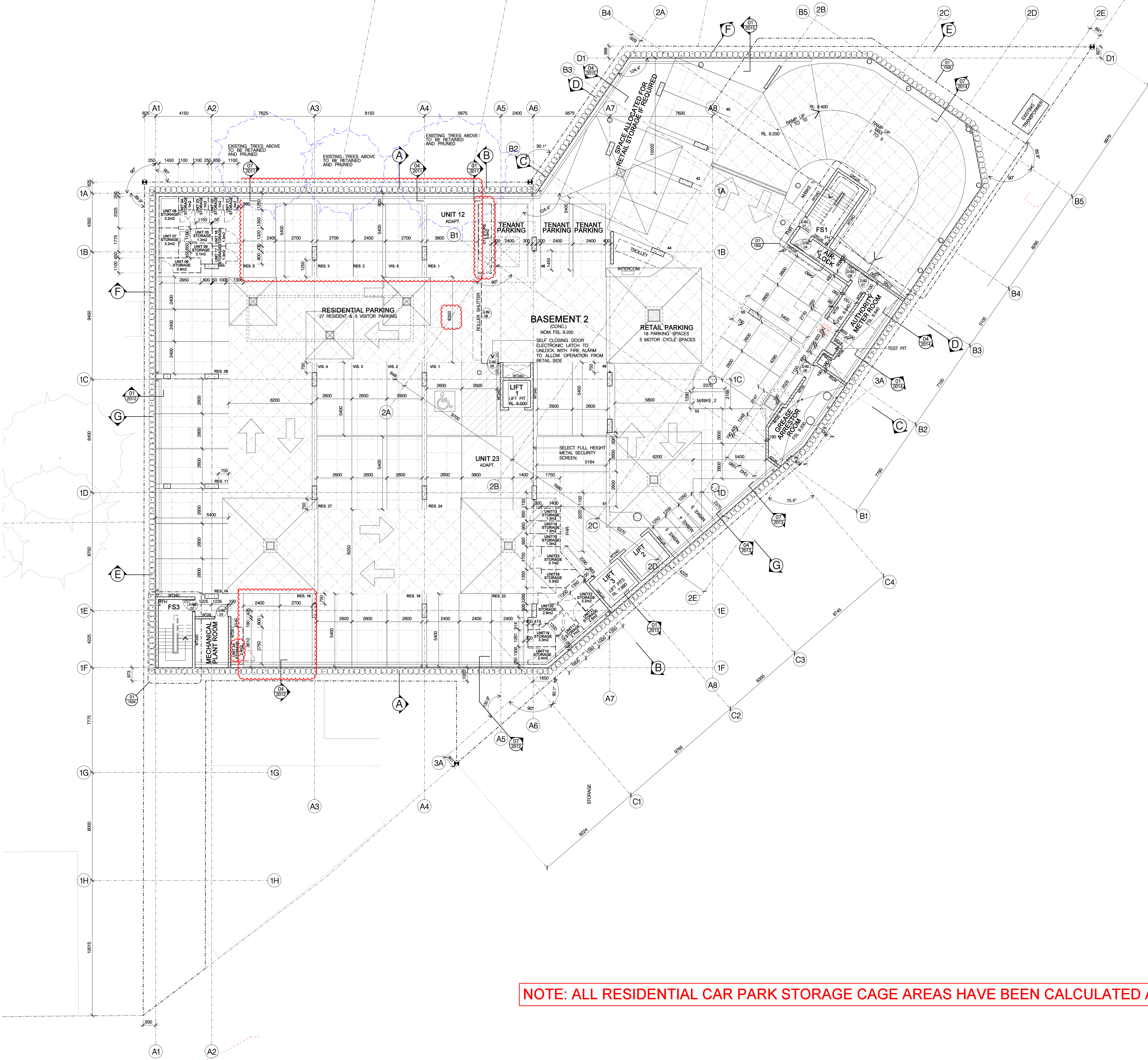




NOTE: ALL RESIDENTIAL CAR PARK STORAGE CAGE AREAS HAVE BEEN CALCULATED AT 2100 HEIGHT OFF FFL.

urban design
masterplanning
architecture

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CLIENT:

**QPS DEVELOPMENTS
PTY LTD**

BUILDER:

HINDMARSH

LEGEND/ABBREVIATION

ACU ALUMINUM COVER PLATE COLOUR TO MATCH
ACP ALUMINUM FRAMED WINDOW
AW ALUMINUM FRAMED WINDOW
BA BALUSTRADE TYPE REFER AR 2201 TO 2204
BIR BUILT IN ROBE
BT BALUSTRADE TYPE REFER AR 2201 TO 2204
CE CARPARK EXHAUST
COM COMPOSITE
CONC OFF FORM CONCRETE
CPE CARPARK EXHAUST
CPS CARPARK SUPPLY
CPT CEMENT RENDER & PAINT COLOUR WHITE
CRT CEMENT RENDER & PAINT COLOUR WHITE
CR2 CEMENT RENDER & PAINT COLOUR STONE
DATA DATA CUPBOARD
DP DOWNPIPE
DT DECK TILES
ELEC ELEC CUPBOARD
EPX EPX PAINT
ENS- ENSUITE TYPE REFER AR 2205 TO 2207
ERL EXISTING REDUCED LEVEL
FCL FINISHED CEILING LEVEL
FPL FINISHED FLOOR LEVEL
FIH FIRE HYDRANT
FHR FIRE HOSE REEL
FIP FIRE INDICATOR PANEL
FL FINISHED SLAB LEVEL
FT FLOOR TILE
FW FLOOR WHITE
GM GAS METER
GE GARBAGE ROOM EXHAUST
H HYDRAULIC RISER
HB HYDRANT BOOSTER
HWM HOT WATER METER
HWT HOT WATER UNIT
KITCHEN TYPE REFER AR 2101 TO 2105
M- MECHANICAL RISER
MB MAIL BOX
MC STANDING SEAM FOLDED METAL CLADDING
MH MAIN HOLE
MSV MAIN SEWER VENT
OF OVERFLOW
FIB FIBRE
PL PLANTER
PO PLANTER OUTLET
PV PAVING
RA RETURN AIR
RH RAIN WATER HEAD
RO REDUCED LEVEL
SA RAIN WATER OUTLET
SC-1 SUPPLY AIR
SC-2 FIXED SCREEN KNOTWOOD PC ALUMINUM
SL SKYLIGHT
SMH SEWER MAIN HOLE
SS STRUCTURAL SLAB LEVEL
STC SANDSTONE CLADDING
TSC KNOTWOOD PC ALUMINUM CLADDING
TD TIMBER DECK
TF TIMBER FLOOR
TIE TIE
TOP TOP OF ROOF
TOW TOP OF WALL
VIR WALK IN RAMP
WM WINDOW WALL REBATE IN SLAB
WT WALL TAGS REFER AR 2001 TO 2002

DL-GE 02 DOOR TAGS REFER DOOR SCHEDULE
W-U-2 06 WINDOW TAGS REFER AR 1801 TO 1802
SC-GE 01 SCREEN TAGS REFER AR 1806
EXISTING WALL TO BE RETAINED
EXISTING WORK TO BE DEMOLISHED
IN FLOOR HEATING TO ELEC ENO'S DETAIL
TRANSLUCENT GLAZING

LEGEND-CAR PARK HEADROOM CLEARANCE
DEDICATED 2000mm MIN HEIGHT CLEARANCE ZONE
DEDICATED 2000mm MIN HEIGHT CLEARANCE ZONE
DEDICATED 2000mm MIN HEIGHT CLEARANCE ZONE

PROJECT

**22-26 ALBERT STREET
HARBORD NSW**

REVISION

NO.	DATE	AMENDMENT
P1	05.07.13	ISSUED TO CLIENT
P2	15.07.13	ISSUED TO STRUCTURAL ENGINEERS
P3	02.08.13	ISSUED TO STRUCTURAL ENGINEERS
P4	22.08.13	ISSUED TO ISA
P5	12.09.13	AMENDED TO SUIT RETAINING WALL
P6	18.09.13	ISSUED TO CLIENT
P7	30.09.13	ISSUED FOR EARLY WORKS CC
P8	15.10.13	ISSUED WITH STRUCTURE
P9	14.01.14	ISSUED FOR REVIEW, CO-ORDINATION, & COMMENTS
P10	15.04.15	ISSUED FOR REVIEW, CO-ORDINATION, & COMMENTS
P11	07.10.15	REVISED TO S&P APPROVAL
P12	14.10.15	AMENDED AS CLOUDED
P13	25.11.15	ISSUED TO ISA
P14	09.12.15	ISSUED FOR CC
P15	19.05.16	ISSUED FOR CO-ORDINATION, REVIEW AND INFO.
P16	17.06.16	AMENDED AS CLOUDED
P17	12.07.16	ISSUED FOR S&P REVIEW
P18	22.07.16	AMENDED AS CLOUDED
P19	18.08.16	GENERAL REVISION
P20	04.10.16	LIFTS AND CRANE PENO AMENDED
P21	22.12.16	COLUMNS ON 2B MOVED 300mm NORTH AS BUILT ON SITE
A	24.03.17	ISSUED FOR CONSTRUCTION WALL TYPES REVISED
B	15.04.17	AMENDED AS CLOUDED
C	28.06.17	GREASE ARRESTOR ROOM AMENDED AS CLOUDED
D	03.07.17	GREASE ARRESTOR ROOM CO-ORDINATED WITH AS BUILT SERVICES
E	14.09.17	STORAGE AREAS & CAR PARKING SPACE MARKING AMENDED AS CLOUDED
F	15.09.17	AMENDED AS CLOUDED

DRAWING NAME

BASEMENT 2 PLAN

CONSTRUCTION

PROJECT NUMBER
11225

SCALE
1:100 @ A0

NORTH
N

DRAWING NUMBER
AR 1001

REVISION
F

The information ideas and concepts contained in this document are confidential and the recipient of this document is prohibited from disclosing such information ideas and concepts to any person without the prior written consent of Jack Taylor Architects Pty. Limited. Clouds/revisions descriptions are intended as guides only, and do not necessarily describe the full extent of revisions. Ascertain full extent by comparison with previous issues/versions.

LEGEND/ABBREVIATION	
ACU	A/C CONDENSER UNIT
ACP	ALUMINIUM COVER PLATE COLOUR TO MATCH
AW	ALUMINIUM FRAMED WINDOW
BA	BATHROOM TYPE - REFER AR 2201 TO 2204
BR	BUILT IN ROBE
BT	BALUSTRADE TYPE -
CE	CARPARK EXHAUST
COM	COMMONS
CONC	CONCRETE
CPE	CARPARK EXHAUST
CPS	CARPARK SUPPLY
CPT	CEMENT RENDER & PAINT COLOUR WHITE
CR	CEMENT RENDER & PAINT COLOUR WHITE
CR2	CEMENT RENDER & PAINT COLOUR STONE
DATA	DATA CUPBOARD
DP	DOWNPIPE
DT	DECK TILES
ELEC	ELECTRICAL
EP	ELECTRICAL PANEL
ENS	ENSUITE TYPE - REFER AR 2205 TO 2207
ERL	EXISTING REDUCED LEVEL
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FI	FIRE HYDRANT
FHR	FIRE HOSE REEL
FP	FIRE INDICATOR PANEL
FL	FINISHED SLAB LEVEL
FS	FLOOR TILE
FT	FLOOR TILE
FW	FLOOR WHITE
GM	GAS METER
H	GARAGE ROOM EXHAUST
HE	HYDRAULIC RISER
HMM	HYDRANT BOOSTER
HWM	HOT WATER METER
HT	HOT WATER UNIT
KT	KITCHEN TYPE - REFER AR 2101 TO 2105
M	MECHANICAL RISER
MB	MAIL BOX
MC	STANDING SEAM FOLDED METAL CLADDING
MH	MAIN HOLE
MSV	MAIN SEWER VENT
OF	OVERFLOW
PF	FEEDER
PL	PLANTER OUTLET
PO	PLANTER OUTLET
PV	PAVING
RA	RAIN WATER AIR
RH	RAIN WATER HEAD
RO	REDUCED LEVEL
SA	SUPPLY AIR
SC-1	FIXED SCREEN 'KNOTWOOD' PC ALUMINIUM
SC-2	FIXED ACOUSTIC SCREEN
SL	SKYLIGHT
SMH	SEWER MAIN HOLE
SRL	STRUCTURAL SLAB LEVEL
STC	SANDSTONE CLADDING
TD	KNOTWOOD PC ALUMINIUM CLADDING
TE	TIMBER DECK
TF	TIMBER FLOOR
TYE	TILE EXHAUST
TOP	TOP OF PARAPET
TOR	TOP OF ROOF
TOW	TOP OF WALL
WM	WALK IN WARDROBE
WR	WINDOW WALL REBATE IN SLAB
WM	WATER METER
WT	WALL TAGS REFER AR 2001 TO 2002

DL-GE 02	DOOR TAGS REFER DOOR SCHEDULE
W-U-2 06	WINDOW TAGS REFER AR 1801 TO 1802
SC-GE 01	SCREEN TAGS REFER AR 1806
EXISTING WALL TO BE RETAINED	
EXISTING WORK TO BE DEMOLISHED	
IN FLOOR HEATING TO ELEC. ENG'S DETAIL	
TRANSLUCENT GLAZING	

LEGEND-CAR PARK HEADROOM CLEARANCE	
DEDICATED 2200mm MIN HEIGHT CLEARANCE ZONE	
DEDICATED 2200mm MIN HEIGHT CLEARANCE ZONE	
DEDICATED 2200mm MIN HEIGHT CLEARANCE ZONE	

PROJECT
**22, 26 ALBERT STREET
HARBORD NSW**

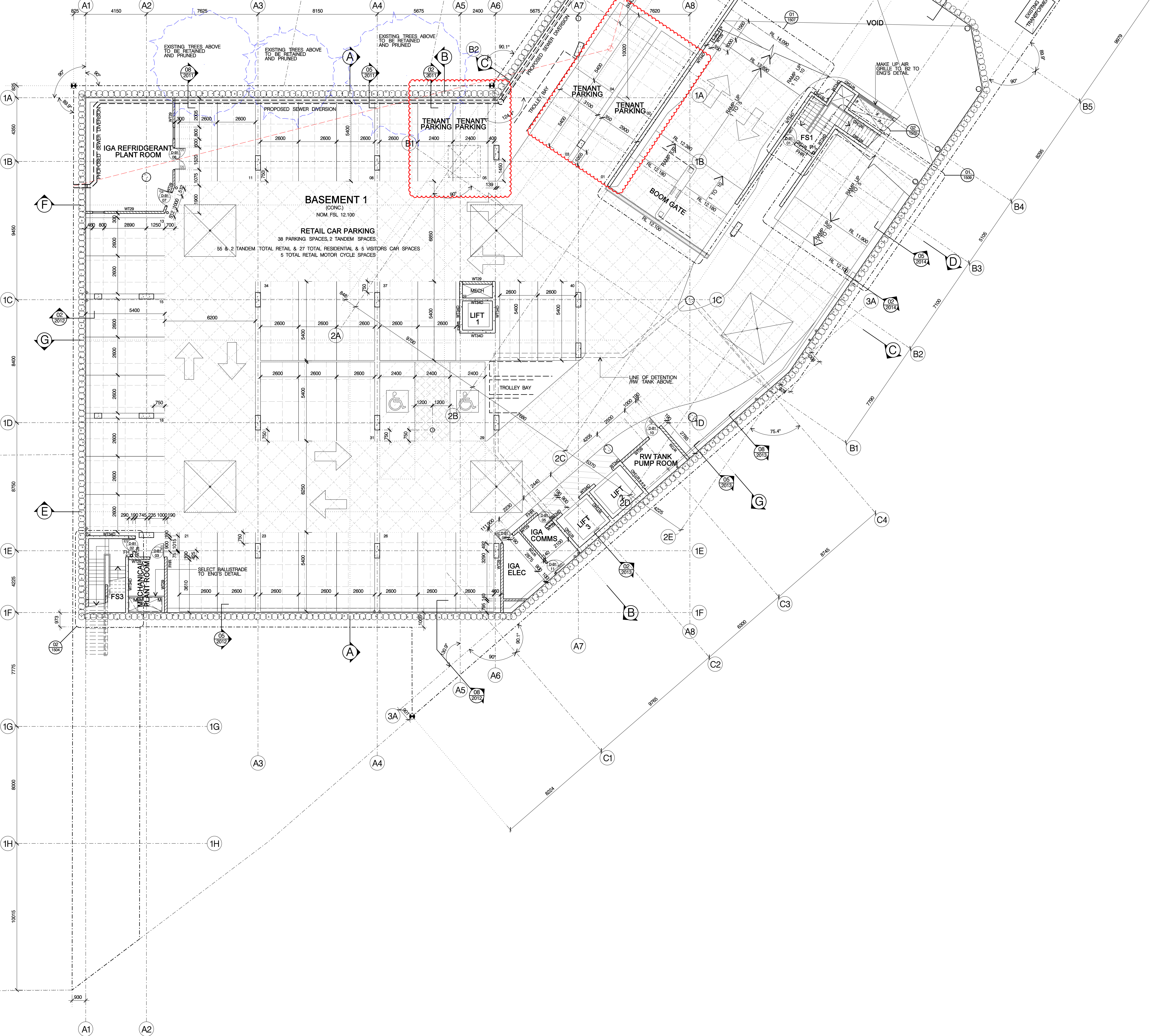
REVISION	
NO.	DATE
P1	15.07.13
P2	15.07.13
P3	15.07.13
P4	15.07.13
P5	15.07.13
P6	15.07.13
P7	15.07.13
P8	15.07.13
P9	15.07.13
P10	15.07.13
P11	15.07.13
P12	15.07.13
P13	15.07.13
P14	15.07.13
P15	15.07.13
P16	15.07.13
P17	15.07.13
P18	15.07.13
P19	15.07.13
P20	15.07.13
P21	15.07.13
P22	15.07.13
P23	15.07.13

DRAWING NAME
BASEMENT 1 PLAN

CONSTRUCTION

PROJECT NUMBER 11225 SCALE 1:100 @ A0 NORTH

DRAWING NUMBER AR 1002 REVISION A



LEGEND/ABBREVIATION	
AC	A/C CONDENSER UNIT
ACP	ALUMINUM COVER PLATE COLOUR TO MATCH
AW	ALUMINUM FRAMED WINDOW
AWN	FRAMED COLORBOND AWNING COLOUR BLACK
BA	BATHROOM TYPE - REFER AR 2201 TO 2204
BIR	BUILT IN ROBE
BT	BALUSTRADE TYPE -
CE	CARPARK EXHAUST
COM	COMMON
CONC	CONCRETE
CPE	CAR PARK EXHAUST
CPS	CAR PARK SUPPLY
CPT	CEMENT RENDER & PAINT COLOUR WHITE
CR	CARPET
CR2	CEMENT RENDER & PAINT COLOUR STONE
DATA	DATA CLOUDARD
DP	DOWNPIPE
DT	DECK TILES
ELEC	ELECTRICAL
EP	EPDM PAINT
ENS	ENSUITE TYPE - REFER AR 2205 TO 2207
ERL	EXISTING REDUCED LEVEL
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FI	FIRE HYDRANT
FHR	FIRE HOSE REEL
FIP	FIRE INDICATOR PANEL
FL	FLUE
FL	FINISHED SLAB LEVEL
FT	FLOOR TILE
FW	FLOOR WHITE
GM	GAS METER
H	GARAGE ROOM EXHAUST
HE	HYDRAULIC RISER
HB	HYDRANT BOOSTER
HMM	HOT WATER METER
HWU	HOT WATER UNIT
KT	KITCHEN TYPE - REFER AR 2101 TO 2105
M	MECHANICAL RISER
MB	MAL BOX
MC	STANDING SEAM FOLDED METAL CLADDING
MH	MAN HOLE
MSV	MAIN SEWER VENT
OF	OVERFLOW
PEBB	PEBBLE
PL	PLANTER
PO	PLANTER OUTLET
PV	PAVING
RA	RAINWATER AIR
RH	RAIN WATER HEAD
RL	REDUCED LEVEL
RO	RAIN WATER OUTLET
SA	SUPPLY AIR
SC-1	FIXED SCREEN 'KNOTWOOD' PC ALUMINUM
SC-2	FIXED ACOUSTIC SCREEN
SKY	SKYLIGHT
SMH	SEWER MAIN MAN HOLE
SSL	STRUCTURAL SLAB LEVEL
STC	SANDSTONE CLADDING
TD	TIMBER DECK
TF	TIMBER FLOOR
TYE	TILE
TOP	TOP OF ROOF
TOR	TOP OF PARAPET
TOW	TOP OF WALL
WIR	WALK IN WARDROBE
WM	WINDOW WALL REBATE IN SLAB
WT	WATER METER
WT	WALL TAGS REFER AR 2001 TO 2002
DL-GE	DOOR TAGS REFER DOOR SCHEDULE
W-U-2	WINDOW TAGS REFER AR 1801 TO 1802
SC-GE	SCREEN TAGS REFER AR 1805
---	EXISTING WALL TO BE RETAINED
---	EXISTING WORK TO BE DEMOLISHED
---	IN FLOOR HEATING TO ELEC. ENS'S DETAIL
---	TRANSLUCENT GLAZING

LOCATION PLAN

PROJECT
**22, 26 ALBERT STREET
HARBORD NSW**

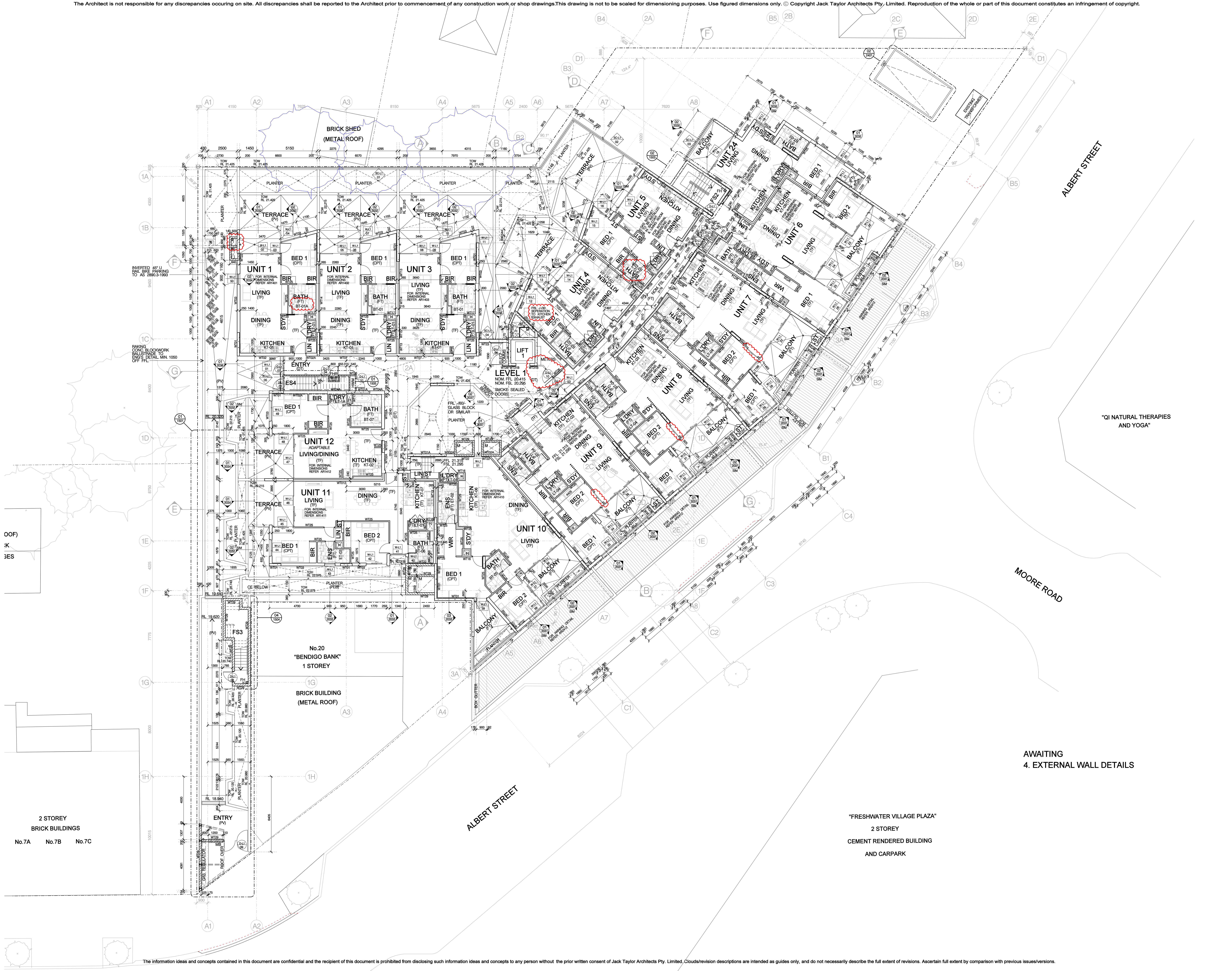
REVISION	NO.	DATE	AMENDMENT
	P1	15.07.13	ISSUED TO STRUCTURAL ENGINEERS
	P2	02.08.13	ISSUED TO STRUCTURAL ENGINEERS
	P3	22.08.13	ISSUED TO IGA
	P4	12.09.13	AMENDED TO RETAINING WALL
	P5	30.09.13	ISSUED FOR EARLY WORKS CC
	P6	15.10.13	ISSUED WITH STRUCTURE & RISERS
	P7	28.10.13	BMS PARKING AMENDED TO COMPLY WITH AS 2993.3-1993
	P8	14.01.14	ISSUED FOR REVIEW, CO-ORDINATION, & COMMENTS
	P9	15.04.15	ISSUED FOR REVIEW, CO-ORDINATION, & COMMENTS
	P10	07.10.15	REVISED TO S&P APPROVAL
	P11	14.10.15	AMENDED AS CLOUDED
	P12	25.11.15	ISSUED TO IGA
	P13	09.12.15	ISSUED FOR CC
	P14	19.04.16	ISSUED FOR CO-ORDINATION, REVIEW & INFO
	P15	17.08.16	ISSUED FOR CO-ORDINATION, REVIEW & INFO
	P16	12.07.16	ISSUED FOR S&P REVIEW
	P17	22.07.16	AMENDED AS CLOUDED
	P18	18.08.16	GENERAL REVISION
	P19	04.10.16	LIFT AND CRANE RENO AMENDED
	P20	12.10.16	BATHROOM REVISED
	P21	21.10.16	450 NB SPANDREL ADDED TO CLOUDED WINDOWS
	P22	15.11.16	AWNING AMENDED AS CLOUDED
	P23	13.12.16	AMENDED AS CLOUDED
	A	24.03.17	ISSUED FOR CONSTRUCTION, REVISED WALL TYPES
	B	06.04.17	AMENDED AS CLOUDED
	C	18.04.17	AMENDED AS CLOUDED
	D	23.06.17	AMENDED AS CLOUDED

DRAWING NAME
LEVEL 1 PLAN

CONSTRUCTION

PROJECT NUMBER 11225 SCALE 1:100 @ A0 NORTH

DRAWING NUMBER AR 1004 REVISION D



OOP)
K
SES

2 STOREY
BRICK BUILDINGS
No.7A No.7B No.7C

AWAITING
4. EXTERNAL WALL DETAILS

"FRESHWATER VILLAGE PLAZA"
2 STOREY
CEMENT RENDERED BUILDING
AND CARPARK



LEGEND/ABBREVIATION	
ACC	A/C CONDENSER UNIT
ACP	ALUMINUM COVER PLATE COLOUR TO MATCH
AW	ALUMINUM FRAMED WINDOW
AWN	ALUMINUM FRAMED WINDOW
BA	FRAMED COLORBOND AWNING COLOUR BLACK
BATH	BATHROOM TYPE - REFER AR 2201 TO 2204
BIR	BUILT IN ROBE
BT	BALUSTRADE TYPE
CE	CANPARK EXHAUST
CONC	CONCRETE
CONC	OFF FORM CONCRETE
CPE	CAR PARK EXHAUST
CPS	CAR PARK SUPPLY
CPT	CEMENT RENDER & PAINT COLOUR WHITE
CR1	CARPET
CR2	CEMENT RENDER & PAINT COLOUR STONE
DATA	DATA CLOUDBOARD
DP	DOWNPIPE
DT	DECK TILES
ELEC	ELEC. CUPBOARD
EPKRY	EPKRY PAINT
ENS	ENSUITE TYPE - REFER AR 2205 TO 2207
ERL	EXISTING REDUCED LEVEL
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FI	FIRE HYDRANT
FHR	FIRE HOSE REEL
FIP	FIRE INDICATOR PANEL
FL	FLUE
FL	FINISHED SLAB LEVEL
FT	FLOOR TILE
FW	FLOOR WASTE
GM	GAS METER
GE	GARAGE ROOM EXHAUST
H	HYDRAULIC RISER
HB	HYDRANT BOOSTER
HMM	HOT WATER METER
HWM	HOT WATER UNIT
K	KITCHEN TYPE - REFER AR 2101 TO 2105
M	MECHANICAL RISER
MB	MAL BOX
MC	STANDING SEAM FOLDED METAL CLADDING
MH	MAN HOLE
MSV	MAIN SEWER VENT
OF	OVERFLOW
PFBB	PEBBLE
PL	PLANTER
PO	PLANTER OUTLET
PV	PAVING
RA	RETURN AIR
RH	RAIN WATER HEAD
RL	REDUCED LEVEL
RO	RAIN WATER OUTLET
SA	SUPPLY AIR
SC-1	FIXED SCREEN 'KNOTWOOD' PC ALUMINIUM
SC-2	FIXED ACOUSTIC SCREEN
SL	SKYLIGHT
SMH	SEWER MAIN MAN HOLE
SRL	STRUCTURAL SLAB LEVEL
STC	SANDSTONE CLADDING
TD	KNIGHTWOOD PC ALUMINIUM CLADDING
TD	TIMBER DECK
TF	TIMBER FLOOR
TYE	TILE
TOP	TOP OF ROOF
TOW	TOP OF WALL
WIR	WALK IN WARDROBE
WR	WINDOW WALL REBATE IN SLAB
WM	WATER METER
WT	WALL TAGS REFER AR 2001 TO 2002

DL-GE	DOOR TAGS REFER DOOR SCHEDULE
W-U-2	WINDOW TAGS REFER AR 1801 TO 1802
SC-GE	SCREEN TAGS REFER AR 1806
EXISTING WALL TO BE RETAINED	
EXISTING WORK TO BE DEMOLISHED	
IN FLOOR HEATING TO ELEC. ENS'S DETAIL	
TRANSLUCENT GLAZING	

LOCATION PLAN

PROJECT
**22-26 ALBERT STREET
HARBORD NSW**

REVISION	NO.	DATE	AMENDMENT
P1	15.07.13	ISSUED TO STRUCTURAL ENGINEERS	
P2	02.08.13	ISSUED TO STRUCTURAL ENGINEERS	
P3	22.08.13	ISSUED TO IGA	
P4	12.08.13	AMENDED TO NEW RETAINING WALL	
P5	30.08.13	ISSUED FOR EARLY WORKS CC	
P6	15.10.13	ISSUED WITH STRUCTURE AND RISERS	
P7	14.01.14	ISSUED FOR REVIEW, CO-ORDINATION, & COMMENTS	
P8	15.04.16	ISSUED FOR REVIEW, CO-ORDINATION, & COMMENTS	
P9	07.10.16	REVISED TO S98 APPROVAL	
P10	14.10.16	AMENDED AS CLOUDED	
P11	09.12.16	ISSUED FOR C2	
P12	18.05.16	ISSUED FOR CO-ORDINATION, REVIEW, & COMMENT	
P13	17.08.16	ISSUED FOR CO-ORDINATION, REVIEW, & COMMENT	
P14	12.07.16	ISSUED FOR BGA REVIEW	
P15	22.07.16	AMENDED AS CLOUDED	
P16	18.08.16	AMENDED AS CLOUDED	
P17	04.10.16	AMENDED AS CLOUDED	
P18	12.10.16	BATHROOM REVISED	
P19	13.12.16	AMENDED AS CLOUDED	
A	24.03.17	ISSUED FOR CONSTRUCTION	
B	27.03.17	BALUSTRADE TYPE AMENDED AS CLOUDED	
C	06.04.17	AMENDED AS CLOUDED	
D	18.04.17	AMENDED AS CLOUDED	
E	18.04.17	AMENDED AS CLOUDED	
F	23.06.17	AMENDED AS CLOUDED	

DRAWING NAME
LEVEL 2 PLAN

CONSTRUCTION

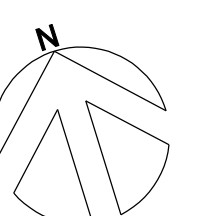
PROJECT NUMBER
11225

SCALE
1:100 @ A0

NORTH

DRAWING NUMBER
AR 1005

REVISION
F



BUILDER:
HINDMARSH

[illegible]

DL-GF 02	DOOR TAGS REFER DOOR SCHEDULE
W-U-2 06	WINDOW TAGS REFER AR 1901 TO 1902
SC-GF 01	SCREEN TAGS REFER AR 1905
	EXISTING WALL TO BE RETAINED
	EXISTING WORK TO BE DEMOLISHED
I.S.H	IN FLOOR HEATING TO ELEC. ENG'S DETAIL
	TRANSLUCENT GLAZING

PROJECT
22- 26 ALBERT STREET
HARBORD NSW

REVISION		AMENDMENT
NO.	DATE	
P1	11.07.13	ISSUED TO STRUCTURAL ENGINEERS
P2	02.08.13	ISSUED TO STRUCTURAL ENGINEERS
P3	22.08.13	ISSUED TO IGA
P4	12.09.13	ISSUED TO RETAINING WALL
P5	30.09.13	AMENDED FOR EARLY WORKS CC
P6	15.10.13	ISSUED TO STRUCTURAL ENGINEERS AND RISERS
P7	14.11.14	ISSUED FOR REVIEW, CO-ORDINATION & COMMENTS
P8	15.04.15	ISSUED FOR REVIEW, CO-ORDINATION & COMMENTS
P9	07.10.15	REMOVED TO SHAP APPROVAL
P10	14.10.15	AMENDED AS CLOUDED
P11	09.11.15	ISSUED FOR REVIEW
P12	19.06.16	ISSUED FOR CO-ORDINATION, REVIEW & INFO
P13	12.07.16	ISSUED FOR REVIEW
P14	18.08.16	GENERAL REVISION
P15	04.10.16	LEFT AMENDED
P16	15.04.17	PLANT ROOM AMENDED AS CLOUDED
A	26.04.17	ISSUED FOR CONSTRUCTION
B	06.06.17	AMENDED AS CLOUDED

CONSTRUCTION

PROJECT NUMBER 11225	SCALE 1:100 @ A0	NORTH 
DRAWING NUMBER AR 1006	REVISION B	

SP FORM 3.01	STRATA PLAN ADMINISTRATION SHEET	Sheet 1 of 3 sheet(s)
Office Use Only		Office Use Only
Registered:		PRINTED 21 MAR 2018
PLAN OF SUBDIVISION OF LOT 1 DP 1233744		LGA: NORTHERN BEACHES Locality: FRESHWATER Parish: MANLY COVE County: CUMBERLAND
This is a *FREEHOLD/*LEASEHOLD Strata Scheme		
Address for Service of Documents No. 22-26 ALBERT STREET FRESHWATER NSW 2096 Provide an Australian address including a postcode		The by-laws adopted for the scheme are: * Model By-laws for residential schemes together with: Keeping of animals: Option *A*B Smoke penetration: Option *A*B (see Schedule 3 Strata Schemes Management Regulation 2016) * The strata by-laws lodged with the plan
Surveyor's Certificate I, KARL ROBERTSON of Linker Surveying Pty Ltd Suite 301 Level 3 55 Holt St Surry Hills NSW 2010, being a land surveyor registered under the <i>Surveying and Spatial Information Act 2002</i> , certify that the information shown in the accompanying plan is accurate and each applicable requirement of Schedule 1 of the <i>Strata Schemes Development Act 2015</i> has been met. *The building encroaches on:- *(a) a public space *(b) land other than a public place and an appropriate easement to permit the encroachment has been created by ^ Signature: Date: Surveyor ID: 7835 Surveyor's Reference: 130115 SP RES1 ^ Insert the deposited plan number or dealing number of the instrument that created the easement		Strata Certificate (Accredited Certifier) I, being an Accredited Certifier, accreditation number, certify that in regards to the strata plan with this certificate, I have made the required inspections and I am satisfied the plan complies with clause 17 <i>Strata Schemes Development Regulation 2016</i> and the relevant parts of Section 58 <i>Strata Schemes Development Act 2015</i> . *(a) This plan is part of a development scheme. *(b) The building encroaches on a public space and in accordance with section 62(3) <i>Strata Schemes Development Act 2015</i> the local council has granted a relevant planning approval that is in force for the building with the encroachment or for the subdivision specifying the existence of the encroachment. *(c) This certificate is given on the condition contained in the relevant planning approval that lot(s) ^..... will be created as utility lots and restricted in accordance with section 63 <i>Strata Schemes Development Act 2015</i> . Certificate Reference: Relevant Planning Approval No. Issued by: Signature: Date: ^ Insert lot numbers of proposed utility lots.
THIS PLAN TO BE READ IN CONJUNCTION WITH DA2018/0499		

* Strike through if inapplicable

NORTHERN BEACHES COUNCIL

Office Use Only

Office Use Only

Registered:

PRINTED 21 MAR 2018

Valuer's Certificate

I, being a qualified valuer, as defined in the *Strata Scheme Development Act 2015*, certify that the unit entitlements shown in the schedule herewith are apportioned in accordance with Schedule 2 *Strata Schemes Development Act 2015*

Signature: Date:.....

SCHEDULE OF UNIT ENTITLEMENT

LOT NO	UE	LOT NO	UE	LOT NO	UE	LOT NO	UE
1	30	7	54	13	29	19	59
2	30	8	52	14	29	20	57
3	30	9	52	15	29	21	58
4	29	10	55	16	29	22	50
5	29	11	50	17	29	23	30
6	54	12	30	18	78	24	28
AGGREGATE						1000	

THIS PLAN TO BE READ IN
CONJUNCTION WITH

DA2018/0499

NORTHERN BEACHES COUNCIL

A STRATA MANAGEMENT STATEMENT OF SHEETS ACCOMPANIES THIS PLAN

Surveyors Reference: 130115 SP RESI

Office Use Only

Office Use Only

Registered:

PRINTED 21 MAR 2018

This sheet is for the provision of the following information as required:

- Any information which cannot fit in the appropriate panel of any previous administration sheets
- Statements of intention to create and or release affecting interests in accordance with section 88B *Conveyancing Act 1919*
- Signatures and seals - see section 22 *Strata Schemes Development Act 2015*

EXECUTED BY)
FW PROJECTS PTY LIMITED)
ACN 160 553 515)
IN ACCORDANCE WITH SECTION 127)
OF THE CORPORATIONS ACT)

SIGNED DIRECTOR_____
SIGNED DIRECTOR/SECRETARY_____
PRINT NAME_____
PRINT NAME

THIS PLAN TO BE READ IN
CONJUNCTION WITH

DA2018/0499

NORTHERN BEACHES COUNCIL

LOCATION PLAN— BASEMENT LEVEL 2

THE SUBJECT LOT IS A STRATUM PARCEL LIMITED IN HEIGHT AND/OR
DEPTH AS DEFINED IN DP 1233744

WHOLE OF LOT EASEMENTS VIDE DP 1233744

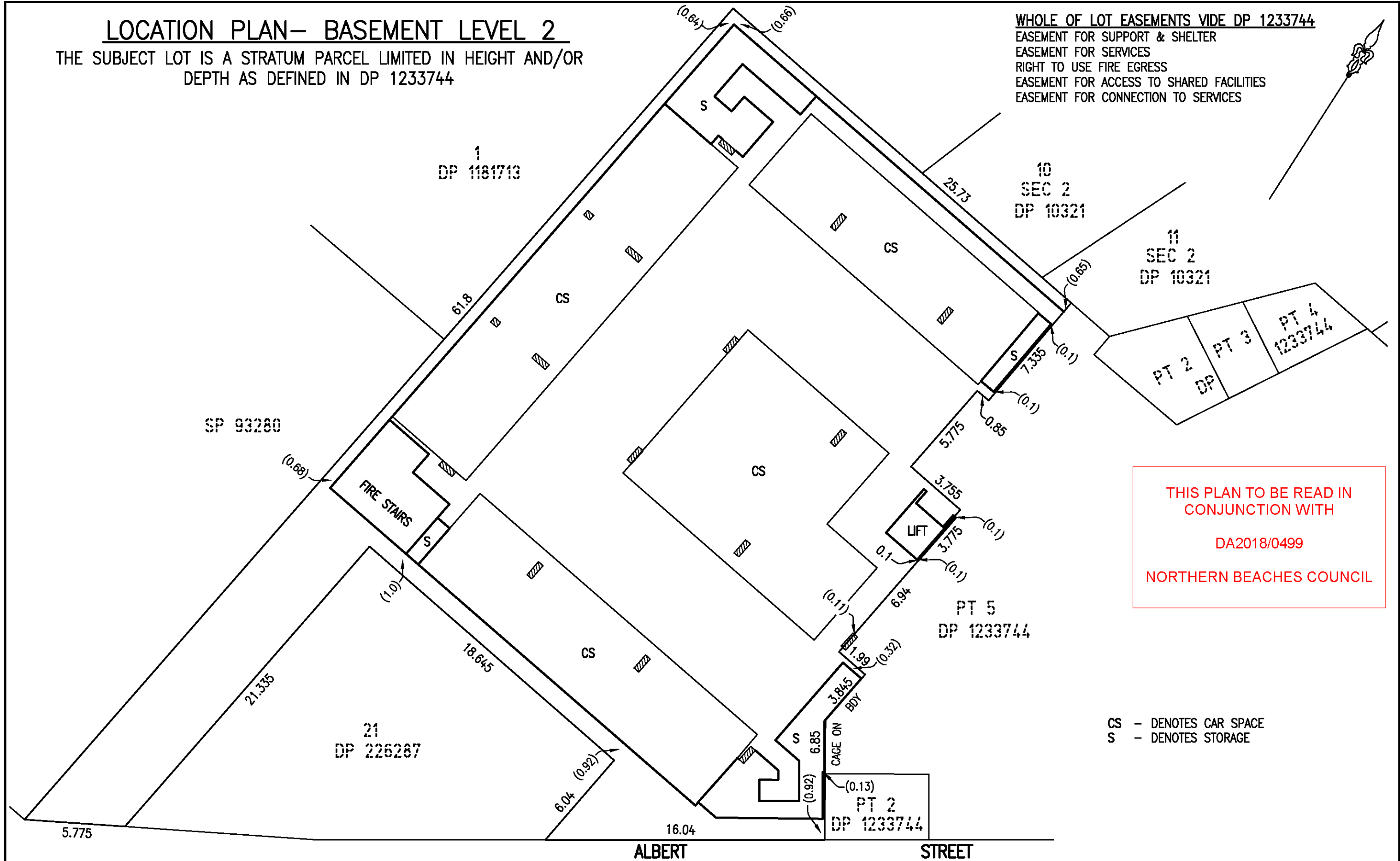
EASEMENT FOR SUPPORT & SHELTER

EASEMENT FOR SERVICES

RIGHT TO USE FIRE EGRESS

EASEMENT FOR ACCESS TO SHARED FACILITIES

EASEMENT FOR CONNECTION TO SERVICES



THIS PLAN TO BE READ IN
CONJUNCTION WITH
DA2018/0499
NORTHERN BEACHES COUNCIL

CS - DENOTES CAR SPACE
S - DENOTES STORAGE

SURVEYOR Name: KARL ROBERTSON Date: 21/11/2017 Reference: 130115 SP RESI	PLAN OF SUBDIVISION OF LOT 1 DP 1233744	LGA: NORTHERN BEACHES Locality: FRESHWATER Reduction Ratio: 1:200 Lengths are in metres.	REGISTERED	PRINTED 21 MAR 2018
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LOCATION PLAN— BASEMENT LEVEL 1

THE SUBJECT LOT IS A STRATUM PARCEL LIMITED IN HEIGHT AND/OR
DEPTH AS DEFINED IN DP 1233744

WHOLE OF LOT EASEMENTS VIDE DP 1233744

EASEMENT FOR SUPPORT & SHELTER
EASEMENT FOR SERVICES
RIGHT TO USE FIRE EGRESS
EASEMENT FOR ACCESS TO SHARED FACILITIES
EASEMENT FOR CONNECTION TO SERVICES

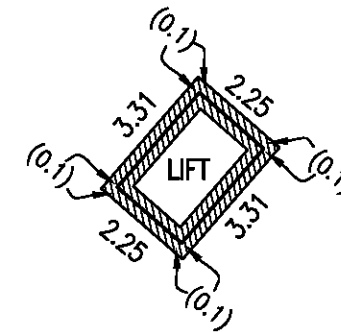
1
DP 1181713

10
SEC 2
DP 10321

11
SEC 2
DP 10321

SP 93280

PT 5
DP 1233744



THIS PLAN TO BE READ IN
CONJUNCTION WITH

DA2018/0499

NORTHERN BEACHES COUNCIL

21
DP 226287

PT 2
DP 1233744

NOTE:
THE ENTIRE AREA OF BASEMENT LEVEL 1 IS
COMMON PROPERTY

ALBERT

STREET

SURVEYOR

Name: KARL ROBERTSON

Date: 21/11/2017

Reference: 130115 SP RESI

PLAN OF SUBDIVISION OF
LOT 1 DP 1233744

LGA: NORTHERN BEACHES

Locality: FRESHWATER

Reduction Ratio: 1:200

Lengths are in metres.

REGISTERED

PRINTED 21 MAR 2018

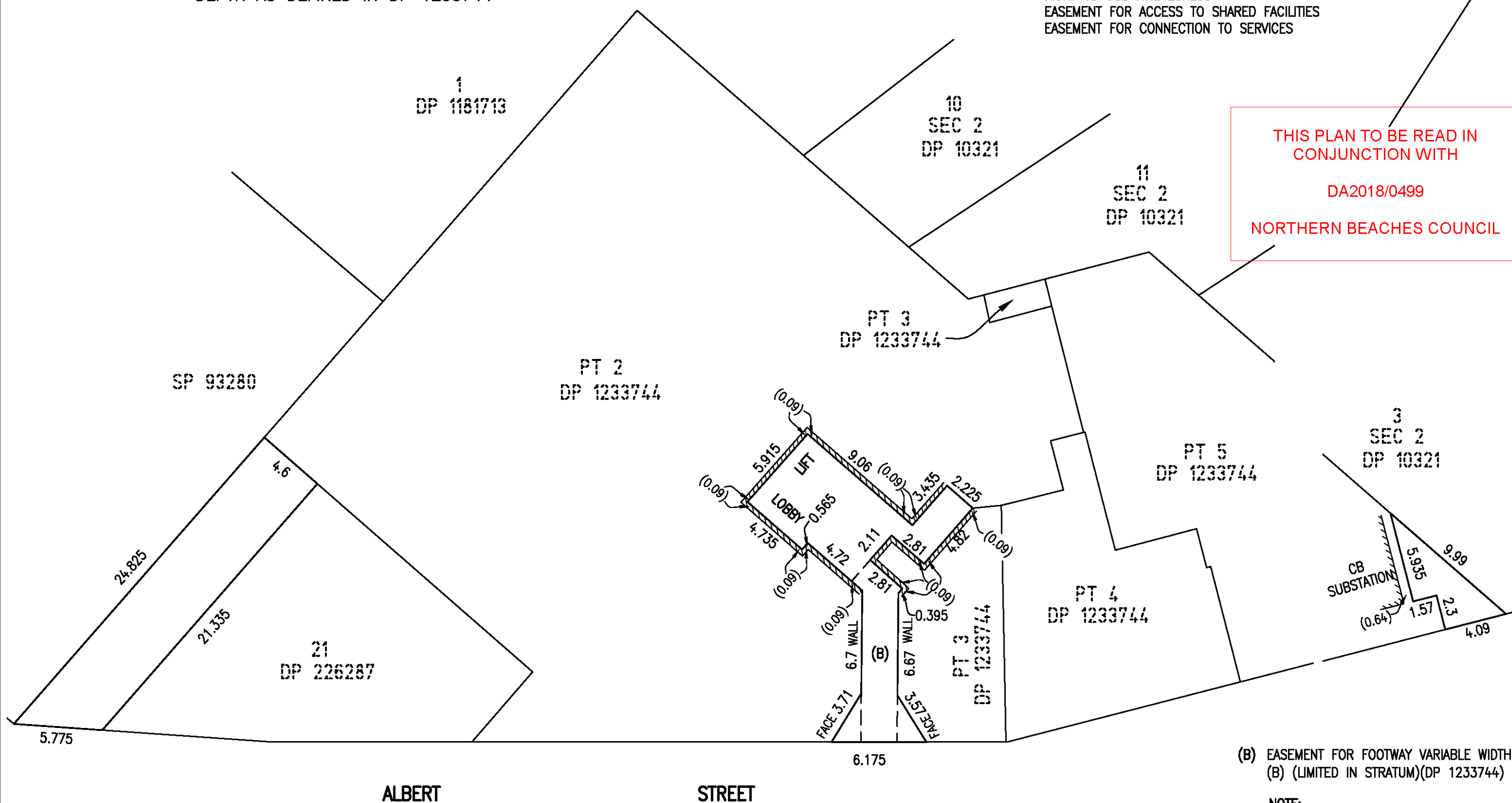
LOCATION PLAN— GROUND LEVEL

THE SUBJECT LOT IS A STRATUM PARCEL LIMITED IN HEIGHT AND/OR
DEPTH AS DEFINED IN DP 1233744

WHOLE OF LOT EASEMENTS VIDE DP 1233744

EASEMENT FOR SUPPORT & SHELTER
EASEMENT FOR SERVICES
RIGHT TO USE FIRE EGRESS
EASEMENT FOR ACCESS TO SHARED FACILITIES
EASEMENT FOR CONNECTION TO SERVICES

THIS PLAN TO BE READ IN
CONJUNCTION WITH
DA2018/0499
NORTHERN BEACHES COUNCIL



(B) EASEMENT FOR FOOTWAY VARIABLE WIDTH
(B) (LIMITED IN STRATUM)(DP 1233744)

NOTE:
THE ENTIRE AREA OF THE GROUND LEVEL
IS COMMON PROPERTY

SURVEYOR
Name: KARL ROBERTSON
Date: 21/11/2017
Reference: 130115 SP RESI

PLAN OF SUBDIVISION OF
LOT 1 DP 1233744

LGA: NORTHERN BEACHES
Locality: FRESHWATER
Reduction Ratio: 1:250
Lengths are in metres.

REGISTERED

PRINTED 21 MAR 2018

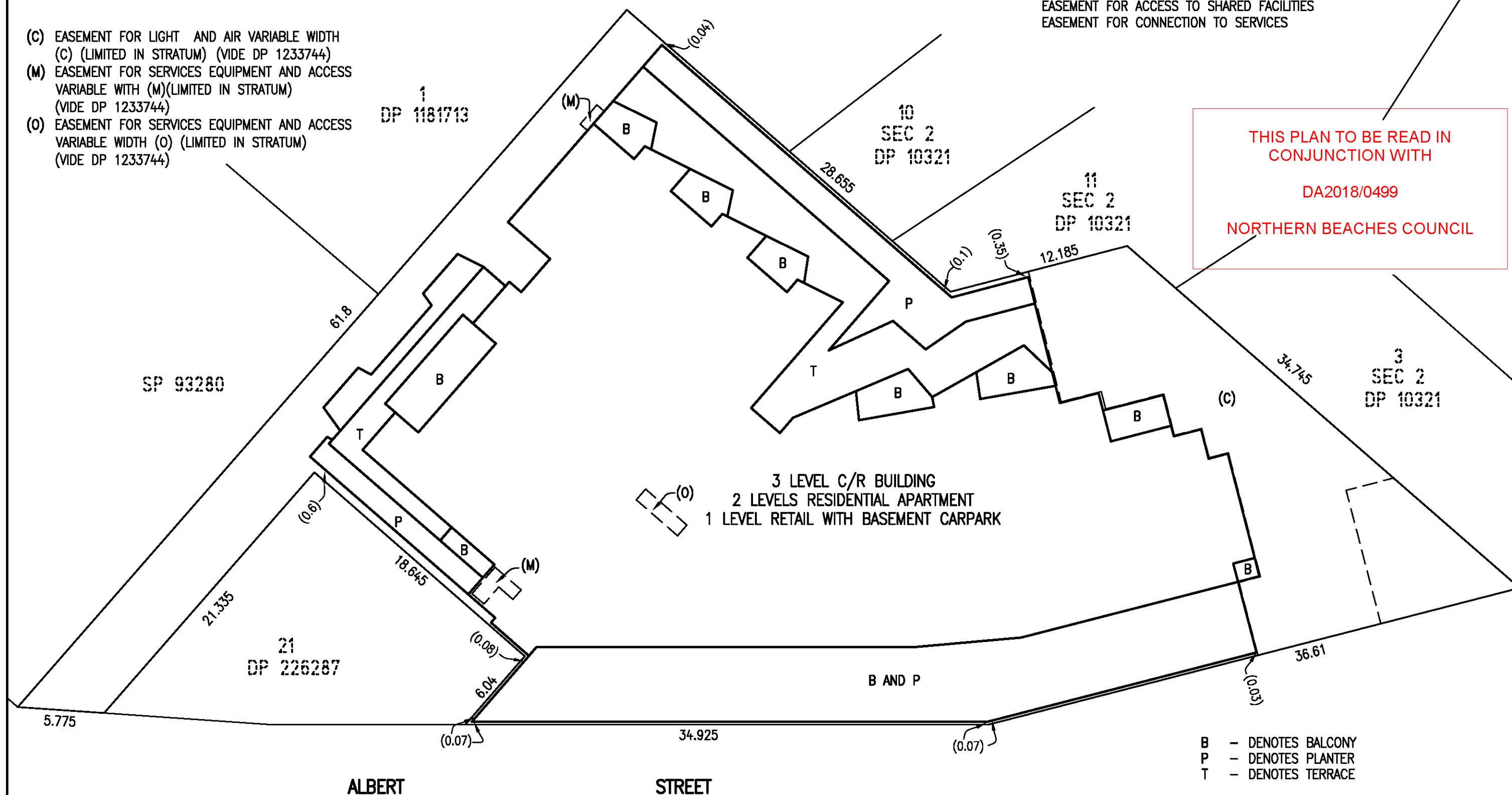
LOCATION PLAN— LEVEL 1 AND LEVEL 2

THE SUBJECT LOT IS A STRATUM PARCEL LIMITED IN HEIGHT AND/OR
DEPTH AS DEFINED IN DP 1233744

WHOLE OF LOT EASEMENTS VIDE DP 1233744
EASEMENT FOR SUPPORT & SHELTER
EASEMENT FOR SERVICES
RIGHT TO USE FIRE EGRESS
EASEMENT FOR ACCESS TO SHARED FACILITIES
EASEMENT FOR CONNECTION TO SERVICES

- (C) EASEMENT FOR LIGHT AND AIR VARIABLE WIDTH
(C) (LIMITED IN STRATUM) (VIDE DP 1233744)
(M) EASEMENT FOR SERVICES EQUIPMENT AND ACCESS
VARIABLE WITH (M)(LIMITED IN STRATUM)
(VIDE DP 1233744)
(O) EASEMENT FOR SERVICES EQUIPMENT AND ACCESS
VARIABLE WIDTH (O) (LIMITED IN STRATUM)
(VIDE DP 1233744)

THIS PLAN TO BE READ IN
CONJUNCTION WITH
DA2018/0499
NORTHERN BEACHES COUNCIL

**SURVEYOR**

Name: KARL ROBERTSON

Date: 21/11/2017

Reference: 130115 SP RES1

**PLAN OF SUBDIVISION OF
LOT 1 DP 1233744**

LGA: NORTHERN BEACHES

Locality: FRESHWATER

Reduction Ratio: 1:250

Lengths are in metres.

REGISTERED

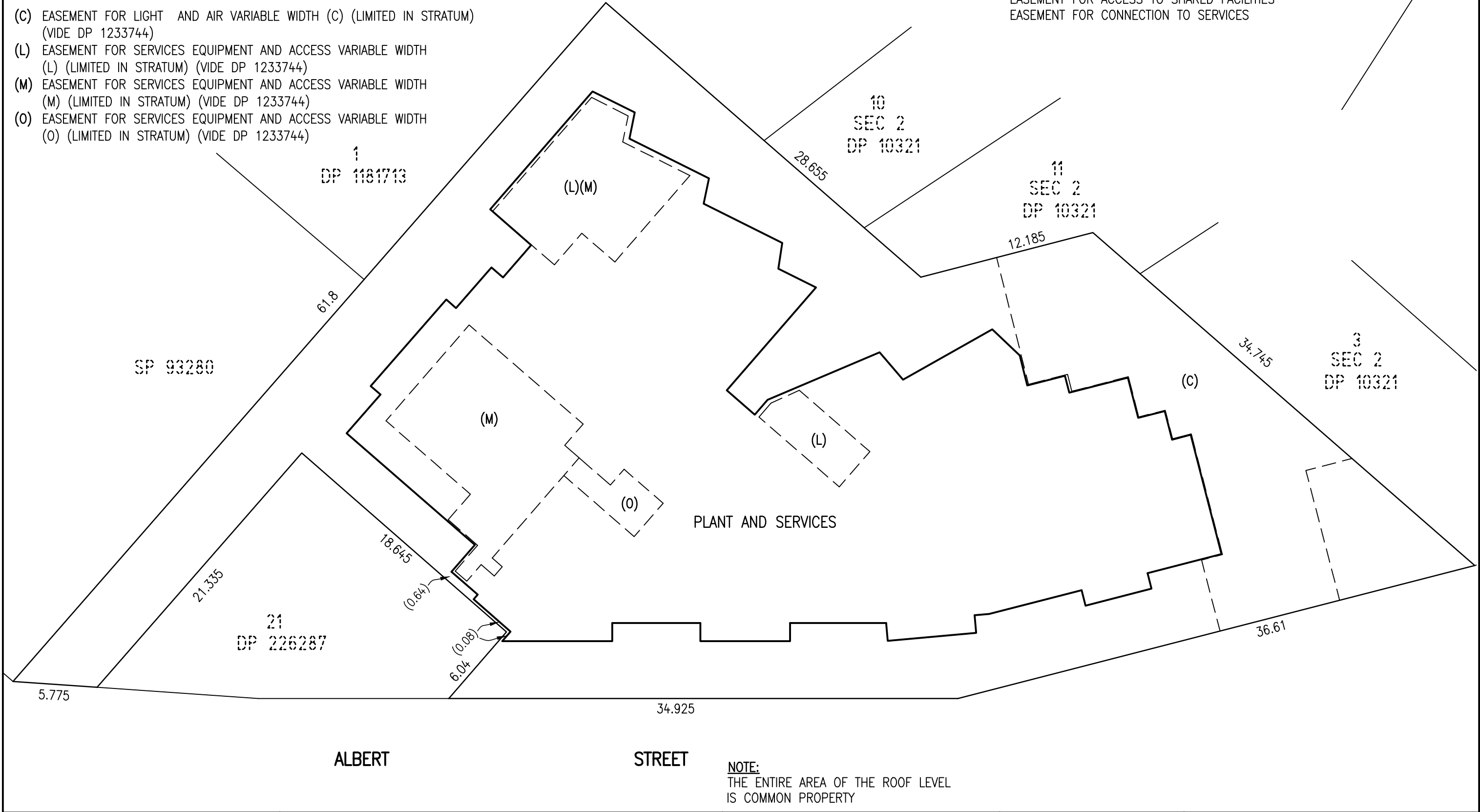
PRINTED 21 MAR 2018

LOCATION PLAN– ROOF LEVEL

THE SUBJECT LOT IS A STRATUM PARCEL LIMITED IN HEIGHT AND/OR DEPTH AS DEFINED IN DP 1233744

WHOLE OF LOT EASEMENTS VIDE DP 1233744
EASEMENT FOR SUPPORT & SHELTER
EASEMENT FOR SERVICES
RIGHT TO USE FIRE EGRESS
EASEMENT FOR ACCESS TO SHARED FACILITIES
EASEMENT FOR CONNECTION TO SERVICES

- (C) EASEMENT FOR LIGHT AND AIR VARIABLE WIDTH (C) (LIMITED IN STRATUM) (VIDE DP 1233744)
- (L) EASEMENT FOR SERVICES EQUIPMENT AND ACCESS VARIABLE WIDTH (L) (LIMITED IN STRATUM) (VIDE DP 1233744)
- (M) EASEMENT FOR SERVICES EQUIPMENT AND ACCESS VARIABLE WIDTH (M) (LIMITED IN STRATUM) (VIDE DP 1233744)
- (O) EASEMENT FOR SERVICES EQUIPMENT AND ACCESS VARIABLE WIDTH (O) (LIMITED IN STRATUM) (VIDE DP 1233744)



SURVEYOR Name: KARL ROBERTSON Date: 21/11/2017 Reference: 130115 SP RESI	PLAN OF SUBDIVISION OF LOT 1 DP 1233744	LGA: NORTHERN BEACHES Locality: FRESHWATER Reduction Ratio: 1: 250 Lengths are in metres.	REGISTERED	PRINTED 21 MAR 2018
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BASEMENT LEVEL 2

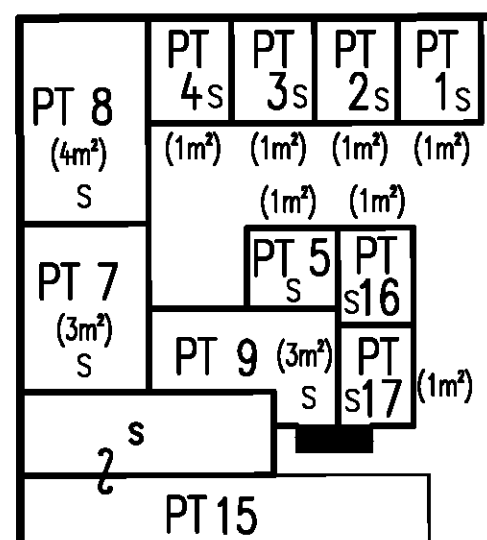
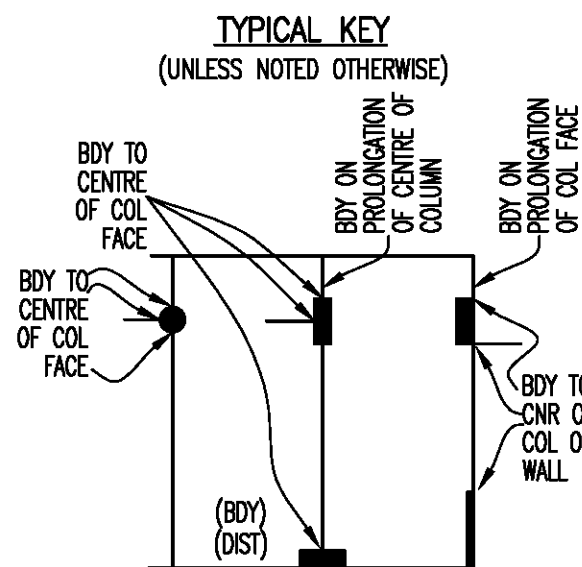


DIAGRAM 1
SCALE 1:100

- DENOTES 90°
- CP - DENOTES COMMON PROPERTY
- CS - DENOTES CAR SPACE
- S - DENOTES STORAGE
- VIS - DENOTES VISITOR PARKING WITHIN COMMON PROPERTY

AREAS SHOWN ON THE FLOOR PLAN HAVE BEEN CALCULATED FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY. THEY MAY DIFFER FROM FLOOR AREAS FOR OTHER PURPOSES.

THOSE PARTS OF SERVICE LINES WHICH SERVICE ONE LOT ONLY AND ARE LOCATED OUTSIDE OF THAT LOT ARE COMMON PROPERTY.

FOR CLARITY NOT ALL COMMON PROPERTY STRUCTURES ARE SHOWN.

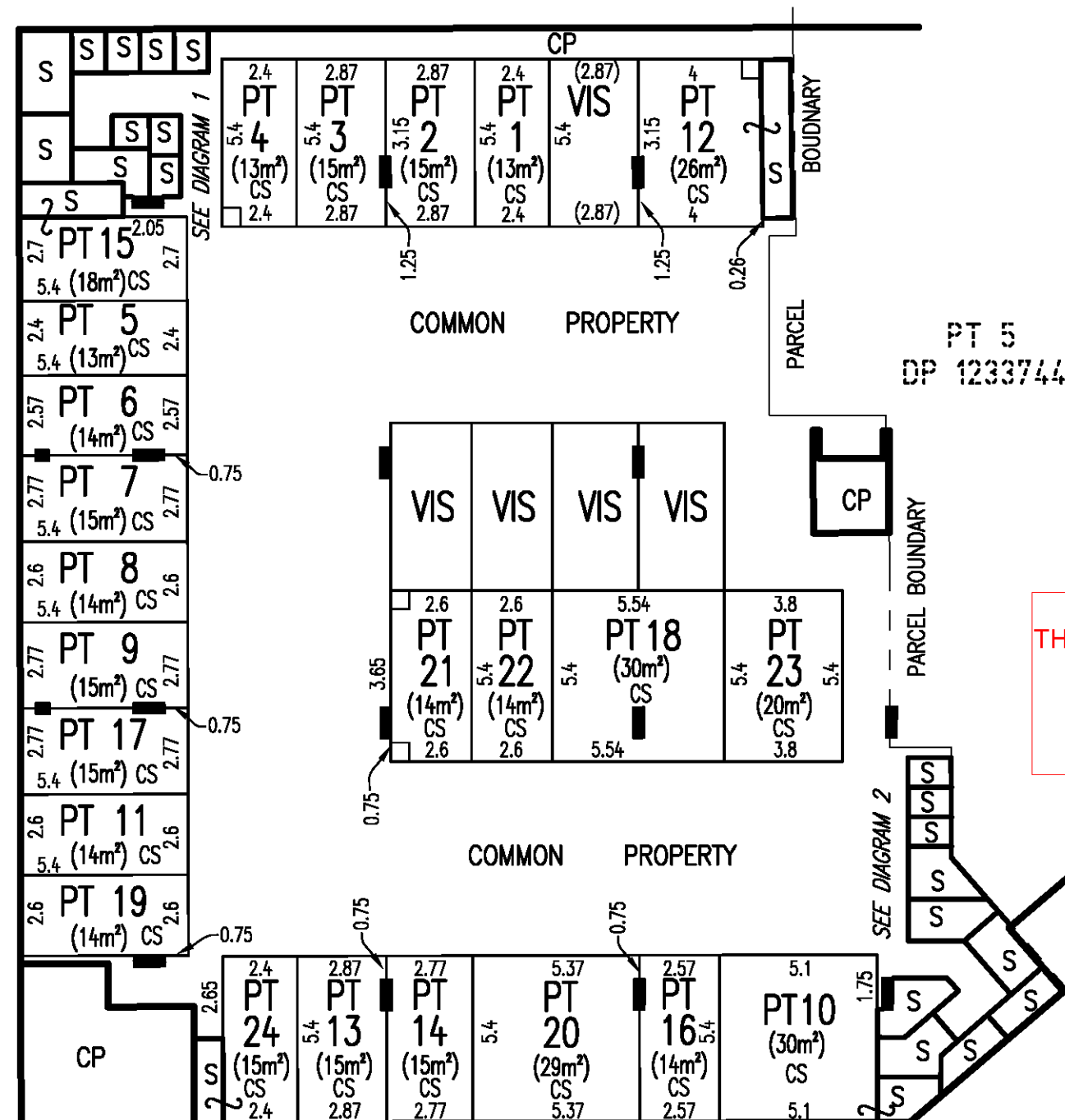


DIAGRAM 2
SCALE 1:100

THIS PLAN TO BE READ IN CONJUNCTION WITH
D130118/0499
NORTHERN BEACHES COUNCIL

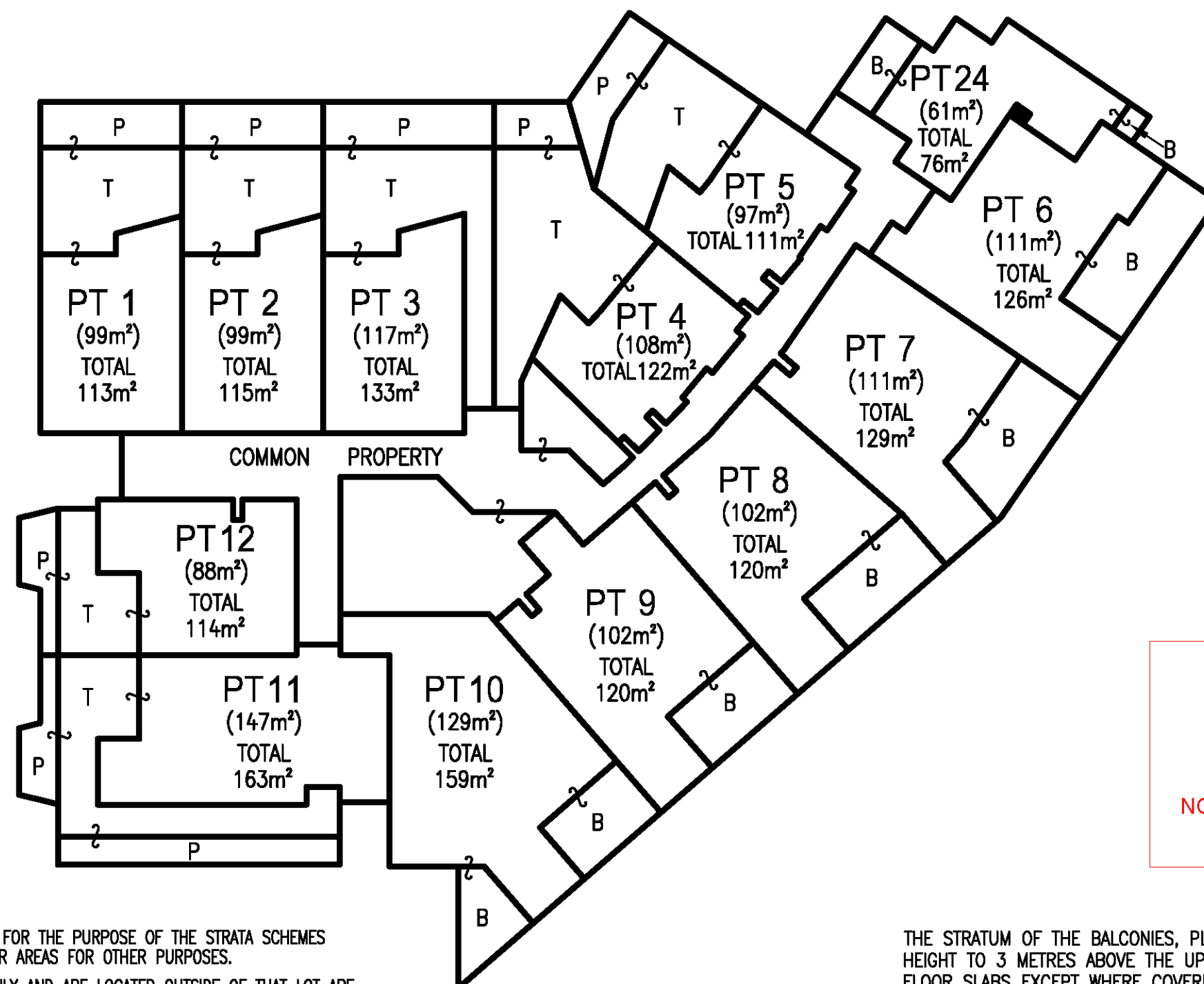
SURVEYOR
Name: KARL ROBERTSON
Date: 21/11/2017
Reference: 130115 SP RESI

PLAN OF SUBDIVISION OF
LOT 1 DP 1233744

LGA: NORTHERN BEACHES
Locality: FRESHWATER
Reduction Ratio: 1:200
Lengths are in metres.

REGISTERED

PRINTED 21 MAR 2018

LEVEL 1

THIS PLAN TO BE READ IN
CONJUNCTION WITH

DA2018/0499

NORTHERN BEACHES COUNCIL

AREAS SHOWN ON THE FLOOR PLAN HAVE BEEN CALCULATED FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY. THEY MAY DIFFER FROM FLOOR AREAS FOR OTHER PURPOSES.

THOSE PARTS OF SERVICE LINES WHICH SERVICE ONE LOT ONLY AND ARE LOCATED OUTSIDE OF THAT LOT ARE COMMON PROPERTY.

FOR CLARITY NOT ALL COMMON PROPERTY STRUCTURES ARE SHOWN.

THE STRATUM OF THE BALCONIES, PLANTERS AND TERRACES IS LIMITED IN HEIGHT TO 3 METRES ABOVE THE UPPER SURFACE OF THEIR CONCRETE FLOOR SLABS EXCEPT WHERE COVERED WITHIN THIS LIMIT

SURVEYOR

Name: KARL ROBERTSON

Date: 21/11/2017

Reference: 130115 SP RESI

PLAN OF SUBDIVISION OF
LOT 1 DP 1233744

LGA: NORTHERN BEACHES

Locality: FRESHWATER

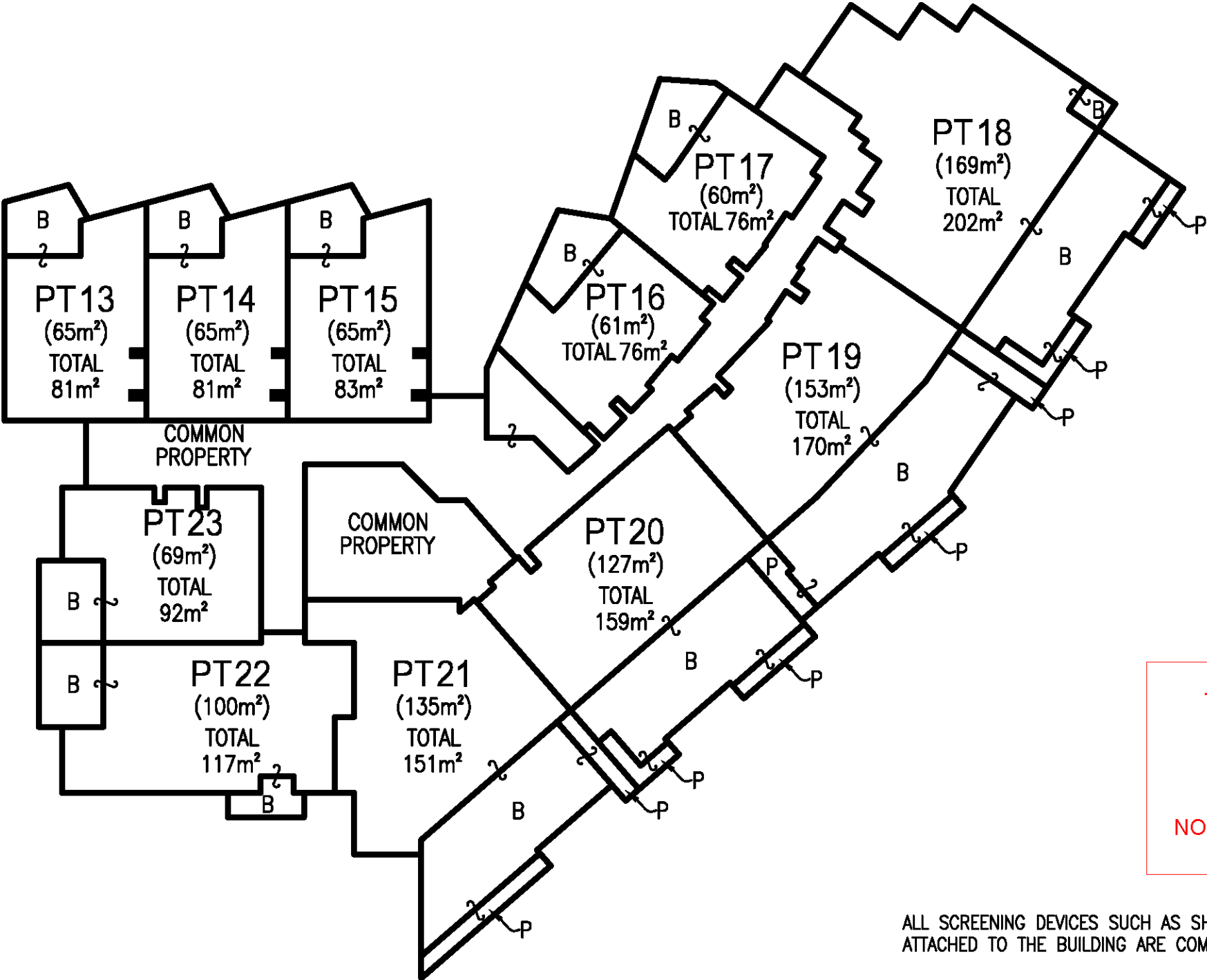
Reduction Ratio: 1: 200

Lengths are in metres.

REGISTERED

PRINTED 21 MAR 2018

LEVEL 2



THIS PLAN TO BE READ IN
CONJUNCTION WITH

DA2018/0499

NORTHERN BEACHES COUNCIL

B - DENOTES BALCONY
P - DENOTES PLANTER

AREAS SHOWN ON THE FLOOR PLAN HAVE BEEN CALCULATED FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY. THEY MAY DIFFER FROM FLOOR AREAS FOR OTHER PURPOSES.
THOSE PARTS OF SERVICE LINES WHICH SERVICE ONE LOT ONLY AND ARE LOCATED OUTSIDE OF THAT LOT ARE COMMON PROPERTY.
FOR CLARITY NOT ALL COMMON PROPERTY STRUCTURES ARE SHOWN.

ALL SCREENING DEVICES SUCH AS SHUTTERS AND LOUVRES WHICH ARE ATTACHED TO THE BUILDING ARE COMMON PROPERTY

THE STRATUM OF THE BALCONIES, AND PLANTERS IS LIMITED IN HEIGHT TO 3.5 METRES ABOVE THE UPPER SURFACE OF THEIR CONCRETE FLOOR SLABS EXCEPT WHERE COVERED WITHIN THIS LIMIT

SURVEYOR Name: KARL ROBERTSON Date: 21/11/2017 Reference: 130115 SP RESI	PLAN OF SUBDIVISION OF LOT 1 DP 1233744	LGA: NORTHERN BEACHES Locality: FRESHWATER Reduction Ratio: 1: 200 Lengths are in metres.	REGISTERED	PRINTED 21 MAR 2018
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