

Denotes New Works

Wall Legend



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes Existing Wall



Denotes Demolished Item

BASIX Certificate number: A346247_02

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
suspended floor above garage: framed (R0.7).	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/1395

Site Information	Proposed	Compliance
Site Area	579.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	341.1m ²	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans**

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NOTES

45 Earl Street, Beacon Hill is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Shaded/Blue.
45 Earl Street, Beacon Hill is not considered a heritage item.

Construction

Timber Framed & Concrete Floors, Cladded Walls
Roof Sheet Metal to have R1.45 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA.
Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix

Basix Certificate Number A346247_02
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Peter Conduit
Project Name
Alterations & Additions
45 Earl Street, Beacon Hill
2100

Lot 35 D.P.25164

Drawing Title:

Site Plans - Site Plan

Site Plan

Scale: A3 as noted

Date: 24-2-2020

Status: DA REV 6

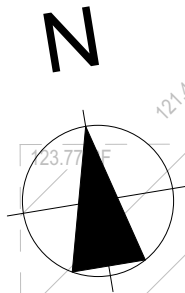
Checked By: GBJ

Project No:

Drawing No.

RP0718CON

DA1003



Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



Rapid Plans
Building Design and Architectural Drafting

www.rapidplans.com.au
PO Box 6193 Frenchs Forest DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au



BUILDING
DESIGNERS
AUSTRALIA NSW


NOTES
45 Earl Street Beacon Hill is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
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Construction
Timber Framed & Concrete Floors, Cladded Walls
Roof Sheet Metal to have R1.45 Insulation
Insulation to External Cladded Walls R1.7
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Glazing to BCA and AS01288-2047
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



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Client
Peter Conduit

Project Name
Alterations & Additions

45 Earl Street, Beacon Hill
2100

Lot 35 D.P.25164

Drawing Title:
Site Plans - Demolition Ground Floor Plan

Demolition Ground Floor

Scale: A3 as noted
Status: DA REV 6
Project No:
RP0718CON

Date: 24-2-2020
Checked By: GBJ
Drawing No:
DA1006

Site Information	Proposed	Compliance
Site Area	579.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	341.1m2	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

Existing Tree To Remain In Accordance With Temporal Tree Management Pty Ltd.'s
Arboricultural Impact Assessment Report Dated:
30/07/2019

All Demolition to be done
in Accordance with
Australian Standards,
BCA and Workcover
Regulations

Builder to Check and Confirm all Measurements Prior to Commencement
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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1395

1

Demolition Ground Floor

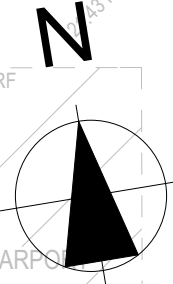
1:100



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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT

DA2019/1395



length in millimeters at full size

length in millimeters at full size

Wall Legend

- Denotes Existing Wall
- - - Denotes Demolished Item



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NOTES

45 Earl Street Beacon Hill is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue. 45 Earl Street Beacon Hill is not considered a heritage item.

Construction

Timber Framed & Concrete Floors, Cladded Walls
Roof Sheet Metal to have R1.45 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A346247_02
All Plans to be read in conjunction with Basic Certificate.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Peter Conduit
Project Name
Alterations & Additions
45 Earl Street, Beacon Hill
2100

Lot 35 D.P.25164

Drawing Title:

Site Plans - Demolition First Floor

Demolition First Floor

Scale: A3 as noted

Date: 24-2-2020

Status: DA REV 6

Checked By: GBJ

Project No:

Drawing No.

RP0718CON

DA1007

Site Information	Proposed	Compliance
Site Area	579.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	341.1m ²	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

1 Demolition First Floor
1:100


length in millimeters at full size

NOTES
45 Earl Street Beacon Hill is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
45 Earl Street Beacon Hill is not considered a heritage item.

Construction
Timber Framed & Concrete Floors, Cladded Walls
Roof Sheet Metal to have R1.45 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number A346247_02
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North 

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Peter Conduit
Project Name: **Alterations & Additions**
45 Earl Street, Beacon Hill
2100

Lot 35 D.P.25164

Drawing Title:

Site Plans - Excavation & Fill Plan

Excavation & Fill Plan

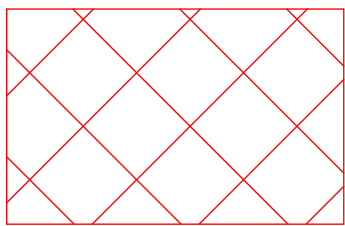
Scale: A3 as noted Date: 24-2-2020

Status: DA REV 6 Checked By: GBJ

Project No: RP0718CON

Drawing No: DA1008

Denotes Excavation/Fill Area



No 47
1 STOREY
BRICK RESIDENCE
TILE ROOF

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

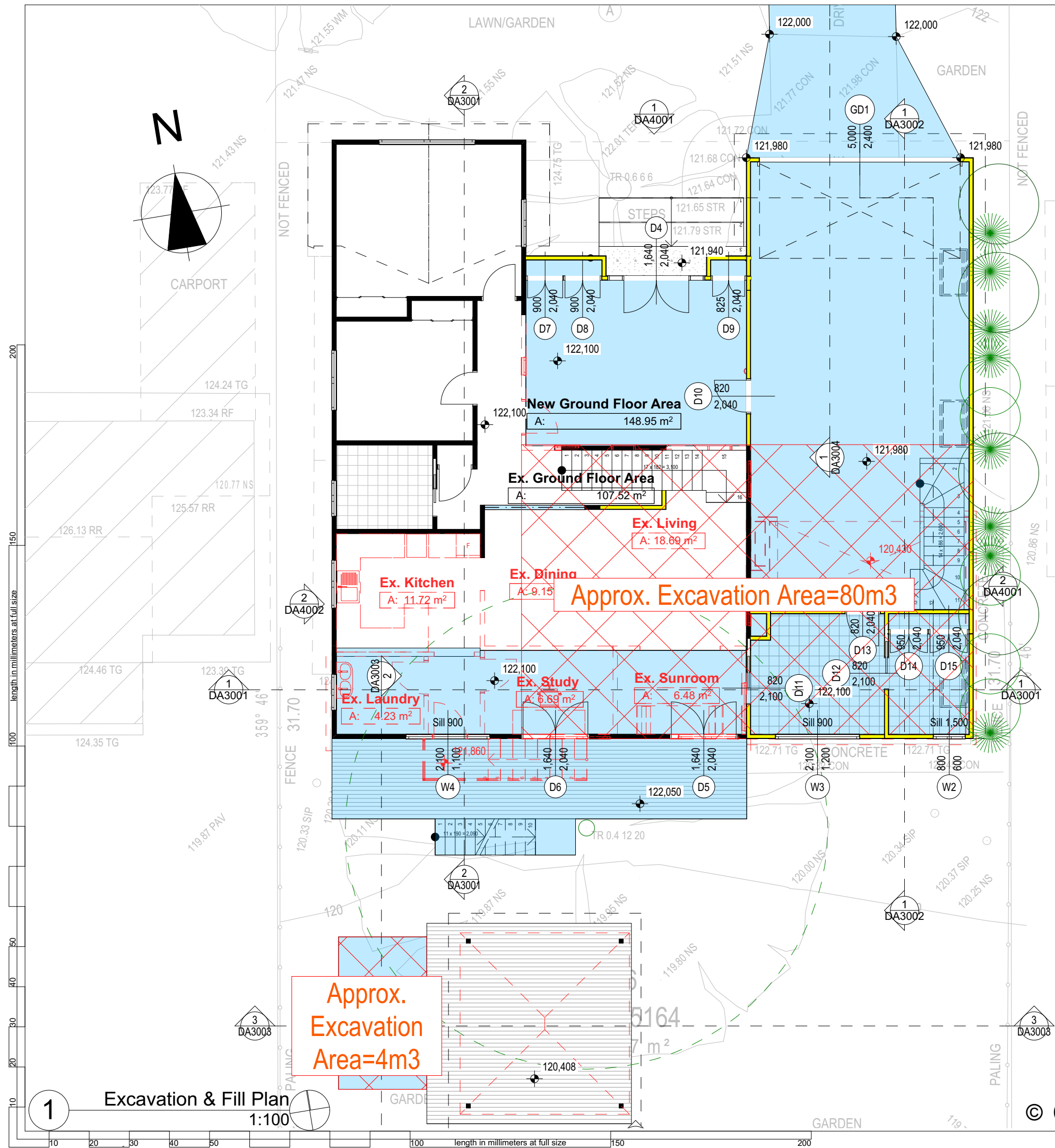
DA2019/1395
D.P.25164

Site Information	Proposed	Compliance
Site Area	579.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	341.1m ²	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

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THIS PLAN IS TO BE READ IN
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CONSENT

DA2019/1395



length in millimeters at full size

1

Basement/Lower Ground Floor

1:100

length in millimeters at full size

LAWN/GARDEN

GARDEN

New Strip Footings To Eng. Details

Denotes New Works

Wall Legend

Denotes New Concrete Block Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item

BASIX Certificate number: A346247_02

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	
suspended floor with enclosed subfloor: concrete (R0.6)	R0.70 (down) (or R1.30 including construction)	
suspended floor above garage: framed (R0.7)	nil	
external wall: framed (weatherboard, floro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

New Strip Footings To Eng. Details

Beam Over To Engineering Details

Beam Over To Engineering Details

New Timber Stairs & Handrail To BCA
& Aust. Stds.

New Concrete Slab To Eng. Details

Wet Areas To Be Waterproofed To BCA
& Aust. Stds.

New Masonry Wall

New Concrete Block Retaining Wall
To Eng. Details

New Grass Infill

New Concrete Slab To Eng. Details

New Concrete Stairs To BCA,
Aust. Stds. & Eng. Details

New Timber Post

Site Information	Proposed	Compliance
Site Area	579.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	341.1m ²	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

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Mobile: 0414-945-024
Email : gregg@rapidplans.com.au

BD&A BUILDING
DESIGNERS
AUSTRALIA NSW

NOTES
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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
45 Earl Street Beacon Hill
is not considered a heritage item

Construction
Timber Framed & Concrete Floors, Cladded Walls
Roof Sheet Metal to have R1.45 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps
All workmanship and materials shall be in accordance
with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number A346247_02
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Project North



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Client
Peter Conduit
Project Name
Alterations & Additions
45 Earl Street, Beacon Hill
2100

Lot 35 D.P.25164

Drawing Title:

Plans - Basement/Lower Ground Floor Plan

Basement/Lower Ground Floor

Scale: A3 as noted

Date: 24-2-2020

Status: DA REV 6

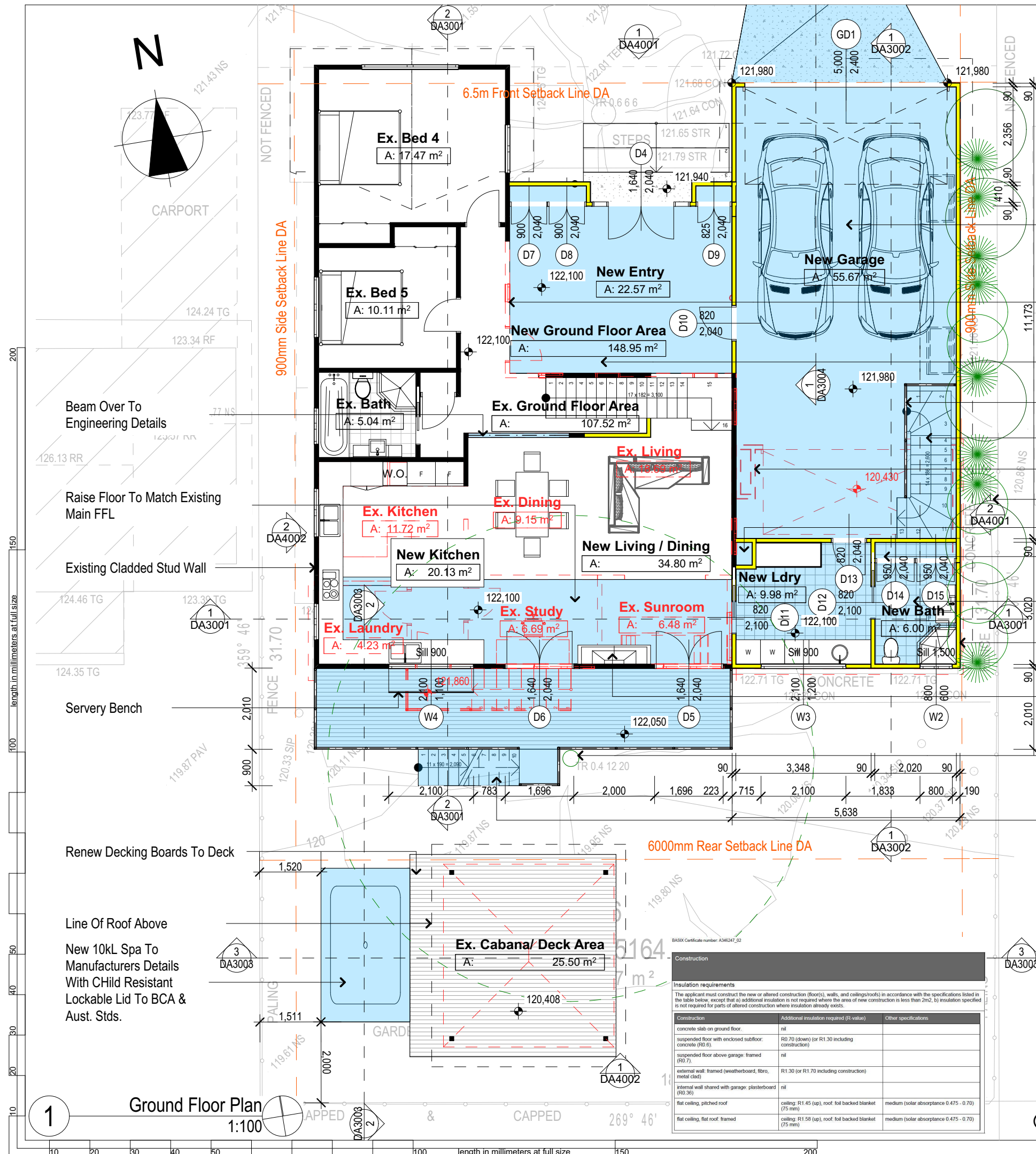
Checked By: GBJ

Project No:

Drawing No.

RP0718CON

DA2001



- Denotes New Works**
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes Existing Wall
 - Denotes Demolished Item

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1395

- New Concrete Slab To Eng. Details
- Demolish Items Shown Red Dashed
- Raise Floor To Match Existing Main FFL
- New Handrail To BCA & Aust. Stds.
- New Timber Stairs & Handrail To BCA & Aust. Stds.
- Demolish Items Shown Red Dashed
- New Screen Planting
- Laundry Chute
- New Concrete Slab To Eng. Details With Waterproof Floor Over
- Wet Areas To Be Waterproofed To BCA & Aust. Stds.
- New Cladded 90mm Timber Framed Wall To Match Existing
- New Gas Fireplace
- Existing Tree To Remain In Accordance With Temporal Tree Management Pty Ltd.'s Arboricultural Impact Assessment Report Dated: 30/07/2019
- New Timber Stairs & Handrail To BCA & Aust. Stds.

Site Information	Proposed	Compliance
Site Area	579.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
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Mobile: 0414-945-024
Email : greg@rapidplans.com.au

BUILDING DESIGNERS AUSTRALIA NSW

NOTES

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All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.

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Construction

Timber Framed & Concrete Floors, Cladded Walls.

Roof Sheet Metal to have R1.45 Insulation.

Insulation to External Cladded Walls R1.7.

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All work to Engineers Specification and BCA.

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Glazing to BCA and AS01288-2047.

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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Peter Conduit

Project Name
Alterations & Additions

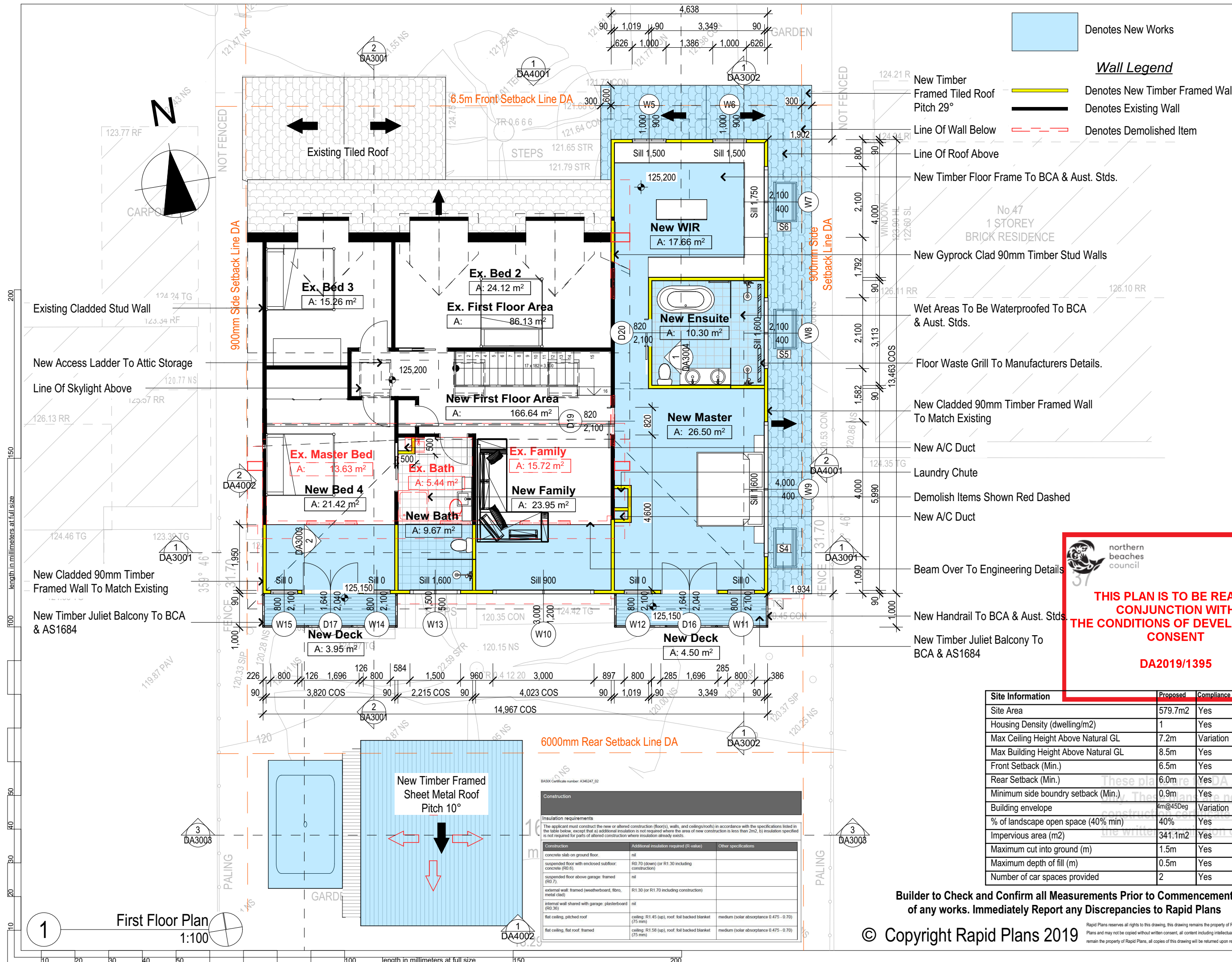
45 Earl Street, Beacon Hill
2100

Lot 35 D.P.25164

Drawing Title:
Plans - Ground Floor Plan

Scale: A3 as noted
Status: DA REV 6
Project No:
RP0718CON

Date: 24-2-2020
Checked By: GBJ
Drawing No:
DA2002



- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes Existing Wall
 - Denotes Demolished Item
- Line Of Wall Below
- Line Of Roof Above
- New Timber Floor Frame To BCA & Aust. Stds.

- New Timber Framed Tiled Roof Pitch 29°
- New Gyprock Clad 90mm Timber Stud Walls
- Wet Areas To Be Waterproofed To BCA & Aust. Stds.
- Floor Waste Grill To Manufacturers Details.
- New Cladded 90mm Timber Framed Wall To Match Existing
- New A/C Duct
- Laundry Chute
- Demolish Items Shown Red Dashed
- New A/C Duct
- Beam Over To Engineering Details
- New Handrail To BCA & Aust. Stds.
- New Timber Juliet Balcony To BCA & AS1684

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1395

Site Information	Proposed	Compliance
Site Area	579.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	341.1m2	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Email : greg@rapidplans.com.au

BUILDING DESIGNERS AUSTRALIA NSW

NOTES

45 Earl Street Beacon Hill is zoned R2 - Low Density Residential.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue. 45 Earl Street Beacon Hill is not considered a heritage item.

Construction

Timber Framed & Concrete Floors, Cladded Walls, Roof Sheet Metal to have R1.45 Insulation Insulation to External Cladded Walls R1.7.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS01288-2047.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA. Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix

Basix Certificate Number A346247_02.

All Plans to be read in conjunction with Basix Certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2000 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Peter Conduit

Project Name: **Alterations & Additions**

45 Earl Street, Beacon Hill

2100

Lot 35 D.P.25164

Drawing Title: **Plans - First Floor Plan**

Scale: A3 as noted

Date: 24-2-2020

Status: DA REV 6

Checked By: GBJ

Project No: **RP0718CON**

Drawing No: **DA2003**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1395

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	
suspended floor with enclosed subfloor: concrete (R0.6)	R0.70 (down) (or R1.30 including construction)	
suspended floor above garage: framed (R0.7)	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Site Information	Proposed	Compliance
Site Area	579.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	341.1m2	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

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BUILDING DESIGNERS AUSTRALIA NSW

NOTES

45 Earl Street Beacon Hill is zoned R2 - Low Density Residential.

All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.

45 Earl Street Beacon Hill is not considered a heritage item.

Construction

Timber Framed & Concrete Floors, Cladded Walls

Roof Sheet Metal to have R1.45 Insulation

Insulation to External Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix

Basix Certificate Number A346247_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Peter Conduit

Project Name: **Alterations & Additions**

45 Earl Street, Beacon Hill

2100

Lot 35 D.P.25164

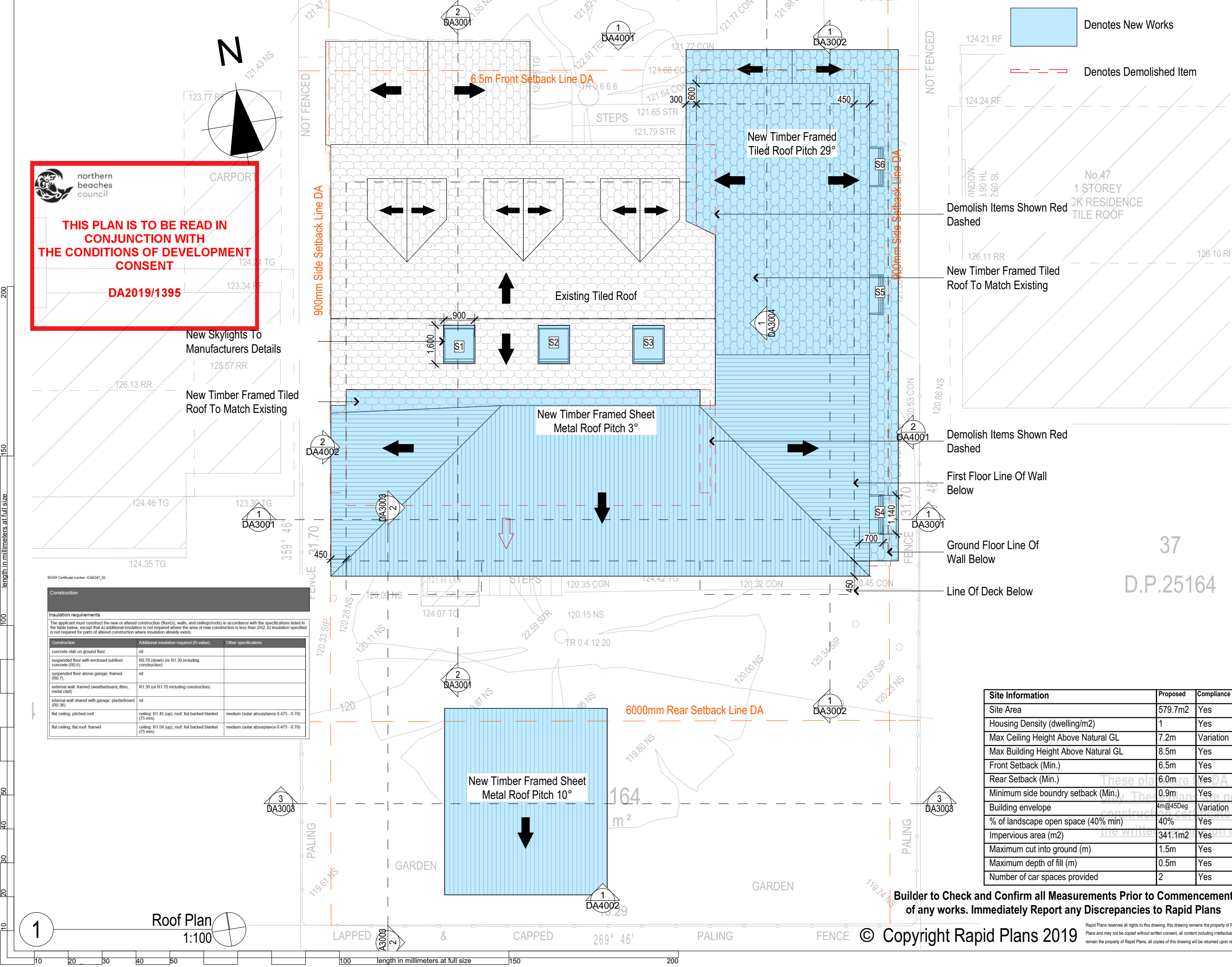
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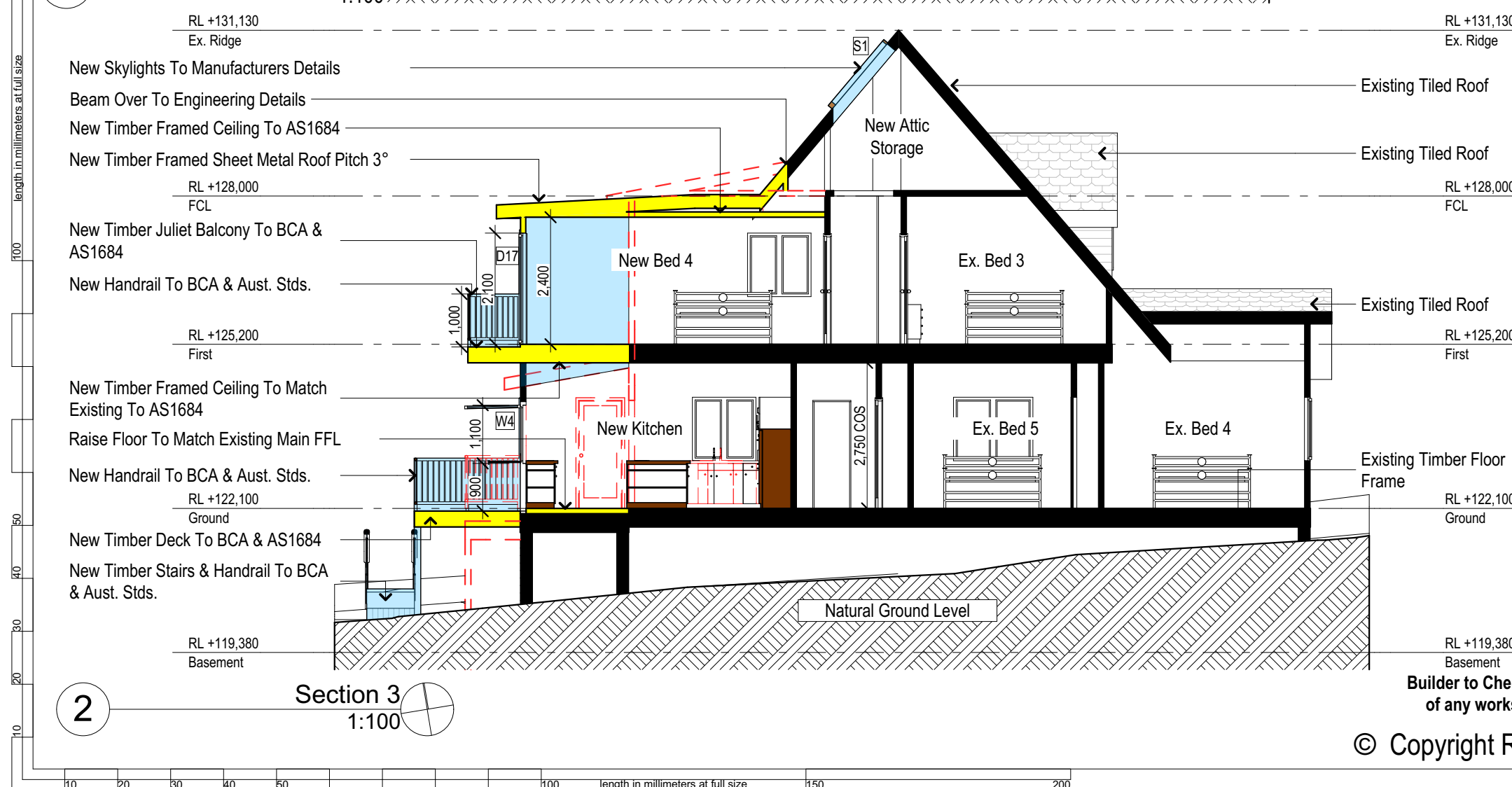
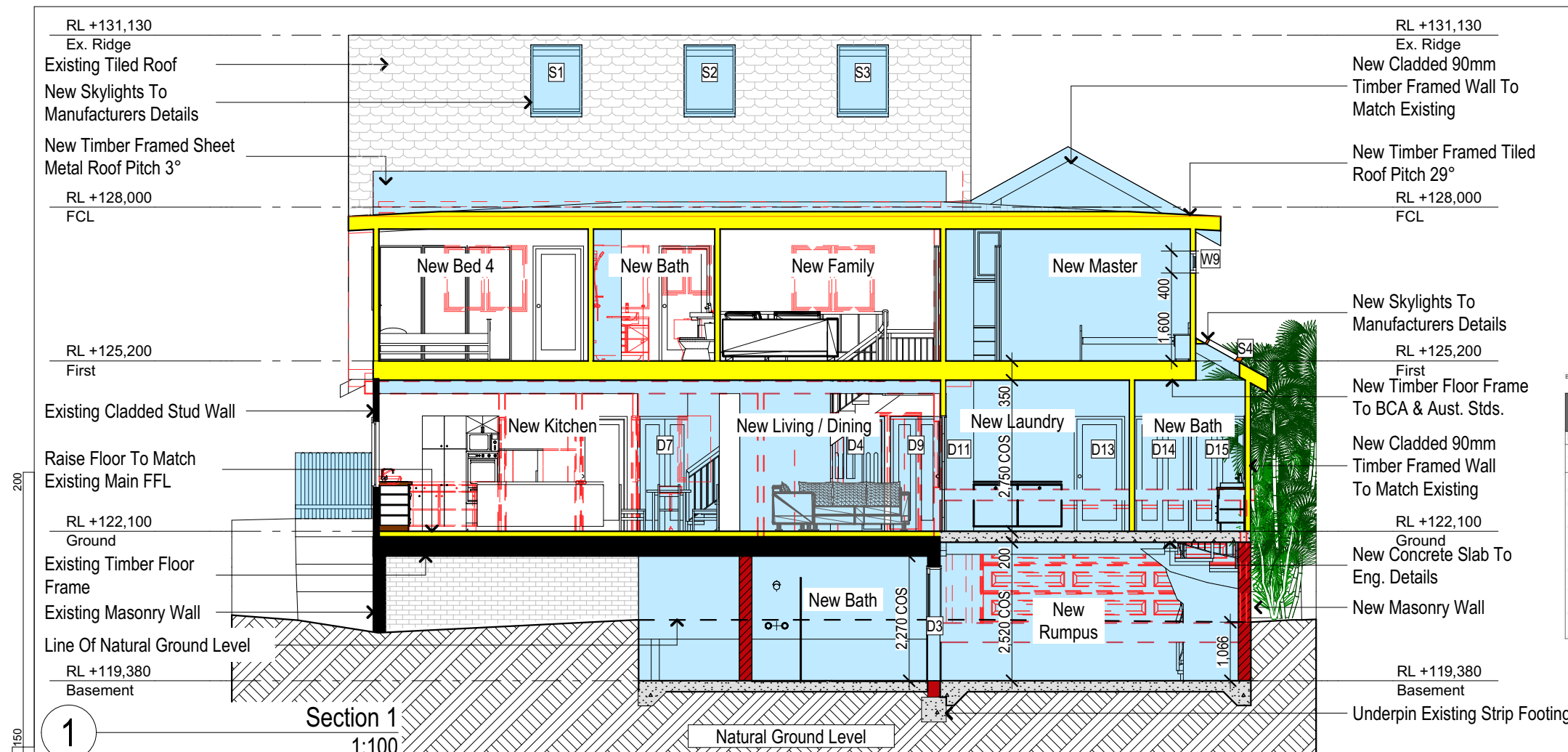
Plans - Roof Plan

Scale: A3 as noted Date: 24-2-2020

Status: DA REV 6 Checked By: GBJ

Project No: RP0718CON Drawing No: DA2004





Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall/Floor/Roof
- Denotes New Masonry Wall
- Denotes New Concrete
- Denotes Existing Item
- Denotes Demolished Item

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R value)	Other specifications
concrete slab on ground floor	nil	
suspended floor with enclosed subfloor: concrete (R0.6)	R0.70 (down) (or R1.30 including construction)	
suspended floor above garage: framed (R0.7)	nil	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	
external wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1395

Site Information	Proposed	Compliance
Site Area	579.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	341.1m ²	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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BUILDING DESIGNERS AUSTRALIA NSW

NOTES

45 Earl Street Beacon Hill is zoned R2 - Low Density Residential.

All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue. 45 Earl Street Beacon Hill is not considered a heritage item.

Construction

Timber Framed & Concrete Floors, Cladded Walls. Roof Sheet Metal to have R1.45 insulation. Insulation to External Cladded Walls R1.7. Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA. Timber framing to BCA and AS 1684. Termite Management to BCA and AS 3660.1. Glazing to BCA and AS01288-2047. Waterproofing to BCA and AS 3740. New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA. Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix

Basix Certificate Number A346247_02

All Plans to be read in conjunction with Basix Certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Peter Conduit

Project Name
Alterations & Additions

45 Earl Street, Beacon Hill
2100

Lot 35 D.P.25164

Drawing Title:

Sections - Section 1

Section 1, Section 3

Scale: A3 as noted
Status: DA REV 6
Project No: RP0718CON

Date: 24-2-2020
Checked By: GBJ
Drawing No: DA3001

BASIX Certificate number: A346247_02

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	
suspended floor with enclosed subfloor: concrete (R0.6)	R0.70 (down) (or R1.30 including construction)	
suspended floor above garage: framed (R0.7)	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1395



Denotes New Works



Denotes New Timber Framed Wall/Floor/Roof



Denotes New Masonry Wall



Denotes New Concrete



Denotes Existing Item



Denotes Demolished Item

RL +131,130
Ex. Ridge

RL +131,130
Ex. Ridge

New Skylights To Manufacturers Details

Beam Over To Engineering Details

New Timber Framed Sheet Metal Roof Pitch 3°

RL +128,000
FCL

RL +128,000
FCL

Demolish Items Shown Red Dashed

New Handrail To BCA & Aust. Stds.

RL +125,200
First

RL 126 627
Garage Ridge

New Timber Juliet Balcony To BCA & AS1684

New Handrail To BCA & Aust. Stds.

New Timber Deck To BCA & AS1684

RL +122,100
Ground

RL +122,100
Ground

New Masonry Wall

New Timber Stairs & Handrail To BCA & Aust. Stds.

New Concrete Stairs To BCA, Aust. Stds. & Eng. Details

RL +119,380
Basement

New Concrete Slab To Eng. Details

New Strip Footings To Eng. Details

Drainage Behind Wall

RL +119,380
Basement

Natural Ground Level

1

Section 2
1:100

BASIX Certificate number: A346247_02

Glazing requirements					
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.					
The following requirements must also be satisfied in relation to each window and glazed door:					
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.					
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.					
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.					
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.					
Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device
W1	S	2.1	0	0	none
W2	S	0.5	0	0	none
W3	S	2.5	0	0	none
W4	S	2.3	0	0	eave/verandah/pergola/balcony >=600 mm
W5	N	1.35	0	0	eave/verandah/pergola/balcony >=600 mm

BASIX Certificate number: A346247_02

Glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device
W6	N	1.35	0	0	eave/verandah/pergola/balcony >=600 mm
W7	E	1.2	0	0	eave/verandah/pergola/balcony >=600 mm
W8	E	1.05	0	0	eave/verandah/pergola/balcony >=600 mm
W9	E	0.4	0	0	eave/verandah/pergola/balcony >=600 mm
W10	E	1.2	0	0	eave/verandah/pergola/balcony >=600 mm
W11	E	3.6	0	0	eave/verandah/pergola/balcony >=600 mm
W12	S	1.7	0	0	eave/verandah/pergola/balcony >=600 mm
W13	S	1.7	0	0	eave/verandah/pergola/balcony >=600 mm
W14	S	0.7	0	0	eave/verandah/pergola/balcony >=600 mm
W15	S	1.7	0	0	eave/verandah/pergola/balcony >=600 mm
W16	S	1.7	0	0	eave/verandah/pergola/balcony >=600 mm
D5	S	3.3	0	0	eave/verandah/pergola/balcony >=600 mm
D6	S	3.3	0	0	eave/verandah/pergola/balcony >=600 mm

BASIX Certificate number: A346247_02

Glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device
D16	S	3.3	0	0	eave/verandah/pergola/balcony >=600 mm
D17	S	3.3	0	0	eave/verandah/pergola/balcony >=600 mm

Skylights					
The applicant must install the skylights in accordance with the specifications listed in the table below.					
The following requirements must also be satisfied in relation to each skylight:					
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					
Skylights glazing requirements					
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type		
S1	1.4	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)		
S2	1.4	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)		
S3	1.4	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)		
S4	0.79	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)		

Site Information	Proposed	Compliance
Site Area	579.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	341.1m2	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au

bda BUILDING DESIGNERS AUSTRALIA NSW

NOTES
45 Earl Street, Beacon Hill is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
45 Earl Street, Beacon Hill is not considered a heritage item.

Construction
Timber Framed & Concrete Floors, Cladded Walls
Roof Sheet Metal to have R1.45 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number A346247_02
All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: **Peter Conduit**
Project Name: **Alterations & Additions**
45 Earl Street, Beacon Hill
2100

Lot 35 D.P. 25164

Drawing Title:

Sections - Section 2

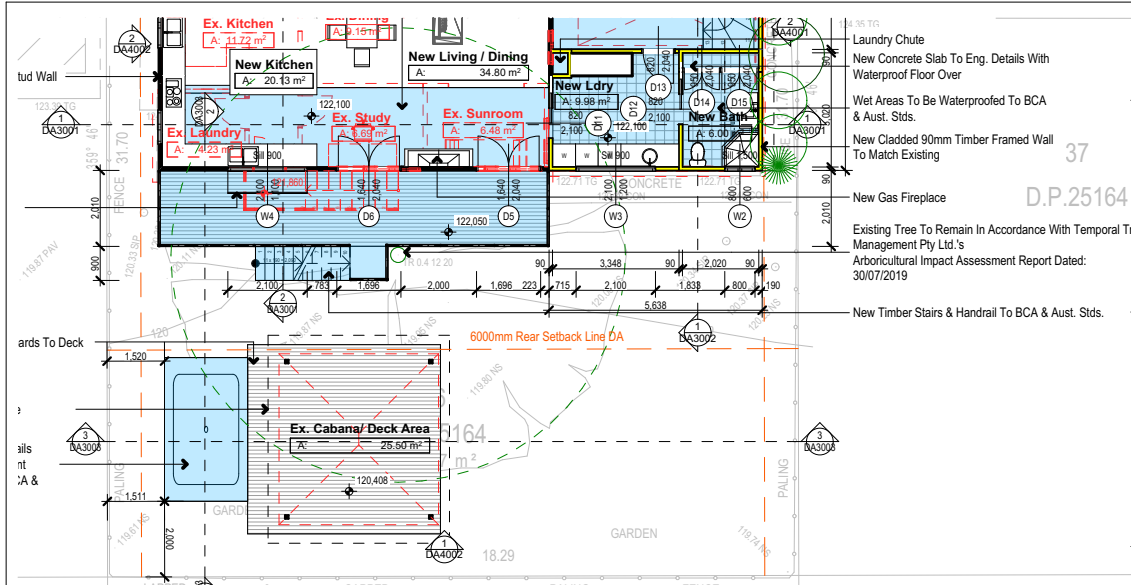
Section 2

Scale: A3 as noted Date: 24-2-2020

Status: DA REV 6 Checked By: GBJ

Project No: RP0718CON

Drawing No. DA3002

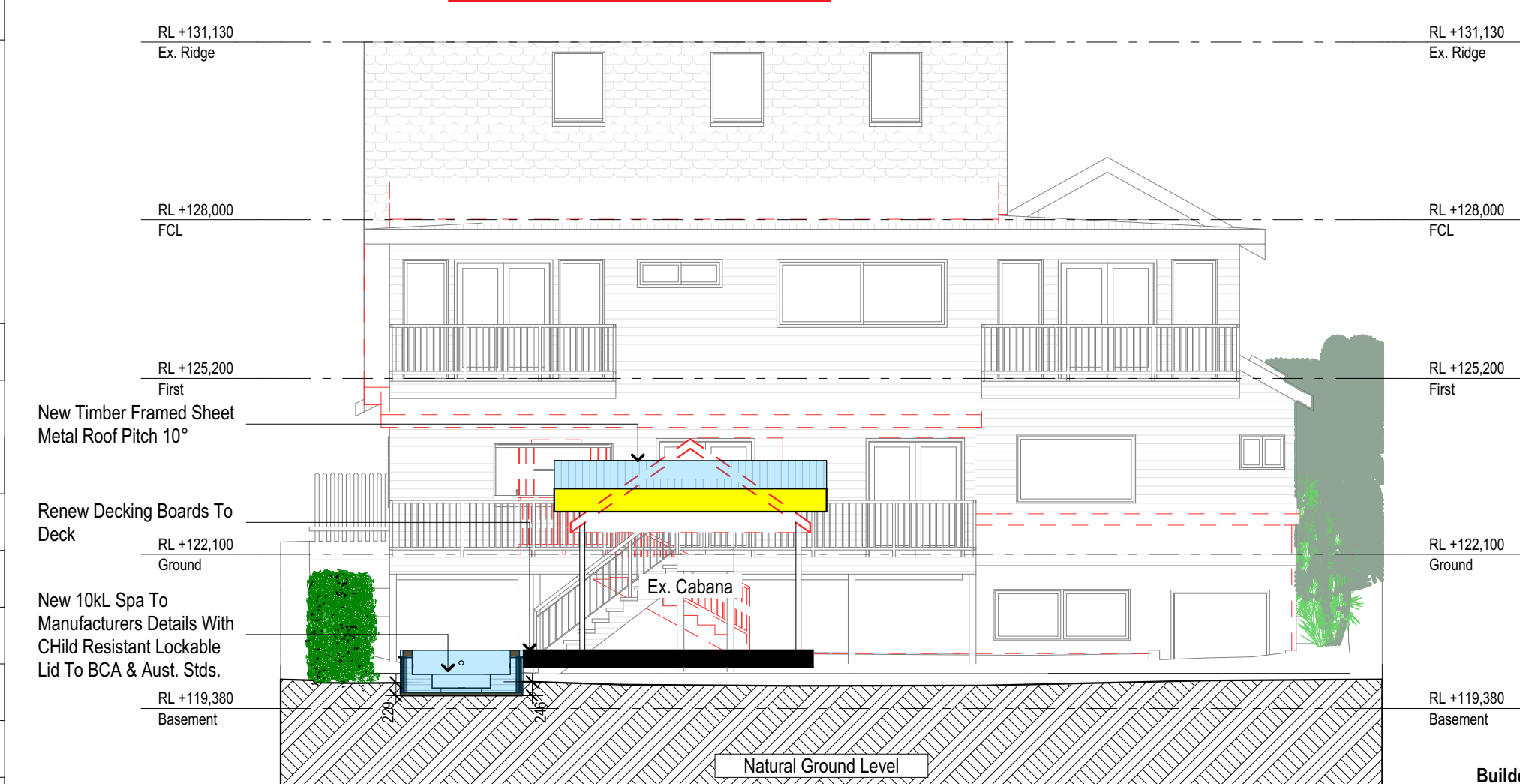


1

Ground Floor Plan
1:200

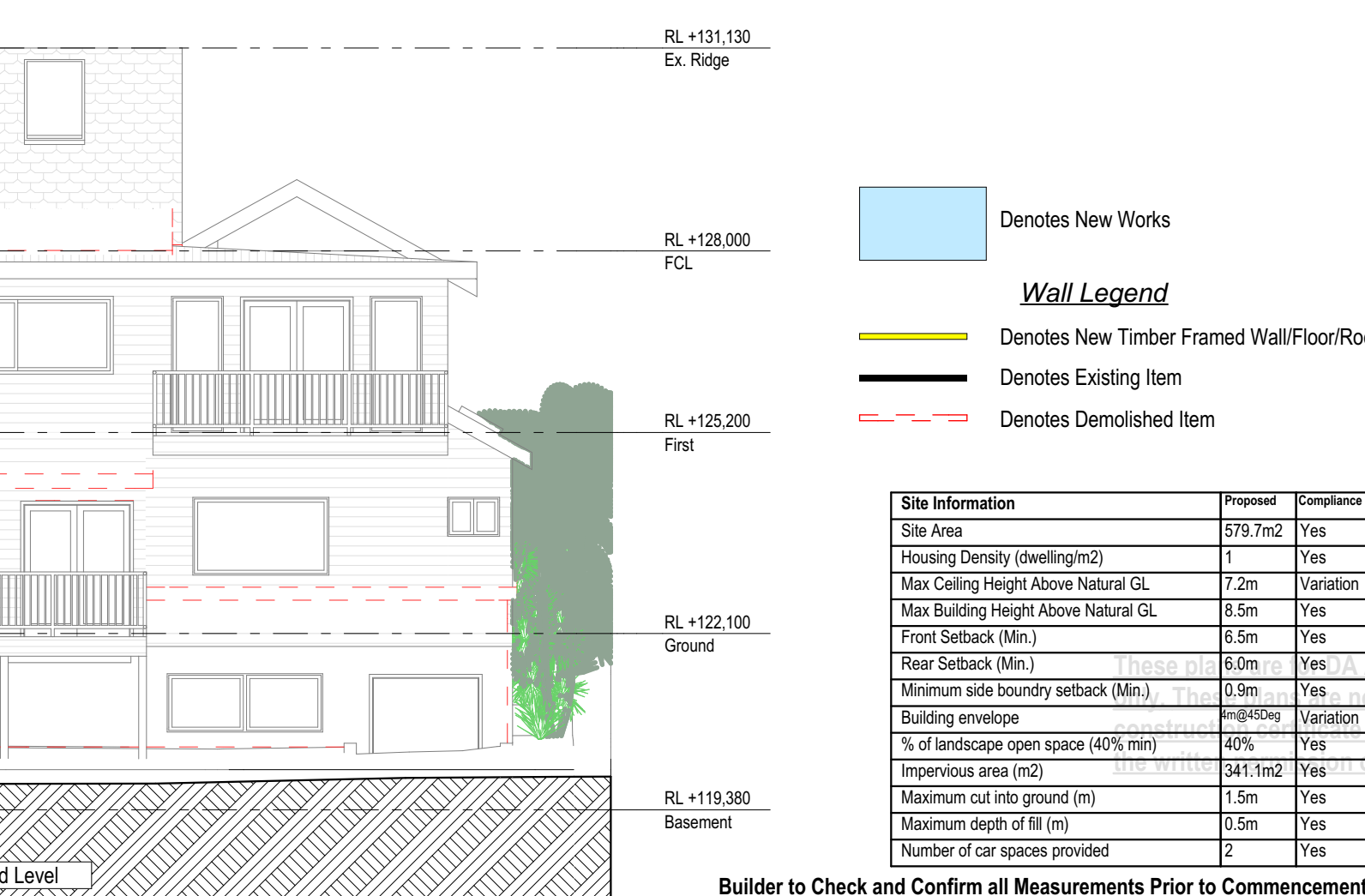
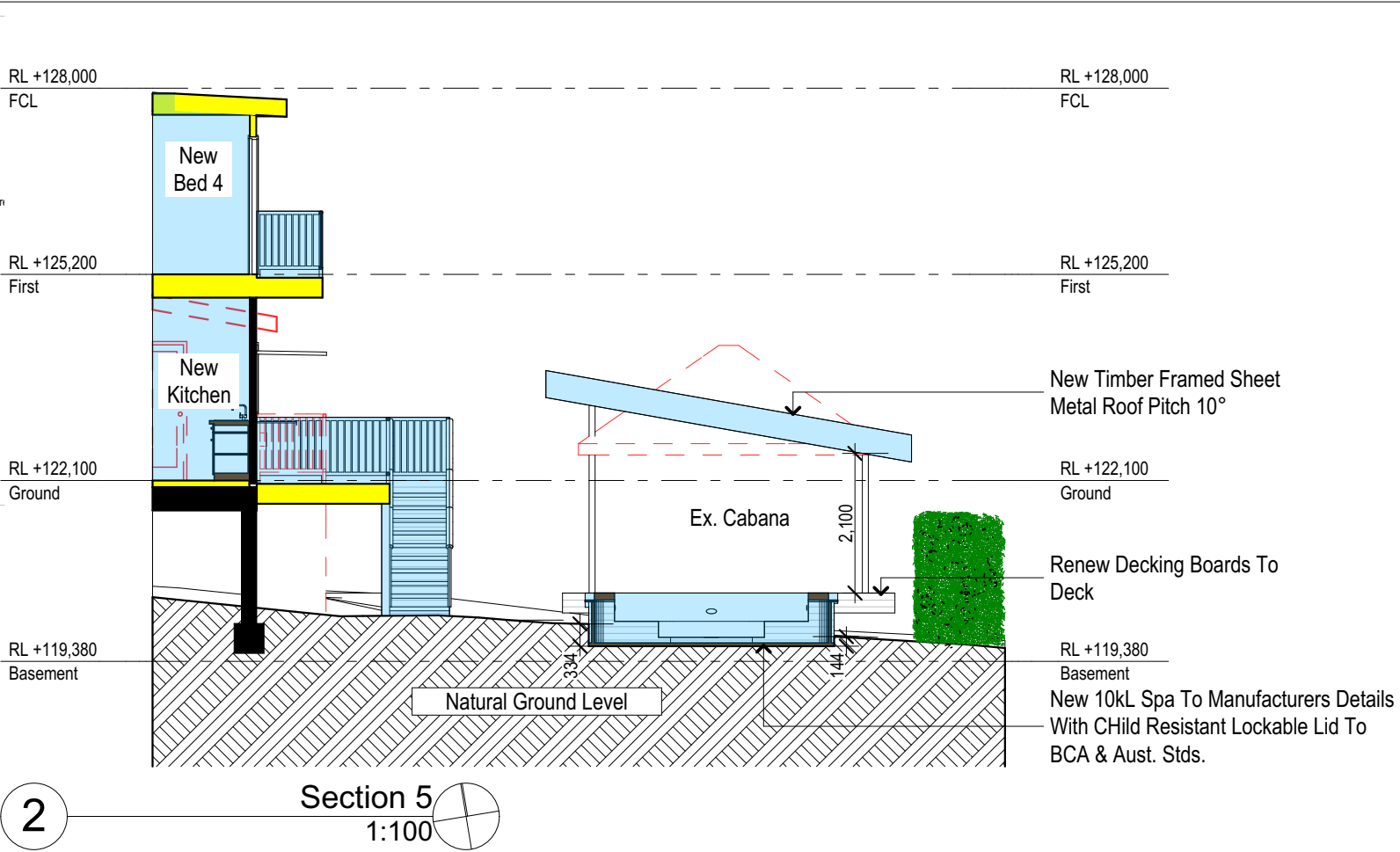
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1395



3

Section 4
1:100



3

Section 3
1:100

Denotes New Works

Denotes New Timber Framed Wall/Floor/Roof

Denotes Existing Item

Denotes Demolished Item

Wall Legend

Site Information	Proposed	Compliance
Site Area	579.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	341.1m2	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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bda
BUILDING DESIGNERS AUSTRALIA NSW

NOTES
45 Earl Street Beacon Hill is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basis Certificate New Works to be constructed shown in Shaded/Blue. 45 Earl Street Beacon Hill is not considered a heritage item.

Construction
Timber Framed & Concrete Floors, Cladded Walls
Roof Sheet Metal to have R1.45 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basis
Basis Certificate Number A346247_02
All Plans to be read in conjunction with Basis Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

N

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Peter Conduit

Project Name
Alterations & Additions
45 Earl Street, Beacon Hill
2100

Lot 35 D.P.25164

Drawing Title:

Sections - Section Spa/Cabana

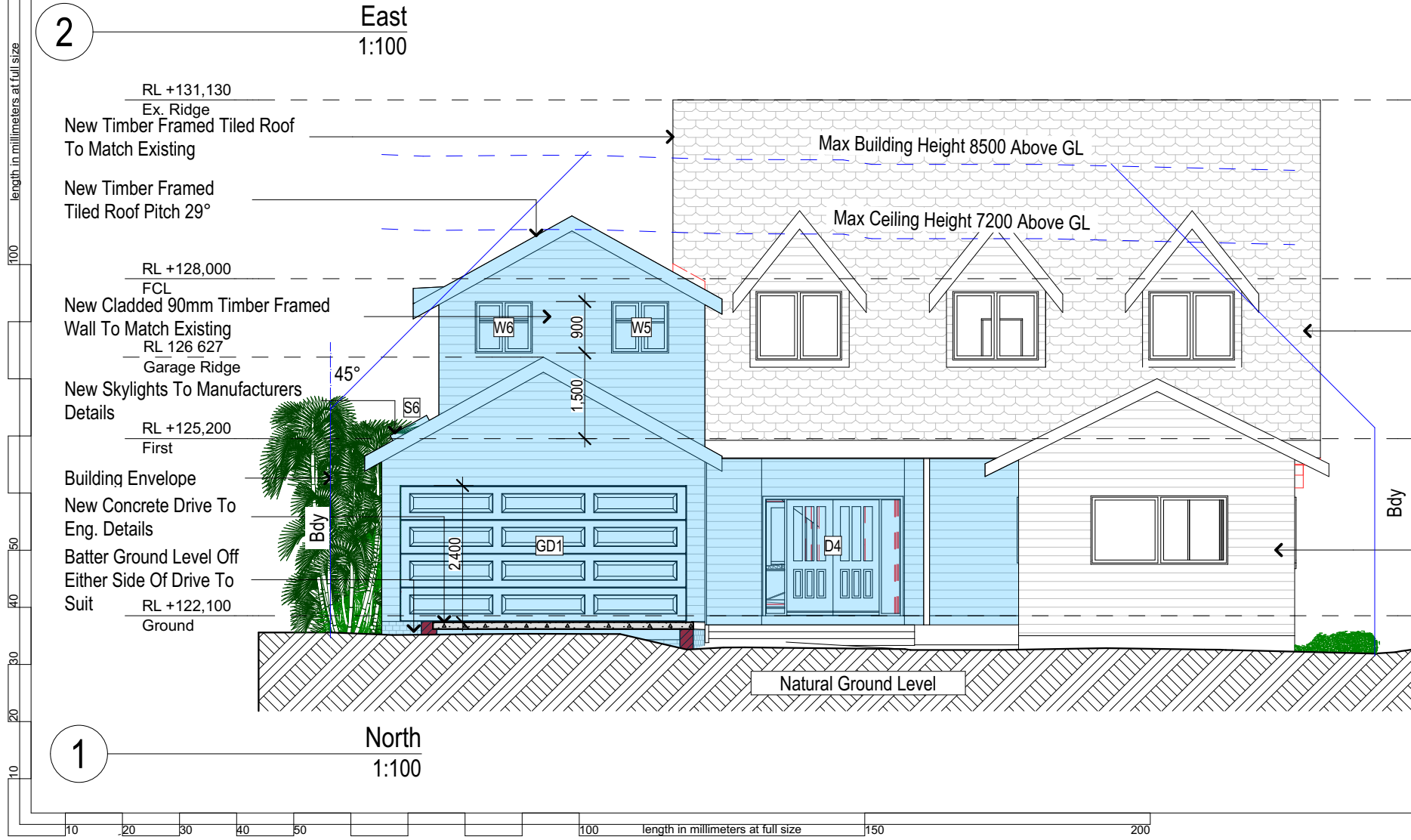
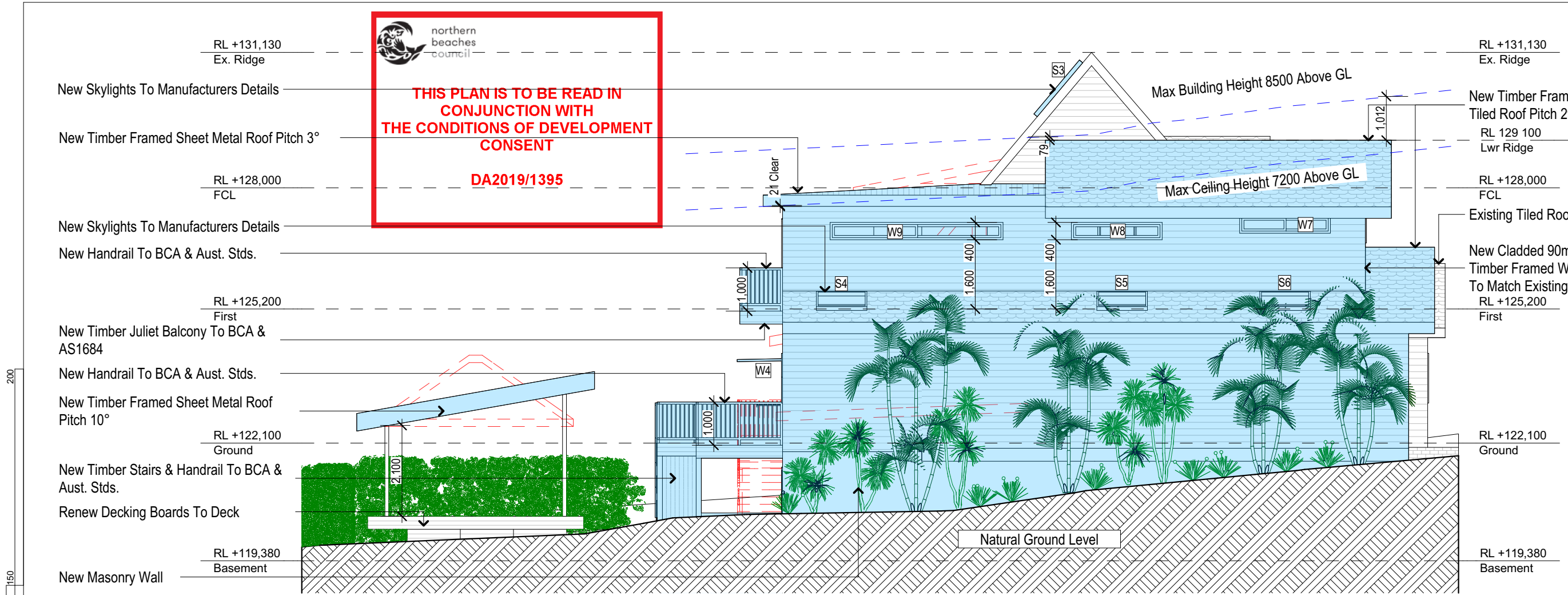
Ground Floor Plan, Section 4, Section 5

Scale: A3 as noted Date: 24-2-2020

Status: DA REV 6 Checked By: GBJ

Project No: Drawing No:

RP0718CON DA3003



- Denotes New Works
- Wall Legend**
- Denotes New Concrete
- Denotes New Masonry Wall
- Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	579.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	341.1m2	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

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BUILDING DESIGNERS AUSTRALIA NSW

NOTES

45 Earl Street, Beacon Hill is zoned R2 - Low Density Residential.

All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue. 45 Earl Street, Beacon Hill is not considered a heritage item.

Construction

Timber Framed & Concrete Floors, Cladded Walls. Roof Sheet Metal to have R1.45 Insulation Insulation to External Cladded Walls R1.7. Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA. Timber framing to BCA and AS 1684. Termite Management to BCA and AS 3660.1. Glazing to BCA and AS01288-2047. Waterproofing to BCA and AS 3740. New Lighting to have minimum of 40% compact fluorescent lamps. All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basix

Basix Certificate Number A346247_02. All Plans to be read in conjunction with Basix Certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client
Peter Conduit

Project Name
Alterations & Additions

45 Earl Street, Beacon Hill
2100

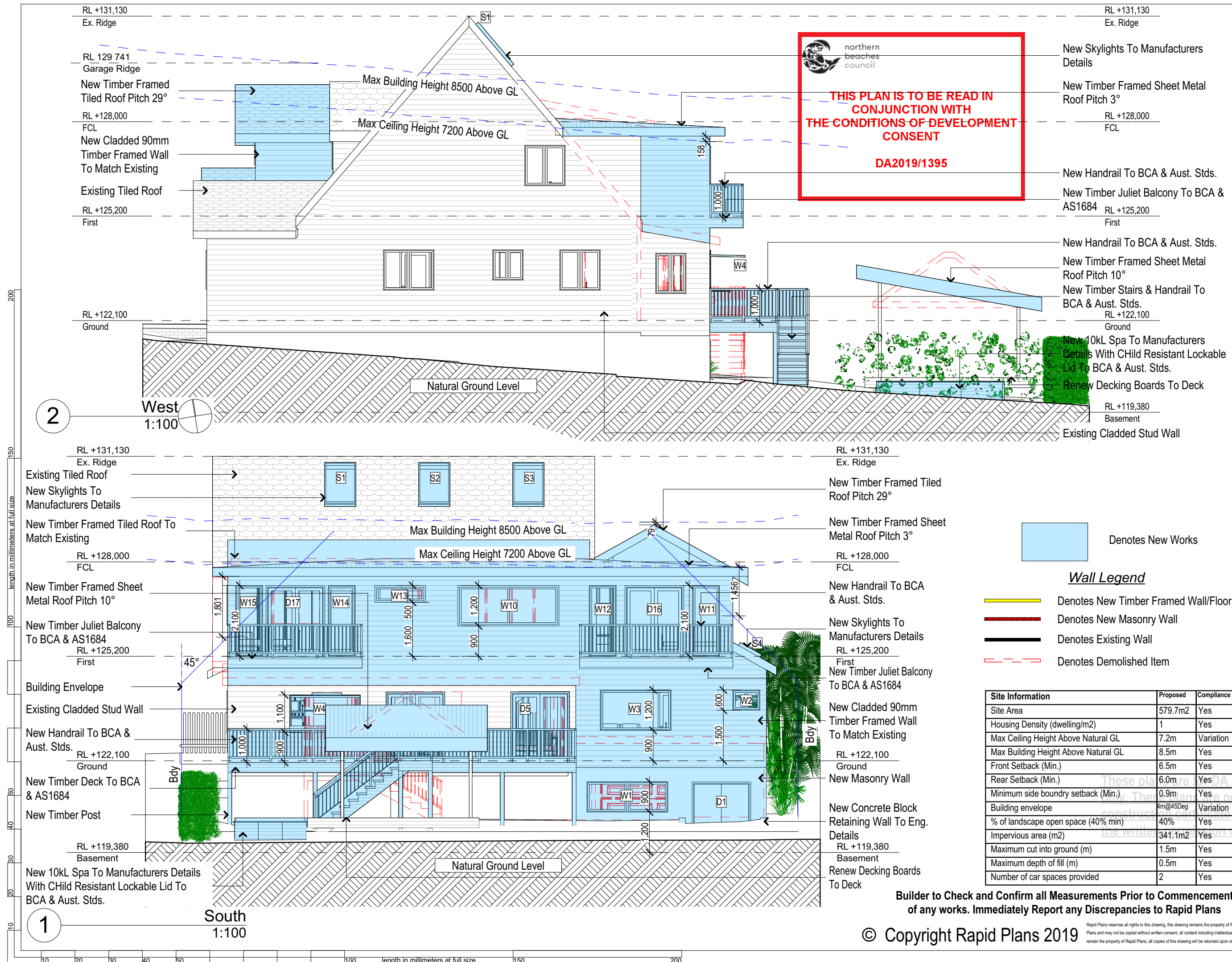
Lot 35 D.P. 25164

Drawing Title:

Elevations - Elevations 1

North, East

Scale: A3 as noted	Date: 24-2-2020
Status: DA REV 6	Checked By: GBJ
Project No: RP0718CON	Drawing No: DA4001



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BUILDING DESIGNERS AUSTRALIA NSW

NOTES
45 Earl Street Beacon Hill is zoned R2 - Low Density Residential.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
45 Earl Street Beacon Hill is not considered a heritage item.

Construction
Timber Framed & Concrete Floors, Cladded Walls
Roof Sheet Metal to have R1.45 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix
Basix Certificate Number A346247_02
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Peter Conduit
Project Name: **Alterations & Additions**
45 Earl Street, Beacon Hill
2100
Lot 35 D.P.25164
Drawing Title:

Elevations - Elevations 2
South, West

Scale: A3 as noted	Date: 24-2-2020
Status: DA REV 6	Checked By: GBJ
Project No: RP0718CON	Drawing No: DA4002

Site Information	Proposed	Compliance
Site Area	579.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Variation
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	341.1m ²	Yes
Maximum cut into ground (m)	1.5m	Yes
Maximum depth of fill (m)	0.5m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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