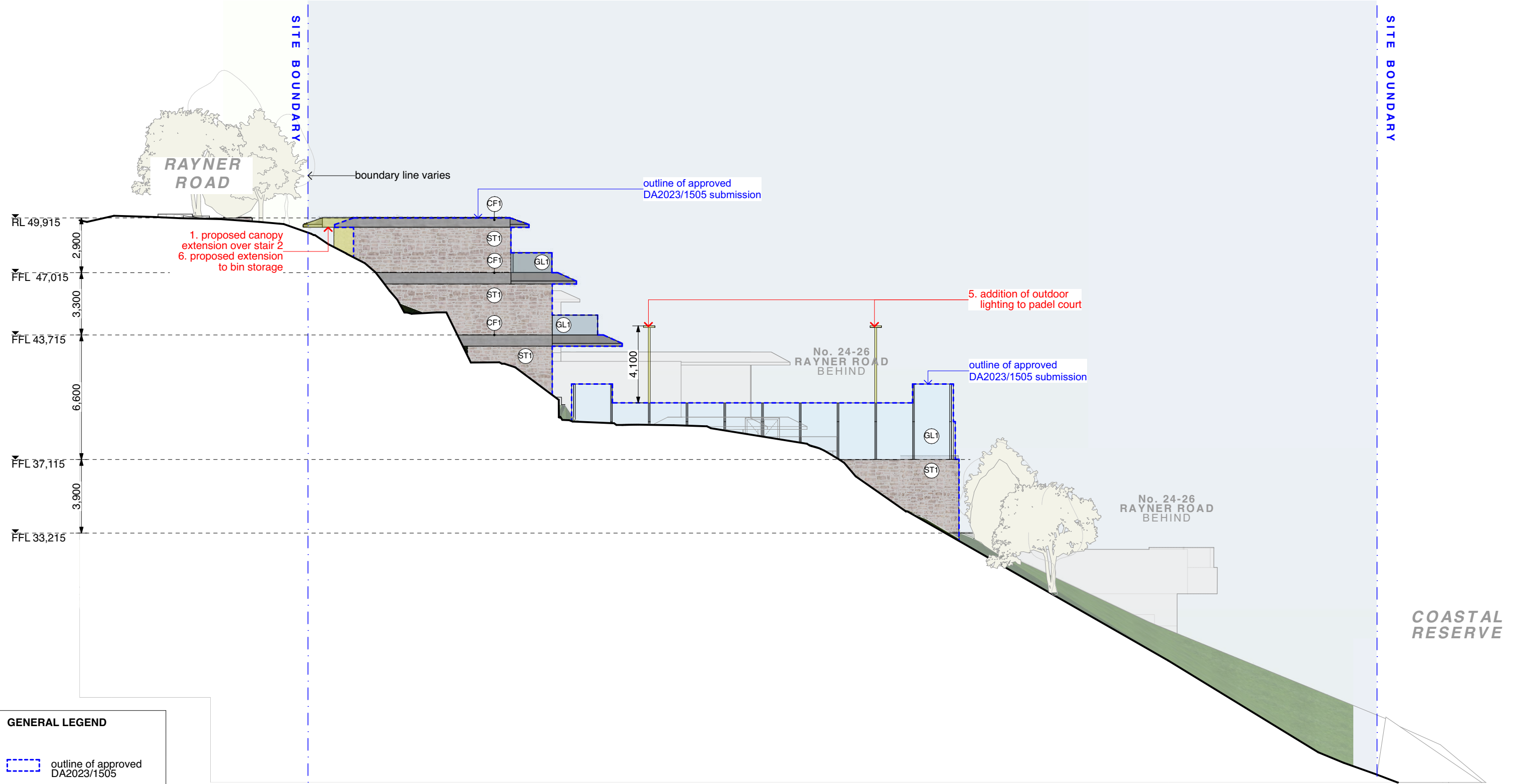


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S4.55 MODIFICATION APPLICATION

| Notes   |  | Notes Regarding "FOR CONSTRUCTION" Documents  |  | Notes   | Project Details |                 |                | Drawing Details      |                             | APPLICATION                               |  |              |                     |                        |          |
|---|--|---|--|---|-----------------|-----------------|----------------|----------------------|-----------------------------|---|--|--------------|---------------------|------------------------|----------|
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|   |  | <u>Client Name</u>                            |  | J Group Projects                              |                 |                 | <u>Date</u>    | 6/3/2025             | <u>Project Architect(s)</u> | MC/AH                                     |  | <u>Dwg #</u> | <u>Project Code</u> | <u>Revision #</u>      |          |
|   |  |   |  |   |                 |                 |                |                      |                             |   |  |              | <b>MOD06</b>        | <b>JG30</b>            | <b>1</b> |
|   |  |   |  |   |                 |                 |                |                      |                             |   |  |              |                     |                        |          |



**GENERAL LEGEND**

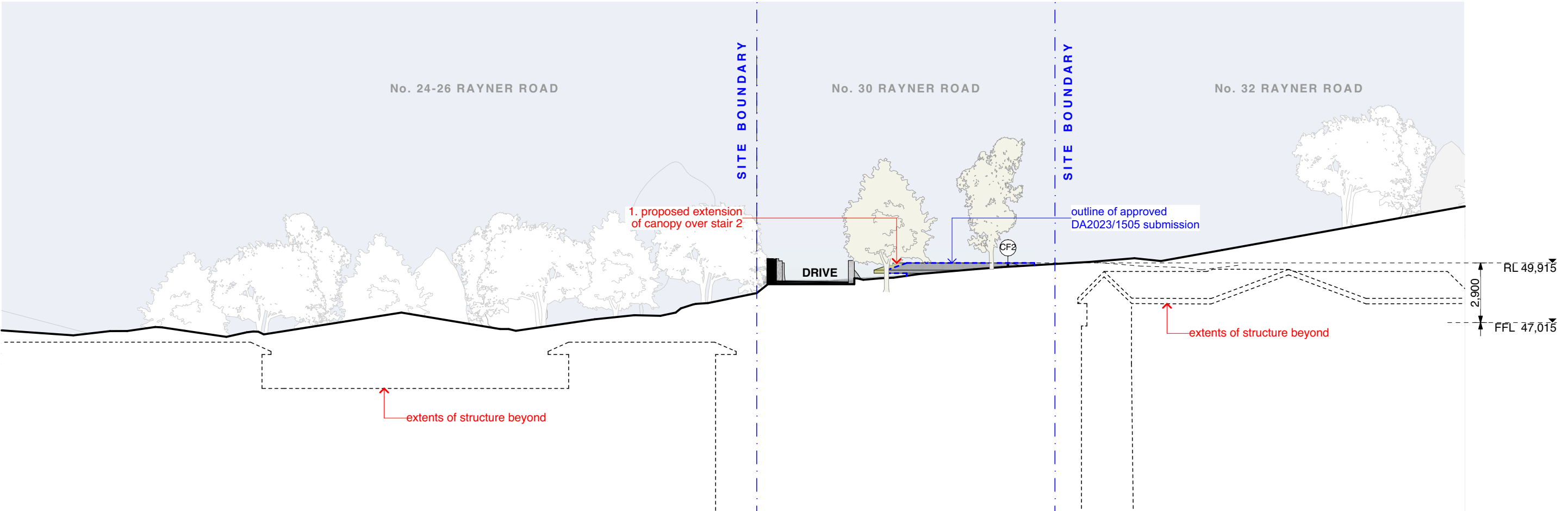
outline of approved DA2023/1505

existing

proposed

extents of proposed modification

| Notes  |  | Notes Regarding "FOR CONSTRUCTION" Documents  |  | Notes   |  | Project Details                         |                             |   | Drawing Details                       |  | S4.55 MODIFICATION APPLICATION  |                                |   |
|--|--|---|--|---|--|---|-----------------------------|---|---------------------------------------|--|---|--------------------------------|---|
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|  |  |   |  |   |  |   |                             |   | <div>Project Architect(s)</div> MC/AH |  |   | <div>Revision #</div> <b>1</b> |   |



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S4.55  
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| Revision | Printed  | Revision Note      |
|----------|----------|--------------------|
| 1        | 6/3/2025 | S4.55 Modification |

Project Details

| Project | Project Address                           |
|---------|---|
| JG30    | 30 Rayner Road<br>Whale Beach<br>NSW 2107 |

Client Name  
J Group Projects

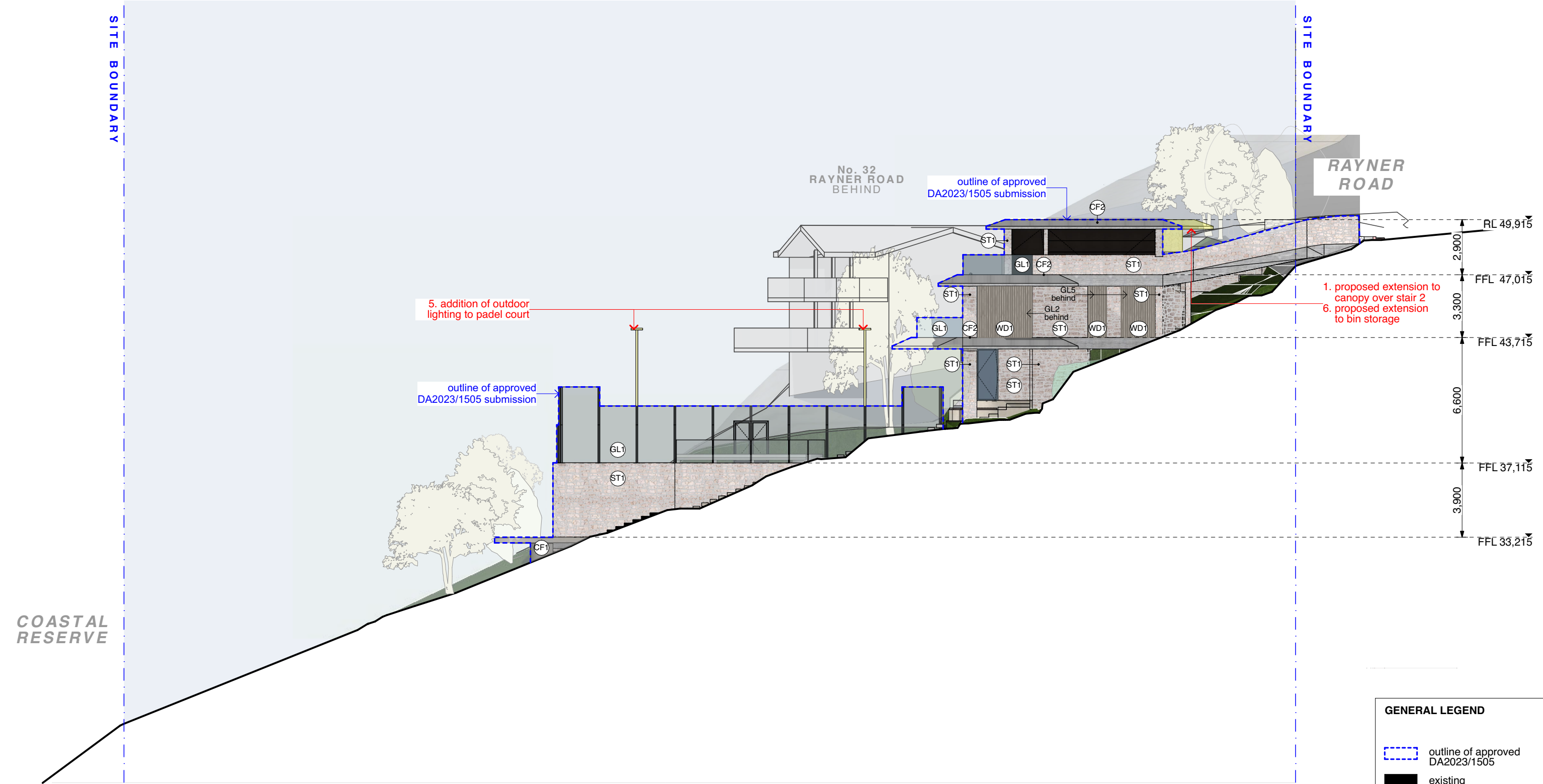


J GROUP PROJECTS  
  
2/57 Avalon Parade  
AVALON BEACH  
NSW 2107  
  
JAKE WALL  
  
Licence Number  
257772C

Drawing Details

| Scale                | 1:200 @ A3 |
|----------------------|------------|
| Drawn                | DS         |
| Date                 | 6/3/2025   |
| Project Architect(s) | MC/AH      |

| Dwg Name        |              |            |
|-----------------|--------------|------------|
| SOUTH ELEVATION |              |            |
| Dwg #           | Project Code | Revision # |
| MOD08           | JG30         | 1          |



GENERAL LEGEND

outline of approved DA2023/1505

existing

proposed

extents of proposed modification

S4.55 MODIFICATION APPLICATION

WEST ELEVATION

Dwg #

Project Code

Revision #

MOD09

JG30

1

Notes

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Notes Regarding "FOR CONSTRUCTION" Documents

FOR APPROVALS  
NOT FOR CONSTRUCTION

Notes

S4.55  
MODIFICATION  
APPLICATION

| Revision | Printed  | Revision Note      |
|----------|----------|--------------------|
| 1        | 6/3/2025 | S4.55 Modification |

| Project          | Project Address                           |
|------------------|---|
| JG30             | 30 Rayner Road<br>Whale Beach<br>NSW 2107 |
| Client Name      |   |
| J Group Projects |   |

J GROUP PROJECTS

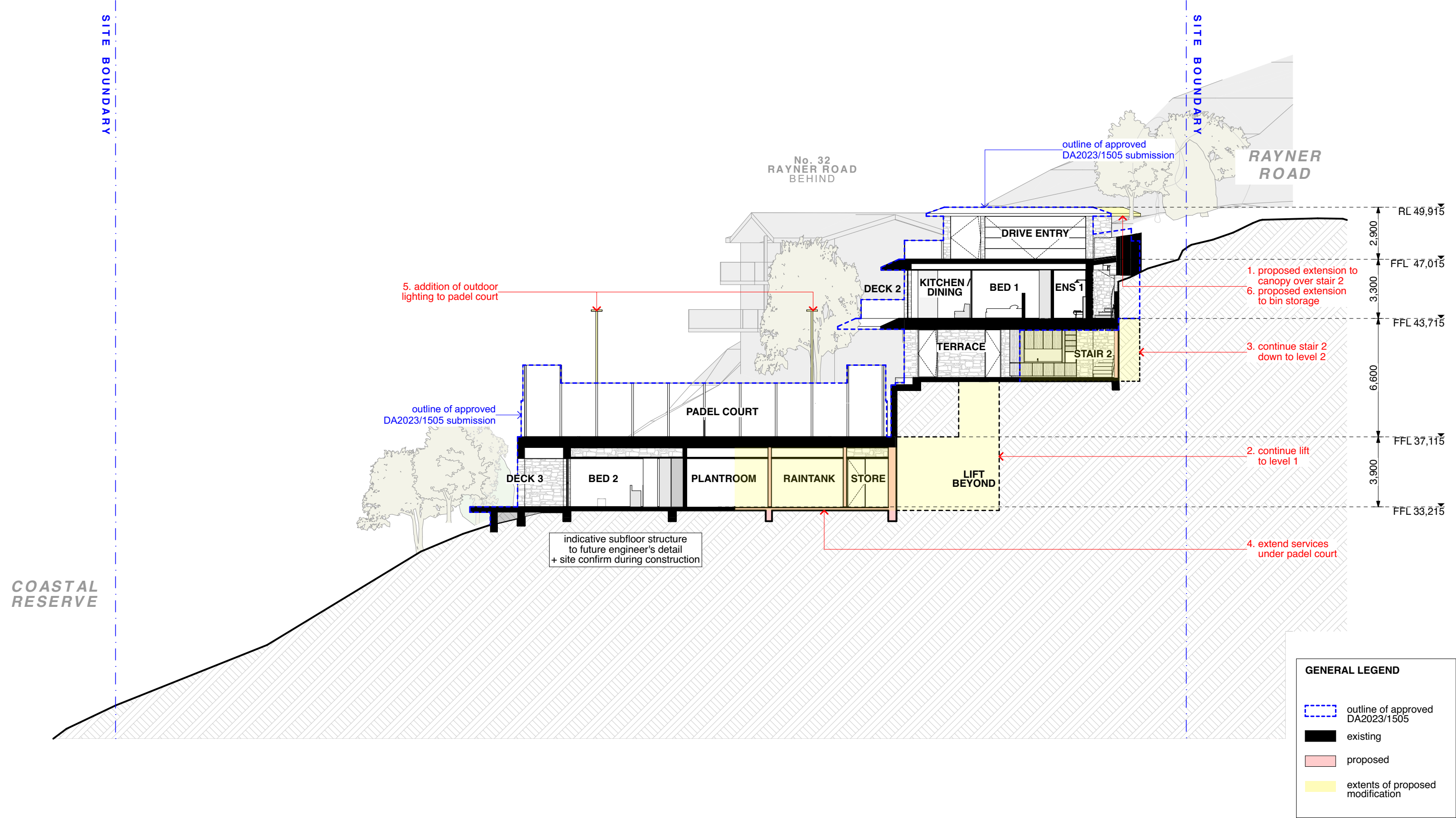
2/57 Avalon Parade  
AVALON BEACH  
NSW 2107

JAKE WALL

Licence Number  
257772C

| Scale                | 1:200 @ A3 |
|----------------------|------------|
| Drawn                | DS         |
| Date                 | 6/3/2025   |
| Project Architect(s) | MC/AH      |





Notes

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**FOR APPROVALS  
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Notes

**S4.55  
MODIFICATION  
APPLICATION**

| Revision | Printed  | Revision Note      |
|----------|----------|--------------------|
| 1        | 6/3/2025 | S4.55 Modification |

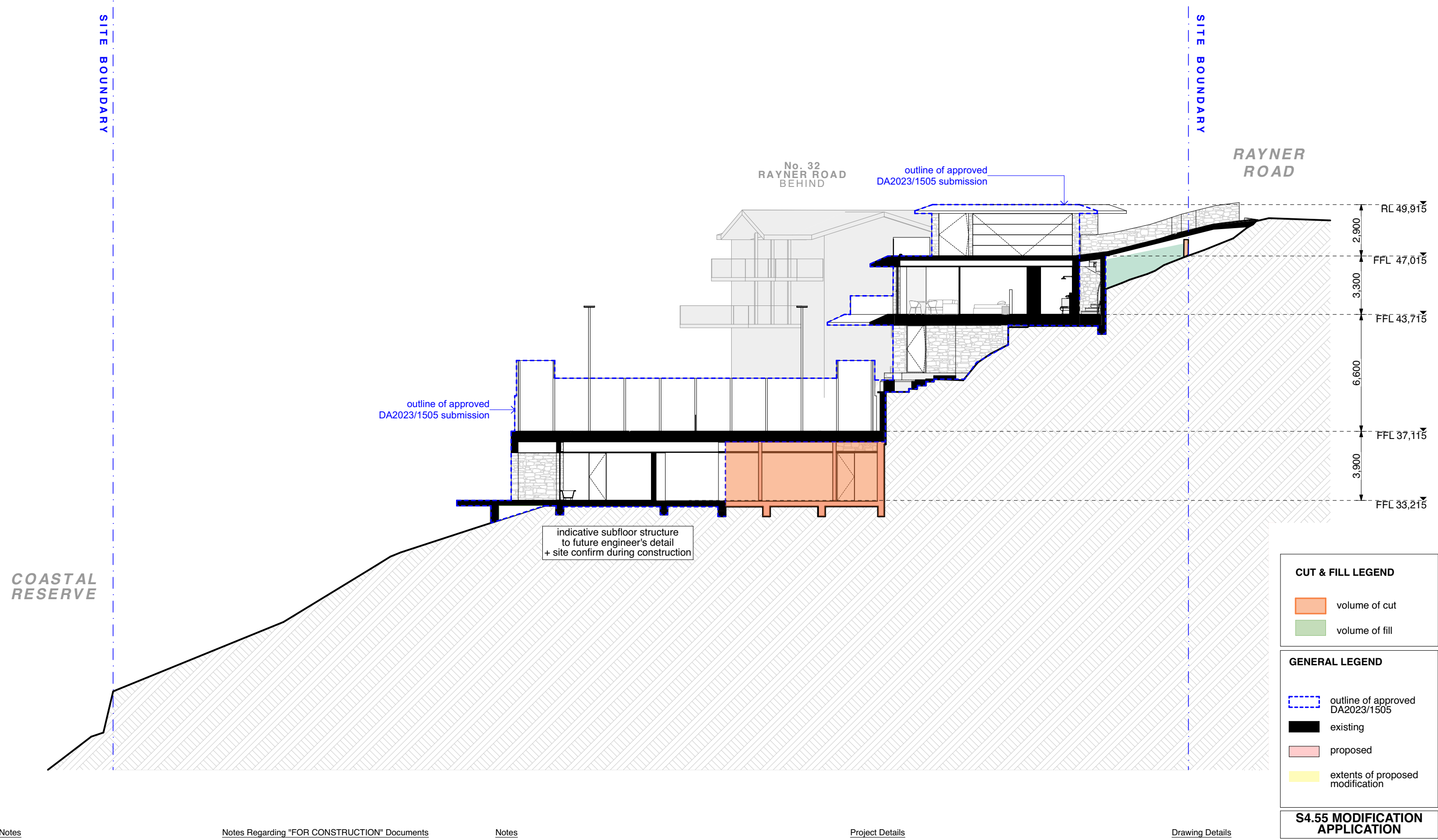
| Project Details  |   |
|------------------|---|
| Project          | Project Address                           |
| JG30             | 30 Rayner Road<br>Whale Beach<br>NSW 2107 |
| Client Name      |   |
| J Group Projects |   |

|   |  |
|---|--|
| J GROUP PROJECTS  |  |
|  | 2/57 Avalon Parade<br>AVALON BEACH<br>NSW 2107 |
|   | JAKE WALL                                      |
|   | Licence Number<br>257772C                      |

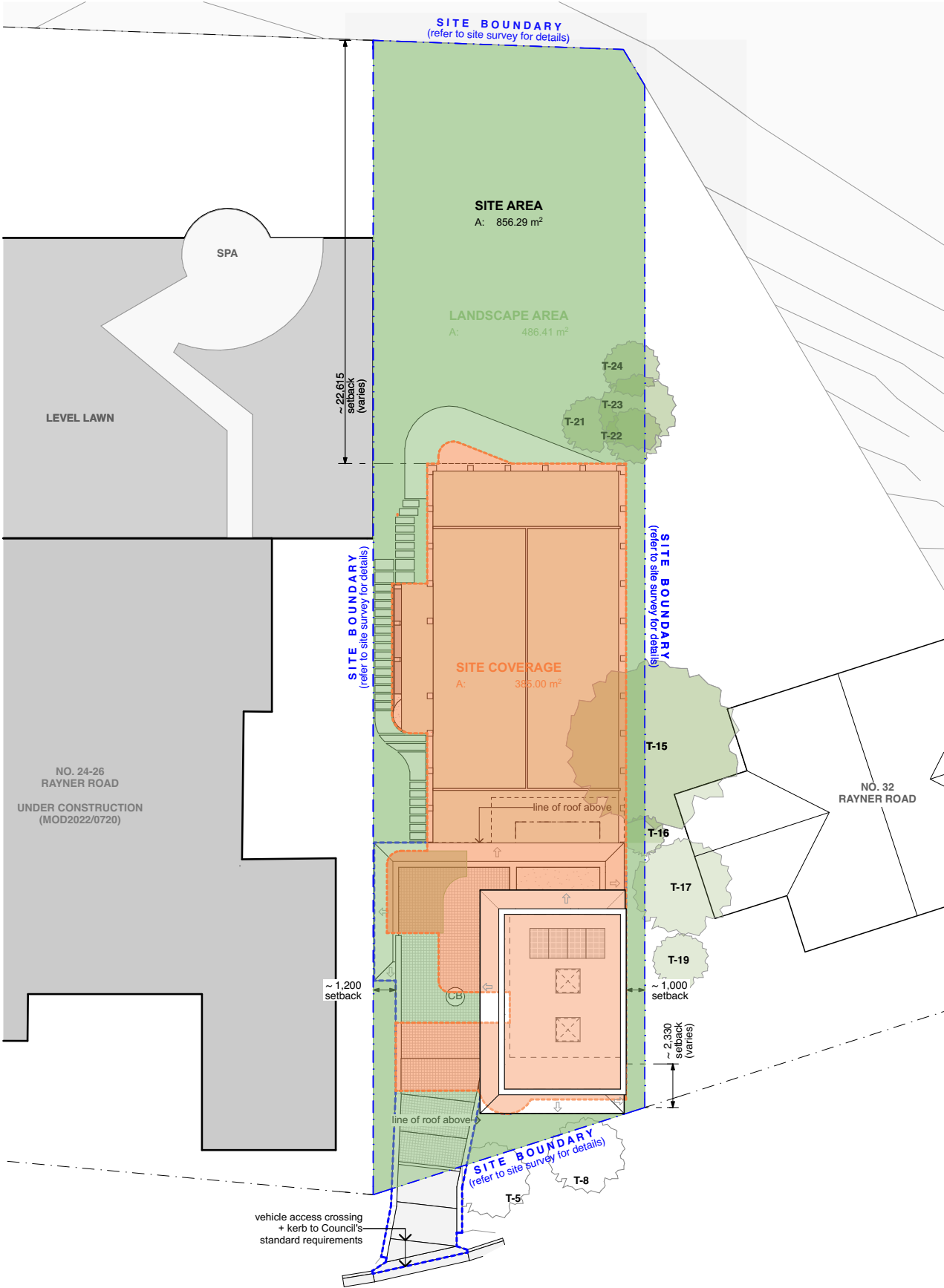
| Drawing Details      |            |
|----------------------|------------|
| Scale                | 1:200 @ A3 |
| Drawn                | DS         |
| Date                 | 6/3/2025   |
| Project Architect(s) | MC/AH      |

| S4.55 MODIFICATION APPLICATION |              |            |
|--------------------------------|--------------|------------|
| Dwg Name                       |              |            |
| SECTION AA                     |              |            |
| Dwg #                          | Project Code | Revision # |
| MOD10                          | JG30         | 1          |





| Notes  |  | Notes Regarding "FOR CONSTRUCTION" Documents  |  | Notes   | Project Details |                | Drawing Details      |                    | APPLICATION                               |  |                             |            |                 |                           |   |  |          |              |
|--|--|---|--|---|-----------------|----------------|----------------------|--------------------|---|--|-----------------------------|------------|-----------------|---------------------------|---|--|----------|--------------|
| Do not scale the drawings. Use figured dimensions only. Builder to examine site, check and verify all dimensions and levels prior to commencement of construction. Notify all discrepancies to the Architect.  |  | <b>FOR APPROVALS<br/>NOT FOR CONSTRUCTION</b> |  | <b>S4.55<br/>MODIFICATION<br/>APPLICATION</b> | <u>Revision</u> | <u>Printed</u> | <u>Revision Note</u> | <u>Project</u>     | <u>Project Address</u>                    | <div><div></div><div>J GROUP PROJECTS</div><div>2/57 Avalon Parade<br/>AVALON BEACH<br/>NSW 2107</div><div>JAKE WALL</div><div>Licence Number<br/>257772C</div></div> <div>J Group</div> | <u>Scale</u>                | 1:200 @ A3 | <u>Dwg Name</u> | <b>CUT + FILL DIAGRAM</b> |   |  |          |              |
| All work to be carried out in accordance with the NCC/BCA, the Australian Standard (AS), other relevant codes and manufacturers' specification and instructions. Comply with the BASIX certificate. Comply with the local regulatory authority requirements. |  |   |  |   | 1               | 6/3/2025       | S4.55 Modification   | JG30               | 30 Rayner Road<br>Whale Beach<br>NSW 2107 |  | <u>Drawn</u>                | DS         | <u>Date</u>     |                           |   |  | 6/3/2025 | <u>Dwg #</u> |
|  |  |   |  |   |                 |                |                      | <u>Client Name</u> |   |  | <u>Project Architect(s)</u> | MC/AH      | MOD11           | JG30                      | 1 |  |          |              |



| AREA SCHEDULE  |                          |                    |            |
|----------------|--------------------------|--------------------|------------|
| ID             | Controls                 | Measured Area (m2) | Compliance |
| LANDSCAPE AREA | 60% of site area (513.8) | 486.4              | No         |
| SITE AREA      | As per survey            | 856.3              |            |
| SITE COVERAGE  |                          | 385.0              |            |

**NUMERIC COMPLIANCE LEGEND**

site coverage

landscape area

S4.55 MODIFICATION APPLICATION

Notes

Notes Regarding "FOR CONSTRUCTION" Documents

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FOR APPROVALS  
NOT FOR CONSTRUCTION

Notes

S4.55  
MODIFICATION  
APPLICATION

| Revision | Printed  | Revision Note      |
|----------|----------|--------------------|
| 1        | 6/3/2025 | S4.55 Modification |

Project Details

| Project | Project Address                           |
|---------|---|
| JG30    | 30 Rayner Road<br>Whale Beach<br>NSW 2107 |

| Client Name      |
|------------------|
| J Group Projects |



|  |
|--|
| J GROUP PROJECTS                               |
| 2/57 Avalon Parade<br>AVALON BEACH<br>NSW 2107 |
| JAKE WALL                                      |
| Licence Number<br>257772C                      |

Drawing Details

| Scale                | 1:300 @ A3 |
|----------------------|------------|
| Drawn                | DS         |
| Date                 | 6/3/2025   |
| Project Architect(s) | MC/AH      |

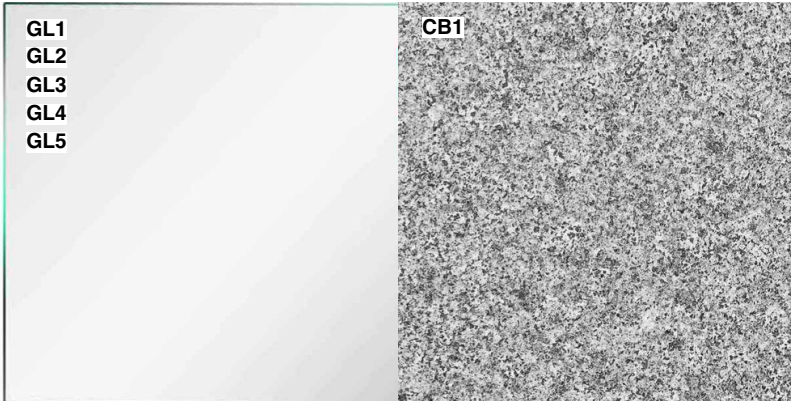
Dwg Name

NUMERIC COMPLIANCE SCHEDULE

| Dwg # | Project Code | Revision # |
|-------|--------------|------------|
| MOD12 | JG30         | 1          |







FINISHES CODES

- Ⓢ COBBLE STONE  
COLOUR: MEDIUM
- Ⓢ CONCRETE FINISH  
COLOUR: LIGHT
- Ⓢ CONCRETE FINISH  
COLOUR: LIGHT
- Ⓢ GLAZED BALUSTRADE
- Ⓢ FIXED GLAZING  
FRAME COLOUR: LIGHT
- Ⓢ SLIDING GLAZED DOORS  
FRAME COLOUR: LIGHT
- Ⓢ SKYLIGHT  
FRAME COLOUR: LIGHT
- Ⓢ SASHLESS DOUBLE HUNG WINDOW  
FRAME COLOUR: LIGHT
- Ⓢ PEBBLES 1  
COLOUR: MEDIUM
- Ⓢ PEBBLES 2  
COLOUR: MEDIUM
- Ⓢ PAVING
- Ⓢ SANDSTONE CLADDING
- Ⓢ TRAVERTINE CLADDING
- Ⓢ TIMBER FLOOR BOARD
- Ⓢ TILES
- Ⓢ TIMBER PRIVACY SCREEN  
COLOUR: MEDIUM

Notes

Notes Regarding "FOR CONSTRUCTION" Documents

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FOR APPROVALS  
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Notes

S4.55  
MODIFICATION  
APPLICATION

| Revision | Printed  | Revision Note      |
|----------|----------|--------------------|
| 1        | 6/3/2025 | S4.55 Modification |

Project Details

| Project | Project Address                           |
|---------|---|
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| Client Name      |
|------------------|
| J Group Projects |

|  |
|--|
| J GROUP PROJECTS                               |
| 2/57 Avalon Parade<br>AVALON BEACH<br>NSW 2107 |
| JAKE WALL                                      |
| Licence Number<br>257772C                      |

Drawing Details

| Scale                | NTS @ A3 |
|----------------------|----------|
| Drawn                | DS       |
| Date                 | 6/3/2025 |
| Project Architect(s) | MC/AH    |

S4.55 MODIFICATION  
APPLICATION

| <u>Dwg Name</u>  |                     |                   |
|--|---------------------|-------------------|
| <b>FINISHES AND MATERIALS<br/>SCHEDULE (NO CHANGE)</b> |                     |                   |
| <u>Dwg #</u>   | <u>Project Code</u> | <u>Revision #</u> |
| <b>MOD13</b>   | <b>JG30</b>         | <b>1</b>          |