



## **120 GARDEN STREET NORTH NARRABEEN**

### **STATEMENT OF ENVIRONMENTAL EFFECTS FOR A NEW SWIMMING POOL**



Report prepared for  
**Action Plans**  
June 2021

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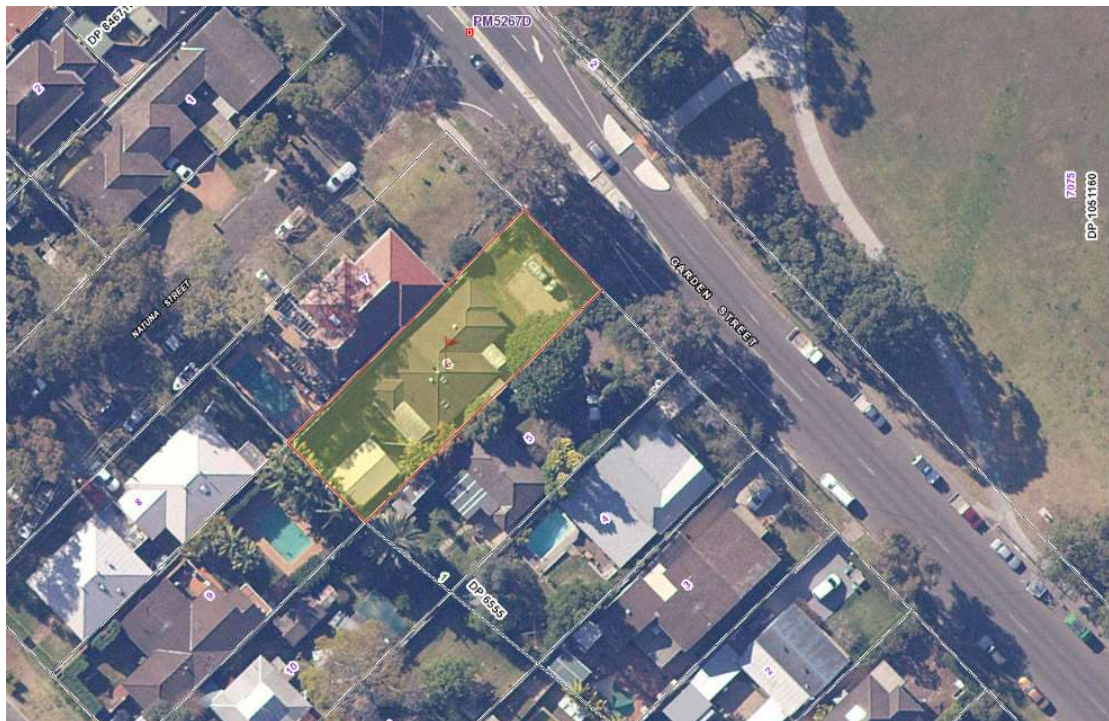
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## **1. Introduction**

- 1.1** This is a statement of environmental effects for a new swimming pool in the rear yard of 120 Garden Street, North Narrabeen.
- 1.2** The report describes how the application addresses and satisfies the objectives and standards of relevant State Environmental Planning Policies, the Pittwater Local Environmental Plan 2014, the Pittwater 21 Development Control Plan 2014 and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).
- 1.3** This statement of environmental effects has been prepared with reference to the following:
- Site visit
  - Architectural drawings prepared by Action Plans
  - Survey plan prepared by DA Surveys
- 1.4** The proposed development is compliant with the objectives of all Council controls, considerate of neighbouring residents and the streetscape and results in improved amenity for the residents of the site. It is an appropriate development worthy of Council consent.

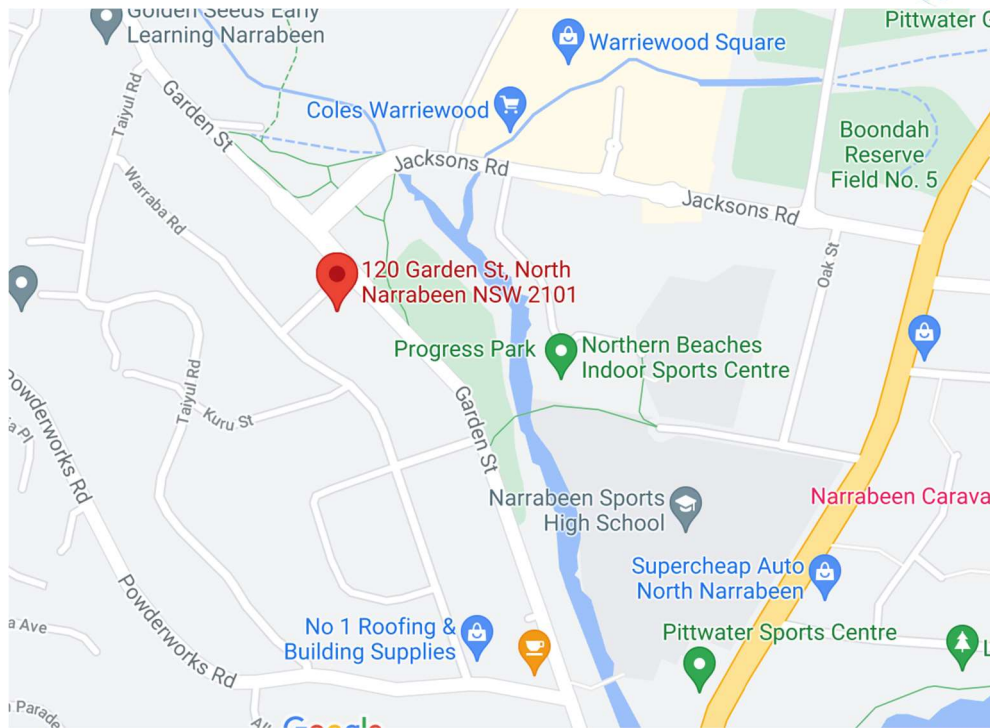
## 2. The site and its locality

- 2.1** The site is located on the southern side of Garden Street approximately 15 metres east of its intersection with Natuna Street in North Narrabeen.
- 2.2** The lot is rectangular in shape with a front and rear boundary of 15.24 metres and side boundaries of 45.72 metres and a site area of 695.6m<sup>2</sup>. The site slopes down from west to east at an approximate average slope of 9.4%
- 2.3** The subject site is currently occupied by a single storey rendered brick dwelling with a tiled roof. In the south eastern corner of the rear yard is a large shed. Onsite parking is provided with a hardstand and turning bay area are in front of the dwelling.
- 2.4** The subject site is surrounded by detached residential dwellings to the south, east and west, with open space including a creek to the north of the site. The site is in close proximity to Warriewood Square shopping centre.

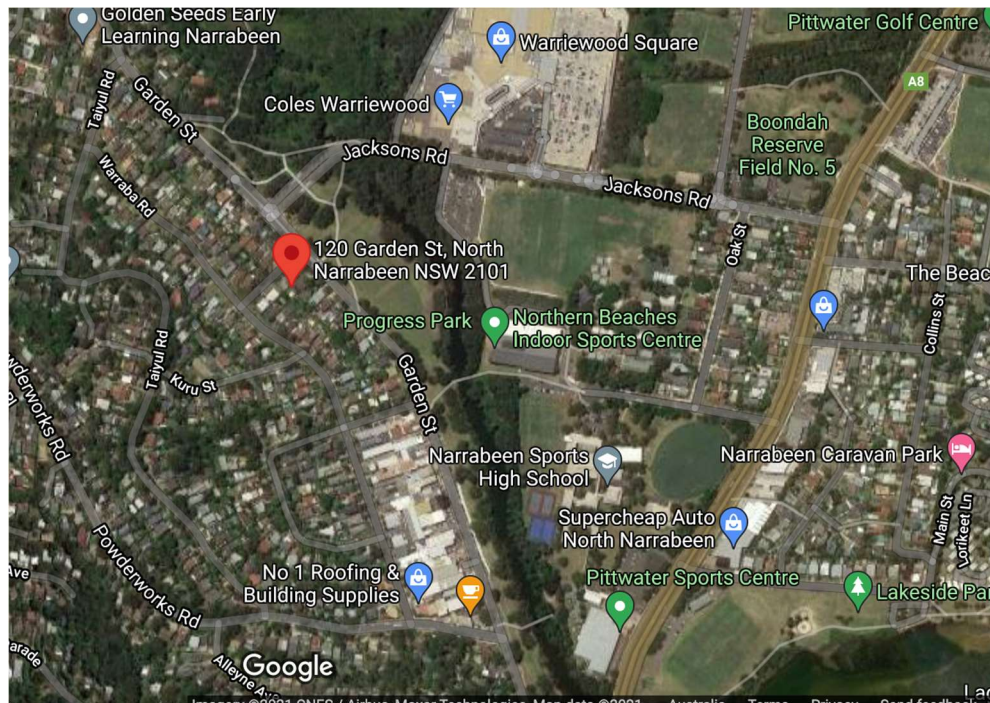


**Figure 1. The site and its immediate surrounds**





**Figure 2. The site within the locality**



**Figure 3. Aerial image of the site within the locality**



### 3. Site Photos



**Figure 4. Front of the existing dwelling showing the existing carport**



**Figure 5: The existing shed in the rear yard, looking west (to be demolished)**



**Figure 7: The rear yard, looking east**

#### **4. Proposed Development**

**4.1** The proposed development is for a new swimming pool in the rear yard of the lot

**4.2** The swimming pool will have no impact on the streetscape appearance of the site. The proposed development maintains a scale consistent with dwellings in the locality and has been designed to remain compatible with the flood risk on the site, with all proposed works outside the flood zone.

**4.3** The proposed alterations and additions will be made up as follows:

##### **Site**

- Demolition of the existing rear yard shed
- A new swimming pool in the rear yard
- A new retaining wall in the rear yard
- Various landscaping works in the rear yard associated with the proposed swimming pool



## 5. Statutory Framework

### 5.1 State Environmental Planning Policies

#### State Environmental Planning Policy (Coastal Management) 2018

The site is mapped as 'Proximity to Coastal Wetlands' and 'Coastal Environment Area' by State Environmental Planning Policy (Coastal Management) 2018.

Accordingly, the consent authority must consider clauses 11 and 13 of the SEPP.

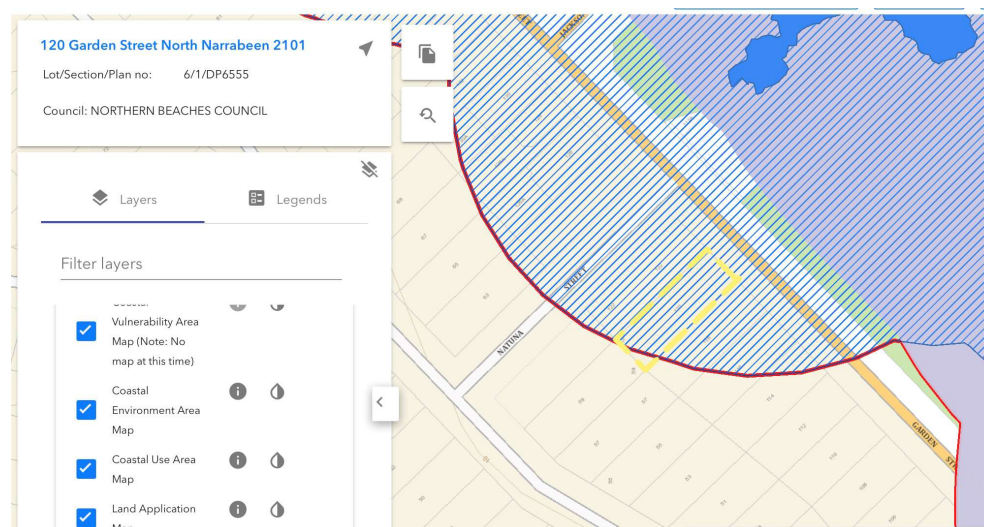


Figure 8: Extract – SEPP (Coastal Management) 2018

#### 11 Development on land in proximity to coastal wetlands or littoral rainforest Note.

(1) Development consent must not be granted to development on land identified as “proximity area for coastal wetlands” or “proximity area for littoral rainforest” on the Coastal Wetlands and Littoral Rainforests Area Map unless the consent authority is satisfied that the proposed development will not significantly impact on:

- (a) the biophysical, hydrological or ecological integrity of the adjacent coastal wetland or littoral rainforest, or
- (b) the quantity and quality of surface and ground water flows to and from the adjacent coastal wetland or littoral rainforest.

The proposed development is located in the rear yard of the lot on an already built part of the site. This application seeks to demolish what is built there and replace it with a swimming pool. As such, there will be no major impact on the nearby littoral rainforest/coastal wetland area.

Stormwater from the site will be managed in accordance with Councils controls, with water directed to existing infrastructure in Garden Street. The proposal will not impact on the quality or quantity of surface and ground water flows to and from the nearby coastal wetlands.

### **13. Development on land within the coastal environment area**

*(1) Development consent must not be granted to development on land that is within the coastal environment area unless the consent authority has considered whether the proposed development is likely to cause an adverse impact on the following:*

*(a) the integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment,*

The proposed development is minor and located on a disturbed portion of the site. It will not impact upon the biophysical, hydrological or and ecological environments.

*(b) coastal environmental values and natural coastal processes,*

There will be no impact on environmental values or natural coastal processes.

*(b) the water quality of the marine estate (within the meaning of the Marine Estate Management Act 2014), in particular, the cumulative impacts of the proposed development on any of the sensitive coastal lakes identified in Schedule 1,*

The proposal will not result in a decrease to water quality leaving the site.

*(c) marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms,*

There will be no impact on vegetation, habitats, headlands or rock platforms.

*(e) existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability,*

The proposed development will not result in any change to the existing access to and along the foreshore and beach.

*(f) Aboriginal cultural heritage, practices and places,*

The location of the proposed addition is highly disturbed, there will be no impacts on Aboriginal cultural heritage, practices and places.

*(g) the use of the surf zone.*

There will be no impact on the surf zone.

#### **State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017**

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The development remains consistent with the provisions of the SEPP as it does not propose to remove any trees.

#### **State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004**

Schedule 1 of the Environmental Planning and Assessment Regulation (2000) sets out the requirement for a BASIX certificate to accompany any BASIX affected building, being any building that contains one or more dwellings, but does not include a hotel or motel. SEPP BASIX applies to the proposal and a compliant BASIX certificate is provided with this application.

#### **State Environmental Planning Policy No. 55 – Remediation of Land**

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.



## 5.2 Pittwater Local Environmental Plan 2014

The relevant clauses of the Pittwater Local Environmental Plan 2014 are addressed below.

### Zoning

The site is zoned R2 Low Density Residential pursuant to the provisions of the Pittwater Local Environmental Plan 2014. The proposed development is a permissible use in the R2 zone which permits dwelling houses with development consent.



**Figure 9: Extract from Pittwater LEP 2014 Zoning Map**

### Demolition

Demolition of the existing shed is proposed, as described above and illustrated in the attached DA plan set, to allow for the construction of the proposed swimming pool and associated landscaping.

### **Minimum Lot Size**

The site is mapped with a minimum lot size of 550m<sup>2</sup>. The subject site has an existing compliant area of 695.6m<sup>2</sup> and no subdivision is proposed.

### **Height of Buildings**

The LEP restricts the height of any development on the subject site to 8.5 metres. The proposed swimming pool will result in no change to the existing compliant building height of 5.72m.

### **Floor Space Ratio**

The floor space ratio development standard has not been adopted for the subject site.

### **Heritage Conservation**

The site is not a heritage item or located within a heritage conservation area or in proximity to a heritage item or site.

### **Acid Sulfate Soils**

The site is located in an area nominated as Acid Sulphate soils Class 5. While it is located within 500 metres of adjacent class 2 land, the works will not likely lower the water table and no additional information is required for the proposed development.

### **Earthworks**

Minimal earthworks are proposed to prepare the site for construction, with the majority of works proposed within the rear yard of the lot.

Standard erosion and sediment control measures will be implemented to ensure best practice procedures are followed.

### **Flood Planning**

The subject site is mapped as a medium and high-risk flood hazard precinct by the NBC Flood Hazard Map.



**Figure 10: Extract NBC Flood Hazard Map**

The Northern Beaches Council flood prone land mapping shows that the subject site is only partially affected. The proposed swimming pool is located outside of the current flood prone areas, in the rear of the site, meaning there is no major increase to the risk to life from flooding within this proposal, and therefore the development is appropriate for this site.

### **Geotechnical Hazard**

The site is not identified on the LEP geotechnical hazard map.

### **Essential services**

All essential services are existing on the site.



### 5.3 Pittwater 21 Development Control Plan

The relevant sections of the DCP are addressed below.

#### Objectives

The proposed development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The proposed development is appropriate to the site and the locality and has been designed with fulfilment of these objectives as essential criteria.

#### Section A4 Localities

##### North Narrabeen Locality

The site is located within the North Narrabeen Locality.

The desired character statement for North Narrabeen is:

*The North Narrabeen locality will remain primarily a low-density residential area with dwelling houses a maximum of two storeys in any one place in a landscaped setting, integrated with the landform and landscape. Secondary dwellings can be established in conjunction with another dwelling to encourage additional opportunities for more compact and affordable housing with minimal environmental impact in appropriate locations. Any dual occupancies will be located on the valley floor on land that has less tree canopy coverage, species and habitat diversity and fewer other constraints to development. Any medium density housing will be located within and around commercial centres, public transport and community facilities. Retail, community and recreational facilities will serve the community.*

*Future development is to be located so as to be supported by adequate infrastructure, including roads, water and sewerage facilities, and public transport.*

*Future development will maintain a building height limit below the tree canopy and minimise bulk and scale. Existing and new native vegetation, including canopy trees, will be integrated with the development. Contemporary buildings will utilise facade modulation and/or incorporate shade elements, such as pergolas, verandahs and the like. Building colours and materials will harmonise with the natural environment. Development on slopes will be stepped down or along the slope to integrate with the landform and landscape, and minimise site disturbance. Development will be designed to be safe from hazards.*

*The design, scale and treatment of future development within the North Narrabeen commercial centre on Pittwater Road will reflect the status of the centre as the 'gateway' to Pittwater through building design, signage and landscaping, and will reflect principles of good urban design.*

*A balance will be achieved between maintaining the landforms, landscapes and other features of the natural environment, and the development of land. As far as possible, the locally native tree canopy and vegetation will be retained and enhanced to assist development blending into the natural environment, and to enhance wildlife corridors.*

*Heritage items and conservation areas indicative of the Guringai Aboriginal people and of early settlement in the locality will be conserved.*

*Vehicular, pedestrian and cycle access within and through the locality will be maintained and upgraded. The design and construction of roads will manage local traffic needs, minimise harm to people and fauna, and facilitate co-location of services and utilities.*

The proposed development has been designed taking into consideration the desired character of the location. Being a swimming pool in the rear yard of the lot, the proposal will have no visible impact on the character of the area, whilst also being mindful of the landform and landscape.

## **Section B General Controls**

### **Heritage Controls**

The site is not a heritage item or located within a heritage conservation area and is not in proximity of any heritage items.

The site is not known or anticipated to be home to any aboriginal relics. Should any objects be discovered during construction, appropriate measures will be taken according to NSW Office of Environment and Heritage.

### **Hazard Controls**

#### **Landslip Hazard**

The site is not mapped as a geotechnical hazard zone.

#### **Bushfire Hazard**

The site is not mapped as Bushfire Prone Land.

#### **Coastline (Beach) Hazard**

The site is not mapped as Coastline (Beach) Hazard

### **Contaminated and potentially contaminated lands**

The site is not known to be contaminated and to our best knowledge has only ever been used for low density residential purposes.

### **Flood Hazard**

As described above, the front half of the subject site is mapped as a medium and high-risk flood hazard precinct by the NBC Flood Hazard Map. The development is located entirely in the rear yard of the lot and is therefore outside the hazard precinct. This means there will be no adverse outcome from this proposal.

### **Controls relating to the natural environment**

The proposal will have no impact on the natural environment in the locality as the proposed development is located entirely within a disturbed portion of the site.

### **Water management**

Stormwater from the site will be managed in accordance with Councils controls, with water directed to existing infrastructure in Garden Street as stated in the provided plans from Action Plans.

### **Access and parking**

The proposal contains no changes to the existing on-site parking arrangements.

### **Site works and management**

All Council controls and conditions of consent will be complied with in the construction works. Appropriate devices will be used during the construction process to ensure no issues arise with regard to erosion and sedimentation.



## **Section C Development Type Controls**

### **Landscaping**

No major changes to the existing landscape on the site are proposed. The demolished shed will make way for new landscaping works around the proposed swimming pool.

### **Safety and Security**

An ability to view the street frontage is retained allowing for casual surveillance, which is to the benefit of the safety and security.

### **View Sharing**

A site visit has been undertaken and it is considered that no views will be impacted as a result of the proposed development.

### **Solar Access**

The DCP requires 3 hours of solar access is maintained for the windows of principal living areas, solar collectors and private open space of the site and adjoining properties on 21 June. As the proposed swimming pool is entirely in-ground, there are no changes to solar access for the subject lot or any neighbouring properties.

### **Visual Privacy**

Privacy will be retained for neighbours with compliant setbacks to the proposed swimming pool. The topography of the site also means that the boundary fences sit higher than the ground level of the pool, further maximising visual privacy.

### **Acoustic Privacy**

The development is appropriate and will not result in noise levels inappropriate to a residential area.

The site is located in proximity to Pittwater Road; however it will not alter existing traffic noise levels.

### **Private Open Space**

The minimum private open space requirement of 80sqm for the existing dwelling is easily accommodated on the site.

### **Waste and Recycling Facilities**

Appropriate waste management will be undertaken during the demolition and construction process. All demolished materials will be recycled where possible. This is detailed further in the accompanying Waste Management Plan.

The existing dwelling has appropriate waste storage areas which will be retained with the additions proposed.

### **Part D – North Narrabeen Locality**

The site is located in the North Narrabeen Locality and will be appropriate with the desired character, built form and natural environment criteria as specified in the DCP. The proposed swimming pool and associated landscaping works are appropriate within the residential setting.

### **Character**

The proposed development is located entirely in the rear yard of the lot meaning that there will be no impact on the character of the locality.

### **Scenic Protection**

The proposed development will not result in any negative visual impacts when viewed from public places as it is not visible from the public domain.

### **Building colours, materials and construction**

The proposed materials are consistent with the existing property and in line with Councils requirements.

### **Front Building Line**

The DCP requires a front setback of 6.5 metres on the subject site. No change is proposed to the existing front setback of 12.43 metres as the works are located entirely in the rear yard.

## **Side and Rear setbacks**

Side setbacks of 2.5 metres on 1 side and 1 metre for the other side are required by the DCP.

The development will result in compliant side setbacks of 7.34 metres (north) and 2.2 metres (south) for the proposed swimming pool. Landscaping for the turfed grass area and the construction of part of the proposed retaining wall will occur within the southern side setback area due to the natural topography of the site. The proposed retaining wall further improves privacy on the site as the boundary fence is constructed to its south, elevating it further.

A rear setback of 6.5 metres is required for this site according to the DCP, however the relevant control specifies that for a swimming pool a rear setback of 1 metre to the pool coping may be permitted. The proposed rear setback to the pool coping is 1.2 metres, as such consent may be granted as long as the development satisfies councils requirements.

The proposed swimming pool is completely in-ground and in the most practical place due to the natural topography of the site. The topography of the site also means that the boundary fence with the rear property sits higher than the ground level of the pool, further maximising privacy and ensuring there are no adverse outcomes for the relevant property. Furthermore, as the pool is completely in-ground there are no impacts to solar access or potential view loss for the neighbouring property. Finally, the proposal seeks to demolish an existing shed to make way for the pool. This means that more landscaping can be provided on site and that the residents of the subject site can enjoy the amenity of the proposed swimming pool at no adverse outcome for the neighbouring residents.

## **Building envelope**

The proposal contains no changes to the existing compliant building envelope

## **Landscaped Area – R2 Low Density Residential Land**

A landscaped area of 50% is required by the DCP which equates to 347.8m<sup>2</sup> for the site area of 696.6m<sup>2</sup>. The existing landscaped area is non-compliant at 49% or 339.93m<sup>2</sup>. The Application proposes a slightly lower landscaped area of 44% or 308.65m<sup>2</sup>. However, the variations section for this control states that:

*or single dwellings on land zoned R2 Low Density Residential, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas,*

*paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing)).*

This accounts for a further 22.05m<sup>2</sup> of impervious surfaces on the site, taking the total up to 330.7m<sup>2</sup> or 48% of the required 50%. A variation to the landscaped area is considered appropriate, in this case, as the development remains consistent with the objectives of the control, despite the variation, as addressed below:

*Achieve the desired future character of the Locality. (S)*

Comment:

The development is contained entirely to the rear yard of the lot and is not visible from the public domain, meaning there will be no major impact on the desired future character of the area.

*The bulk and scale of the built form is minimised. (En, S)*

Comment:

The proposed development is an in-ground swimming pool and associated landscaping works. As such, it will not impact on the existing bulk and scale of the building on the site.

*A reasonable level of amenity and solar access is provided and maintained. (En, S)*

Comment:

As the pool is entirely in-ground, solar access for the subject site and any neighbouring lots will be completely unaffected. General amenity is further ensured by appropriate setbacks and landscaping.

*Vegetation is retained and enhanced to visually reduce the built form. (En)*

Comment:

No vegetation will be removed in this proposal. The proposed pool is in the place of an existing shed which will be demolished.

*Conservation of natural vegetation and biodiversity. (En)*

Comment:



As said above, no vegetation will be removed in this proposal.

*Stormwater runoff is reduced, preventing soil erosion and siltation of natural drainage channels. (En)*

Comment:

There will be no major impact on stormwater run off as the development is for a swimming pool. The pool will contain appropriate water management strategies to ensure runoff is addressed properly.

*To preserve and enhance the rural and bushland character of the area. (En, S)*

Comment:

The development is in the rear yard of an existing property. As such there will be no impact on the rural or bushland character of the area.

*Soft surface is maximised to provide for infiltration of water to the water table, minimise run-off and assist with stormwater management. (En, S)*

Comment:

As the development is a swimming pool with an appropriate water management system there will be no major impact to existing run off and stormwater management on the site.

**Fences - Flora and Fauna Conservation Areas**

No new fencing is proposed.

## 6. Numerical Control Table

The following table provides a summary of the development proposal, in accordance with the relevant numerical planning controls contained in the Pittwater LEP 2014 and the Pittwater 21 DCP 2014.

	Standard	Proposed	Compliance
<b>Pittwater LEP 2014</b>			
Lot Size	550m <sup>2</sup>	695.6 m <sup>2</sup>	Yes
Building Height	8.5 metres	Unchanged	Yes
Floor Space Ratio	Not identified	-	-
Flood Planning Level (FPL) Probable Maximum Flood (PMF)	FPL: 3.53 m AHD PMF: 4.86 m AHD	Works are outside the flood prone areas	Yes
<b>Pittwater 21 DCP 2014</b>			
Parking	2 spaces	2 space	No Changes
Solar Access	3 hours sunlight to windows of principal living areas, solar collectors and POS of both subject site and adjoining properties between 9am and 3pm on June 21.	Unchanged	Yes
Private Open Space	80m <sup>2</sup>	223.9m <sup>2</sup>	Yes
Front Boundary Setback	6.5 metres	412.4 metres	Unchanged
Side Boundary Setbacks	N. 2.5 metres S. 1 metre	N. 7.34 metres S. 2.20 metres	Yes
Rear Boundary Setbacks	6.5 metres	1.2 metres	Yes (Swimming Pool)
Building Envelope	3.5 metres / 45 degrees	Unchanged	Yes
Landscaped Area	Area 3- 50% of lot area (347.8m <sup>2</sup> for site area of 695.6m <sup>2</sup> )	330.7m <sup>2</sup> (48%)	No – Merit Assessment)

## 7. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

### **The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations**

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Pittwater LEP and DCP.

The development is permissible in the R2 zone.

### **The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality**

#### 7.1 Context and Setting

*What is the relationship to the region and local context in terms of:*

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement, appendices and attached specialist reports.

*What are the potential impacts on adjacent properties in terms of:*

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed alterations and additions to the existing dwelling have been designed to complement the site and its surrounds. The alterations are appropriate and will have negligible impact on adjacent properties.

## **7.2 Access, transport and traffic**

*Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:*

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

No conflict or issues will arise as a result of the proposed development.

## **7.3 Public domain**

The proposed development will have a positive impact on the public domain as the proposal is consistent with the character of the existing dwelling and streetscape of the area.

## **7.4 Utilities**

There will be no impact on the site, which is already serviced.

## **7.5 Flora and fauna**

There will be no impact.

## **7.6 Waste**

There will be no impact.

## **7.7 Natural hazards**

The natural hazards of flooding and acid sulfate soils have been considered within this report and it is concluded that the risks are appropriately mitigated to allow the development to proceed.

## **7.8 Economic impact in the locality**

There will be no impact, other than the possibility of a small amount of employment during construction.

## **7.9 Site design and internal design**

*Is the development design sensitive to environmental conditions and site attributes including:*

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed additions are highly appropriate to the site, with regard to all of the above factors. The development fits well within the context of the residential surrounds and the existing building on the site.

*How would the development affect the health and safety of the occupants in terms of:*

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the provisions of the Building Code of Australia. Additionally, finishes, building materials and all facilities will be compliant with all relevant Council controls.



## **7.10 Construction**

*What would be the impacts of construction activities in terms of:*

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

### **The suitability of the site for the development**

*Does the proposal fit in the locality?*

- *are the constraints posed by adjacent developments prohibitive?*
- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The adjacent development does not impose any unusual development constraints.

*Are the site attributes conducive to development?*

The site is appropriate for the alterations and additions proposed.

### **Any submissions received in accordance with this Act or the regulations**

It is envisaged that the consent authority will consider any submissions made in relation to the proposed development.

### **The public interest**

It is considered that the proposal is in the public interest as it allows for appropriate use of the residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

## **8. Conclusions**

- 8.1** The proposed development for the alterations and additions to an existing dwelling at 120 Garden Street in North Narrabeen, is appropriate considering all State and Council controls.
  
- 8.2** When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.
  
- 8.3** Considering all the issues, the development is considered worthy of Council's consent.