# 401C WATKINS

PLANNING ISSUE

Telephone + 613 9761 5544 33 Garden Street, Kilsyth Victoria 3137



## DRAWING TRANSMITTAL - PLANNING

Sheet No.	Rev.	Date.	Drawing Title.	Drawn By.	Issued By.
P00.0T	D	26.08.19	DRAWING TRANSMITTAL	EM	EM
P00.02	D	26.08.19	BAL NOTES	EM	EM
P00.03	D	26.08.19	GENERAL NOTES	EM	EM
P00.04	D	26.08.19	3D PERSPECTIVES	EM	EM
P00.05	D	26.08.19	MATERIAL SCHEDULE	EM	EM
P00.06	D	26.08.19	PRPS. SHADOW DIAGRAM	EM	EM
P00.07	D	26.08.19	PRPS. SHADOW DIAGRAM	EM	EM
P00.08	D	26.08.19	PRPS. SHADOW DIAGRAM	EM	EM
P01.01	D	26.08.19	SITE PLAN	EM	EM
P01.02	D	26.08.19	CUT AND FILL PLAN	EM	EM
P01.03	Α	26.08.19	WASTE MANAGEMENT PLAN	EM	EM
P02.00	D	26.08.19	GROUND FLOOR PLAN	EM	EM
P02.01	D	26.08.19	FIRST FLOOR PLAN	EM	EM
P03.00	D	26.08.19	ROOF PLAN	EM	EM
P04.00	D	26.08.19	ELEVATIONS	EM	EM
P04.01	D	26.08.19	ELEVATIONS	EM	EM
P04.02	D	26.08.19	ELEVATIONS	EM	EM
P04.03	D	26.08.19	ELEVATIONS	EM	EM
P04.04	D	26.08.19	ELEVATIONS	EM	EM
P05.00	D	26.08.19	WINDOW & DOOR ELEVATIONS	EM	EM
P05.01	D	26.08.19	WINDOW & DOOR ELEVATIONS	EM	EM
P05.02	D	26.08.19	WINDOW & DOOR ELEVATIONS	EM	EM
P05.03	D	26.08.19	WINDOW & DOOR ELEVATIONS	EM	EM
P05.04	D	26.08.19	WINDOW & DOOR ELEVATIONS	EM	EM
P06.00	D	26.08.19	SECTIONS	EM	EM

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Description	Ву	Date	Project Name:
DA ISSUE	EM	06.12.18	PROPOSED RESIDENCE AT
DA REV 1	EM	27.02.19	79 KUMARNA ST
DA REV 2	EM	26.06.19	
DA REV 3	EM	26.08.19	DUFFYS FOREST, NSW
			Client:

WATKINS

Project Number: 401C

Drawn by: **EM** Drawing Title:
DRAWING TRANSMITTAL

Drawing Number: PRELIMINARY CONTROLLING Nev:

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## B.A.L 29

**SUBFLOOR:** 6mm CEMENT SHEET TO UNDERSIDE OF SUB FLOOR.

SUB FLOOR SUPPORTS TO BE MADE FROM A NON COMBUSTIBLE MATERIAL.

**EXTERNAL CLADDING:** EXTERNAL CLADDING FOR WALLS TO BE EITHER BUSHFIRE RESISTANT TIMBER, FIBRE-CEMENT TO A

MINIMUM THICKNESS OF 6mm, A NON COMBUSTIBLE MATERIAL OR A COMBINATION OF ANY OF THESE.

**ROOFS:** ROOFS TO BE MADE FROM A NON COMBUSTIBLE MATERIAL.

JOINTS: ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS AND ROOFS INCLUDING PENETRATIONS

AND EAVES SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT JOINTED TO PREVENT GAPS

GREATER THAN 3mm.

**WINDOWS:** WINDOWS SHALL BE MADE FROM A BUSHFIRE RESISTANT TIMBER OR METAL.

ALL GLAZING FOR WINDOWS WILL HAVE TOUGHENED GLASS WITH A MINIMUM THICKNESS OF 5mm.

**EXTERNAL DOORS:** DOORS SHALL BE MADE FROM A BUSHFIRE RESISTANT TIMBER OR METAL.

ALL GLAZING FOR DOORS WILL HAVE TOUGHENED GLASS WITH A MINIMUM THICKNESS OF 5mm. GLAZING FOR SLIDING DOORS WILL HAVE TOUGHENED GLASS WITH A MINIMUM THICKNESS OF 6mm.

**FLYSCREENS:** STAINLESS STEEL FLYSCREEN MESH WITH A MAXIMUN APPERTURE OF 2mm.

**GUTTERS / DOWNPIPES:** GUTTERS SHALL BE METAL OR PVC-U.

VERANDAH / DECKS ETC: MATERIALS FOR VERANDAHS, DECKING, STEPS, RAMPS OR LANDINGS INCLUDING HANDRAILS &

BALUSTRADES TO BE MADE FROM BUSHFIRE RESISTANT TIMBER, NON COMBUSTIBLE MATERIAL OR A

COMBINATION OF BOTH.

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## **GENERAL NOTES**

- 1. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. ALL DIMENSIONS SHOWN ARE TO STRUCTURAL WALLS ONLY AND DO NOT INCLUDE INTERNAL OR EXTERNAL CLADDING. ALLOWANCE HAS BEEN MADE FOR A MAXIMUM ADDITIONAL 20mm CLADDING EXTERNALLY.
- 2. THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING ANY MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES, (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL COUNCIL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPENCIES TO THIS OFFICE FOR CLARIFICATION.
- 3. ALL WORKS SHALL COMPLY WITH BUT NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:
  - A.S. 1288 2006 GLASS IN BUILDINGS SELECTION AND INSTALLATION.
  - A.S. 1562 1992 DESIGN AND INSTALLATION OF SHEET ROOF & WALL CLADDING. PART 1 METAL.
  - A.S. 1684 2010 NATIONAL TIMBER FRAMING CODE.
  - A.S. 1860 2006 INSTALLATION OF PARTICLEBOARD FLOORING.
  - A.S. 2047 1999 WINDOWS IN BUILDINGS SELECTION AND INSTALLATION.
  - A.S. 2049 2002 ROOF TILES.
  - A.S. 2050 2002 INSTALLATION OF ROOFING TILES
  - A.S. 2870 2011 RESIDENTIAL SLABS AND FOOTINGS CONSTRUCTION.
  - A.S. 2904 1995 DAMP-PROOF COURSES AND FLASHINGS.
  - A.S. 3600 2009 CONCRETE STRUCTURES
  - A.S. 3660.1 2000 TERMITE MANAGEMENT PART 1 NEW BUILDINGS.
  - A.S. 3700 2011 MASONRY STRUCTURES.
  - A.S. 3740 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
  - A.S. 3786 1993 SMOKE ALARMS.
  - A.S. 4100 1998 STEEL STRUCTURES.
- A.S. 4256 1994/96 PLASTIC ROOF & WALL CLADDING MATERIALS.
- A.S. 4055 2006 WIND LOADS FOR HOUSING
- 4. THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.
- 5. WALL BRACING AND TIE-DOWN TO COMPLY WITH A.S. 1684 2010.
- 6. SOIL CLASSIFICTION: REFER TO (A00.02) HOUSE SPECIFICATION PAGE FOR DETAILS FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.
- 7. WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA, THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARD.
- 8. SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
  - a) ALL ROOMS WITHIN 500mm VERTICAL OF THE FLOOR.
  - b) BATHROOMS WITHIN 2000mm VERTICAL FROM THE BATH BASE.
  - c) LAUNDRY WITHIN 1200mm VERTICAL FROM FLOOR, AND/OR WITHIN 300mm HORIZONTAL FROM DOORS.
  - d) DOORWAY WITHIN 300mm HORIZONTAL FROM ALL DOORS.

SHOWER SCREENS SHALL BE GRADE 'A' SAFETY GLASS.

- 9. WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- 10. STORMWATER (BY OWNER) SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT LOCAL AUTHORITY.
- 11. SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.
- 12. FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.
- 13. FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA, ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES, AND STEEL LINTELS, ETC. THAT ARE EMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 3700 - 2011 TABLE 2.2, HOT DIPPED GALV., STAILESS STEEL OR CADMIMUM COATED.

- 14. ALL WET AREAS TO COMPLY WITH B.C.A. F1.7 OR A.S. 3740 2010. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm MIN. ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL.
- 15. PROVIDE MINIMUM CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 400mm FOR TERMITE AREAS.
- 16. THERMAL INSULATION TO BE PROVIDED AS SPECIFIED ON (DOHS) HOUSE SPECIFICATION PAGE.
- 17. STAIR REQUIREMENTS:- (OTHER THAN SPIRAL STAIR)

RISERS - 190mm MAXIMUM, 115mm MINIMUM;

GOING - 355mm MAXIMUM, 240mm MINIMUM; PRIVATE STAIRS (AND 250mm FOR PUBLIC STAIRS) RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSINGS.

ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125mm OR USE CLOSED RISERS.

PROVIDE CONTINUOUS HANDRAIL 1000mm MINIMUM HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL.

865mm MINIMUM HEIGHT OF HANDRAIL ABOVE STAIR NOSINGS AND LANDINGS.

MAXIMUM OPENINGS BETWEEN BALUSTERS NOT TO EXCEED 125mm.

18. STAIR LANDINGS

LANDINGS ARE REQUIRED TO ALL DOORWAYS WHERE THE LEVEL SURFACE OF THE DOORSILL EXCEEDS 190mm FROM THE GROUND OR ANY OTHER SURFACE. LANDING SIZE TO BE MINIMUM OF DOORWAY WIDTH.

- 19. CONCRETE STUMPS:
- 100mm SQ. UP TO 1400mm LONG (1 No. H.D. WIRE);
- 100mm SQ. 1401mm TO 1800mm LONG (2 No. H.D. WIRES);
- 125mm SQ. 1801mm TO 3000mm LONG (2 No. H.D. WIRES).

NOTE: ALL STUMOS EXCEEDING 1200mm ABOVE GROUND TO BE BRACED.

- 20. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.
- 21. THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.
- DENOTES THE LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786 - 1993. AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING. THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP & INTERCONNECTED.
- 23. DOORS TO WC'S WHERE THE SWING OF THE DOOR IS WITHIN 1200mm OF THE PAN, MUST EITHER SWING OUTWARDS OR BE REMOVABLE FROM THE OUTSIDE. (SPLIT HINGES WITH CUT DOWN DOOR)
- 24. THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTIFIED TO PREBUILT. AND OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT PREBUILT'S WRITTEN CONSENT DOES SO AT OWN RISK AND NO RESPONSIBLITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.
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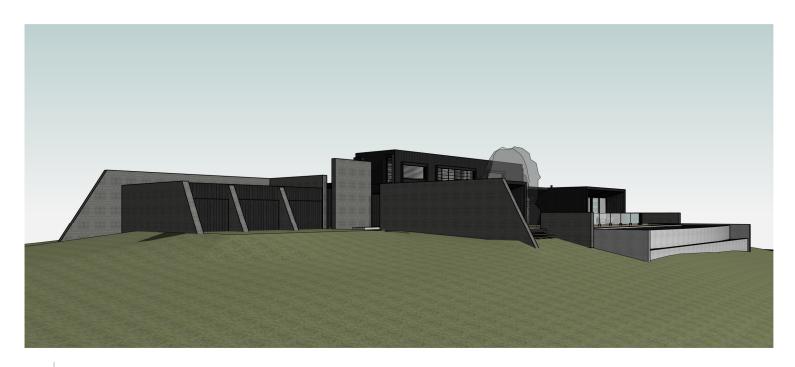
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3D VIEW 1



3D VIEW 3



3D VIEW 2



3D VIEW 4

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Client: WATKINS

Project Number: 401C

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Drawing Title:
3D PERSPECTIVES



• VERTICAL TIMBER CLADDING - STAINED DARK



• GLAZED POOL FENCE



• RAMMED EARTH WALLS



• COMMERCIAL BLACK FRAMED ALUMINIUM WINDOWS



- FIBRE CEMENT SHEET CLADDING
- PAINTED BLACK



• STEEL FRAMED PERGOLA

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WATKINS

Project Number: 401C

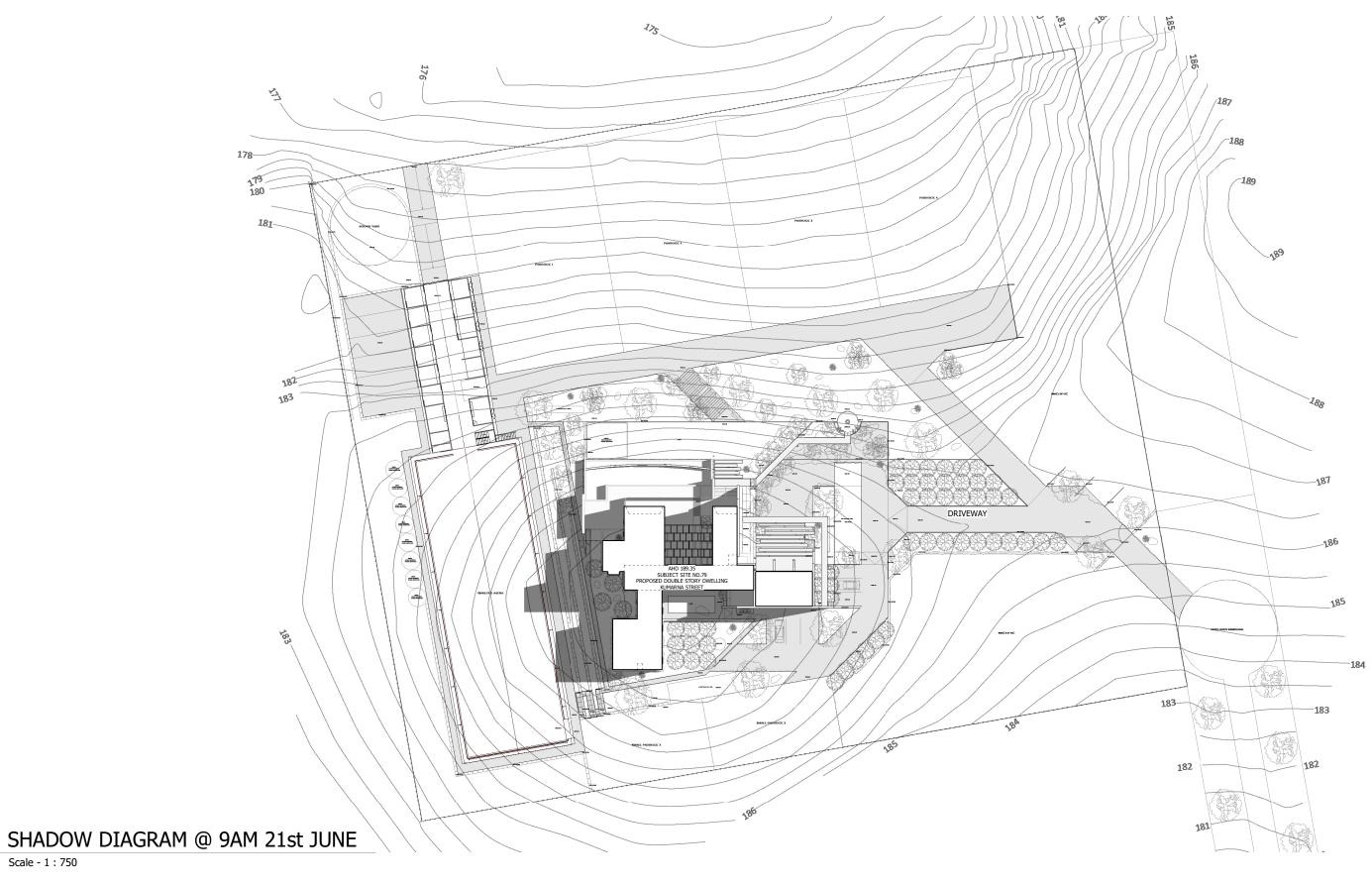
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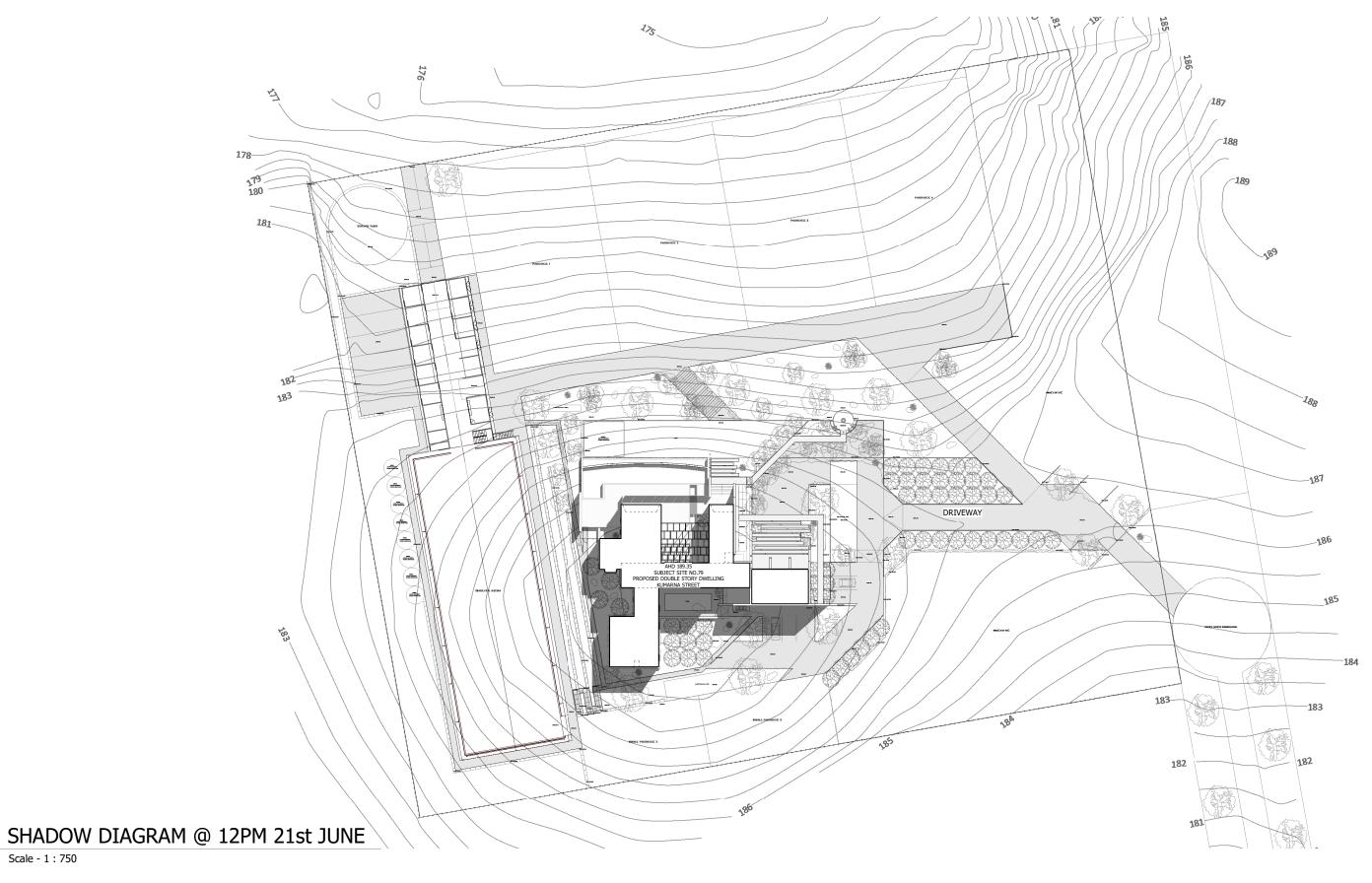
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			Client: WATKINS
			Project Number: 401C

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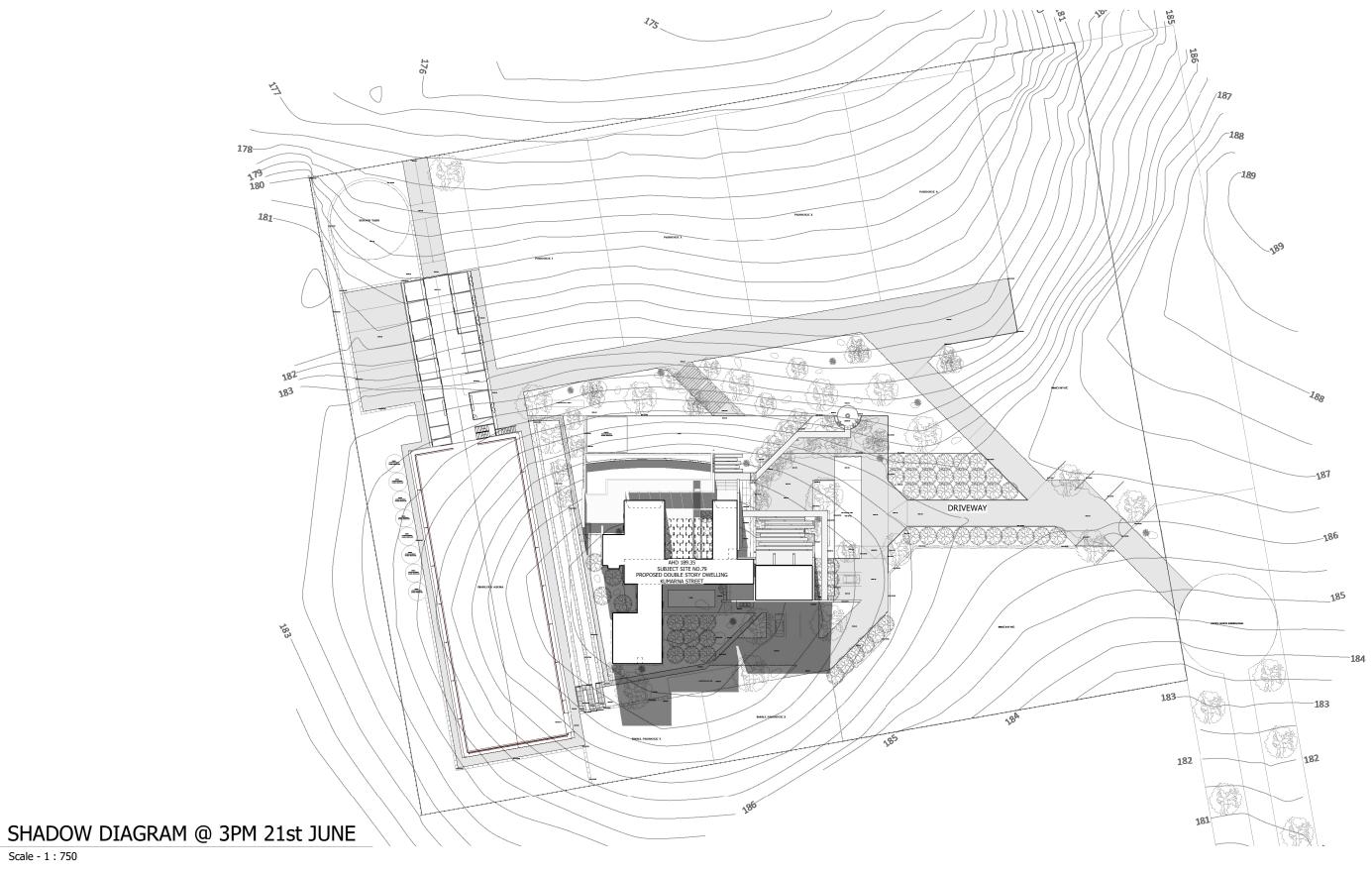
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			Client: WATKINS
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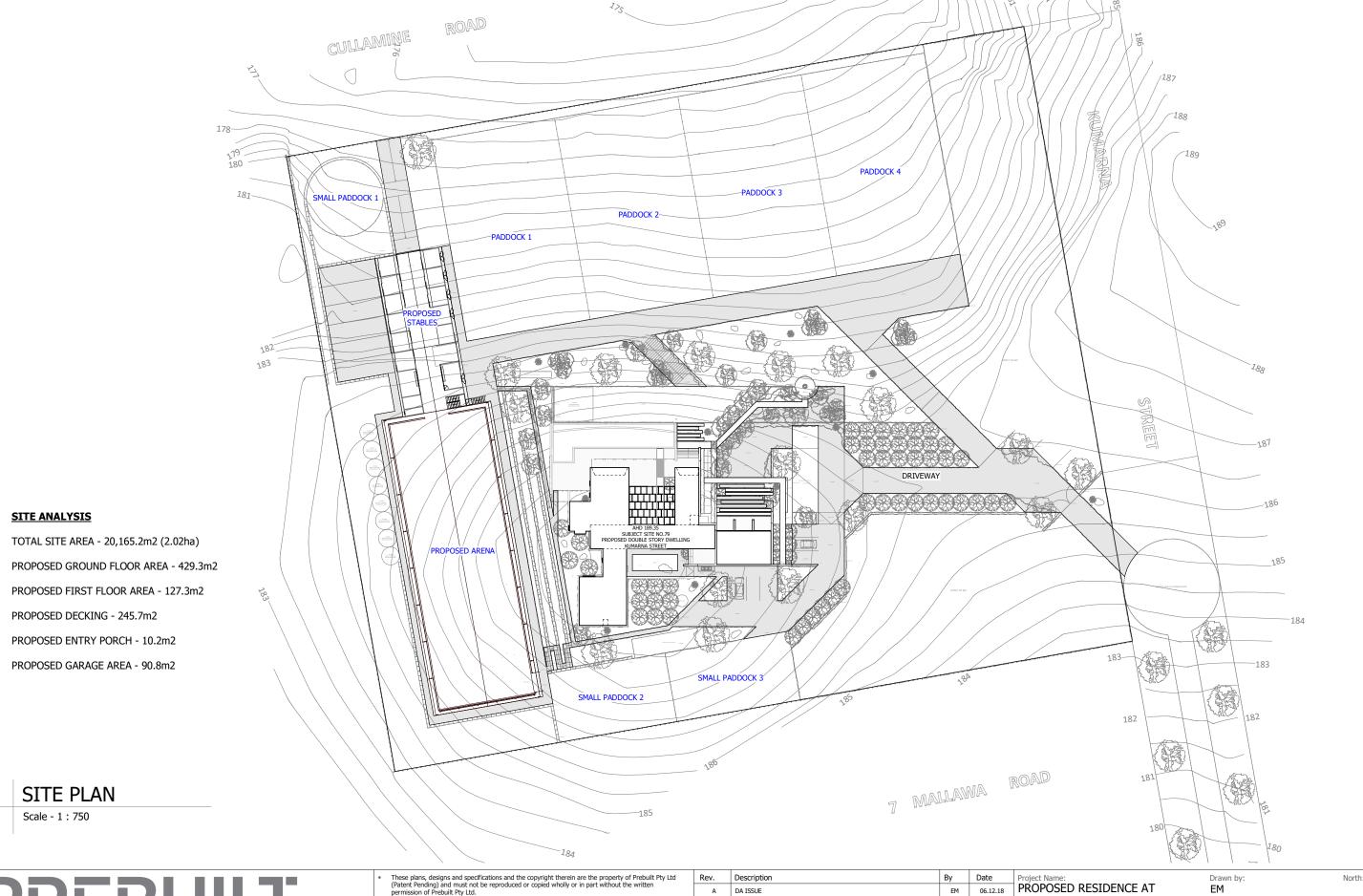
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Project Name: PROPOSED RESIDENCE AT 79 KUMARNA ST DUFFYS FOREST, NSW
Client: WATKINS
Project Number: 401C

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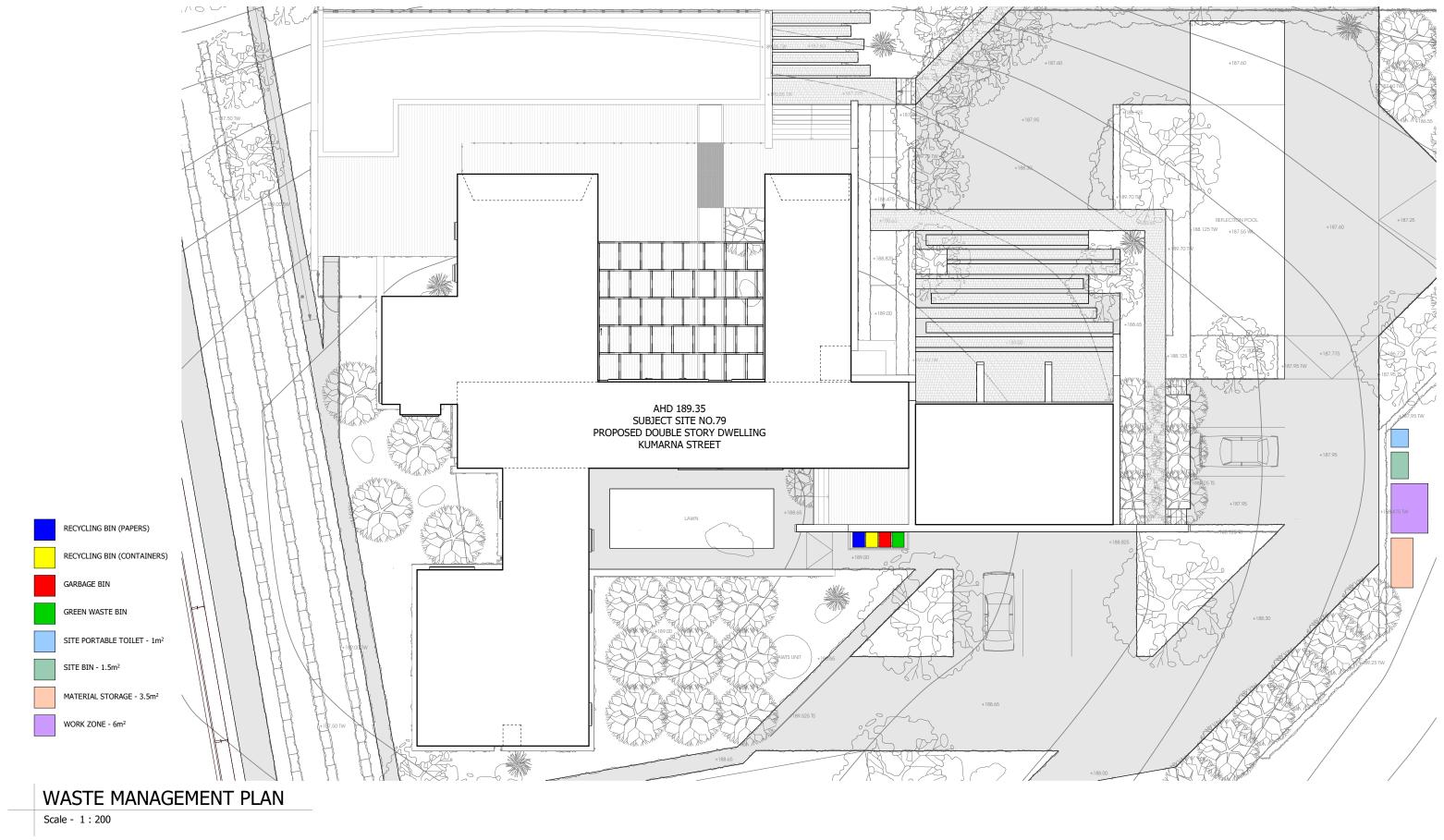
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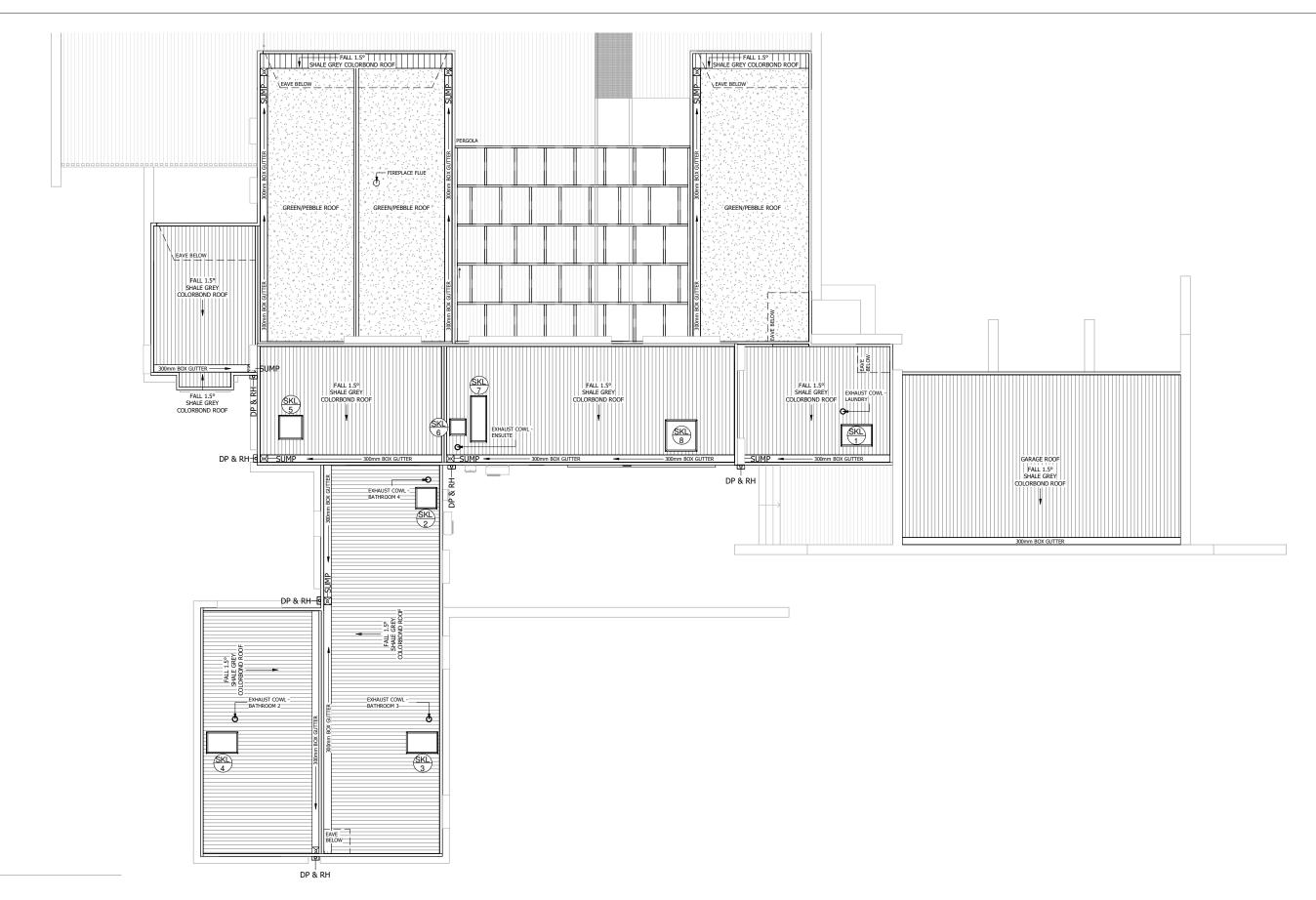
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WASTE MANAGEMENT PLAN

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As indicated

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P01.03 NOT FOR Rev: Project Number: 401C **PLANNING** 



**ROOF PLAN** 

Scale - 1 : 150

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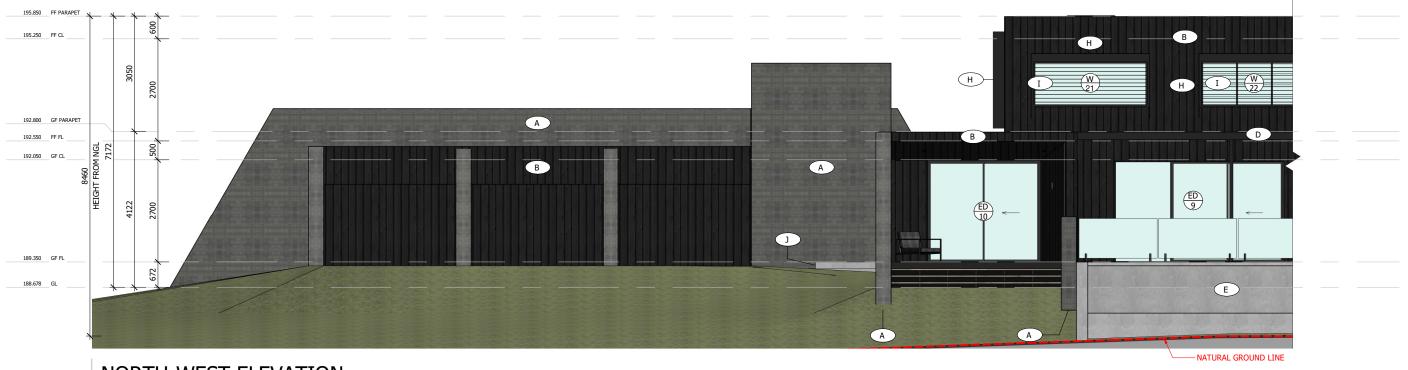
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Client: WATKINS

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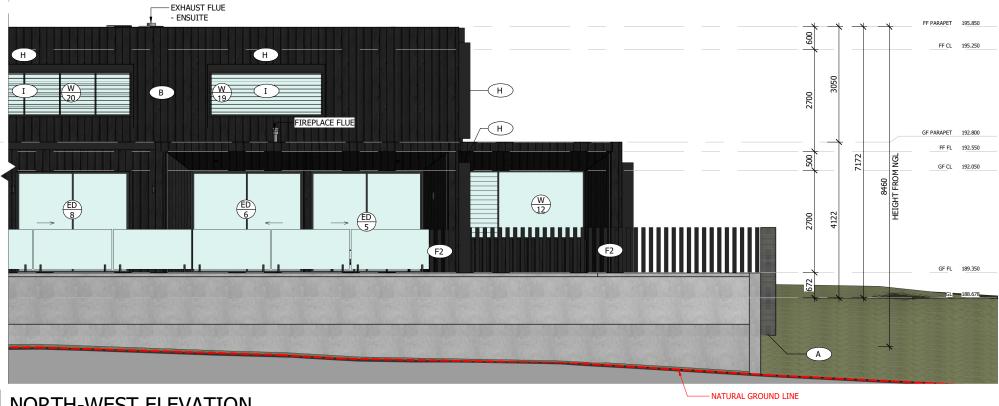
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Drawing Issue: **PLANNING** 



# **NORTH-WEST ELEVATION**

Scale - 1:100



	EXTERNAL FINISHES LEGEND
MARK	DESCRIPTION
Α	RAMMED EARTH WALLS
В	TIMBER CLADDING STAINED DARK - VERTICAL ORIENTATION
С	HARDWOOD TIMBER DECKING AND STAIRS
D	STEEL FRAME PERGOLA
Е	WET EDGE POOL
F1	GLAZED POOL FENCE
F2	100x100mm PAINTED STEEL POOL FENCE WITH 100mm GAPS
G	FIBRE CEMENT SHEET CLADDING - PAINTED BLACK
Н	300mm ALUMINIUM SHROUD - POWDER COATED BLACK TO MATCH WINDOWS
I	ALUMINIUM EXTERNAL BLINDS - POWDER COATED BLACK TO MATCH WINDOWS
J	ENTRY PAVING

# NORTH-WEST ELEVATION

Scale - 1:100

33 GARDEN STREET, KILSYTH VICTORIA 3137

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	Owner/s	Date	Builder	Date
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Description  DA ISSUE DA REV 1 DA REV 2 DA REV 3	EM EM EM EM	Date 06.12.18 27.02.19 26.06.19 26.08.19	Project Name: PROPOSED RESIDENC 79 KUMARNA ST DUFFYS FOREST, NSW
			Client: WATKINS

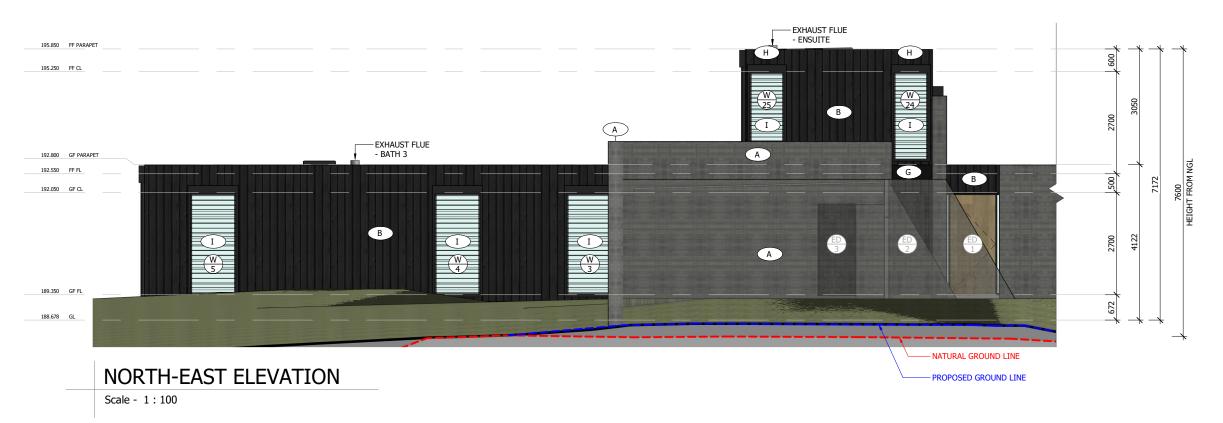
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401C

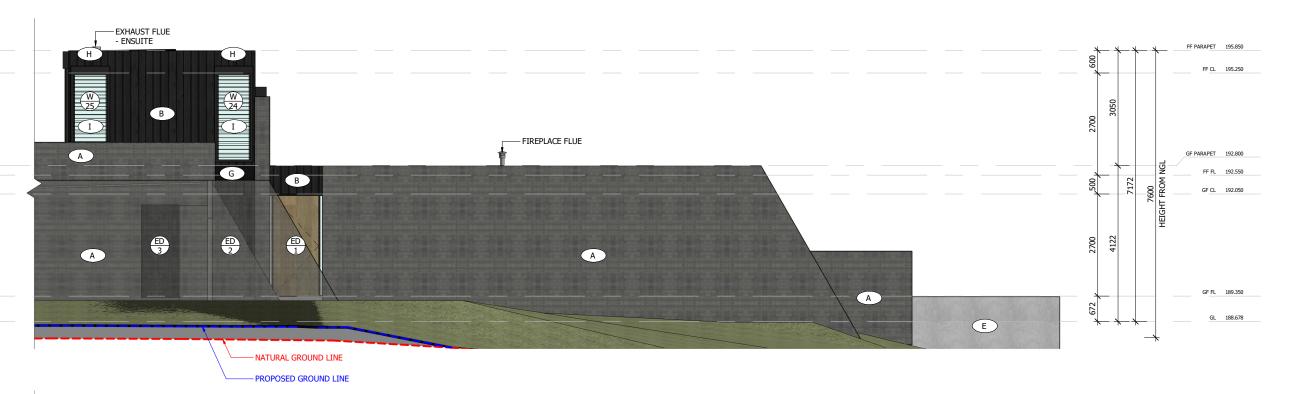
Project Number:

Drawn by: EM Drawing Title: ELEVATIONS Drawing Number: RELIMINARY CONTROLL Rev:

P04.00 NOTE OF REVERSE REVER



	EXTERNAL FINISHES LEGEND						
MARK	DESCRIPTION						
Α	RAMMED EARTH WALLS						
В	TIMBER CLADDING STAINED DARK - VERTICAL ORIENTATION						
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I	ALUMINIUM EXTERNAL BLINDS - POWDER COATED BLACK TO MATCH WINDOWS						
J	ENTRY PAVING						



Rev.

## **NORTH-EAST ELEVATION**

Scale - 1:100

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Owner/s Date Builder Date

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WATKINS

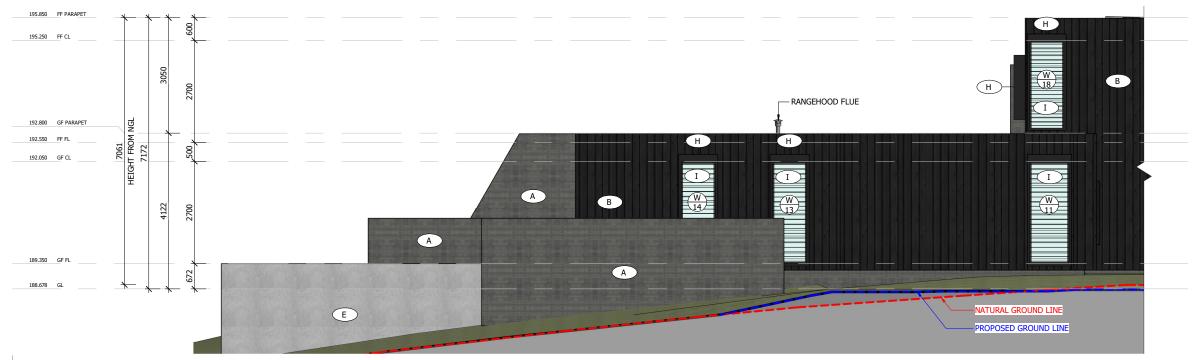
Project Number: 401C

Drawn by: EM Drawing Title: ELEVATIONS

Drawing Number: RELIMINARY CONTROLL Rev:

P04.01

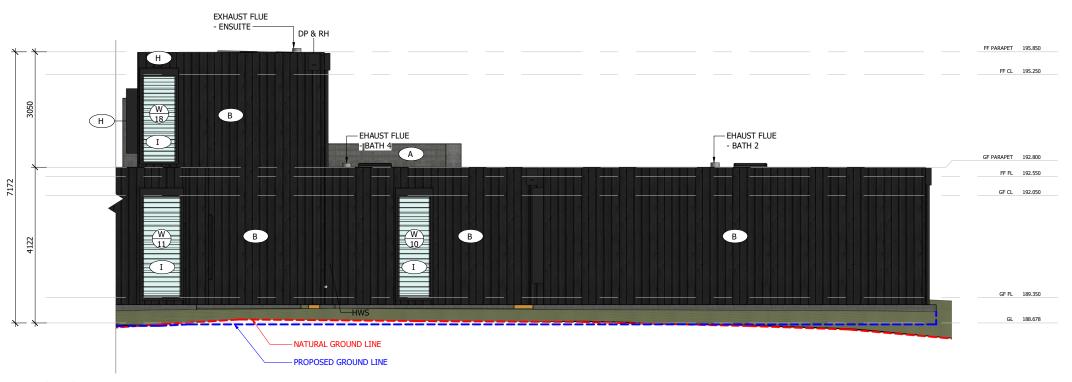
Drawing Issue:



	EXTERNAL FINISHES LEGEND						
MARK	DESCRIPTION						
Α	RAMMED EARTH WALLS						
В	TIMBER CLADDING STAINED DARK - VERTICAL ORIENTATION						
С	HARDWOOD TIMBER DECKING AND STAIRS						
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I	ALUMINIUM EXTERNAL BLINDS - POWDER COATED BLACK TO MATCH WINDOWS						
J	ENTRY PAVING						

## **SOUTH-WEST ELEVATION**

Scale - 1:100



## **SOUTH-WEST ELEVATION2**

Scale - 1:100



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	Owner/s	Date	Builder	Date
itials				

Description	Ву	Date	Project Name:
DA ISSUE	EM	06.12.18	PROPOSED RESIDENCE AT
DA REV 1	EM	27.02.19	79 KUMARNA ST
DA REV 2	EM	26.06.19	DUFFYS FOREST, NSW
DA REV 3	EM	26.08.19	DUFFIS FUREST, NSW
			Client: WATKINS

Project Number:

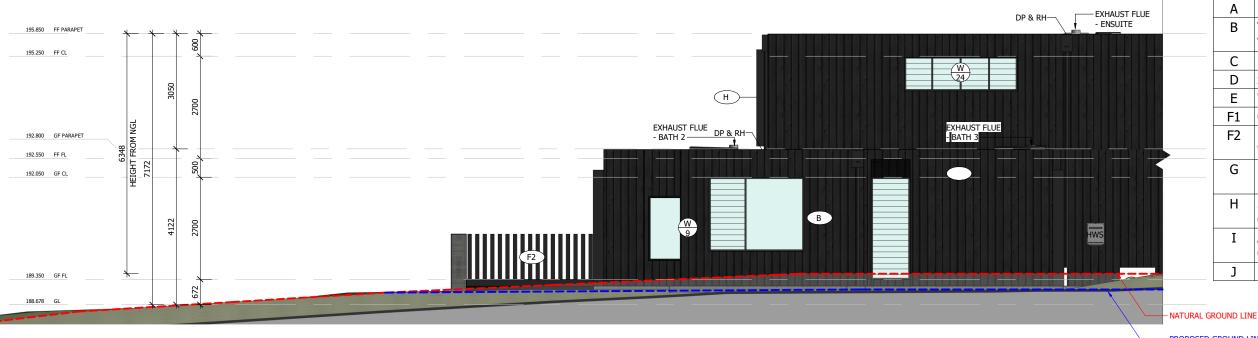
401C

Drawn by: EM Drawing Title: ELEVATIONS

Drawing Number: RELIMINARY CONTROL

PO4.02 NOT Rev:

Point State Control



## **EXTERNAL FINISHES LEGEND** MARK DESCRIPTION A RAMMED EARTH WALLS TIMBER CLADDING STAINED DARK -VERTICAL ORIENTATION HARDWOOD TIMBER DECKING AND STAIRS STEEL FRAME PERGOLA WET EDGE POOL F1 GLAZED POOL FENCE 100x100mm PAINTED STEEL POOL FENCE WITH 100mm GAPS FIBRE CEMENT SHEET CLADDING - PAINTED BLACK 300mm ALUMINIUM SHROUD - POWDER COATED BLACK TO MATCH WINDOWS ALUMINIUM EXTERNAL BLINDS - POWDER COATED BLACK TO MATCH WINDOWS ENTRY PAVING

PROPOSED GROUND LINE

## **SOUTH-EAST ELEVATION**

Scale - 1:100



Rev.

Description

## **SOUTH-EAST ELEVATION**

Scale - 1:100

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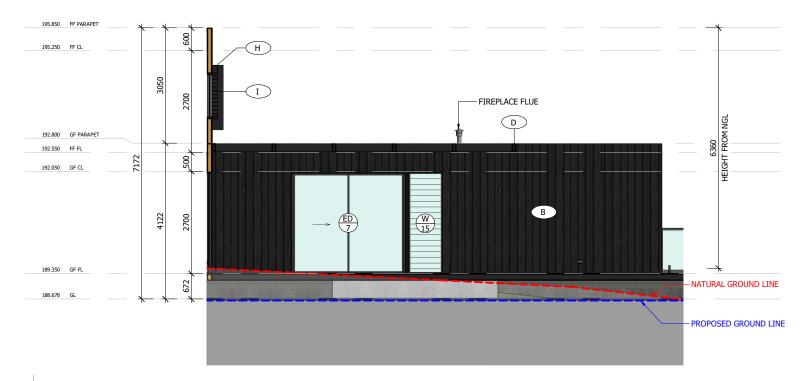
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Project Name:
PROPOSED RESIDENCE AT 79 KUMARNA ST DUFFYS FOREST, NSW WATKINS

401C

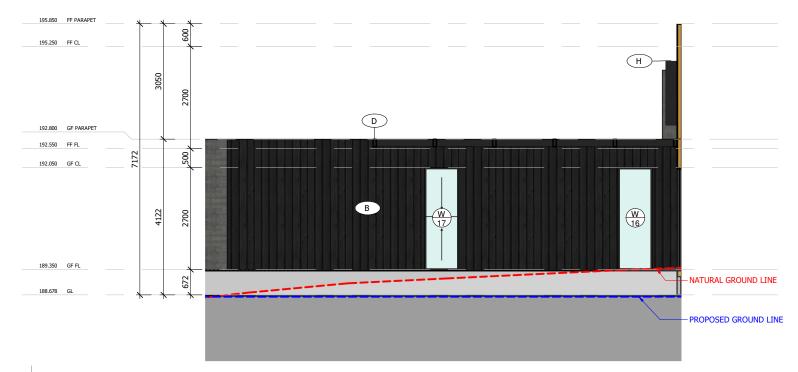
Project Number

Drawn by: EM Drawing Title: ELEVATIONS Drawing Issue:



## **NORTH-EAST 2 ELEVATION**

Scale - 1:100



## **SOUTH-WEST 2 ELEVATION**

Scale - 1:100

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Rev.

Description

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DA REV 2

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Ву	Date	Project Name:
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		Client: WATKINS

ESIDENCE AT ST EST, NSW

Project Number:

401C

EM Drawing Number: RELIMINARY CITION

PO4.04 NOT FOR REV:

Powering Issue:

**PLANNING** 

Drawn by:

**EXTERNAL FINISHES LEGEND** 

TIMBER CLADDING STAINED DARK -

A RAMMED EARTH WALLS

VERTICAL ORIENTATION

STEEL FRAME PERGOLA

WET EDGE POOL F1 GLAZED POOL FENCE

**ENTRY PAVING** 

BLACK

WITH 100mm GAPS

DESCRIPTION

HARDWOOD TIMBER DECKING AND STAIRS

100x100mm PAINTED STEEL POOL FENCE

FIBRE CEMENT SHEET CLADDING - PAINTED

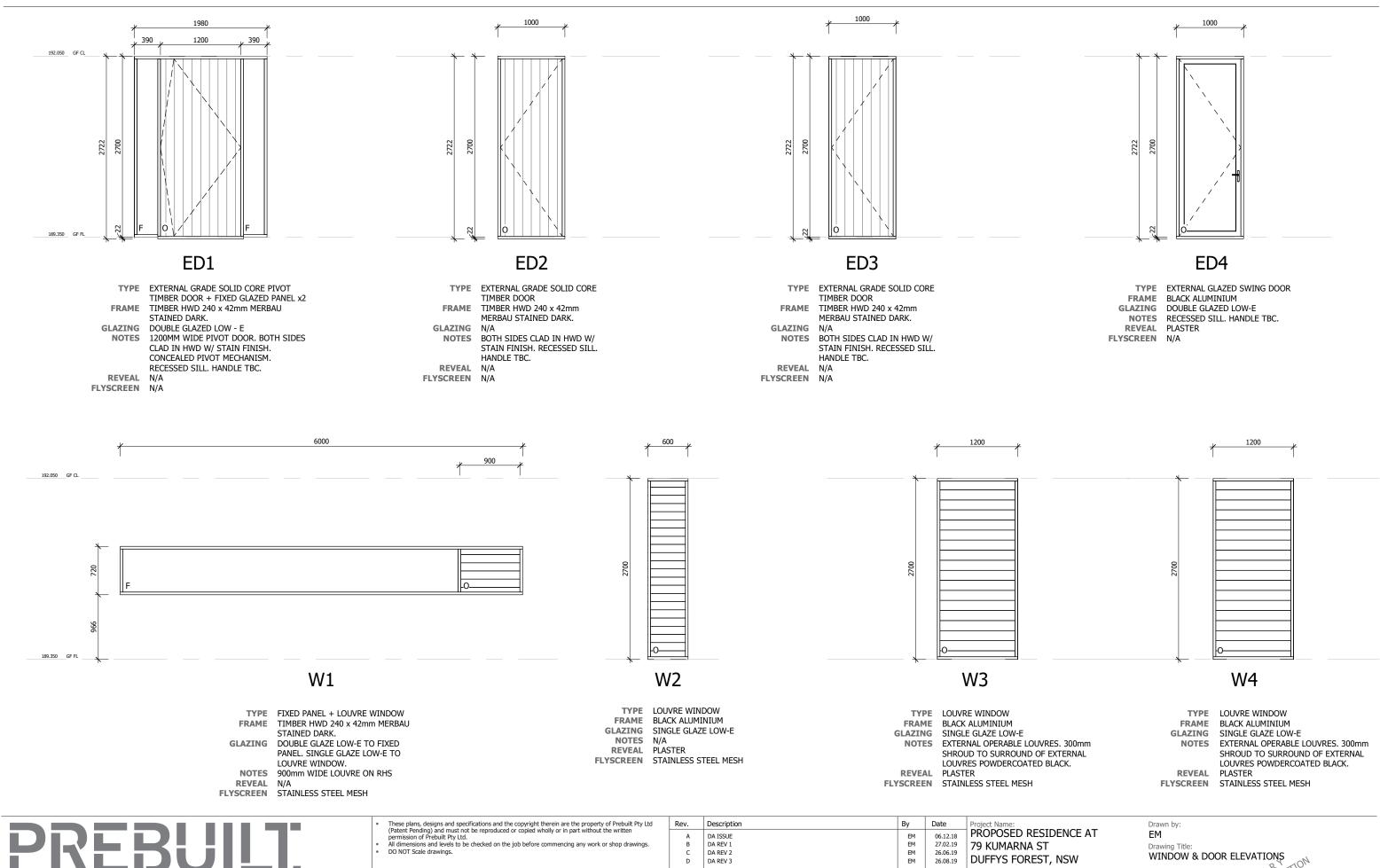
300mm ALUMINIUM SHROUD - POWDER COATED BLACK TO MATCH WINDOWS ALUMINIUM EXTERNAL BLINDS - POWDER

COATED BLACK TO MATCH WINDOWS

MARK

D

G



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Initials				

Ву	Date	Project Name:
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EM	27.02.19	79 KUMARNA
EM	26.06.19	
EM	26.08.19	DUFFYS FOR
		Client: WATKINS
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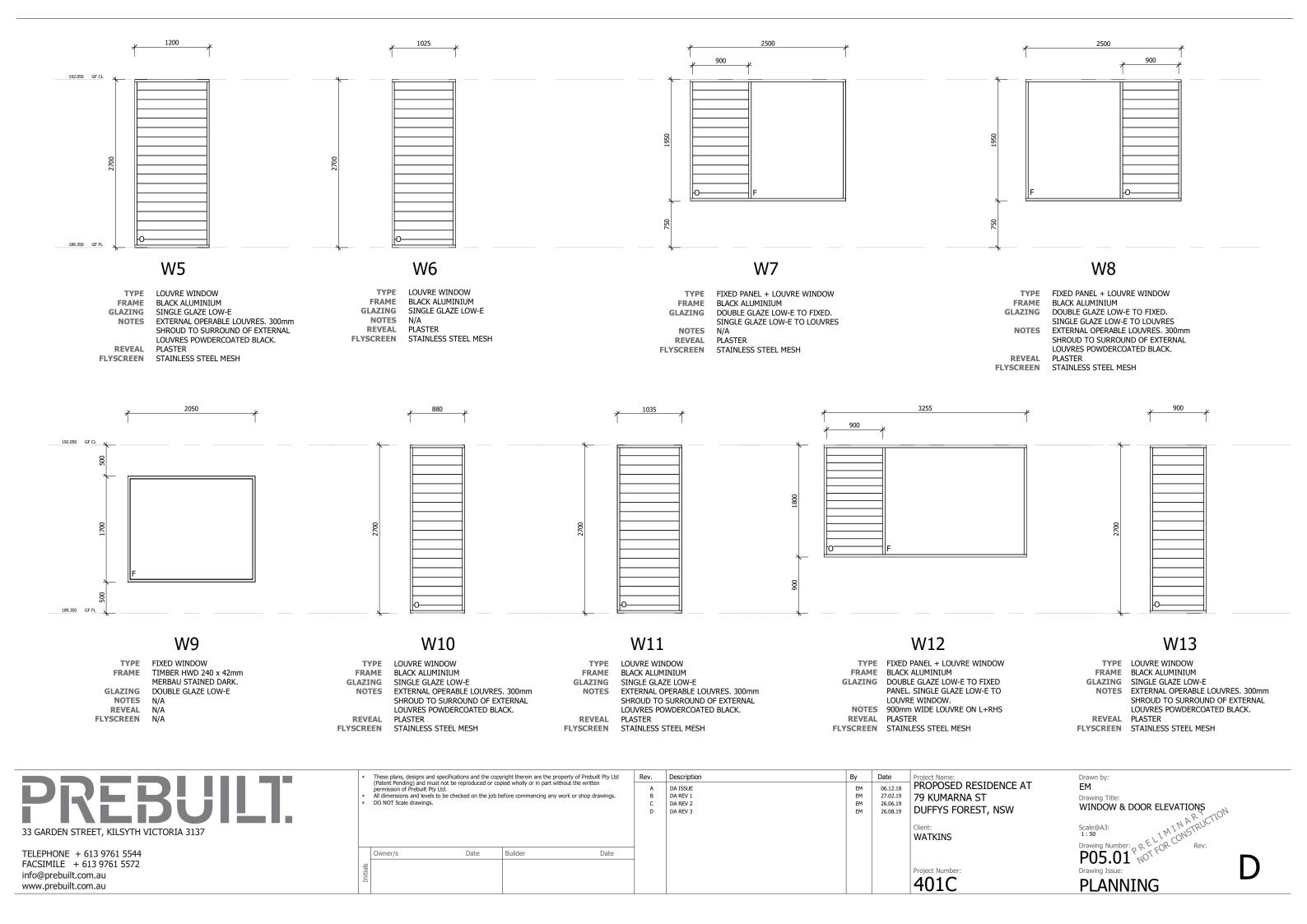
Project Number 401C

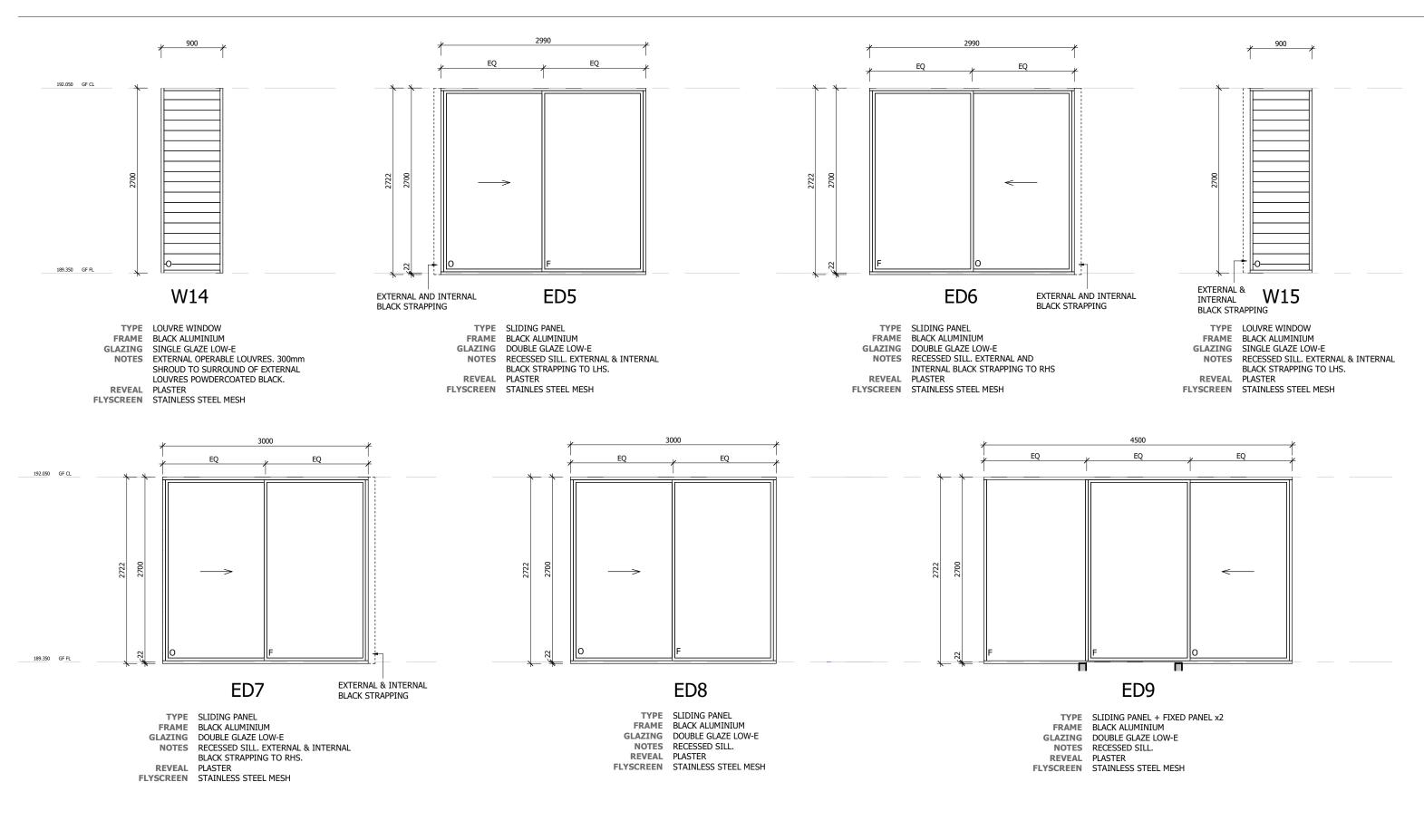
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Rev:

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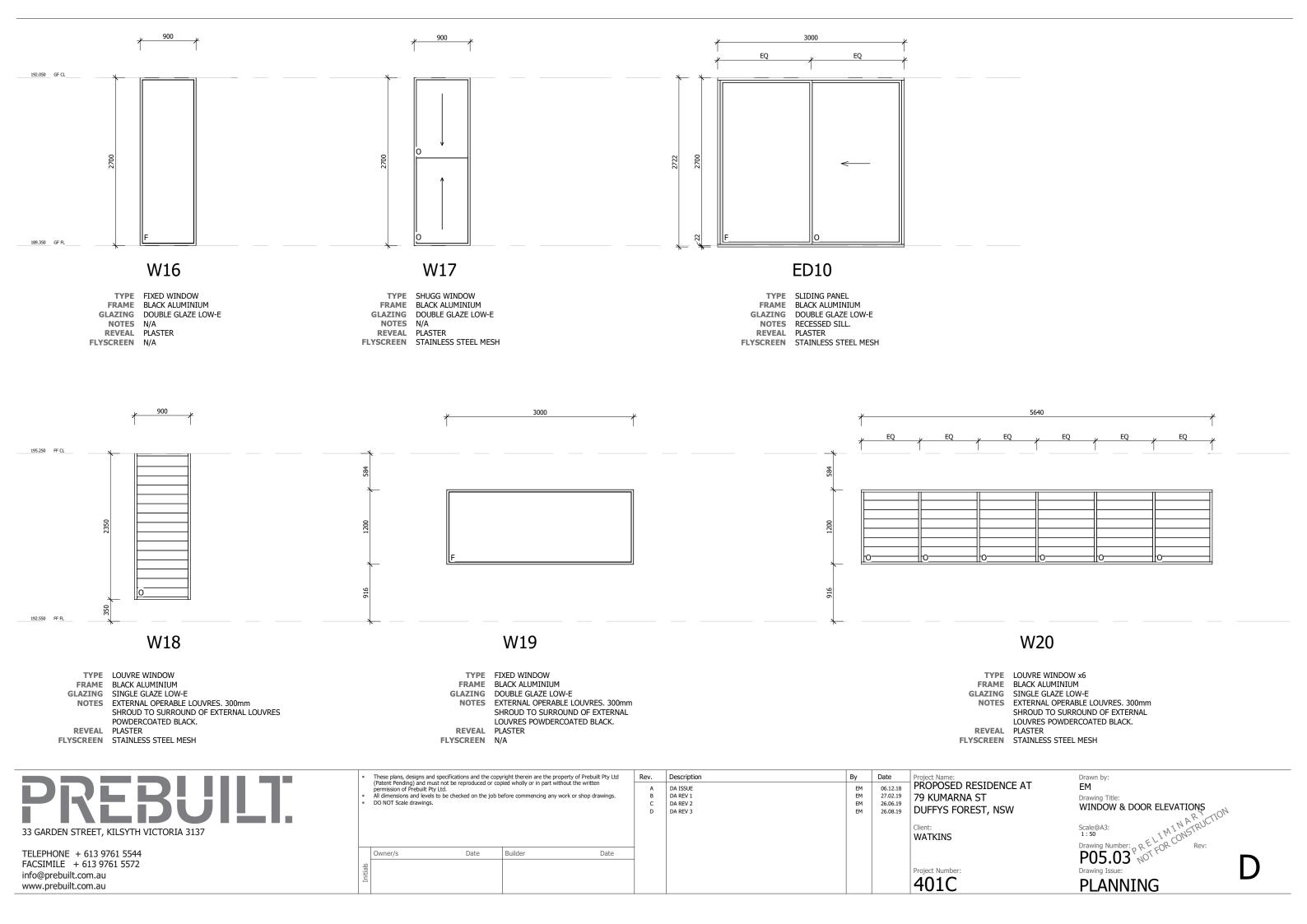
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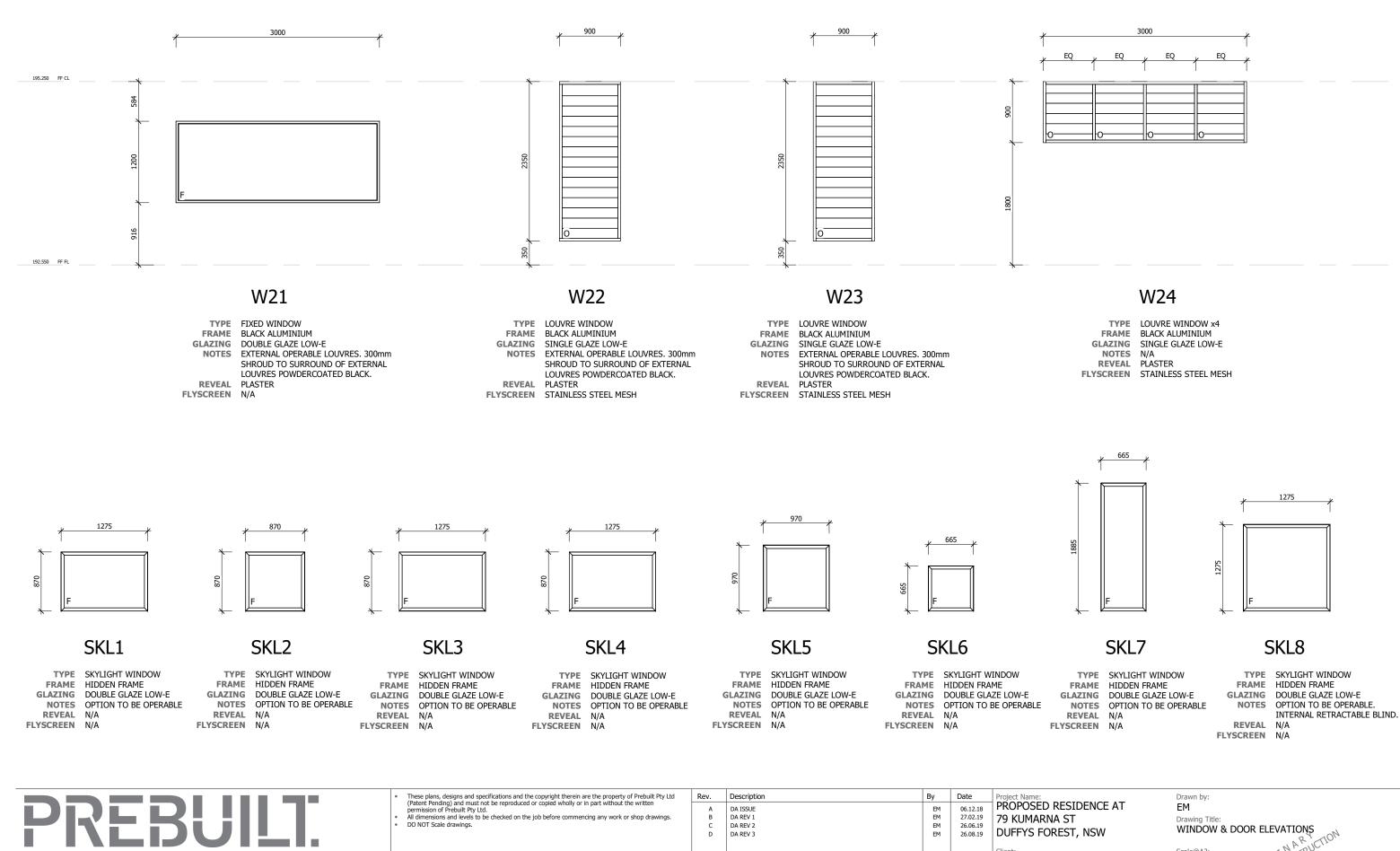
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DA REV 1	EM	27.02.19	79 KUMARNA ST
DA REV 2	EM	26.06.19	DUFFYS FOREST, NSW
DA REV 3	EM	26.08.19	DUFFTS FUREST, NSW
			Client:
			WATKINS
			WAININS
			Project Number:

401C

Drawn by:
EM
Drawing Title:
WINDOW & DOOR ELEVATIONS

Scale@A3:
1:50
Drawing Number:
P05.02
Drawing Issue:
PLANNING





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Builder

Date

Date

Owner/s

Description	Dy	Date	Project Name.
DA ISSUE DA REV 1 DA REV 2 DA REV 3	EM EM EM	06.12.18 27.02.19 26.06.19 26.08.19	PROPOSED RESIDENCE 79 KUMARNA ST DUFFYS FOREST, NSW
			Client: WATKINS

Drawing Number: PRELIMINARY Rev:
P05.04 NOT FOR CONSTRUCTION

Rev:
P1.50

Project Number 401C **PLANNING** 



### SITE ANALYSIS

TOTAL SITE AREA - 20,165.2m2 (2.02ha)

PROPOSED GROUND FLOOR AREA - 429.3m2

PROPOSED FIRST FLOOR AREA - 127.3m2

PROPOSED DECKING - 245.7m2

PROPOSED ENTRY PORCH - 10.2m2

PROPOSED GARAGE AREA - 90.8m2

## SITE PLAN

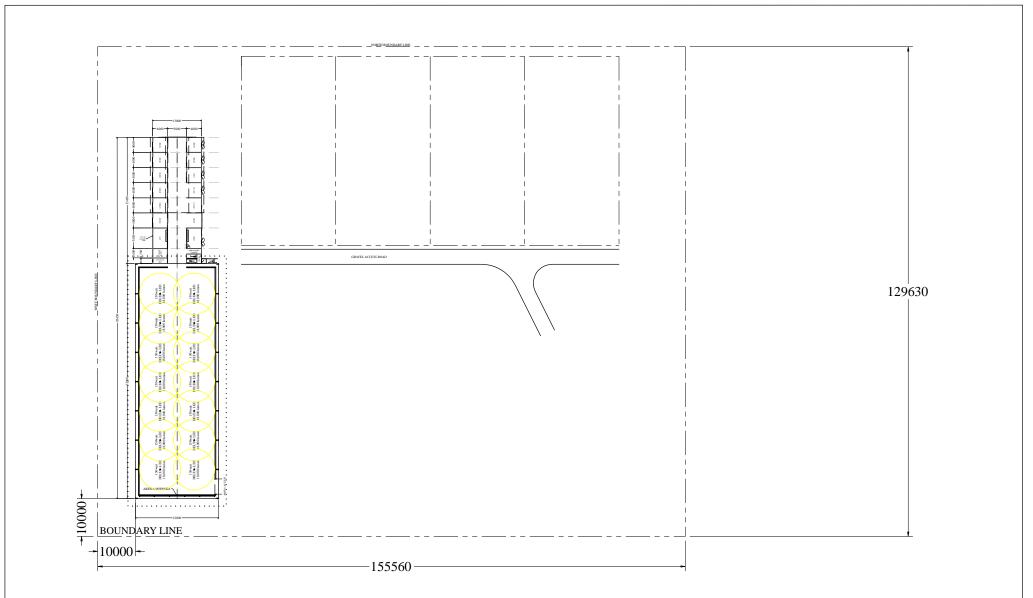
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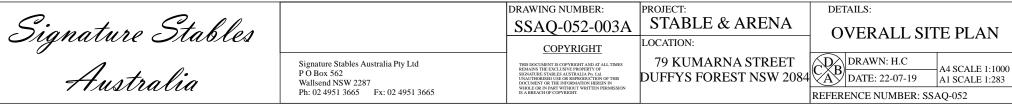
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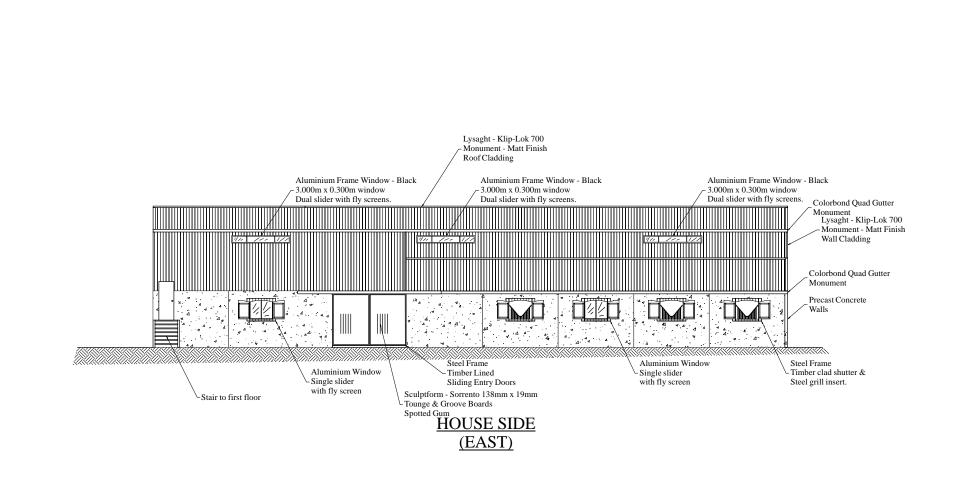
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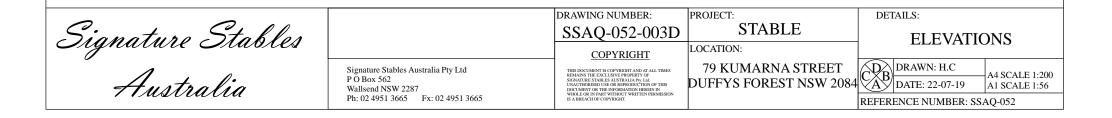
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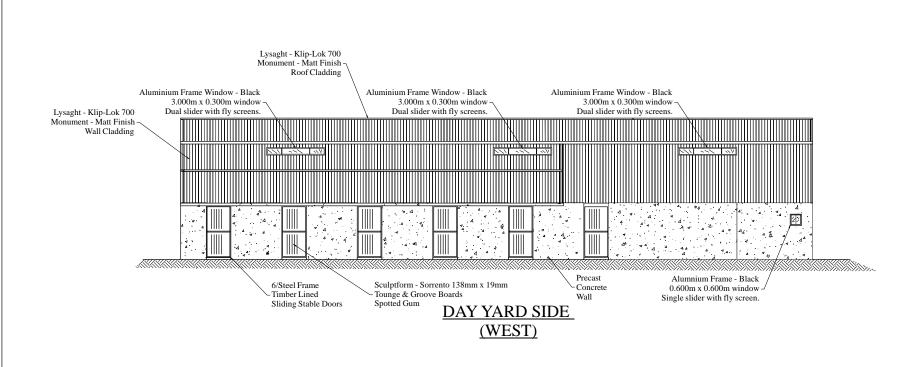
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Signature Stables Australia

Signature Stables Australia Pty Ltd P O Box 562 Wallsend NSW 2287 Ph: 02 4951 3665 Fx: 02 4951 3665 SSAQ-052-003E

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PROJECT: **STABLE** 

LOCATION:

79 KUMARNA STREET
DUFFYS FOREST NSW 2084

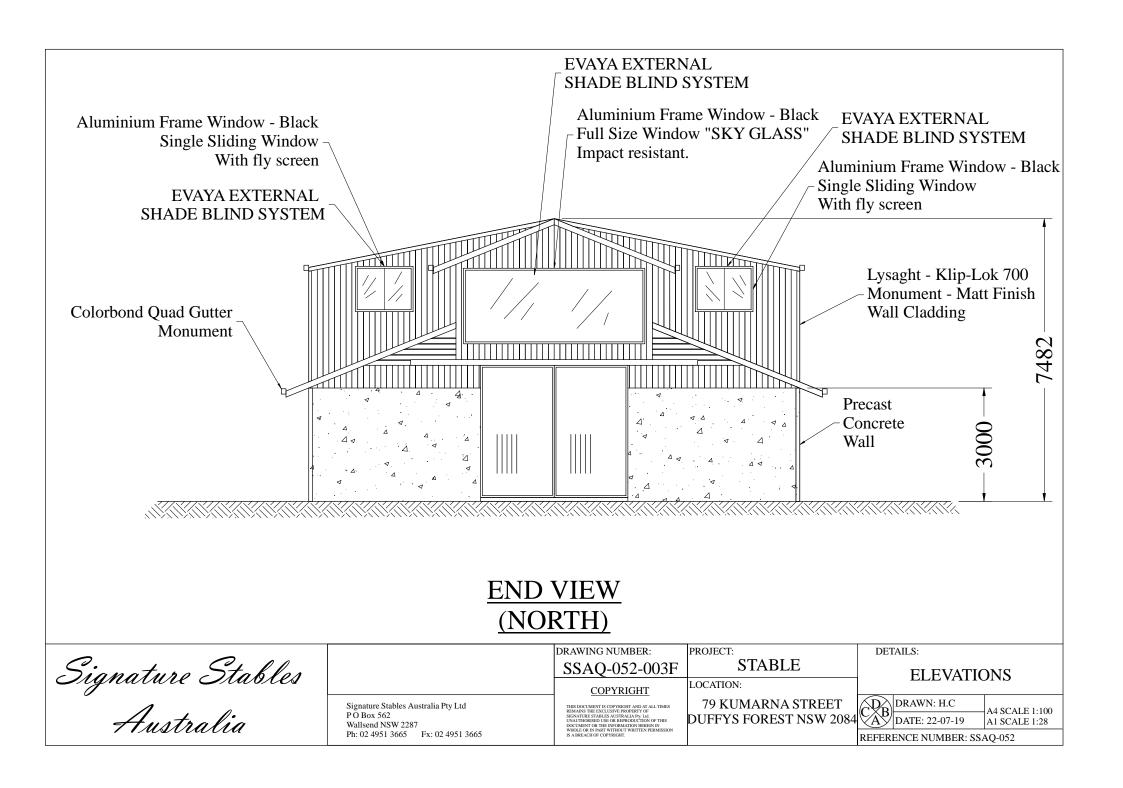
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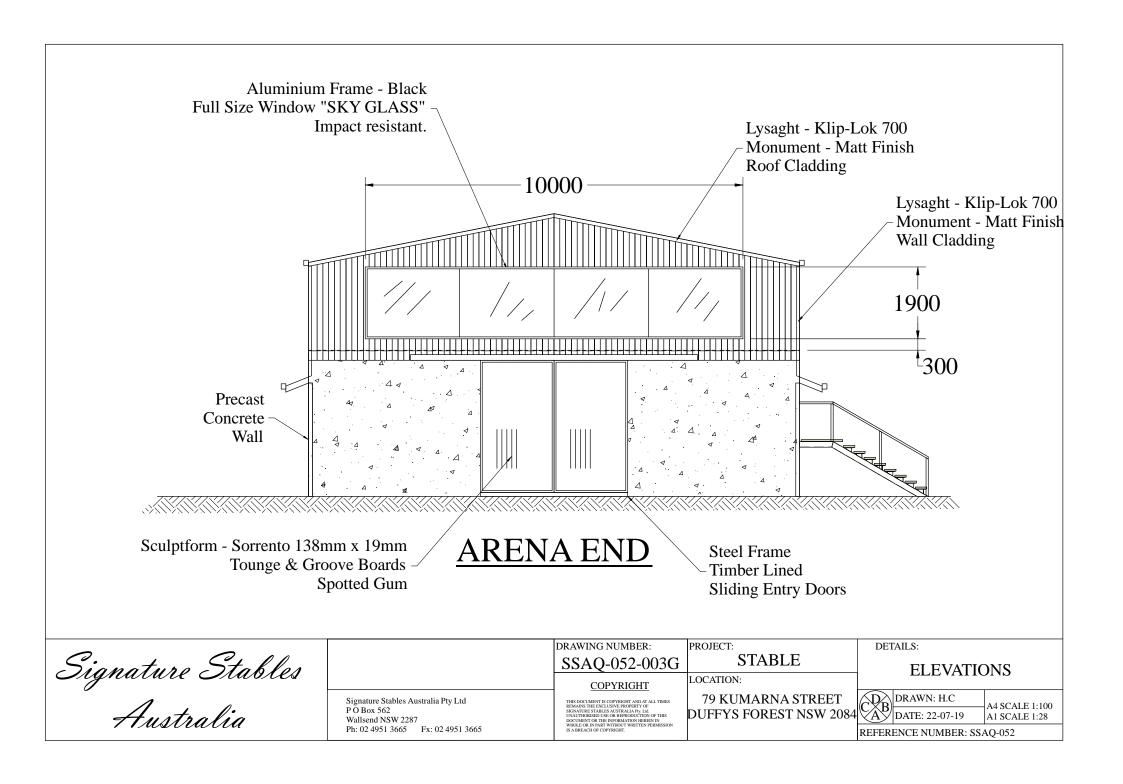
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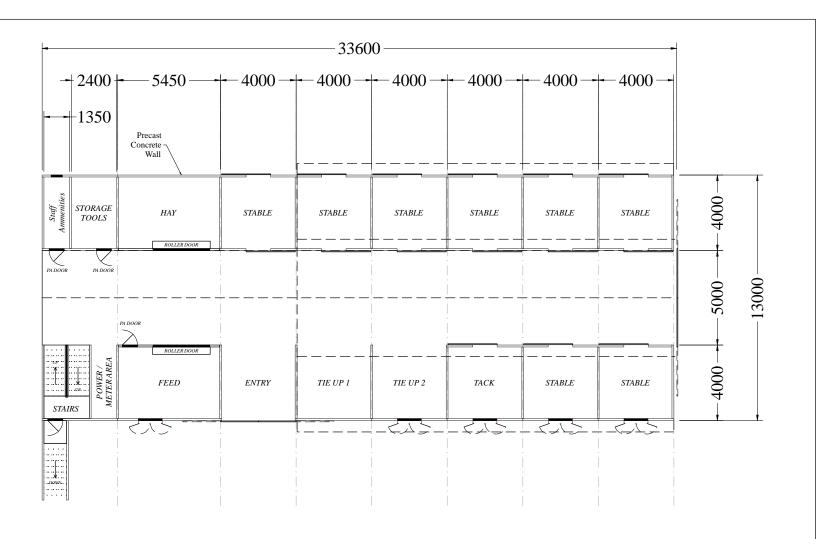
**ELEVATIONS** 

A4 SCALE 1:200 A1 SCALE 1:56

REFERENCE NUMBER: SSAQ-052

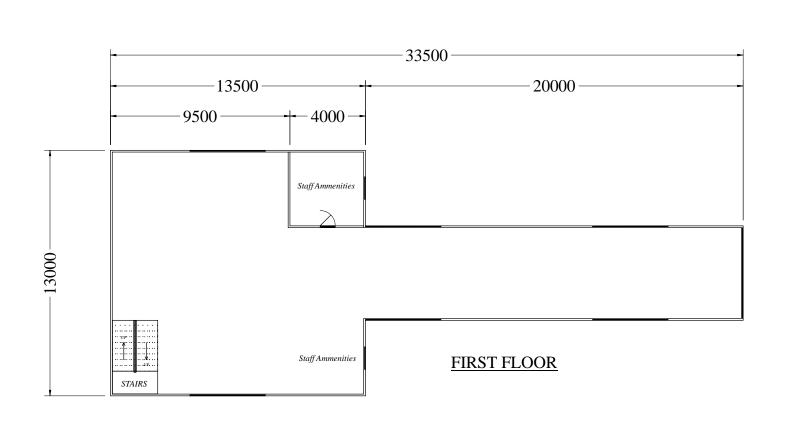


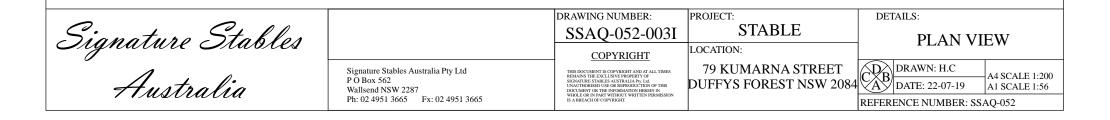


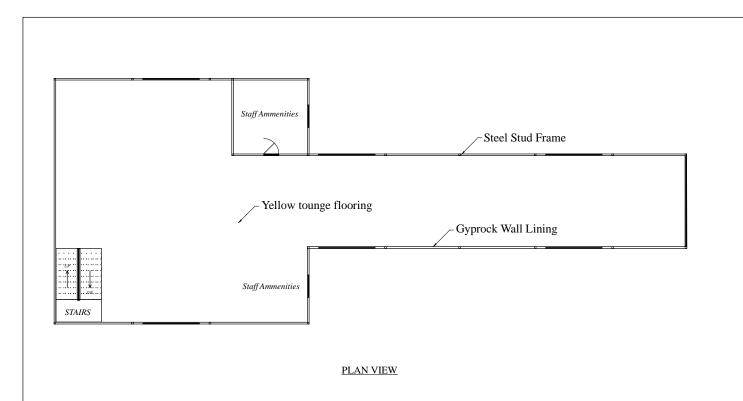


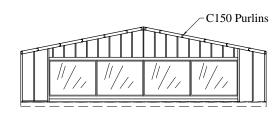
## PLAN VIEW

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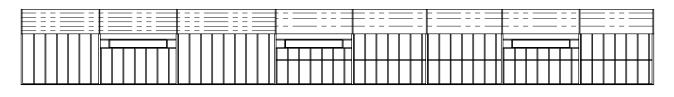


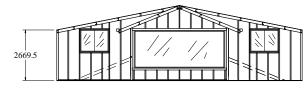












EAST ELEVATION

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P O Box 562

Wallsend NSW 2287

NORTH ELEVATION

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PROJECT: **STABLE** 

LOCATION:

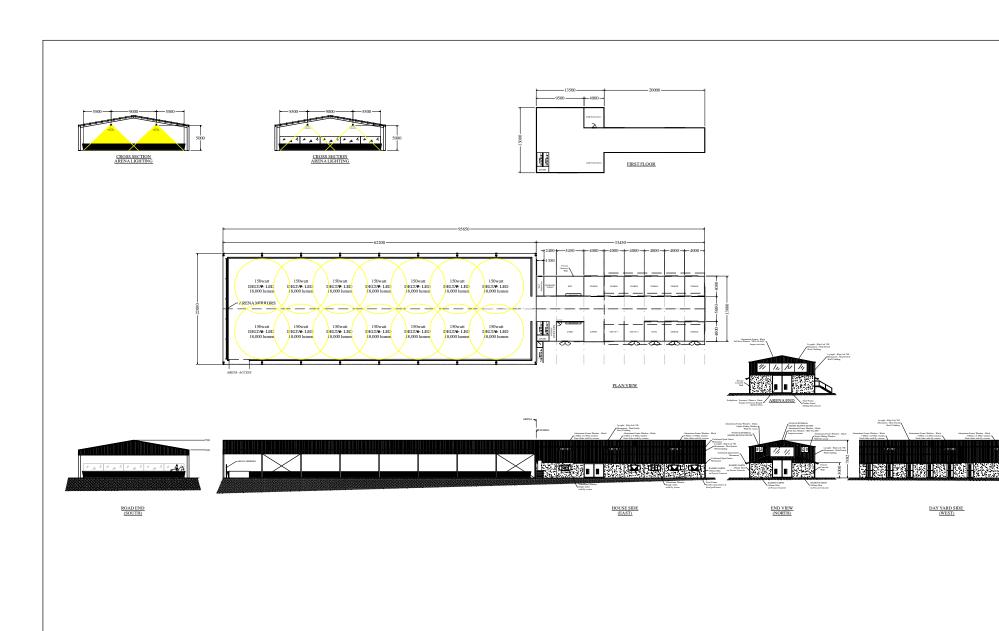
79 KUMARNA STREET
DUFFYS FOREST NSW 2084

OAB DRAWN: H.C
DATE: 22-07-19

FIRST FLOOR **ELEVATION VIEW** 

A4 SCALE 1:200 A1 SCALE 1:56

REFERENCE NUMBER: SSAQ-052





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### PROJECT: STABLE & ARENA

LOCATION:

79 KUMARNA STREET
DUFFYS FOREST NSW 2084

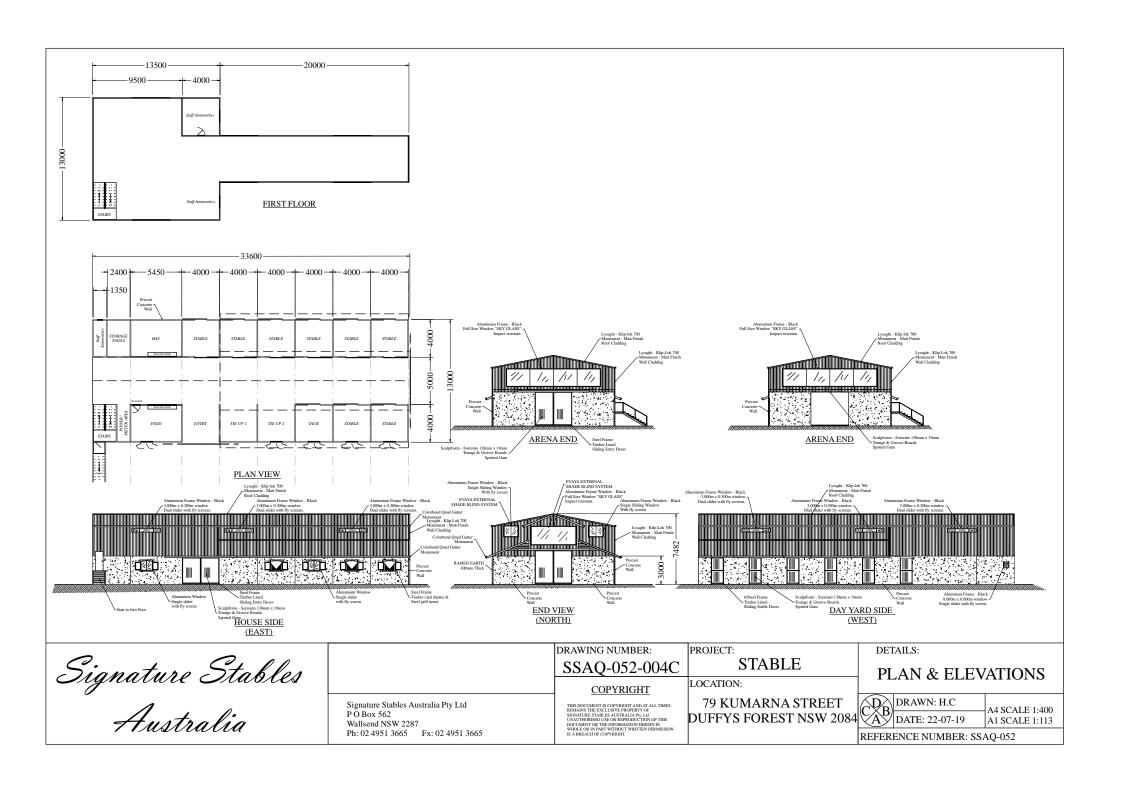
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DATE: 22-07-19

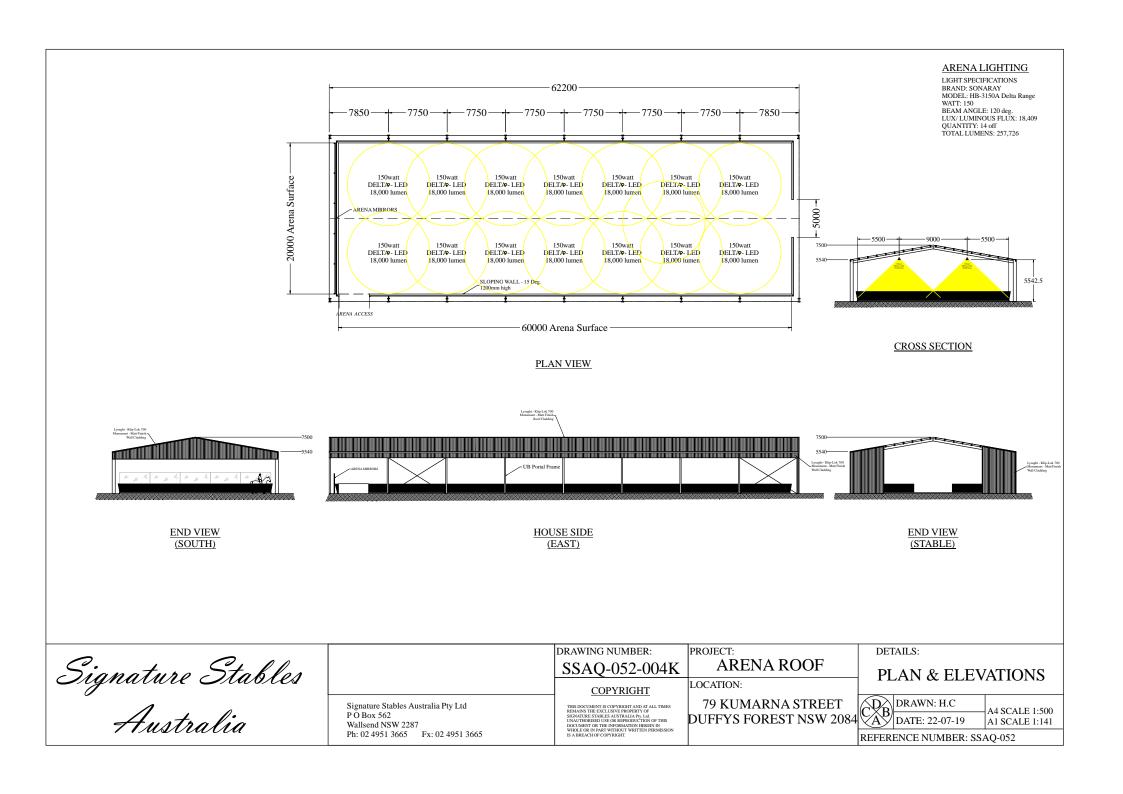
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GENERAL ARRANGEMENT

A4 SCALE 1:750 A1 SCALE 1:212

REFERENCE NUMBER: SSAQ-052









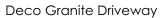


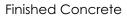


Reflection Pond

Rammed Earth Walls







Filetti Natural Stone









Weathered Timber

Deco Granite Pathways

Steel Edging & Finished Concrete

Steel Retaining Walls

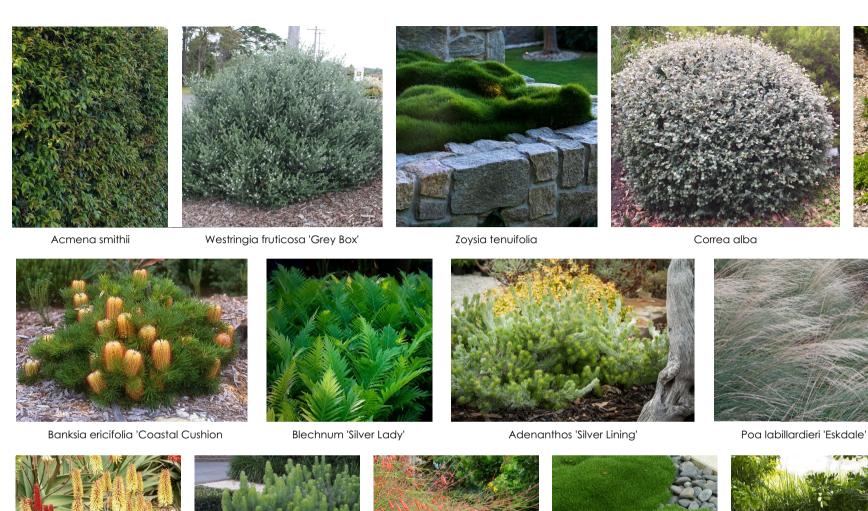
N/A@A3

Mr & Mrs Watkins LANDSCAPE MATERIALS SCHEDULE PROJECT 79 Kumarna Street DUFFYS FOREST LOT 79 - DP 752017 - 2.02ha

20/09/19

LMS 01

















Westringia fruticosa 'Low Horizon'

Acacia howitii 'Green Wave'

Aloe 'Southern Cross'

Adenanthos sericeus

Russelia equisetiformis

Scleranthus biflorus

Senecio talinoides 'Icesticks'

Lomandra longifolia 'Tanika'



Jnit 2/68 Tulloh St Willoughby NSW 2068 PO Box 705 Crows Nest NSW 1585 : (02) 9958 0462 : (02) 9958 5426 THESE DRAWINGS HAVE BEEN PREPARED BY-REMAIN THE PROPERTY OF LANDART LANDSCAPES PTY LID & ARE SUBJECT TO COPYRIGHT LAWS. DO NOT SCALE DRAWINGS, WORK ONLY TO RIGHTED DIMENSIONS. Mr & Mrs Watkins

PROJECT
79 Kumarna Street
DUFFYS FOREST

PLANTING PALETTE

)A4

PP 01

Α



Cupaniopsis anacardioides



Banksia integrifolia



Xanthorrhoea (transplanted)



Aloe barberae



Acacia baileyana



Corymbia ficifolia 'Baby Orange'



Miscanthus sinensis 'Sarabande'



Doryanthes excelsa



Poa labillardieri 'Eskdale'



Nolina nelsonii



Betula nigra 'Dura Heat'



Eucalyptus haemastoma



Acacia pendula



Dracaena draco



Tristaniopsis laurina 'Luscious'



Olea europaea
A 20/09/19 For submission to Council



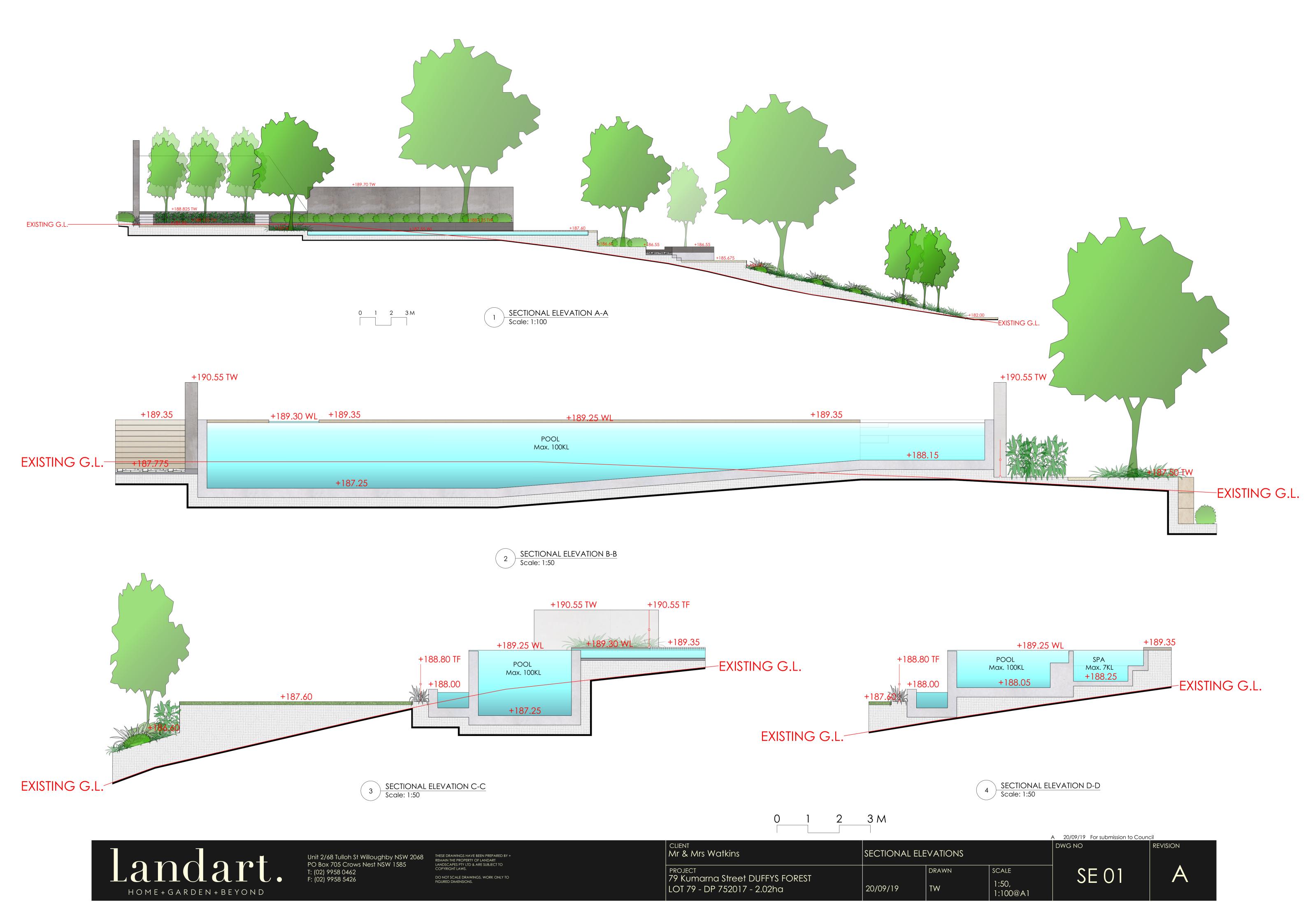
PROJECT 79 Kumarna Street DUFFYS FOREST

Mr & Mrs Watkins PLANTING PALETTE

NTS@A4

Α

PP 02





PROJECT TITLE:
RESIDENTIAL DWELLING

WASTEWATER MANAGEMENT

SHEET NUMBER 1 of 1 DRAWN BY AT SHEET SIZE:

DRAWING REFERENCE PRELIMINARY PLAN -**DRAFT ONLY** 

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