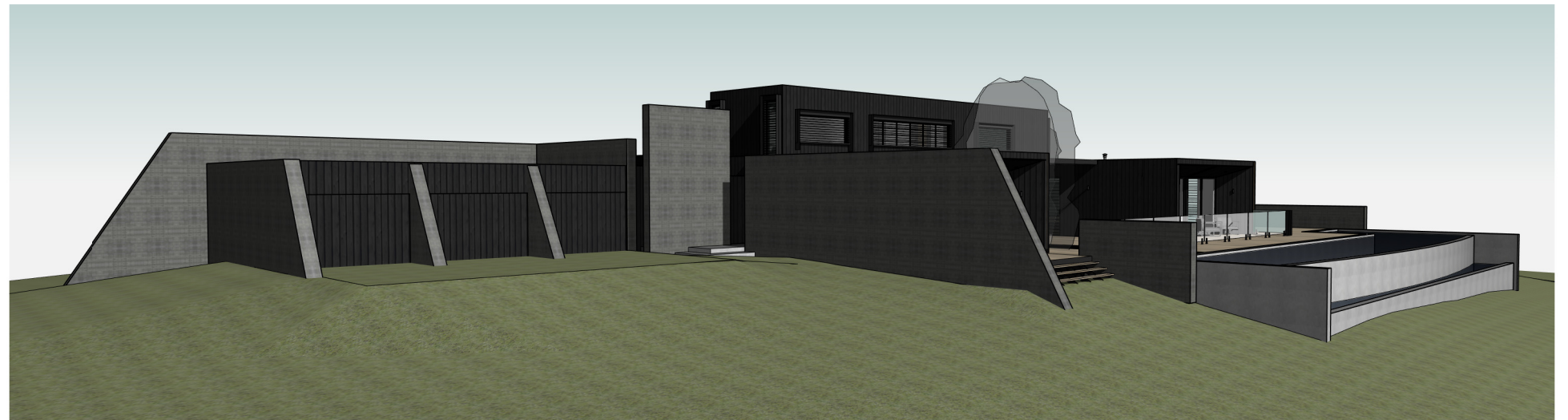


401C WATKINS

PLANNING ISSUE

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B.A.L 29

- SUBFLOOR:

6mm CEMENT SHEET TO UNDERSIDE OF SUB FLOOR.
SUB FLOOR SUPPORTS TO BE MADE FROM A NON COMBUSTIBLE MATERIAL.
- EXTERNAL CLADDING:

EXTERNAL CLADDING FOR WALLS TO BE EITHER BUSHFIRE RESISTANT TIMBER, FIBRE-CEMENT TO A MINIMUM THICKNESS OF 6mm, A NON COMBUSTIBLE MATERIAL OR A COMBINATION OF ANY OF THESE.
- ROOFS:

ROOFS TO BE MADE FROM A NON COMBUSTIBLE MATERIAL.
- JOINTS:

ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS AND ROOFS INCLUDING PENETRATIONS AND EAVES SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT JOINTED TO PREVENT GAPS GREATER THAN 3mm.
- WINDOWS:

WINDOWS SHALL BE MADE FROM A BUSHFIRE RESISTANT TIMBER OR METAL.
ALL GLAZING FOR WINDOWS WILL HAVE TOUGHENED GLASS WITH A MINIMUM THICKNESS OF 5mm.
- EXTERNAL DOORS:

DOORS SHALL BE MADE FROM A BUSHFIRE RESISTANT TIMBER OR METAL.
ALL GLAZING FOR DOORS WILL HAVE TOUGHENED GLASS WITH A MINIMUM THICKNESS OF 5mm.
GLAZING FOR SLIDING DOORS WILL HAVE TOUGHENED GLASS WITH A MINIMUM THICKNESS OF 6mm.
- FLYSCREENS:

STAINLESS STEEL FLYSCREEN MESH WITH A MAXIMUN APPERTURE OF 2mm.
- GUTTERS / DOWNPIPES:

GUTTERS SHALL BE METAL OR PVC-U.
- VERANDAH / DECKS ETC:

MATERIALS FOR VERANDAHS, DECKING, STEPS, RAMPS OR LANDINGS INCLUDING HANDRAILS & BALUSTRADES TO BE MADE FROM BUSHFIRE RESISTANT TIMBER, NON COMBUSTIBLE MATERIAL OR A COMBINATION OF BOTH.

GENERAL NOTES

1.

DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. ALL DIMENSIONS SHOWN ARE TO STRUCTURAL WALLS ONLY AND DO NOT INCLUDE INTERNAL OR EXTERNAL CLADDING. ALLOWANCE HAS BEEN MADE FOR A MAXIMUM ADDITIONAL 20mm CLADDING EXTERNALLY.
2.

THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING ANY MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES, (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL COUNCIL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPENCIES TO THIS OFFICE FOR CLARIFICATION.
3.

ALL WORKS SHALL COMPLY WITH BUT NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:
A.S. 1288 - 2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION.
A.S. 1562 - 1992 DESIGN AND INSTALLATION OF SHEET ROOF & WALL CLADDING. PART 1 METAL.
A.S. 1684 - 2010 NATIONAL TIMBER FRAMING CODE.
A.S. 1860 - 2006 INSTALLATION OF PARTICLEBOARD FLOORING.
A.S. 2047 - 1999 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION.
A.S. 2049 - 2002 ROOF TILES.
A.S. 2050 - 2002 INSTALLATION OF ROOFING TILES
A.S. 2870 - 2011 RESIDENTIAL SLABS AND FOOTINGS - CONSTRUCTION.
A.S. 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS.
A.S. 3600 - 2009 CONCRETE STRUCTURES
A.S. 3660.1 - 2000 TERMITE MANAGEMENT - PART 1 NEW BUILDINGS.
A.S. 3700 - 2011 MASONRY STRUCTURES.
A.S. 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
A.S. 3786 - 1993 SMOKE ALARMS.
A.S. 4100 - 1998 STEEL STRUCTURES.
A.S. 4256 - 1994/96 PLASTIC ROOF & WALL CLADDING MATERIALS.
A.S. 4055 - 2006 WIND LOADS FOR HOUSING
4.

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.
5.

WALL BRACING AND TIE-DOWN TO COMPLY WITH A.S. 1684 - 2010.
6.

SOIL CLASSIFICTION: REFER TO (A00.02) HOUSE SPECIFICATION PAGE FOR DETAILS FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.
7.

WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA, THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARD.
8.

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
a) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR.
b) BATHROOMS - WITHIN 2000mm VERTICAL FROM THE BATH BASE.
c) LAUNDRY - WITHIN 1200mm VERTICAL FROM FLOOR, AND/OR WITHIN 300mm HORIZONTAL FROM DOORS.
d) DOORWAY - WITHIN 300mm HORIZONTAL FROM ALL DOORS.
- SHOWER SCREENS SHALL BE GRADE 'A' SAFETY GLASS.
9.

WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
10.

STORMWATER (BY OWNER) SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT LOCAL AUTHORITY.
11.

SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.
12.

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.
13.

FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA, ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES, AND STEEL LINTELS, ETC. THAT ARE EMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 3700 - 2011 TABLE 2.2, HOT DIPPED GALV., STAILESS STEEL OR CADMIMUM COATED.

14.

ALL WET AREAS TO COMPLY WITH B.C.A. F1.7 OR A.S. 3740 - 2010. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm MIN. ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL.
15.

PROVIDE MINIMUM CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 400mm FOR TERMITE AREAS.
16.

THERMAL INSULATION TO BE PROVIDED AS SPECIFIED ON (DOHS) HOUSE SPECIFICATION PAGE.
17.

STAIR REQUIREMENTS:- (OTHER THAN SPIRAL STAIR)
RISERS - 190mm MAXIMUM, 115mm MINIMUM;
GOING - 355mm MAXIMUM, 240mm MINIMUM; PRIVATE STAIRS (AND 250mm FOR PUBLIC STAIRS)
RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSINGS.
ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125mm OR USE CLOSED RISERS.
PROVIDE CONTINUOUS HANDRAIL 1000mm MINIMUM HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL.
865mm MINIMUM HEIGHT OF HANDRAIL ABOVE STAIR NOSINGS AND LANDINGS.
MAXIMUM OPENINGS BETWEEN BALUSTERS NOT TO EXCEED 125mm.
18.

STAIR LANDINGS
LANDINGS ARE REQUIRED TO ALL DOORWAYS WHERE THE LEVEL SURFACE OF THE DOORSILL EXCEEDS 190mm FROM THE GROUND OR ANY OTHER SURFACE. LANDING SIZE TO BE MINIMUM OF DOORWAY WIDTH.
19.

CONCRETE STUMPS:
- 100mm SQ. UP TO 1400mm LONG (1 No. H.D. WIRE);
- 100mm SQ. 1401mm TO 1800mm LONG (2 No. H.D. WIRES);
- 125mm SQ. 1801mm TO 3000mm LONG (2 No. H.D. WIRES).
- NOTE: ALL STUMOS EXCEEDING 1200mm ABOVE GROUND TO BE BRACED.
20.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.
21.

THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.
22.

SD

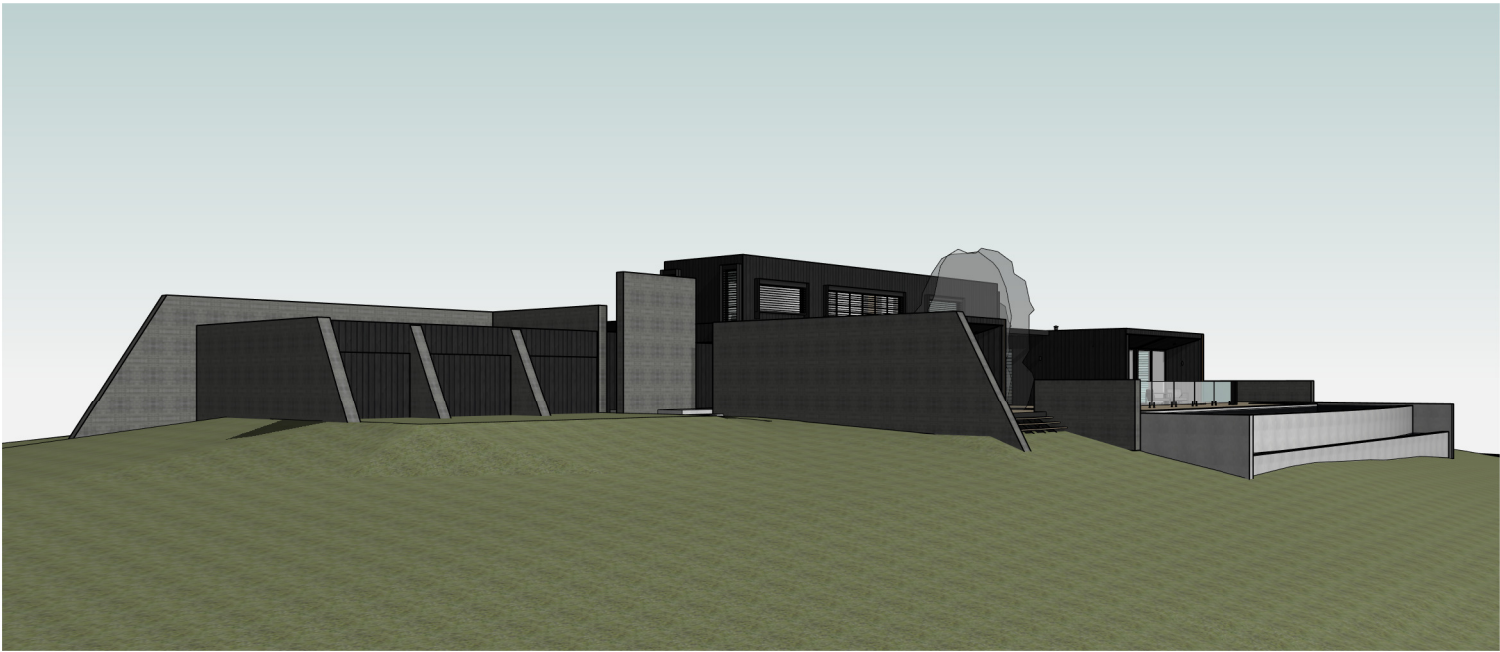
DENOTES THE LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786 - 1993. AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING. THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP & INTERCONNECTED.
23.

DOORS TO WC'S WHERE THE SWING OF THE DOOR IS WITHIN 1200mm OF THE PAN, MUST EITHER SWING OUTWARDS OR BE REMOVABLE FROM THE OUTSIDE. (SPLIT HINGES WITH CUT DOWN DOOR)
24.

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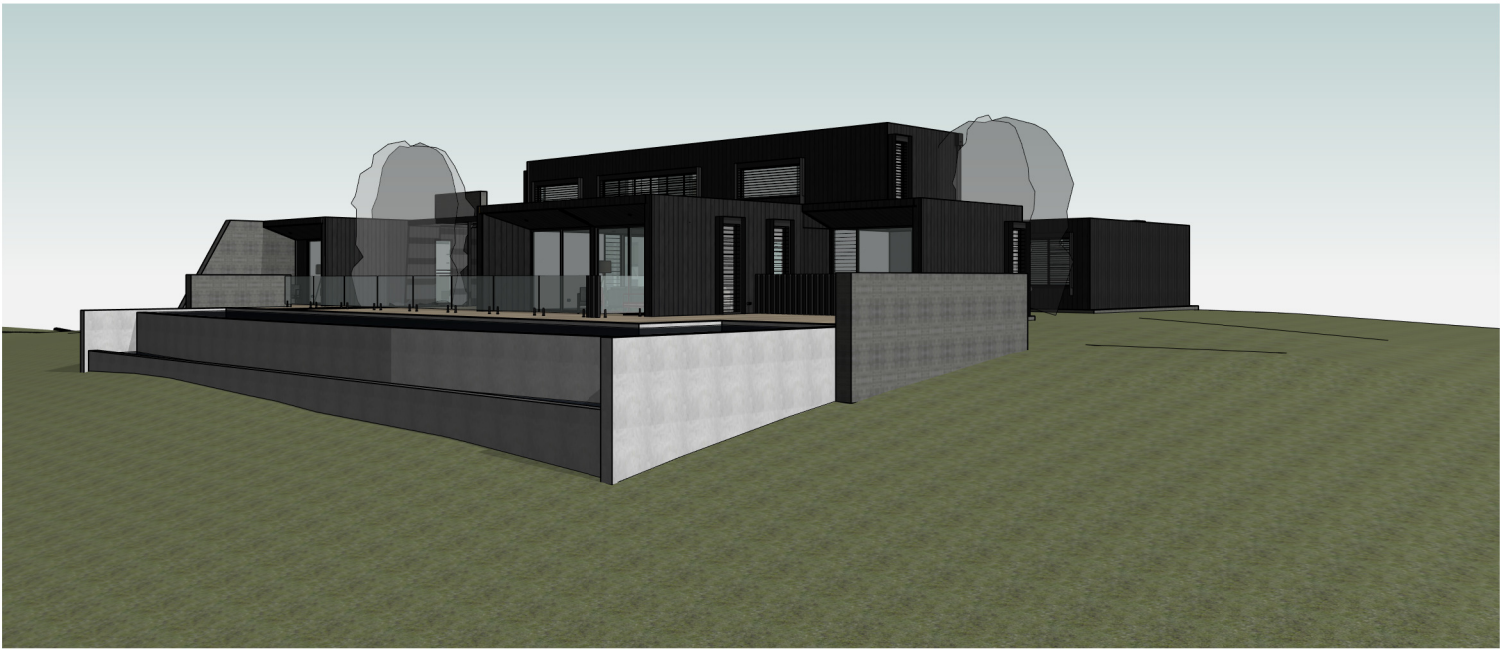
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3D VIEW 1



3D VIEW 3



3D VIEW 2



3D VIEW 4

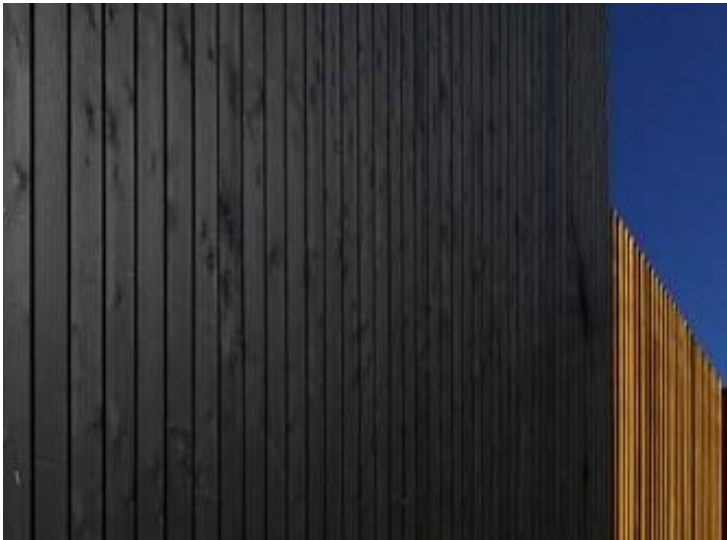
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D	DA REV 3	EM	26.08.19

Project Name: PROPOSED RESIDENCE AT 79 KUMARNA ST DUFFYS FOREST, NSW	Drawn by: EM
Client: WATKINS	Drawing Title: 3D PERSPECTIVES
Project Number: 401C	Scale@A3: P00.04
	Drawing Issue: PLANNING
	Rev: D



• VERTICAL TIMBER CLADDING - STAINED DARK



• GLAZED POOL FENCE



• RAMMED EARTH WALLS



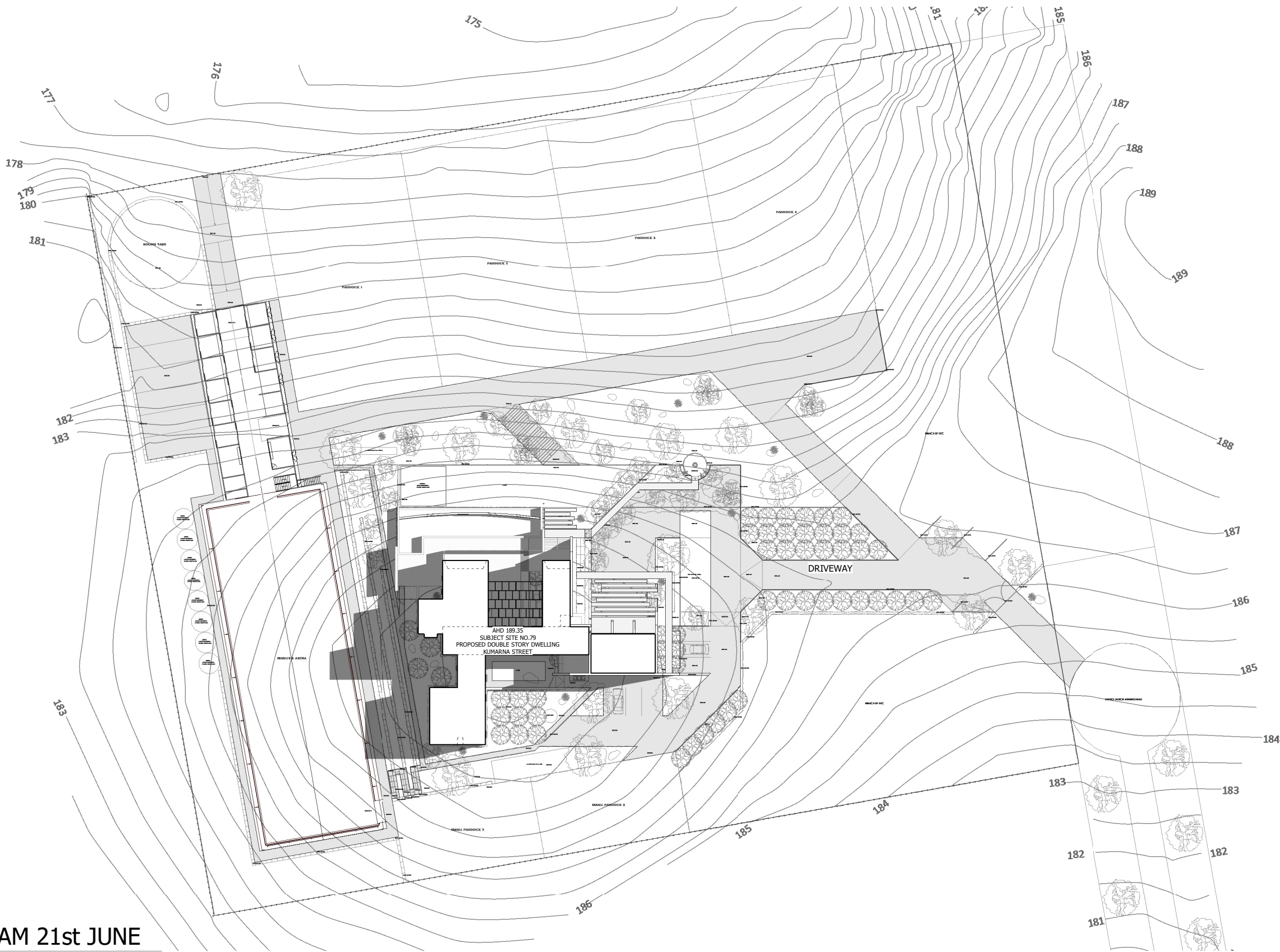
• COMMERCIAL BLACK FRAMED ALUMINIUM WINDOWS



• FIBRE CEMENT SHEET CLADDING
• PAINTED BLACK



• STEEL FRAMED PERGOLA



SHADOW DIAGRAM @ 9AM 21st JUNE

Scale - 1 : 750

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Project Number:
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Drawn by:
EM

Drawing Title:
PRPS. SHADOW DIAGRAM

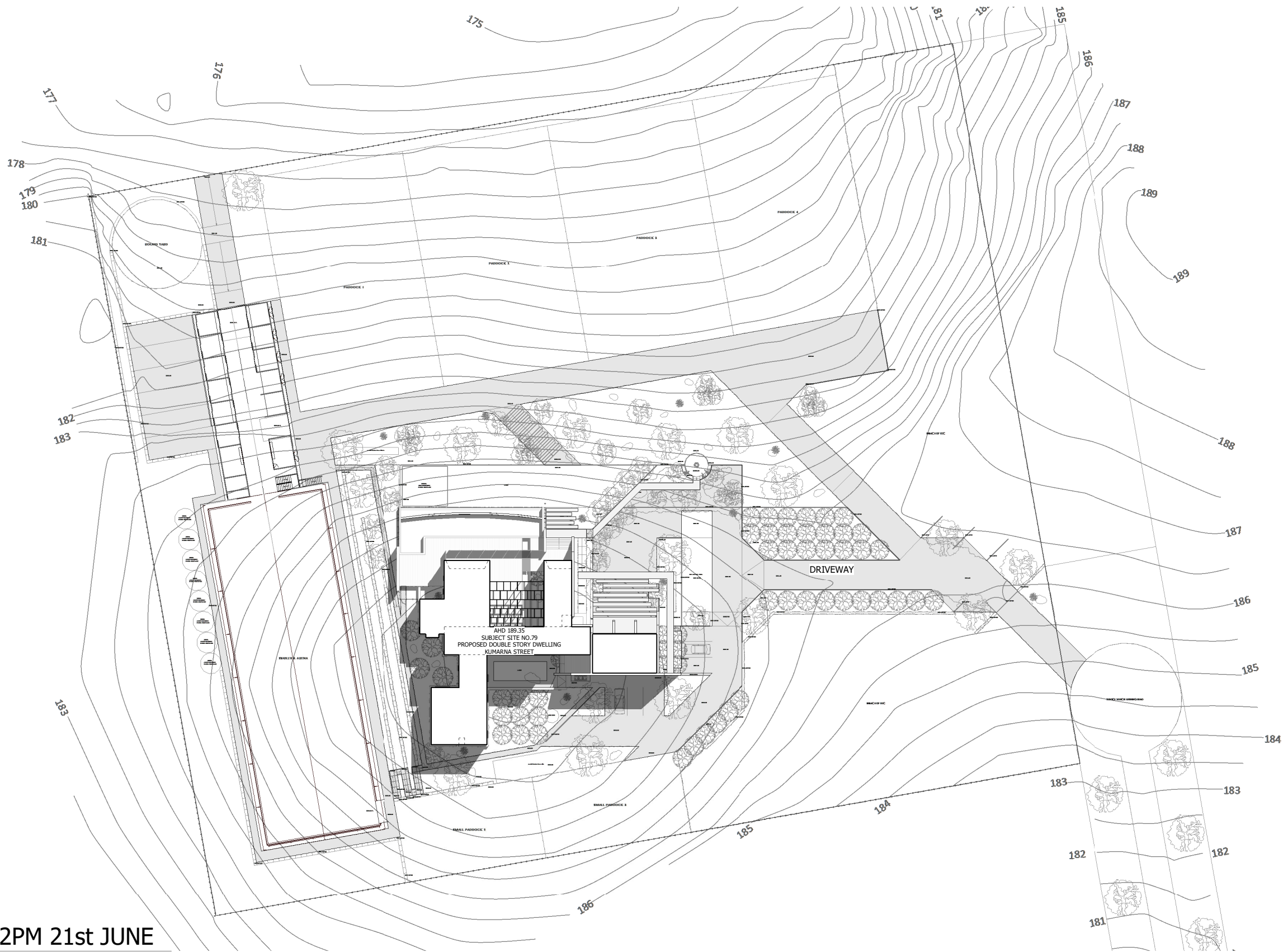
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Drawing Number:
P00.06

Drawing Issue:
PLANNING

North:
60.00°

Rev:
D



SHADOW DIAGRAM @ 12PM 21st JUNE
Scale - 1 : 750

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Date

Builder

Date

Initials

Rev.

Description

By

Date

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06.12.18

EM

27.02.19

EM

26.06.19

EM

26.08.19

Project Name:

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Client:

WATKINS

Project Number:

401C

Drawn by:

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Drawing Title:

PRPS. SHADOW DIAGRAM

Scale@A3:

1 : 750

Drawing Number:

P00.07

Drawing Issue:

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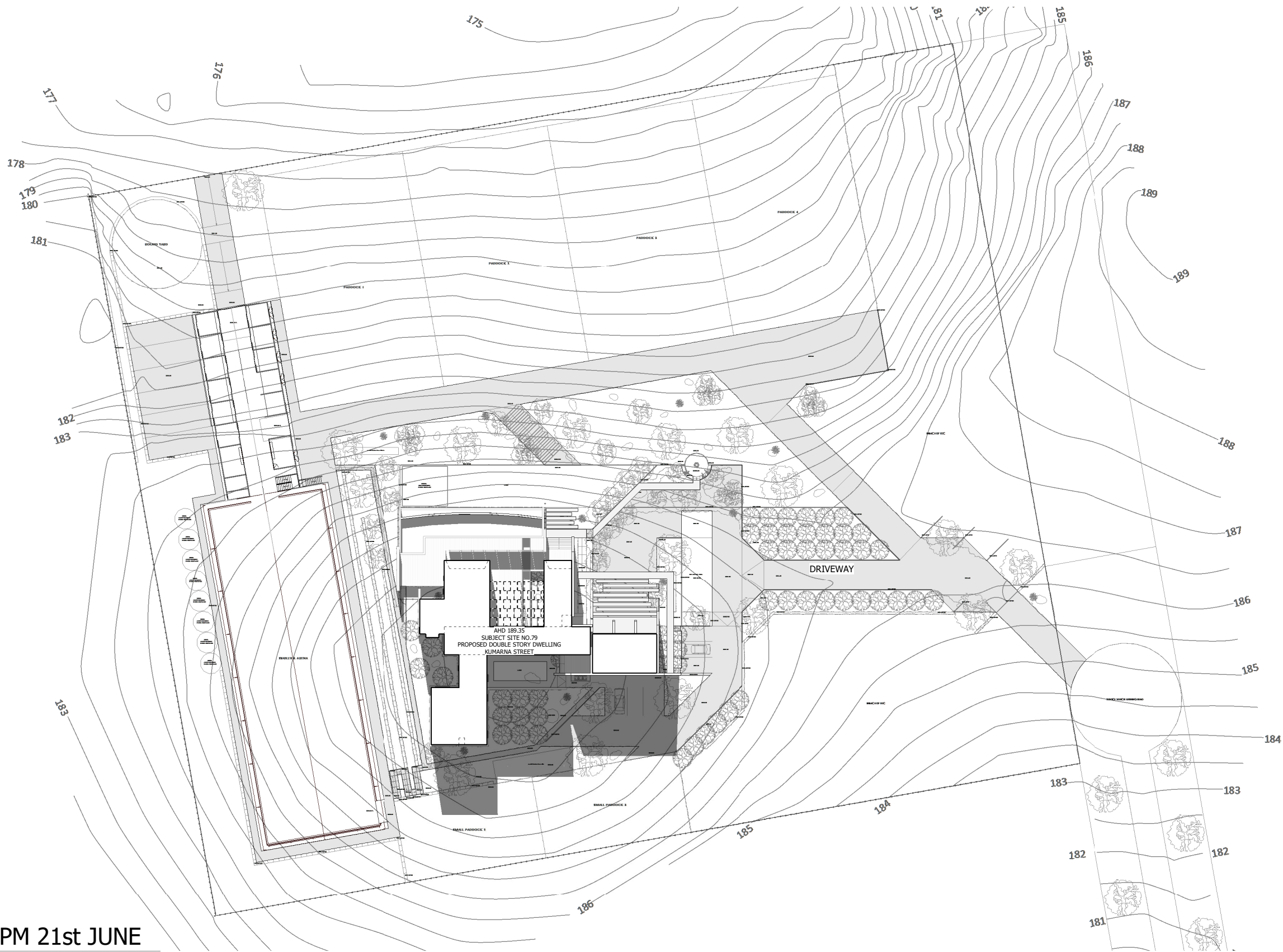
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60.00°

Rev:

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SHADOW DIAGRAM @ 3PM 21st JUNE

Scale - 1 : 750

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Project Number:
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Drawn by:
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Drawing Title:
PRPS. SHADOW DIAGRAM

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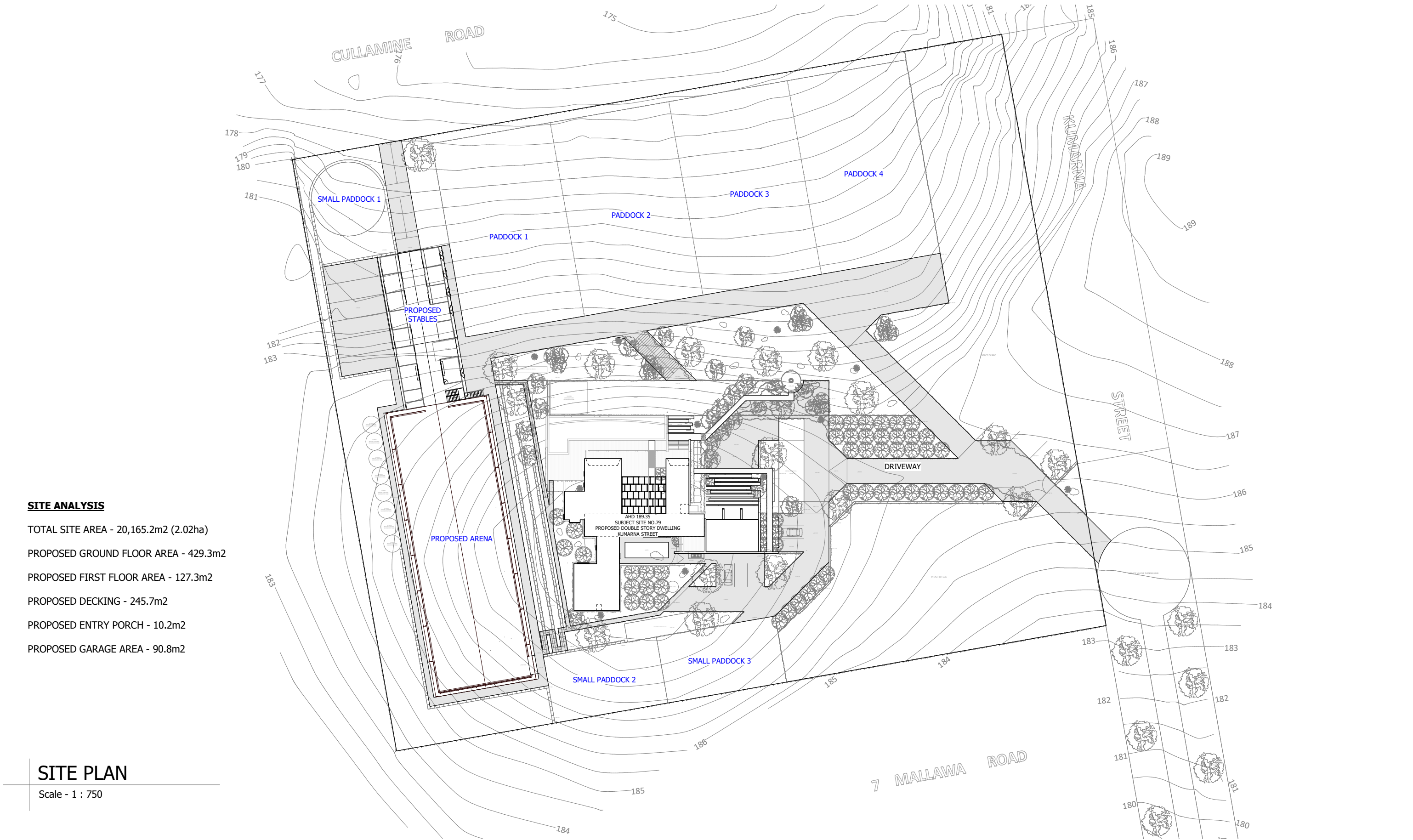
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P00.08

Drawing Issue:
PLANNING

North: 60.00°

Rev: **D**

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SITE ANALYSIS

TOTAL SITE AREA - 20,165.2m2 (2.02ha)
PROPOSED GROUND FLOOR AREA - 429.3m2
PROPOSED FIRST FLOOR AREA - 127.3m2
PROPOSED DECKING - 245.7m2
PROPOSED ENTRY PORCH - 10.2m2
PROPOSED GARAGE AREA - 90.8m2

SITE PLAN

Scale - 1 : 750

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Drawing Title:
SITE PLAN

Scale@A3:
As indicated

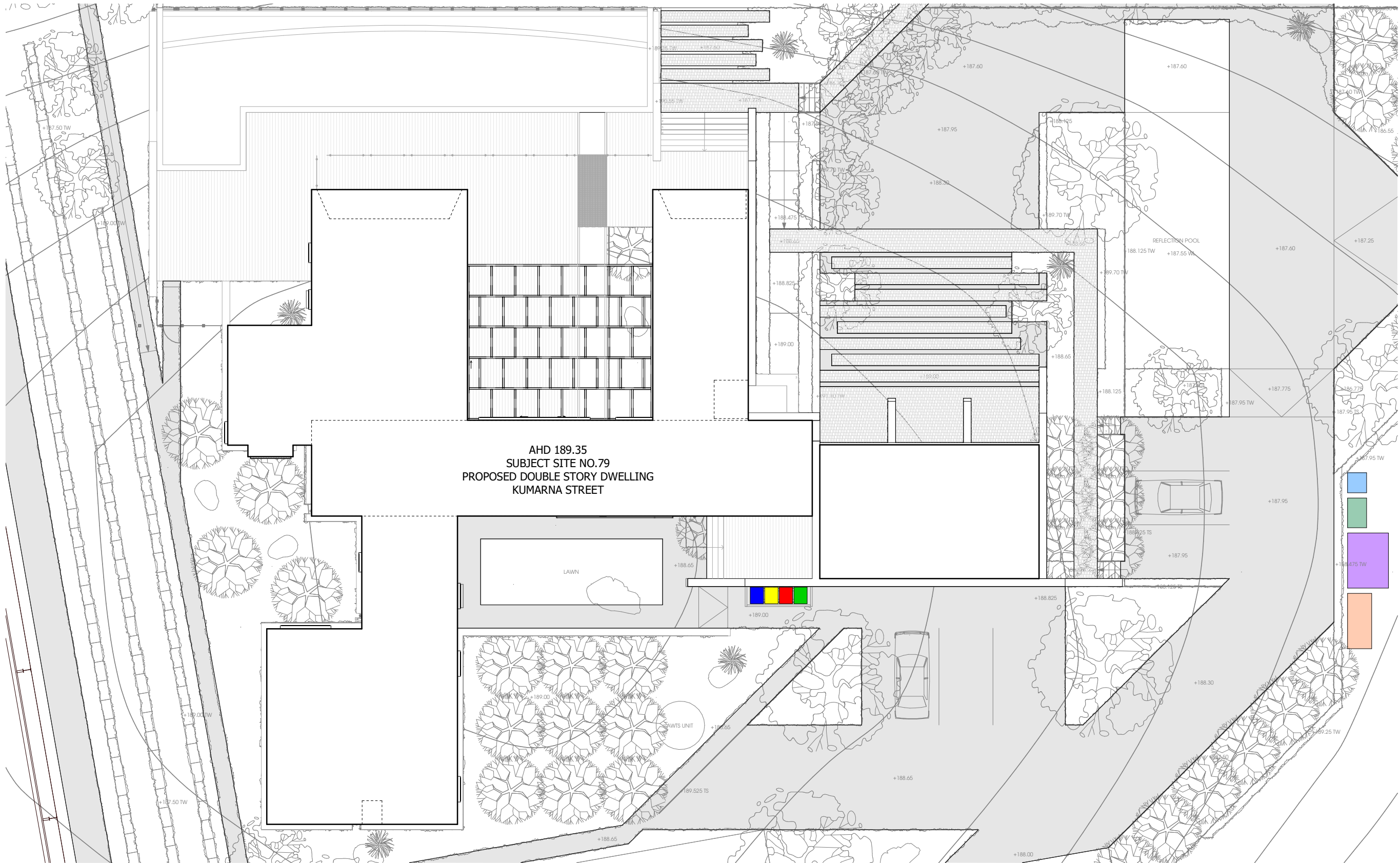
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WASTE MANAGEMENT PLAN

Scale - 1 : 200

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				A	DA REV 3	EM	26.08.19	Drawing Title: WASTE MANAGEMENT PLAN			
Initials	Owner/s	Date	Builder	Date	Client: WATKINS		Scale@A3: As indicated				
					Project Number: 401C		Drawing Number: P01.03				
								Drawing Issue: PLANNING			
								Rev:			

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ROOF PLAN

Scale - 1 : 150

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Drawing Title:
ROOF PLAN

Scale@A3:
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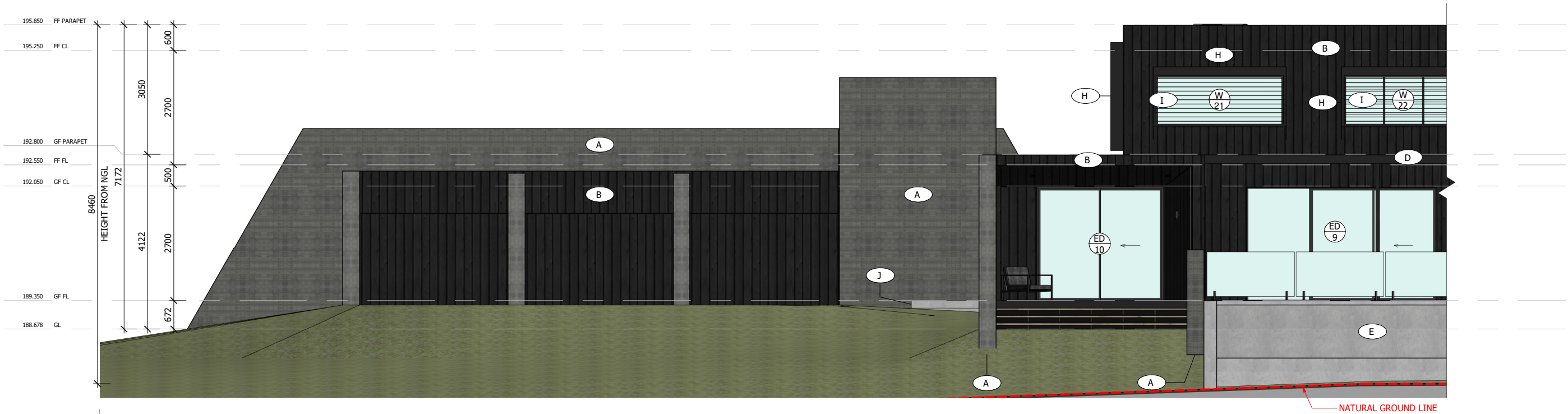
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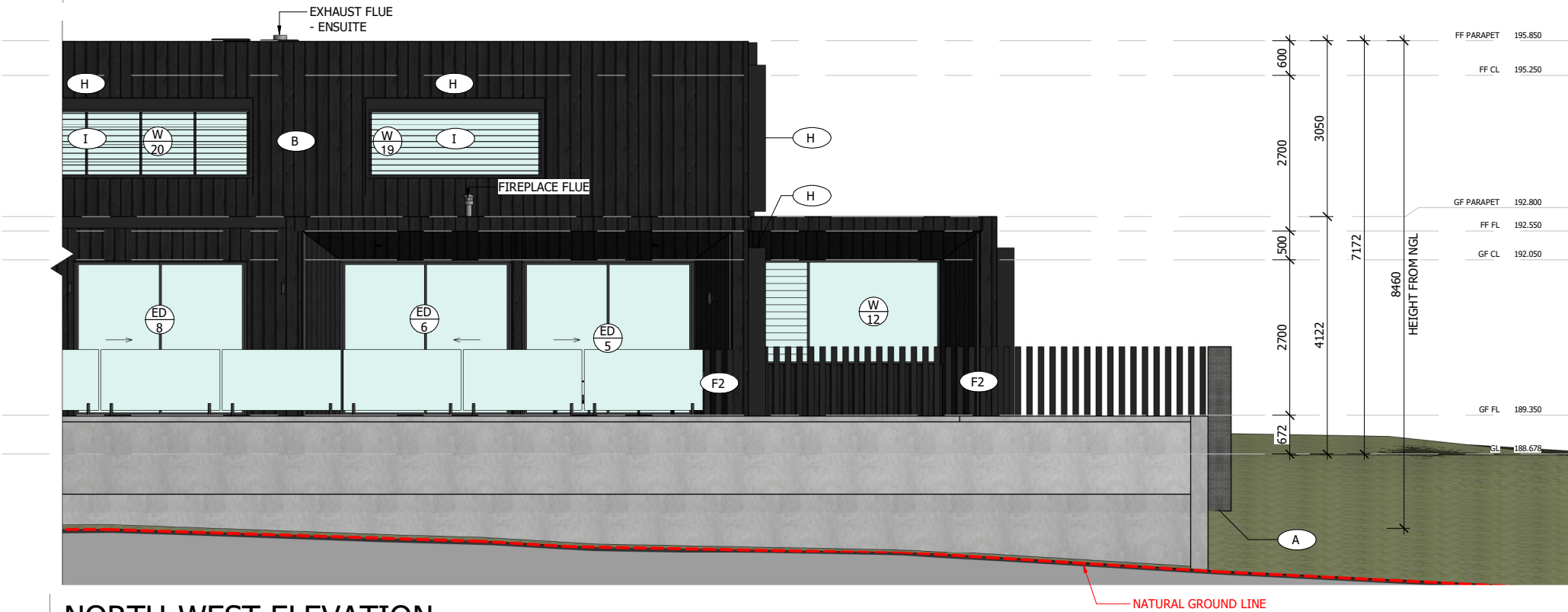
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NORTH-WEST ELEVATION

Scale - 1 : 100



NORTH-WEST ELEVATION

Scale - 1 : 100

EXTERNAL FINISHES LEGEND	
MARK	DESCRIPTION
A	RAMMED EARTH WALLS
B	TIMBER CLADDING STAINED DARK - VERTICAL ORIENTATION
C	HARDWOOD TIMBER DECKING AND STAIRS
D	STEEL FRAME PERGOLA
E	WET EDGE POOL
F1	GLAZED POOL FENCE
F2	100x100mm PAINTED STEEL POOL FENCE WITH 100mm GAPS
G	FIBRE CEMENT SHEET CLADDING - PAINTED BLACK
H	300mm ALUMINIUM SHROUD - POWDER COATED BLACK TO MATCH WINDOWS
I	ALUMINIUM EXTERNAL BLINDS - POWDER COATED BLACK TO MATCH WINDOWS
J	ENTRY PAVING

Initials	Owner/s	Date	Builder	Date

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NORTH-EAST ELEVATION

Scale - 1 : 100

EXTERNAL FINISHES LEGEND	
MARK	DESCRIPTION
A	RAMMED EARTH WALLS
B	TIMBER CLADDING STAINED DARK - VERTICAL ORIENTATION
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I	ALUMINIUM EXTERNAL BLINDS - POWDER COATED BLACK TO MATCH WINDOWS
J	ENTRY PAVING



NORTH-EAST ELEVATION

Scale - 1 : 100

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Drawing Title:
ELEVATIONS

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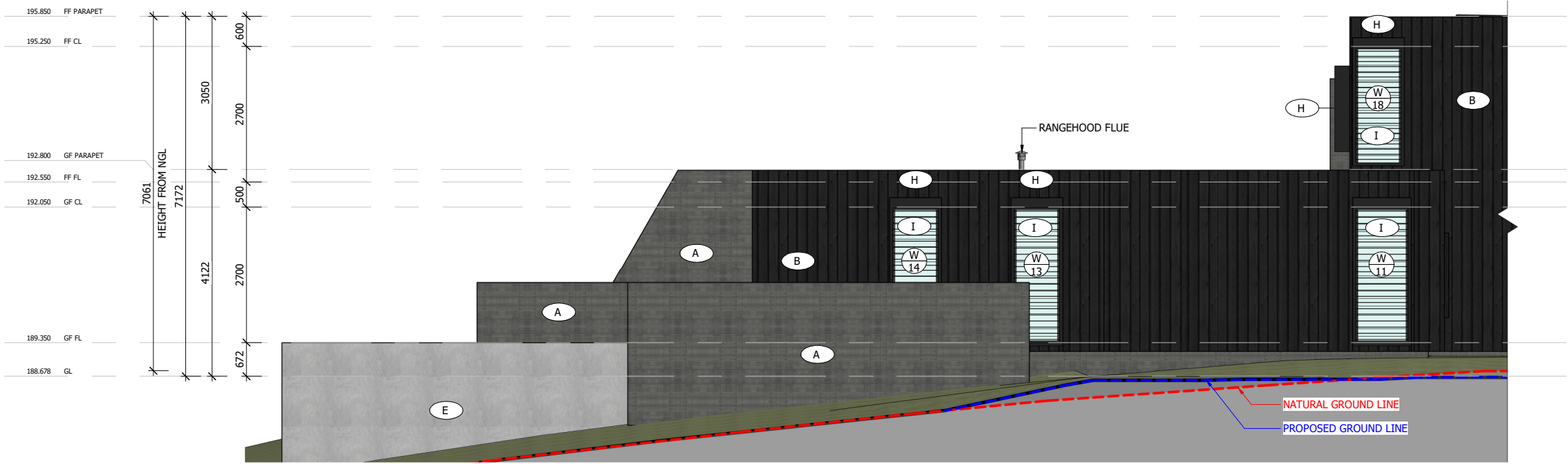
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Rev:

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EXTERNAL FINISHES LEGEND	
MARK	DESCRIPTION
A	RAMMED EARTH WALLS
B	TIMBER CLADDING STAINED DARK - VERTICAL ORIENTATION
C	HARDWOOD TIMBER DECKING AND STAIRS
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J	ENTRY PAVING

SOUTH-WEST ELEVATION

Scale - 1 : 100



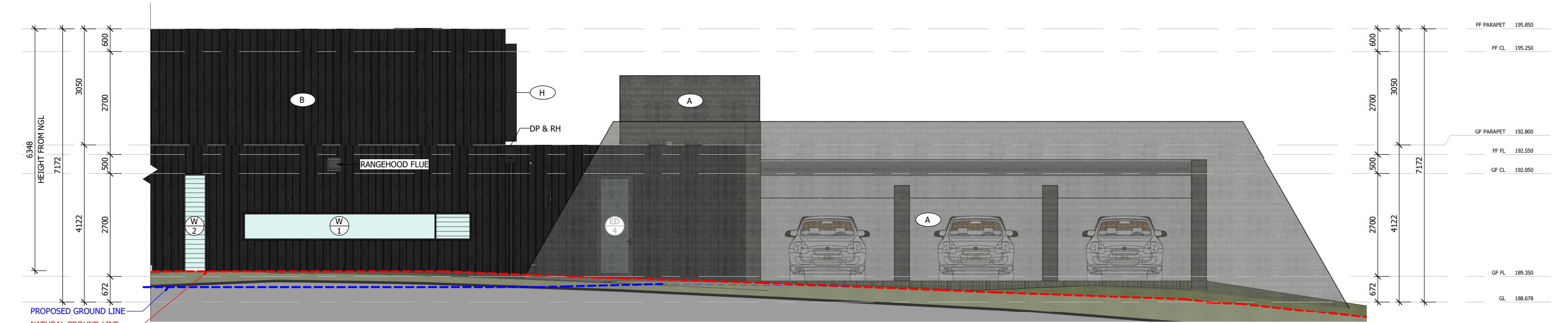
SOUTH-WEST ELEVATION2

Scale - 1 : 100



SOUTH-EAST ELEVATION

Scale - 1 : 100



SOUTH-EAST ELEVATION

Scale - 1 : 100

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www.prebuilt.com.au

Initials	Owner/s		Date	Builder		Date

Rev.	Description	By	Date
A	DA ISSUE	EM	06.12.18
B	DA REV 1	EM	27.02.19
C	DA REV 2	EM	26.06.19
D	DA REV 3	EM	26.08.19

Project Name:
**PROPOSED RESIDENCE AT
79 KUMARNA ST
DUFFYS FOREST, NSW**

Client:
WATKINS

Project Number:
401C

Drawn by:
EM

Drawing Title:
ELEVATIONS

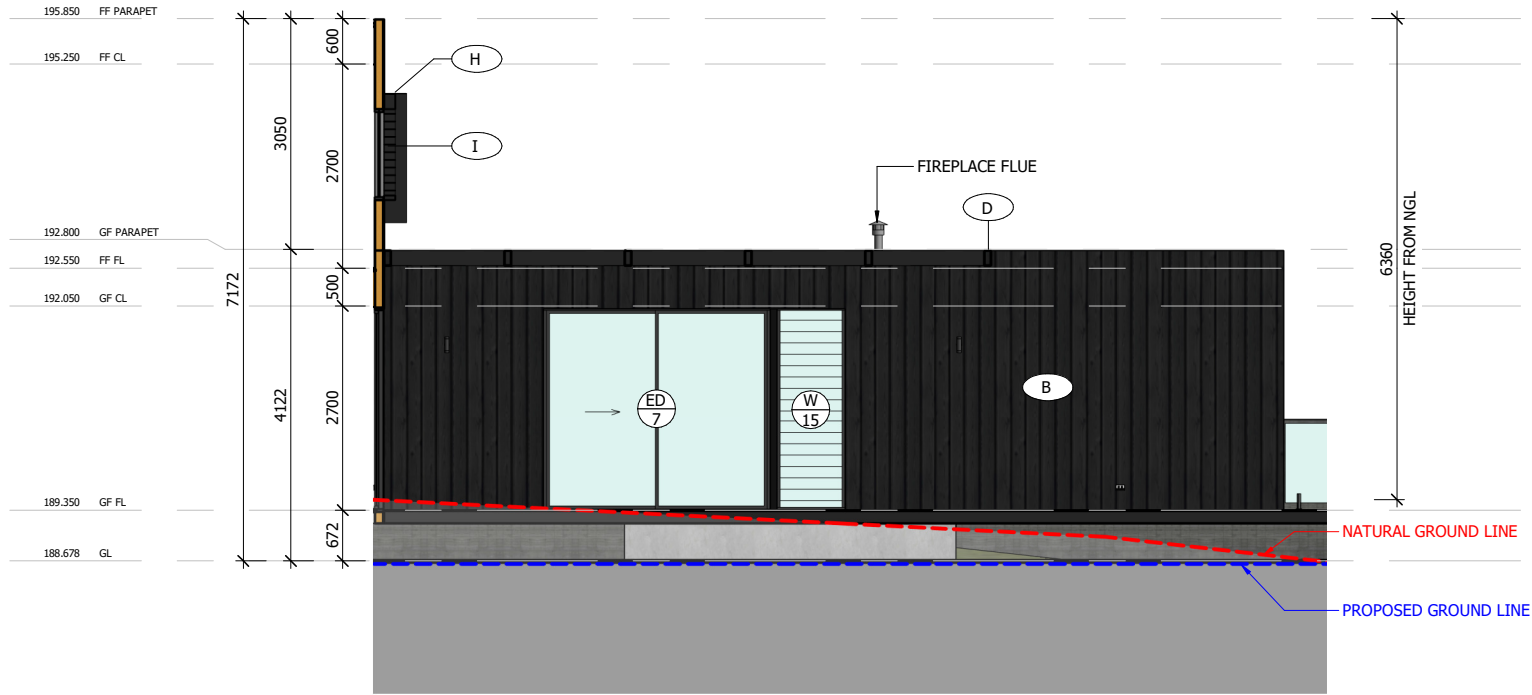
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Drawing Number:
P04.03

Drawing Issue:
PLANNING

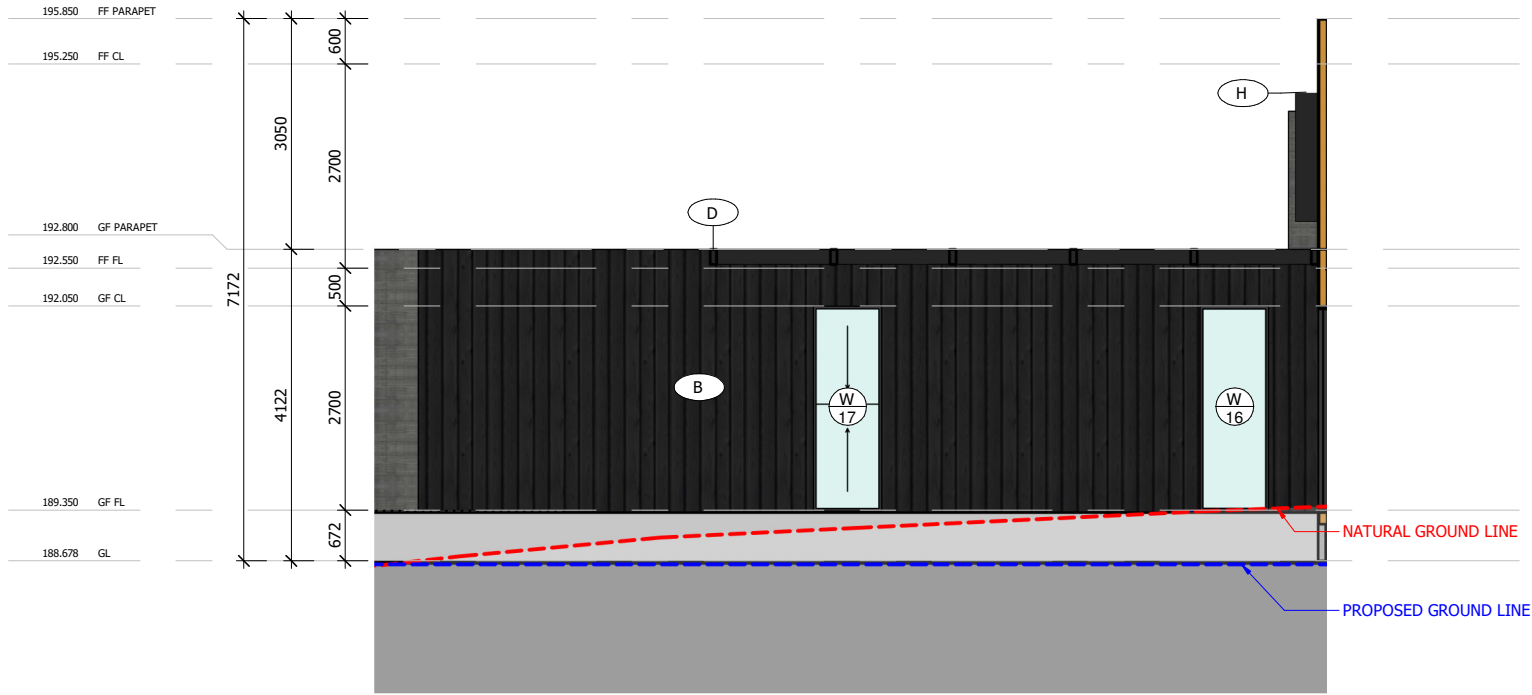
Rev:

D



NORTH-EAST 2 ELEVATION

Scale - 1 : 100



SOUTH-WEST 2 ELEVATION

Scale - 1 : 100

EXTERNAL FINISHES LEGEND	
MARK	DESCRIPTION
A	RAMMED EARTH WALLS
B	TIMBER CLADDING STAINED DARK - VERTICAL ORIENTATION
C	HARDWOOD TIMBER DECKING AND STAIRS
D	STEEL FRAME PERGOLA
E	WET EDGE POOL
F1	GLAZED POOL FENCE
F2	100x100mm PAINTED STEEL POOL FENCE WITH 100mm GAPS
G	FIBRE CEMENT SHEET CLADDING - PAINTED BLACK
H	300mm ALUMINIUM SHROUD - POWDER COATED BLACK TO MATCH WINDOWS
I	ALUMINIUM EXTERNAL BLINDS - POWDER COATED BLACK TO MATCH WINDOWS
J	ENTRY PAVING

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Initials

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Drawing Number:

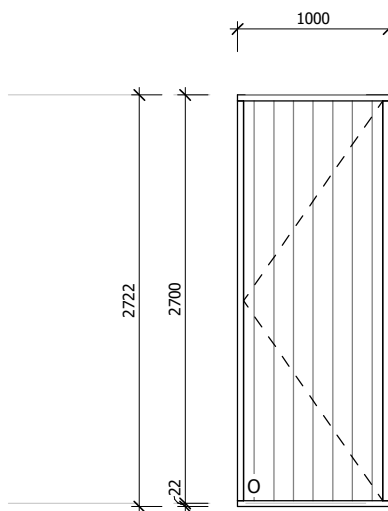
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Drawing Issue:

PLANNING

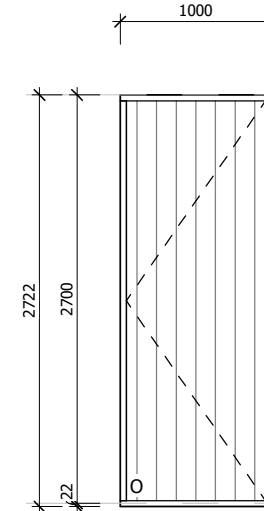
Rev:

D



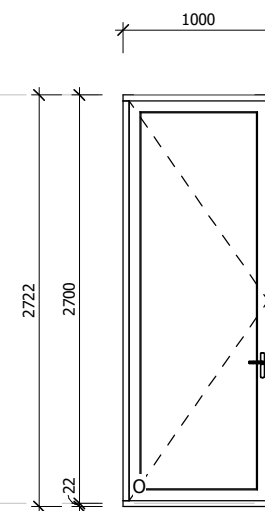
ED2

TYPE	EXTERNAL GRADE SOLID CORE TIMBER DOOR
FRAME	TIMBER HWD 240 x 42mm MERBAU STAINED DARK.
GLAZING	N/A
NOTES	BOTH SIDES CLAD IN HWD W/ STAIN FINISH. RECESSED SILL. HANDLE TBC.
REVEAL	N/A
FLYSCREEN	N/A



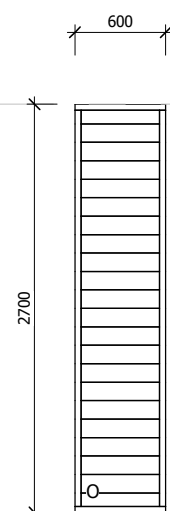
ED3

TYPE	EXTERNAL GRADE SOLID CORE TIMBER DOOR
FRAME	TIMBER HWD 240 x 42mm MERBAU STAINED DARK.
GLAZING	N/A
NOTES	BOTH SIDES CLAD IN HWD W/ STAIN FINISH. RECESSED SILL. HANDLE TBC.
REVEAL	N/A
FLYSCREEN	N/A



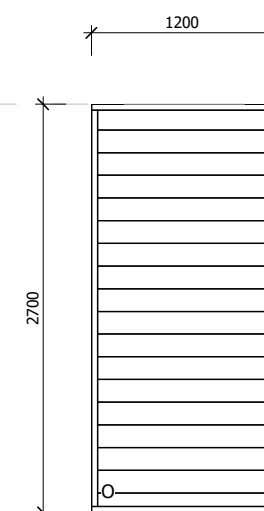
ED4

TYPE	EXTERNAL GLAZED SWING DOOR
FRAME	BLACK ALUMINIUM
GLAZING	DOUBLE GLAZED LOW-E
NOTES	RECESSED SILL. HANDLE TBC.
REVEAL	PLASTER
FLYSCREEN	N/A



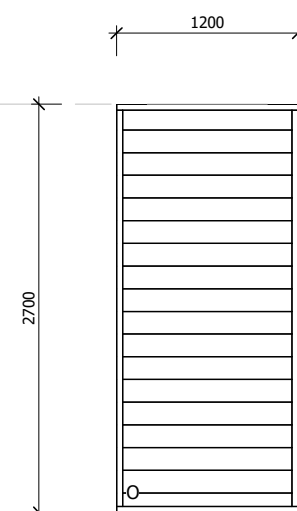
W2

TYPE	LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	SINGLE GLAZE LOW-E
NOTES	N/A
REVEAL	PLASTER
FLYSCREEN	STAINLESS STEEL MESH



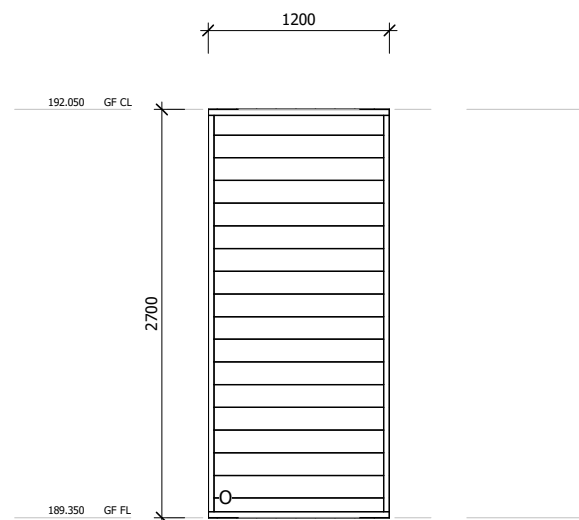
W3

TYPE	LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	SINGLE GLAZE LOW-E
NOTES	EXTERNAL OPERABLE LOUVRES, 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK.
REVEAL	PLASTER
FLYSCREEN	STAINLESS STEEL MESH



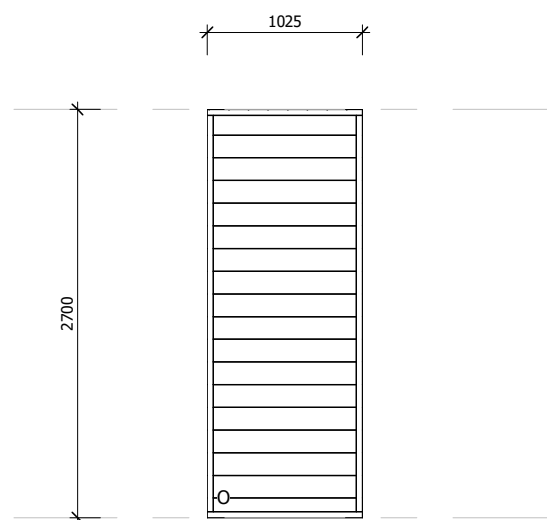
W4

TYPE	LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	SINGLE GLAZE LOW-E
NOTES	EXTERNAL OPERABLE LOUVRES, 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK. PLASTER
REVEAL	STAINLESS STEEL MESH
FLYSCREEN	



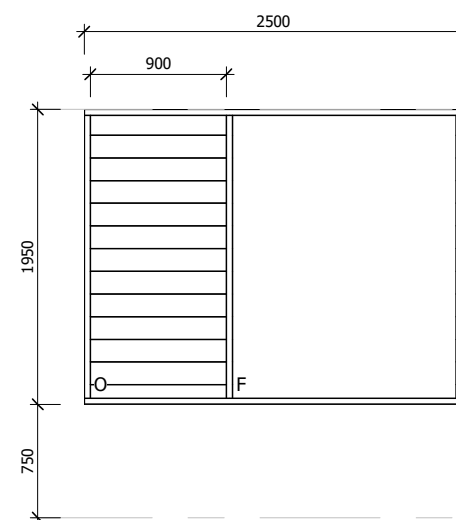
W5

TYPE	LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	SINGLE GLAZE LOW-E
NOTES	EXTERNAL OPERABLE LOUVRES. 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK. PLASTER
REVEAL	
FLYSCREEN	STAINLESS STEEL MESH



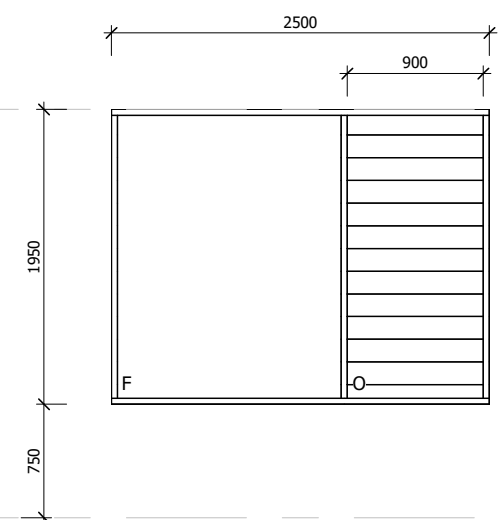
W6

TYPE	LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	SINGLE GLAZE LOW-E
NOTES	N/A
REVEAL	PLASTER
FLYSCREEN	STAINLESS STEEL MESH



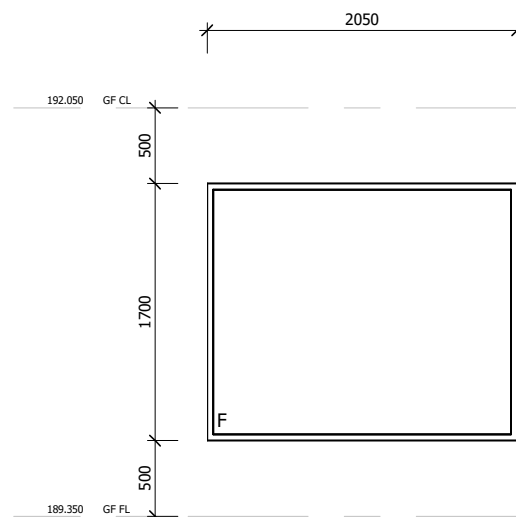
W7

TYPE	FIXED PANEL + LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	DOUBLE GLAZE LOW-E TO FIXED. SINGLE GLAZE LOW-E TO LOUVRES
NOTES	N/A
REVEAL	PLASTER
FLYSCREEN	STAINLESS STEEL MESH



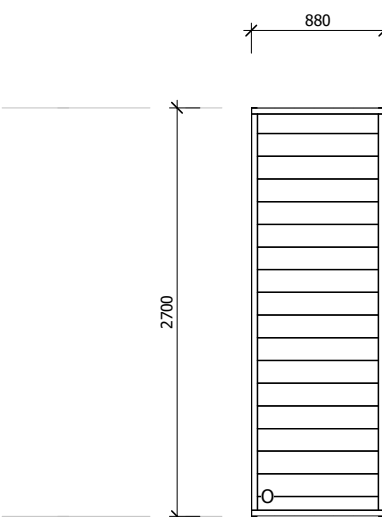
W8

TYPE	FIXED PANEL + LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	DOUBLE GLAZE LOW-E TO FIXED, SINGLE GLAZE LOW-E TO LOUVRES
NOTES	EXTERNAL OPERABLE LOUVRES. 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK. PLASTER STAINLESS STEEL MESH
REVEAL FLYSCREEN	



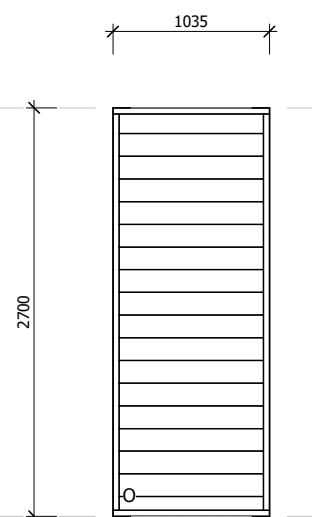
W9

TYPE	FIXED WINDOW
FRAME	TIMBER HWD 240 x 42mm
GLAZING	MERBAU STAINED DARK.
NOTES	DOUBLE GLAZE LOW-E
REVEAL	N/A
FLYSCREEN	N/A



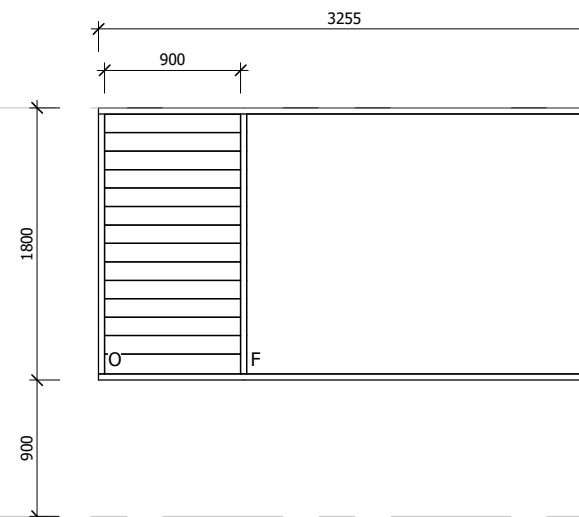
W10

TYPE	LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	SINGLE GLAZE LOW-E
NOTES	EXTERNAL OPERABLE LOUVRES. 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK.
REVEAL	PLASTER
FLYSCREEN	STAINLESS STEEL MESH



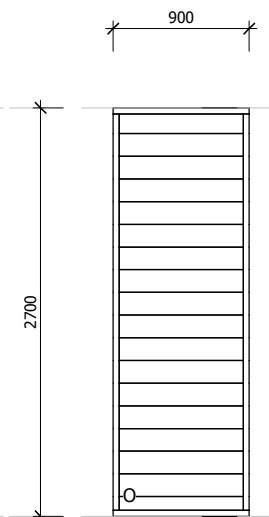
W11

TYPE	LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	SINGLE GLAZE LOW-E
NOTES	EXTERNAL OPERABLE LOUVRES, 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK.
REVEAL	PLASTER
FLYSCREEN	STAINLESS STEEL MESH



W12

TYPE	FIXED PANEL + LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	DOUBLE GLAZE LOW-E TO FIXED PANEL. SINGLE GLAZE LOW-E TO LOUVRE WINDOW.
NOTES	900mm WIDE LOUVRE ON L+RHS
REVEAL	PLASTER
FLYSCREEN	STAINLESS STEEL MESH



W13

TYPE	LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	SINGLE GLAZE LOW-E
NOTES	EXTERNAL OPERABLE LOUVRES, 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK.
REVEAL	PLASTER
FLYSCREEN	STAINLESS STEEL MESH

W14

TYPE LOUVRE WINDOW
FRAME BLACK ALUMINIUM
GLAZING SINGLE GLAZE LOW-E
NOTES EXTERNAL OPERABLE LOUVRES. 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK.
REVEAL PLASTER
FLYSCREEN STAINLESS STEEL MESH

ED5

EXTERNAL AND INTERNAL BLACK STRAPPING

TYPE SLIDING PANEL
FRAME BLACK ALUMINIUM
GLAZING DOUBLE GLAZE LOW-E
NOTES RECESSED SILL. EXTERNAL & INTERNAL BLACK STRAPPING TO LHS.
REVEAL PLASTER
FLYSCREEN STAINLES STEEL MESH

ED6

EXTERNAL AND INTERNAL BLACK STRAPPING

TYPE SLIDING PANEL
FRAME BLACK ALUMINIUM
GLAZING DOUBLE GLAZE LOW-E
NOTES RECESSED SILL. EXTERNAL AND INTERNAL BLACK STRAPPING TO RHS
REVEAL PLASTER
FLYSCREEN STAINLESS STEEL MESH

W15

EXTERNAL & INTERNAL BLACK STRAPPING

TYPE LOUVRE WINDOW
FRAME BLACK ALUMINIUM
GLAZING SINGLE GLAZE LOW-E
NOTES RECESSED SILL. EXTERNAL & INTERNAL BLACK STRAPPING TO LHS.
REVEAL PLASTER
FLYSCREEN STAINLESS STEEL MESH

ED7

EXTERNAL & INTERNAL BLACK STRAPPING

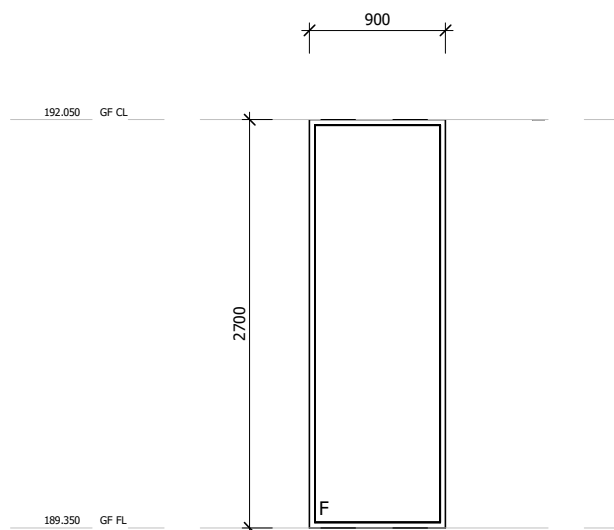
TYPE SLIDING PANEL
FRAME BLACK ALUMINIUM
GLAZING DOUBLE GLAZE LOW-E
NOTES RECESSED SILL. EXTERNAL & INTERNAL BLACK STRAPPING TO RHS.
REVEAL PLASTER
FLYSCREEN STAINLESS STEEL MESH

ED8

TYPE SLIDING PANEL
FRAME BLACK ALUMINIUM
GLAZING DOUBLE GLAZE LOW-E
NOTES RECESSED SILL.
REVEAL PLASTER
FLYSCREEN STAINLESS STEEL MESH

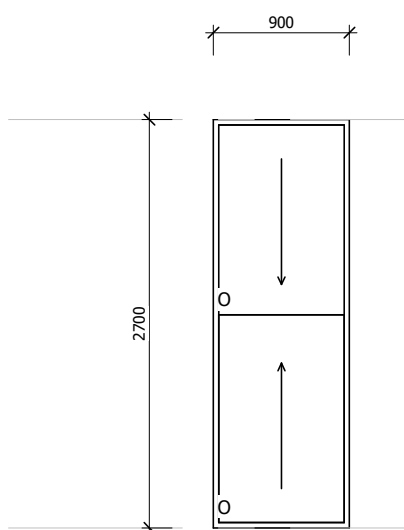
ED9

TYPE SLIDING PANEL + FIXED PANEL x2
FRAME BLACK ALUMINIUM
GLAZING DOUBLE GLAZE LOW-E
NOTES RECESSED SILL.
REVEAL PLASTER
FLYSCREEN STAINLESS STEEL MESH



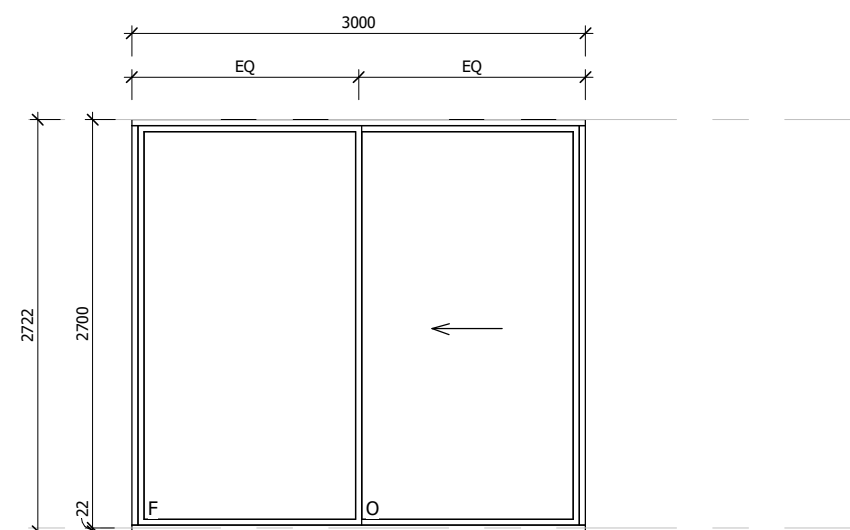
W16

TYPE	FIXED WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	DOUBLE GLAZE LOW-E
NOTES	N/A
REVEAL	PLASTER
FLYSCREEN	N/A



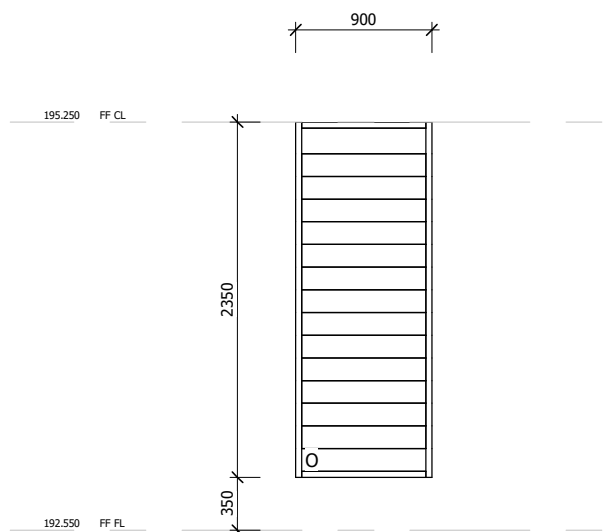
W17

TYPE	SHUGG WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	DOUBLE GLAZE LOW-E
NOTES	N/A
REVEAL	PLASTER
FLYSCREEN	STAINLESS STEEL MESH



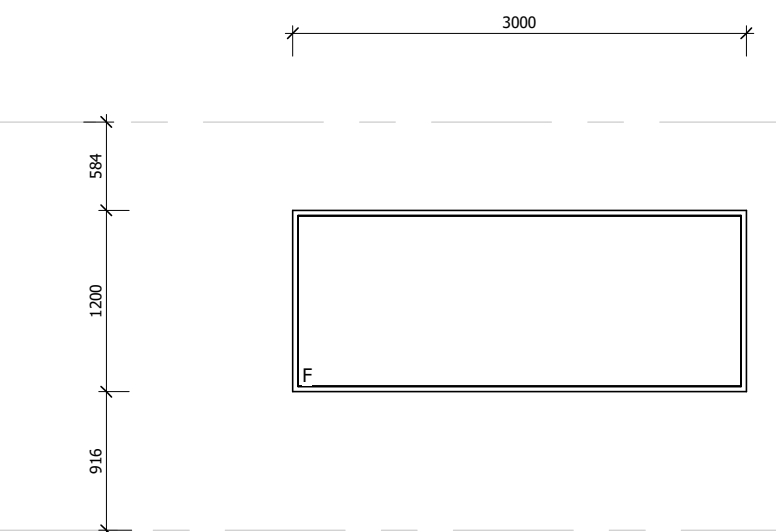
ED10

TYPE	SLIDING PANEL
FRAME	BLACK ALUMINIUM
GLAZING	DOUBLE GLAZE LOW-E
NOTES	RECESSED SILL.
REVEAL	PLASTER
FLYSCREEN	STAINLESS STEEL MESH



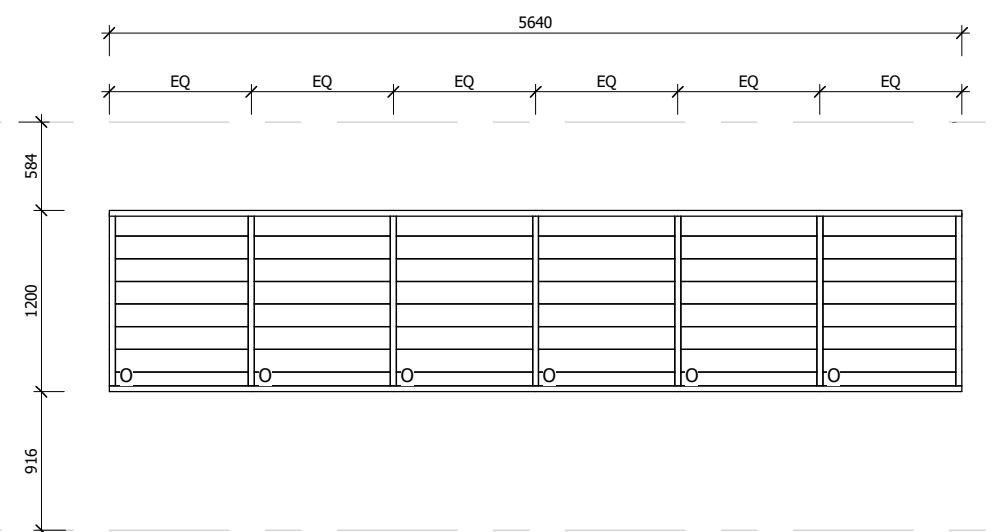
W18

TYPE	LOUVRE WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	SINGLE GLAZE LOW-E
NOTES	EXTERNAL OPERABLE LOUVRES. 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES
REVEAL	POWDERCOATED BLACK.
FLYSCREEN	PLASTER STAINLESS STEEL MESH



W19

TYPE	FIXED WINDOW
FRAME	BLACK ALUMINIUM
GLAZING	DOUBLE GLAZE LOW-E
NOTES	EXTERNAL OPERABLE LOUVRES, 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK.
REVEAL	PLASTER
FLYSCREEN	N/A



W20

TYPE	LOUVRE WINDOW x6
FRAME	BLACK ALUMINIUM
GLAZING	SINGLE GLAZE LOW-E
NOTES	EXTERNAL OPERABLE LOUVRES. 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK. PLASTER
REVEAL	
FLYSCREEN	STAINLESS STEEL MESH

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WINDOW & DOOR ELEVATIONS

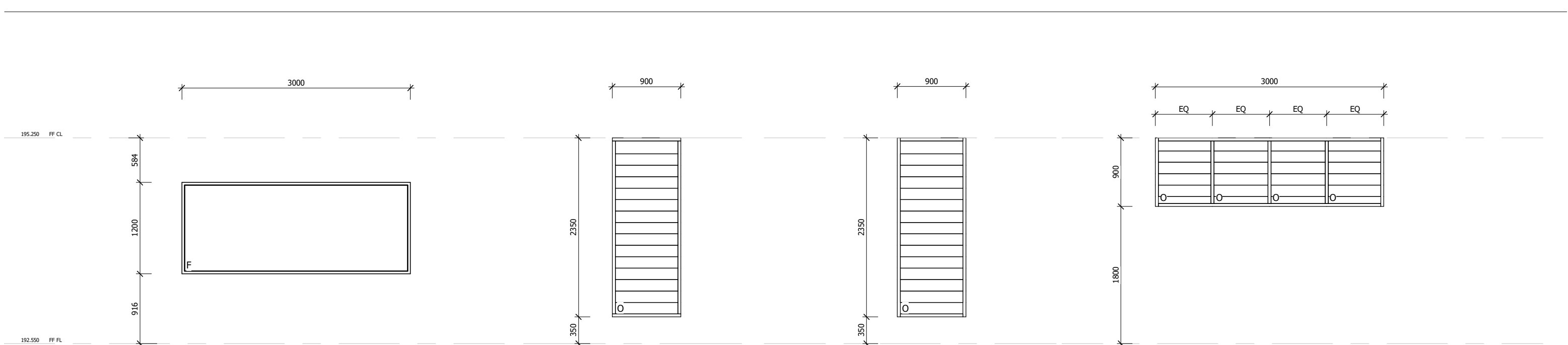
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Drawing Number: _____

Drawing Number:
P05.03
Drawing Issue:
PLANNING

Rev:

D



W21

TYPE FIXED WINDOW
FRAME BLACK ALUMINIUM
GLAZING DOUBLE GLAZE LOW-E
NOTES EXTERNAL OPERABLE LOUVRES. 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK.
REVEAL PLASTER
FLYSCREEN N/A

W22

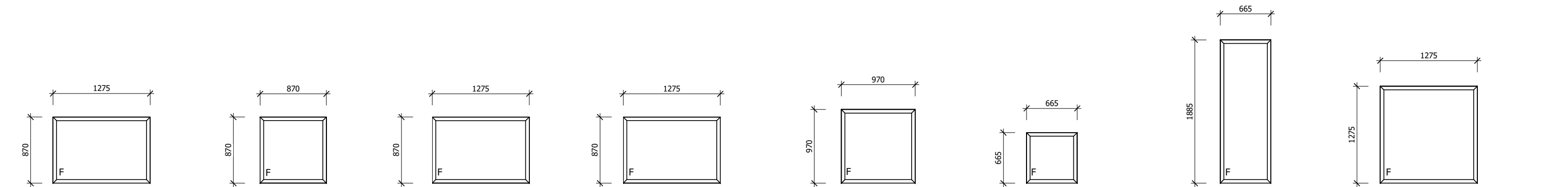
TYPE LOUVRE WINDOW
FRAME BLACK ALUMINIUM
GLAZING SINGLE GLAZE LOW-E
NOTES EXTERNAL OPERABLE LOUVRES. 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK.
REVEAL PLASTER
FLYSCREEN STAINLESS STEEL MESH

W23

TYPE LOUVRE WINDOW
FRAME BLACK ALUMINIUM
GLAZING SINGLE GLAZE LOW-E
NOTES EXTERNAL OPERABLE LOUVRES. 300mm SHROUD TO SURROUND OF EXTERNAL LOUVRES POWDERCOATED BLACK.
REVEAL PLASTER
FLYSCREEN STAINLESS STEEL MESH

W24

TYPE LOUVRE WINDOW x4
FRAME BLACK ALUMINIUM
GLAZING SINGLE GLAZE LOW-E
NOTES N/A
REVEAL PLASTER
FLYSCREEN STAINLESS STEEL MESH



SKL1

TYPE SKYLIGHT WINDOW
FRAME HIDDEN FRAME
GLAZING DOUBLE GLAZE LOW-E
NOTES OPTION TO BE OPERABLE
REVEAL N/A
FLYSCREEN N/A

SKL2

TYPE SKYLIGHT WINDOW
FRAME HIDDEN FRAME
GLAZING DOUBLE GLAZE LOW-E
NOTES OPTION TO BE OPERABLE
REVEAL N/A
FLYSCREEN N/A

SKL3

TYPE SKYLIGHT WINDOW
FRAME HIDDEN FRAME
GLAZING DOUBLE GLAZE LOW-E
NOTES OPTION TO BE OPERABLE
REVEAL N/A
FLYSCREEN N/A

SKL4

TYPE SKYLIGHT WINDOW
FRAME HIDDEN FRAME
GLAZING DOUBLE GLAZE LOW-E
NOTES OPTION TO BE OPERABLE
REVEAL N/A
FLYSCREEN N/A

SKL5

TYPE SKYLIGHT WINDOW
FRAME HIDDEN FRAME
GLAZING DOUBLE GLAZE LOW-E
NOTES OPTION TO BE OPERABLE
REVEAL N/A
FLYSCREEN N/A

SKL6

TYPE SKYLIGHT WINDOW
FRAME HIDDEN FRAME
GLAZING DOUBLE GLAZE LOW-E
NOTES OPTION TO BE OPERABLE
REVEAL N/A
FLYSCREEN N/A

SKL7

TYPE SKYLIGHT WINDOW
FRAME HIDDEN FRAME
GLAZING DOUBLE GLAZE LOW-E
NOTES OPTION TO BE OPERABLE
REVEAL N/A
FLYSCREEN N/A

SKL8

TYPE SKYLIGHT WINDOW
FRAME HIDDEN FRAME
GLAZING DOUBLE GLAZE LOW-E
NOTES OPTION TO BE OPERABLE. INTERNAL RETRACTABLE BLIND.
REVEAL N/A
FLYSCREEN N/A

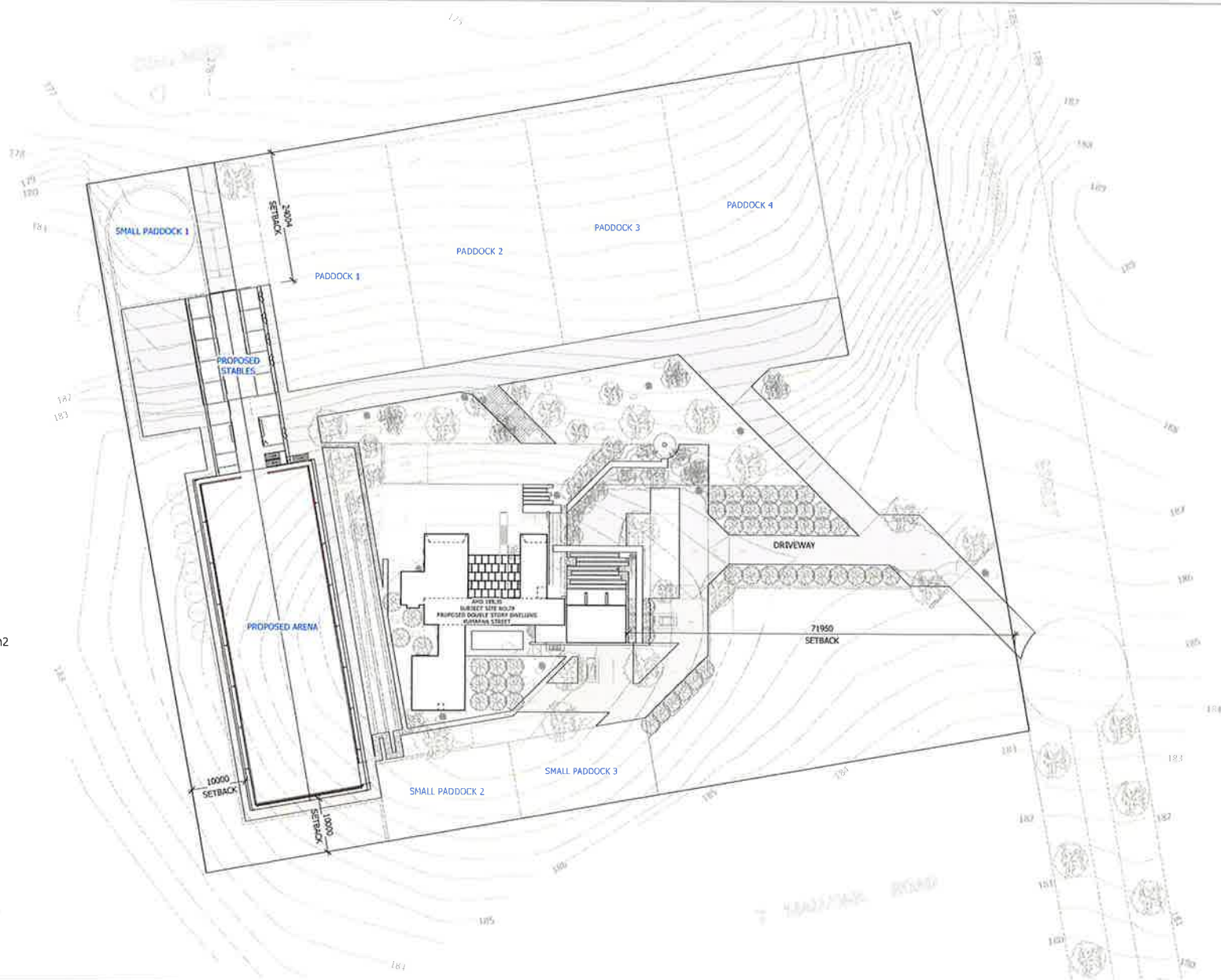
BUILDING
SETBACKS

SITE ANALYSIS

TOTAL SITE AREA - 20,165.2m² (2.02ha)
PROPOSED GROUND FLOOR AREA - 429.3m²
PROPOSED FIRST FLOOR AREA - 127.3m²
PROPOSED DECKING - 245.7m²
PROPOSED ENTRY PORCH - 10.2m²
PROPOSED GARAGE AREA - 90.8m²

SITE PLAN

Scale - 1 : 750



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Builder

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By	Date
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Drawn by:
EM
Drawing Title:
SITE PLAN

Scale: (A3)
As indicated

Drawing Number:
P01.01
Drawing Issue:

PLANNING

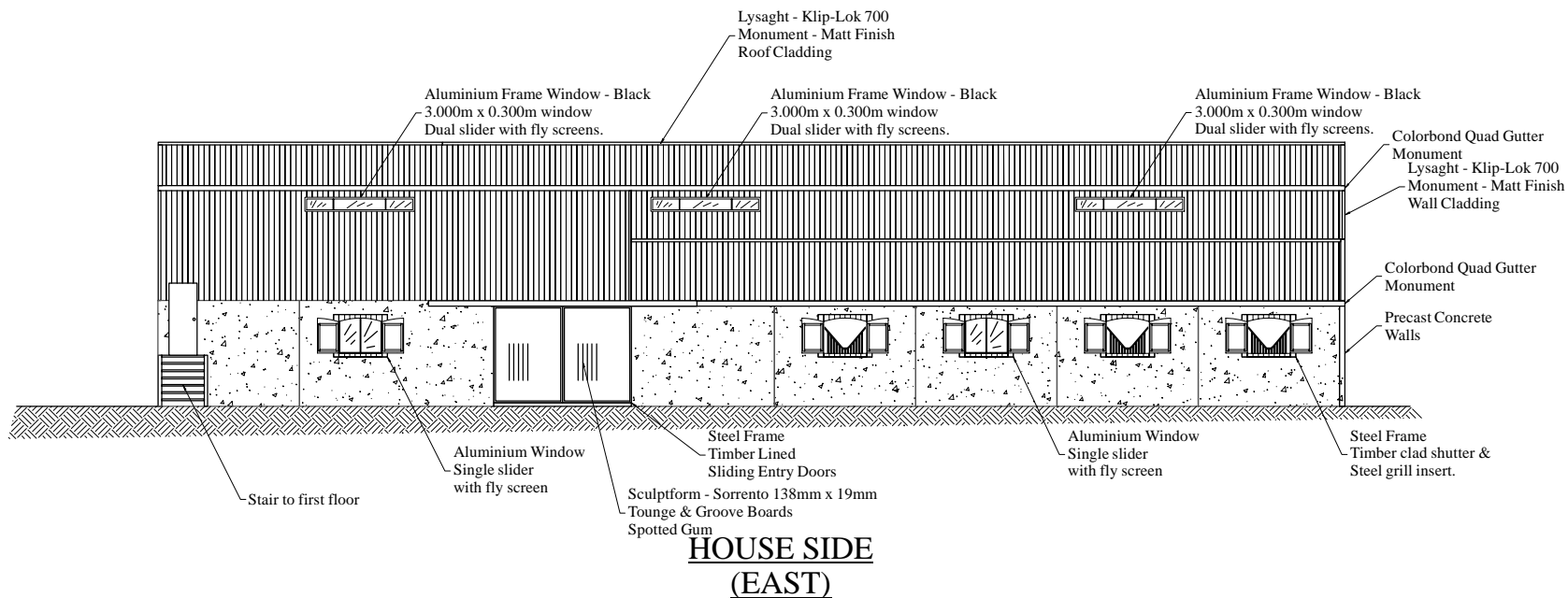
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35.00°

Rev:

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*Signature Stables
Australia*

Signature Stables Australia Pty Ltd
P O Box 562
Wallsend NSW 2287
Ph: 02 4951 3665 Fx: 02 4951 3665

DRAWING NUMBER:
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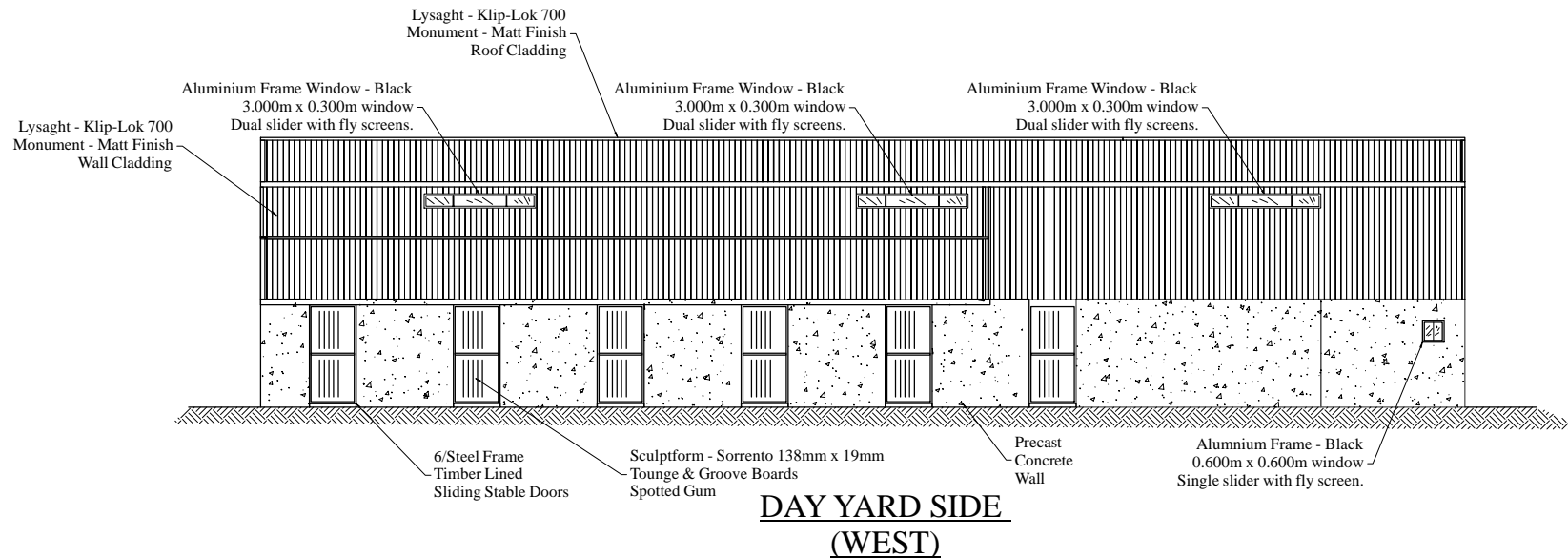
DETAILS:
ELEVATIONS



DRAWN: H.C
DATE: 22-07-19

A4 SCALE 1:200
A1 SCALE 1:56

REFERENCE NUMBER: SSAQ-052



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Australia*

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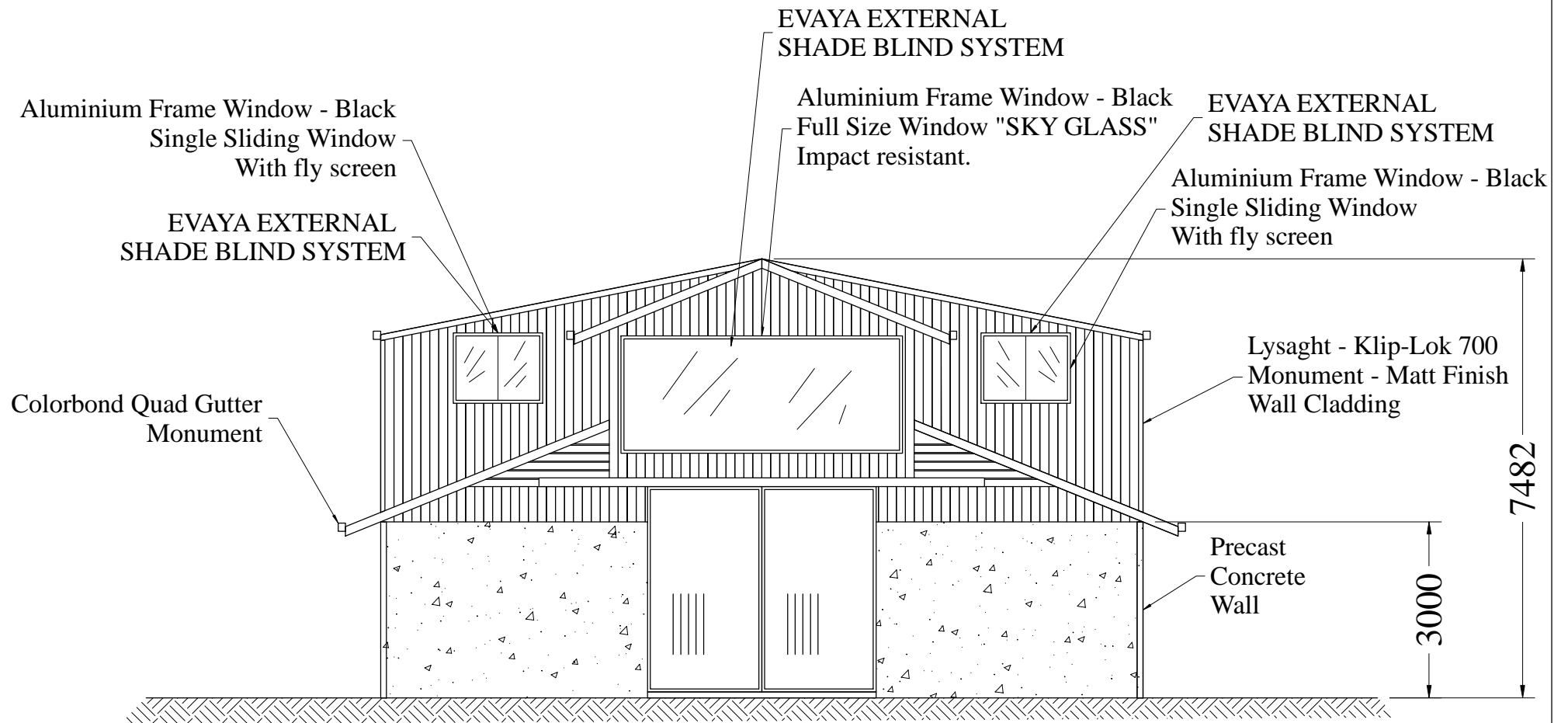
DETAILS:
ELEVATIONS



DRAWN: H.C
DATE: 22-07-19

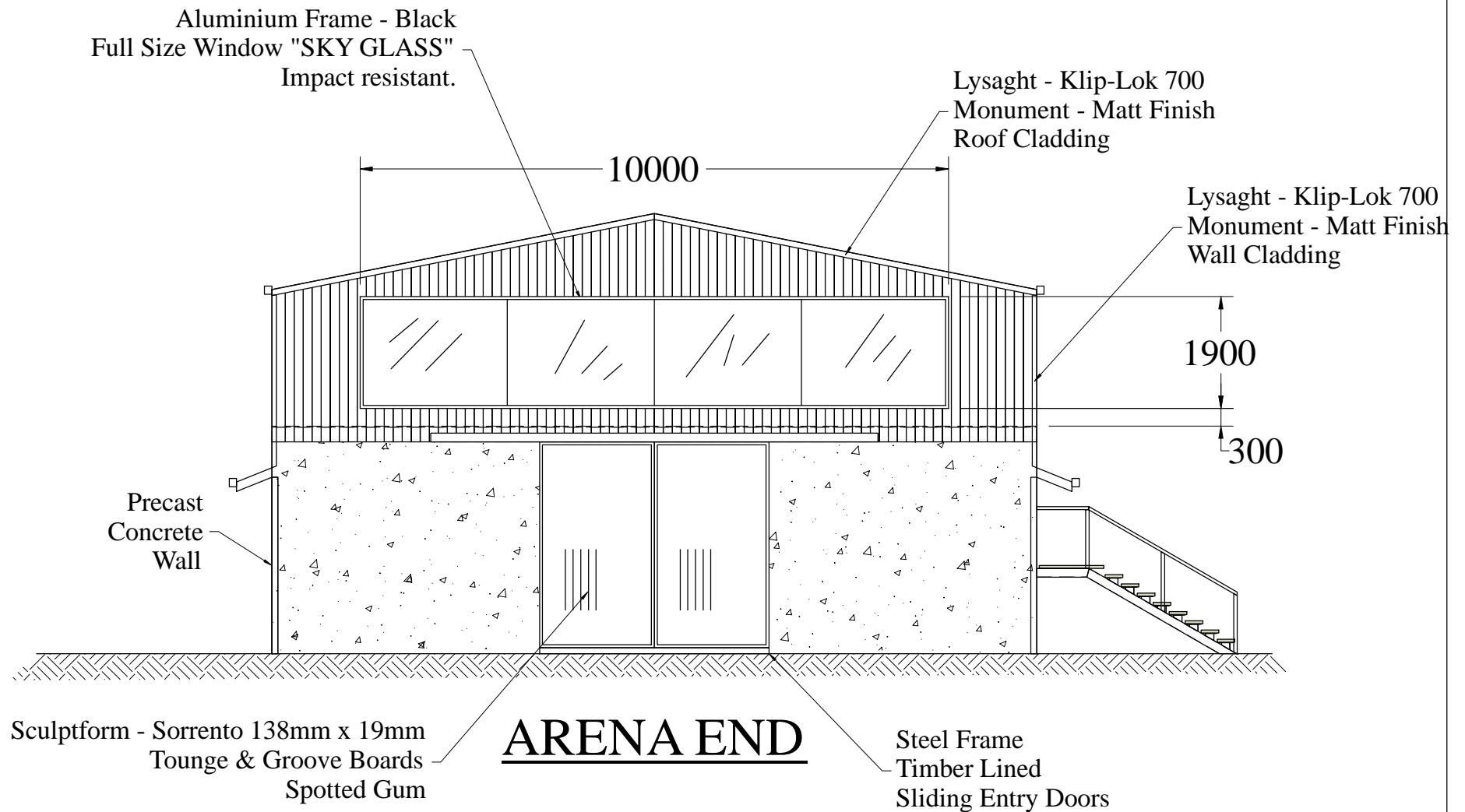
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A1 SCALE 1:56

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END VIEW (NORTH)

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	<div>Signature Stables Australia Pty Ltd P O Box 562 Wallsend NSW 2287 Ph: 02 4951 3665 Fx: 02 4951 3665</div>	REFERENCE NUMBER: SSAQ-052				



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PROJECT:
STABLE

LOCATION:
**79 KUMARNA STREET
DUFFYS FOREST NSW 2084**

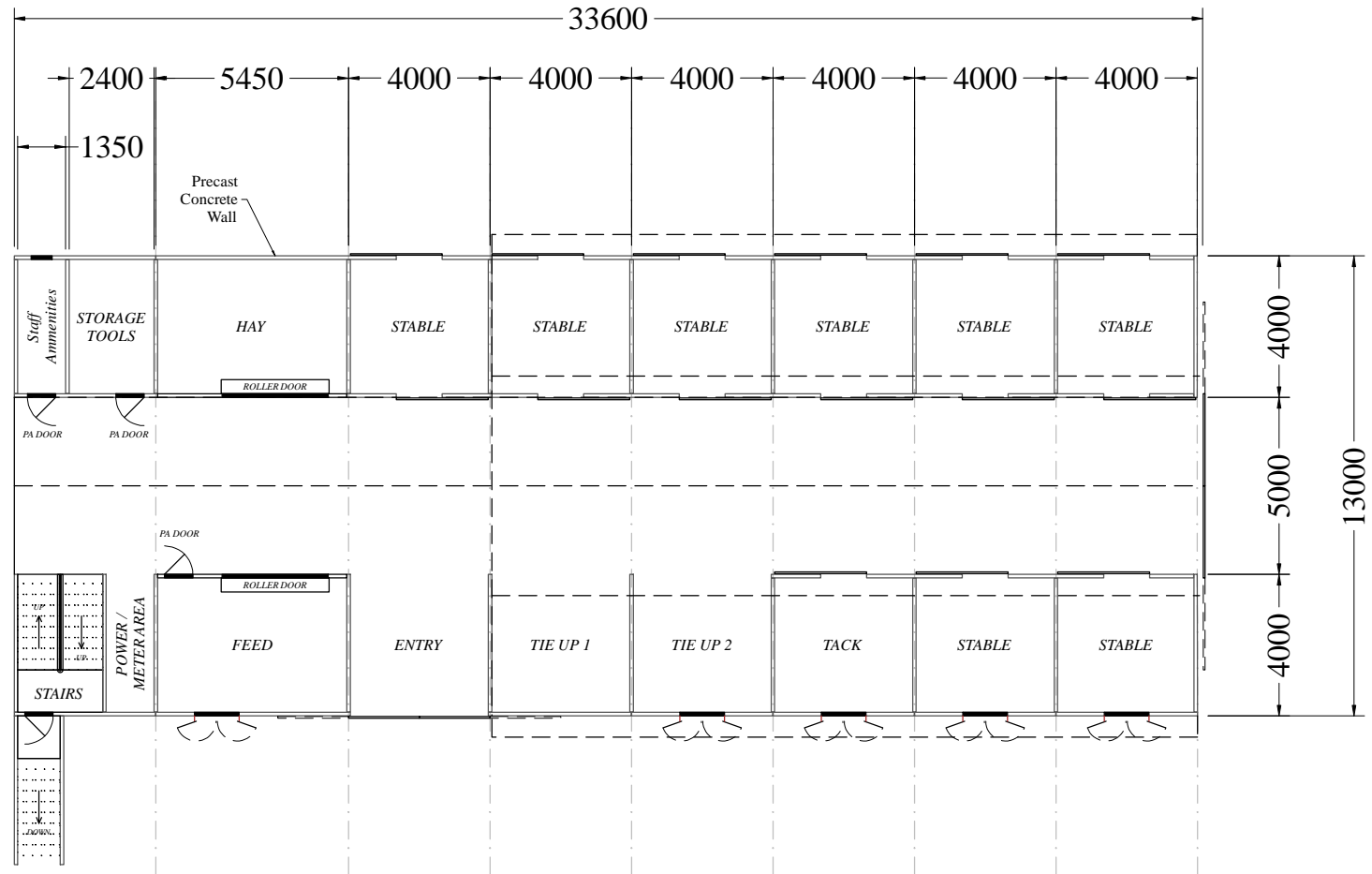
DETAILS:
ELEVATIONS



DRAWN: H.C
DATE: 22-07-19

A4 SCALE 1:100
A1 SCALE 1:28

REFERENCE NUMBER: SSAQ-052



PLAN VIEW

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PROJECT:
STABLE

LOCATION:
**79 KUMARNA STREET
DUFFYS FOREST NSW 2084**

DETAILS:
PLAN VIEW



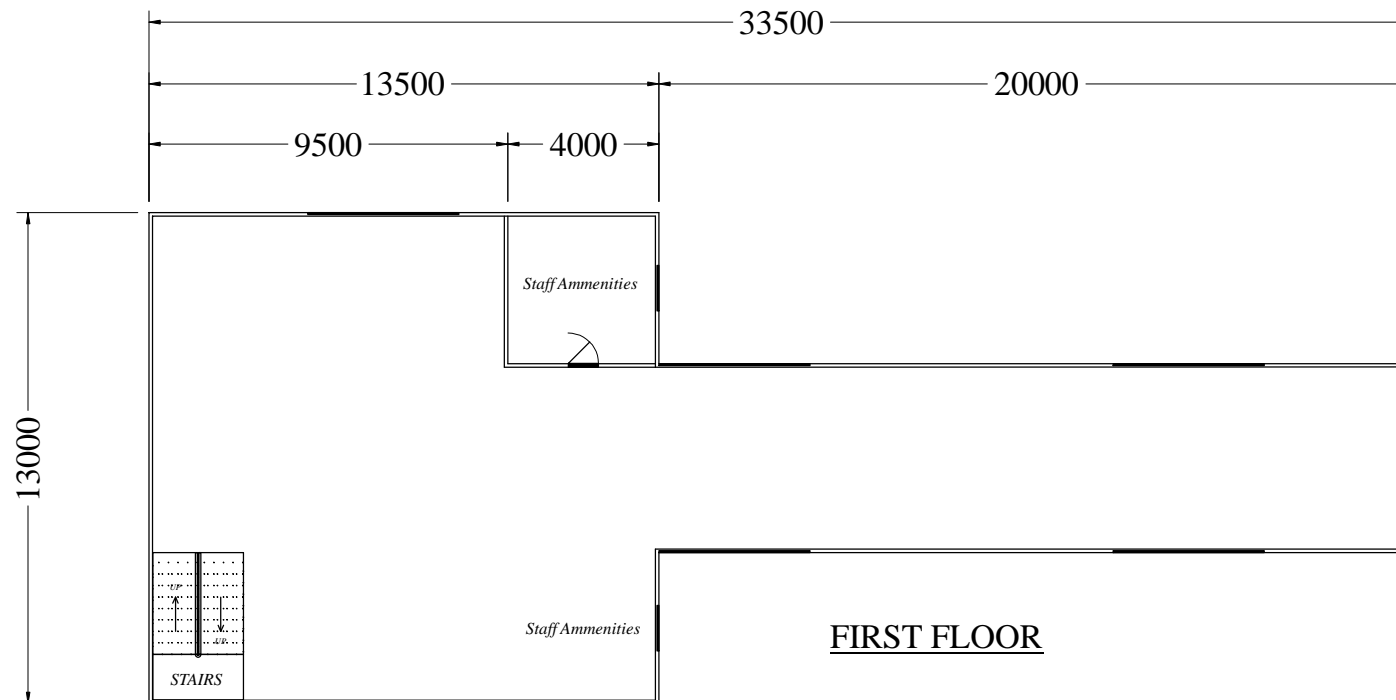
DRAWN: H.C

DATE: 22-07-19

A4 SCALE 1:200

A1 SCALE 1:56

REFERENCE NUMBER: SSAQ-052



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PROJECT:
STABLE

LOCATION:
**79 KUMARNA STREET
DUFFYS FOREST NSW 2084**

DETAILS:

PLAN VIEW



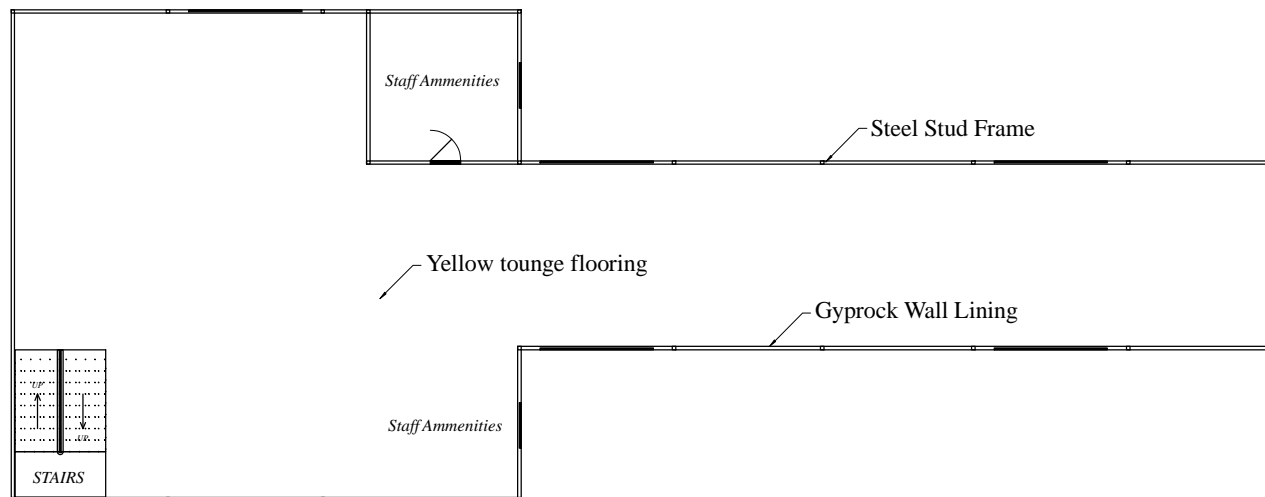
DRAWN: H.C

DATE: 22-07-19

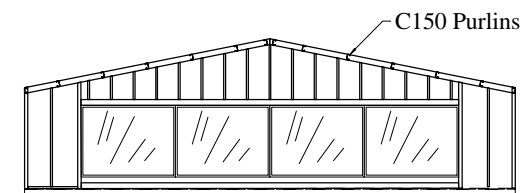
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A1 SCALE 1:56

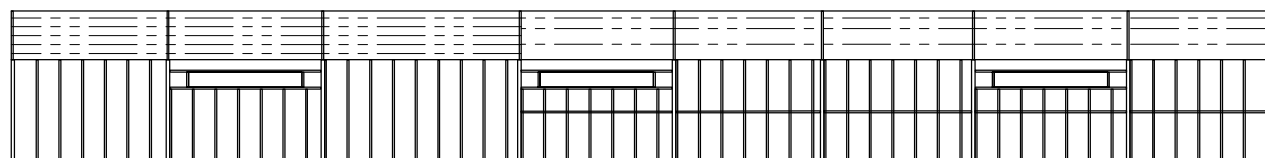
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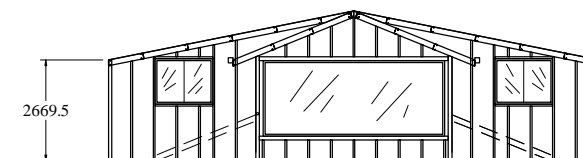
PLAN VIEW



VIEW FROM ARENA



EAST ELEVATION



NORTH ELEVATION

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PROJECT:
STABLE

LOCATION:
**79 KUMARNA STREET
DUFFYS FOREST NSW 2084**

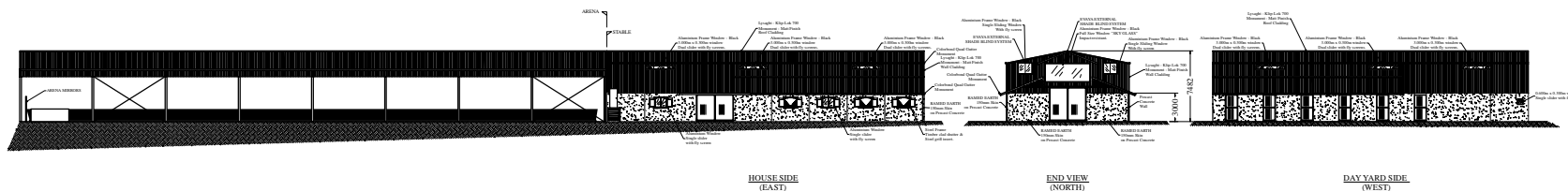
DETAILS:
**FIRST FLOOR
ELEVATION VIEW**



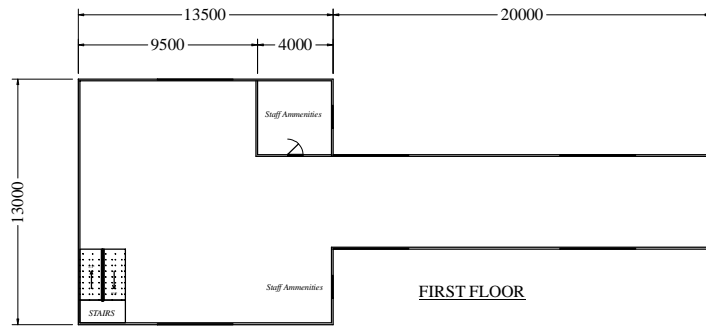
DRAWN: H.C
DATE: 22-07-19

A4 SCALE 1:200
A1 SCALE 1:56

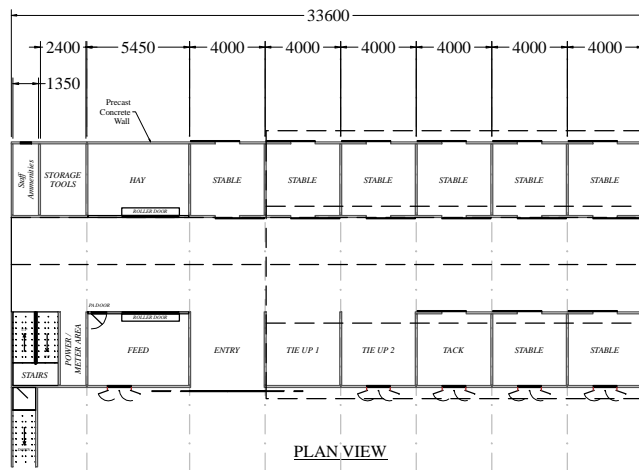
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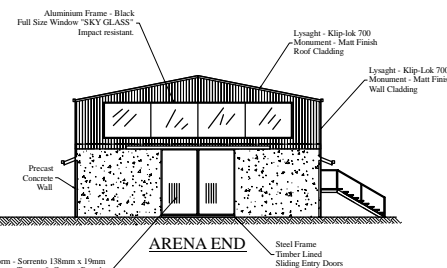
<div>Signature Stables</div> <div>Australia</div>		DRAWING NUMBER: SSAQ-052-004B	PROJECT: STABLE & ARENA	DETAILS: GENERAL ARRANGEMENT	
	<div>Signature Stables Australia Pty Ltd</div> <div>P O Box 562</div> <div>Wallsend NSW 2287</div> <div>Ph: 02 4951 3665 Fx: 02 4951 3665</div>	<div>COPYRIGHT</div> <div>THIS DOCUMENT IS COPYRIGHTED AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF SIGNATURE STABLES AUSTRALIA PTY LTD. UNAUTHORISED USE OR REPRODUCTION OF THIS DOCUMENT OR THE INFORMATION HEREIN IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION IS A BREACH OF COPYRIGHT.</div>	<div>LOCATION:</div> <div>79 KUMARNA STREET</div> <div>DUFFYS FOREST NSW 2084</div>	<div><div><div>C</div><div>D</div><div>A</div><div>B</div></div></div> <div>DRAWN: H.C</div> <div>DATE: 22-07-19</div>	<div>A4 SCALE 1:750</div> <div>A1 SCALE 1:212</div>
		REFERENCE NUMBER: SSAQ-052			



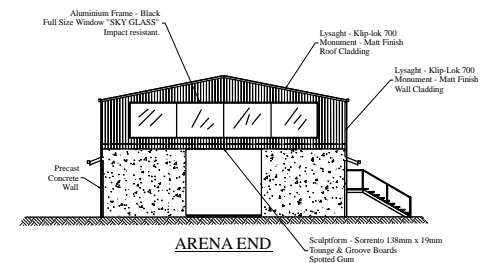
FIRST FLOOR



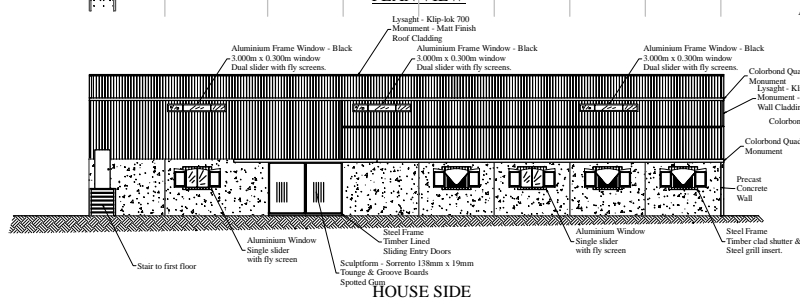
PLAN VIEW



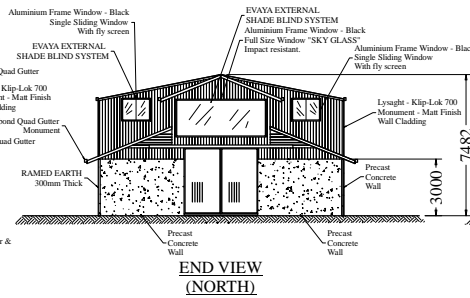
ARENA END



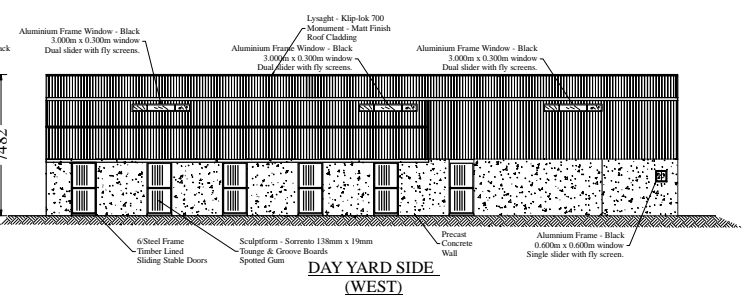
ARENA END



HOUSE SIDE
(EAST)



END VIEW
(NORTH)



DAY YARD SIDE
(WEST)

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PROJECT:
STABLE

LOCATION:
79 KUMARNA STREET
DUFFYS FOREST NSW 2084

DETAILS:
PLAN & ELEVATIONS



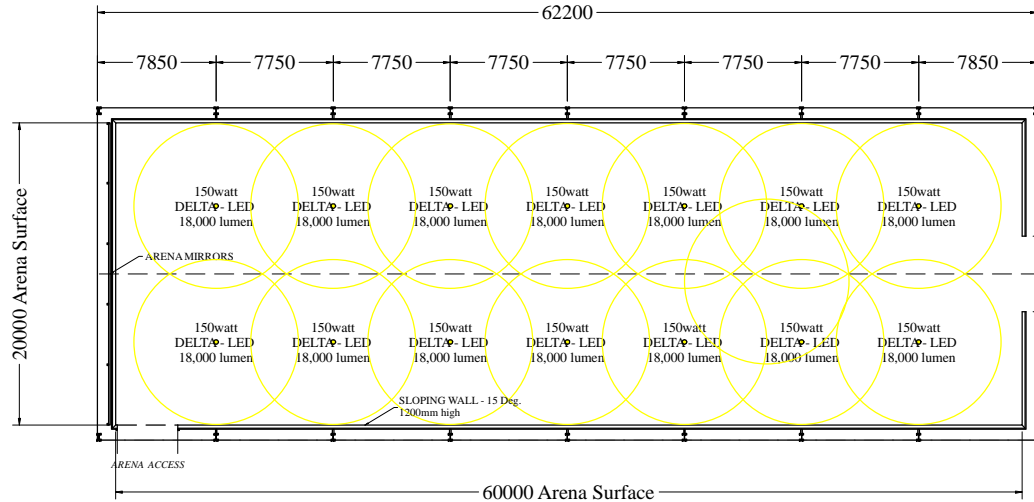
DRAWN: H.C
DATE: 22-07-19

A4 SCALE 1:400
A1 SCALE 1:113

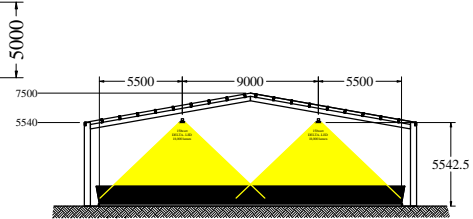
REFERENCE NUMBER: SSAQ-052

ARENA LIGHTING

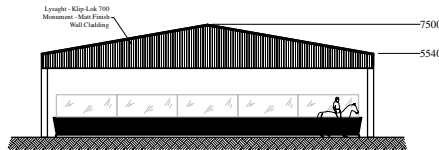
LIGHT SPECIFICATIONS
BRAND: SONARAY
MODEL: HB-3150A Delta Range
WATT: 150
BEAM ANGLE: 120 deg.
LUX/ LUMINOUS FLUX: 18,409
QUANTITY: 14 off
TOTAL LUMENS: 257,726



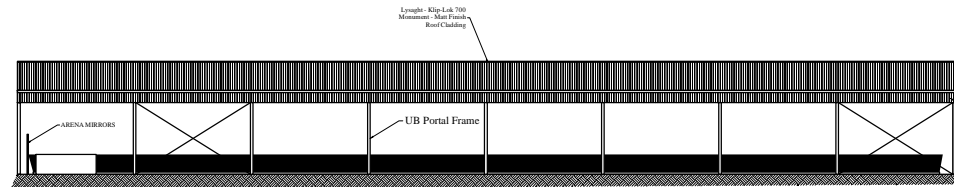
PLAN VIEW



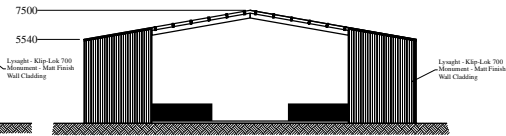
CROSS SECTION



END VIEW
(SOUTH)



HOUSE SIDE
(EAST)



END VIEW
(STABLE)

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PROJECT:
ARENA ROOF

LOCATION:
79 KUMARNA STREET
DUFFYS FOREST NSW 2084

DETAILS:
PLAN & ELEVATIONS

DRAWN: H.C
DATE: 22-07-19
A4 SCALE 1:500
A1 SCALE 1:141

REFERENCE NUMBER: SSAQ-052



Deco Granite Driveway



Finished Concrete



Reflection Pond



Rammed Earth Walls



Filetti Natural Stone



Weathered Timber



Deco Granite Pathways



Steel Edging & Finished Concrete



Steel Retaining Walls



Acmena smithii



Westringia fruticosa 'Grey Box'



Zoysia tenuifolia



Correa alba



Acacia howittii 'Green Wave'



Banksia ericifolia 'Coastal Cushion'



Blechnum 'Silver Lady'



Adenanthos 'Silver Lining'



Poa labillardieri 'Eskdale'



Westringia fruticosa 'Low Horizon'



Aloe 'Southern Cross'



Adenanthos sericeus



Russelia equisetiformis



Scleranthus biflorus



Senecio talinoides 'Icesticks'



Lomandra longifolia 'Tanika'



Cupaniopsis anacardioides



Banksia integrifolia



Xanthorrhoea (transplanted)



Aloe barberae



Acacia baileyana



Corymbia ficifolia 'Baby Orange'



Miscanthus sinensis 'Sarabande'



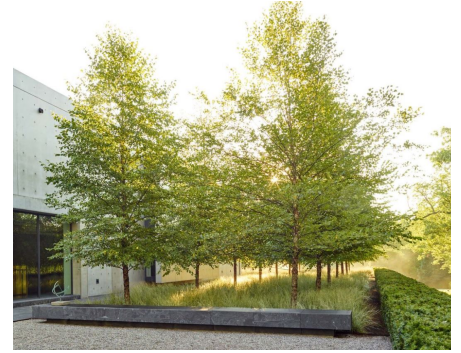
Doryanthes excelsa



Poa labillardieri 'Eskdale'



Nolina nelsonii



Betula nigra 'Dura Heat'



Eucalyptus haemastoma



Acacia pendula



Dracaena draco



Tristaniopsis laurina 'Luscious'



Olea europaea

