

DEVELOPMENT PROPOSAL

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: XXXMSQ.
PROPOSED GFA: XXXMSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
NEW POOL
NEW REAR EXTENSION TO CONNECT REAR OF PROPERTY TO STUDIO
NEW DECK AND NEW WIDENED DRIVEWAY
NEW CARPORT
CHANGES TO INTERNAL FLOORPLAN
NEW WINDOWS AND DOORS

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS, COUNCIL REQUIREMENTS & OTHER CODES:
ALL BUILDING WORK TO BE IN ACCORDANCE WITH NCC, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS INCLUDING, BUT NOT LIMITED TO :
- AS 1684 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION
- AS 2047:2014 - WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS
- AS 2870:2011 - RESIDENTIAL SLABS AND FOOTINGS
- AS/NZS 3000:2007 - WIRING RULES
- AS/NZS 3500.5:2000 - NATIONAL PLUMBING AND DRAINAGE
- AS 3660.1:2014 - TERMITE MANAGEMENT
- AS 3700:2011 - MASONRY STRUCTURES
- AS 3740:2010 - WATERPROOFING OF DOMESTIC WET AREAS
- AS/NZS 2918:2018 DOMESTIC SOLID FUEL BURNING APPLIANCES
- AS 4100:1998 - STEEL STRUCTURES
- NORTHERN BEACHES COUNCIL DRIVEWAY SPECIFICATIONS
- SYDNEY WATER TECHNICAL GUIDELINES: BUILDING OVER AND ADJACENT TO PIPE ASSETS

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: AS07985

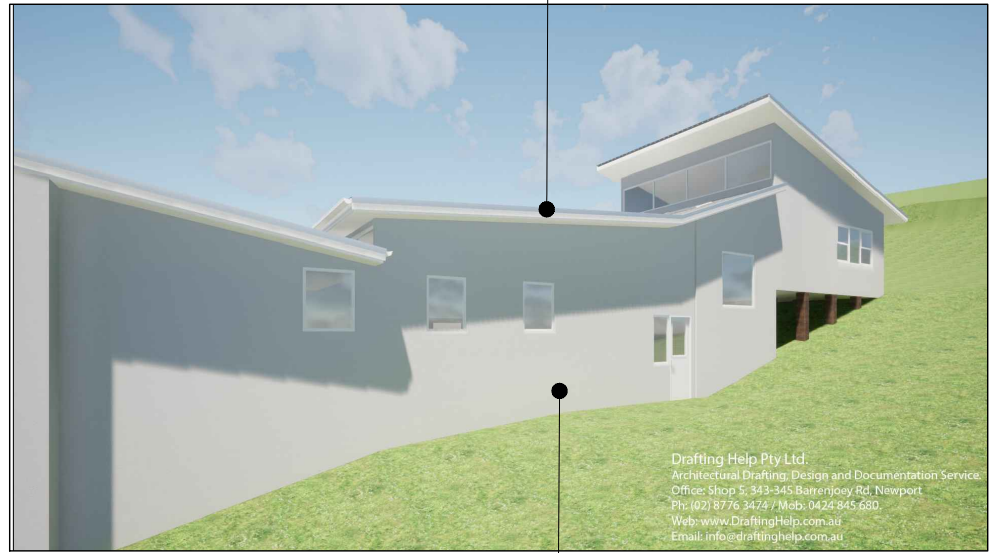
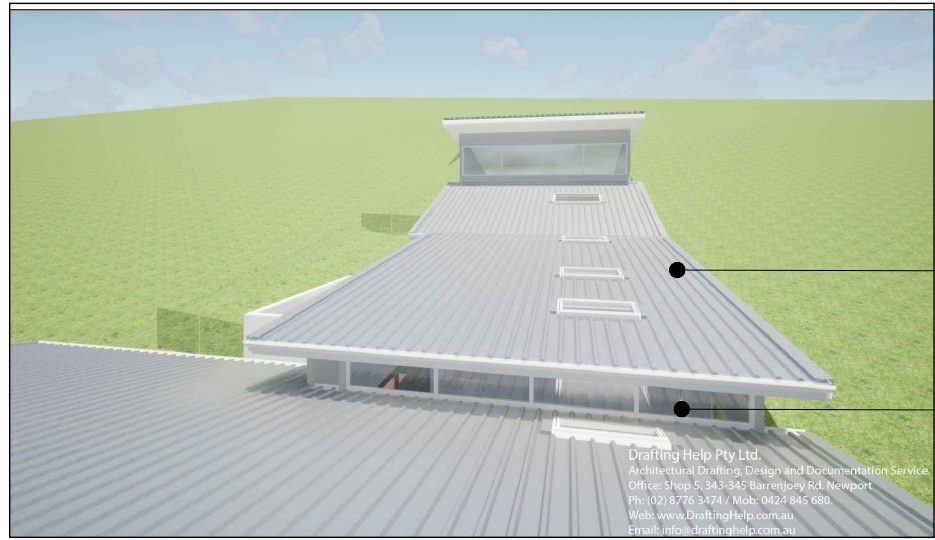
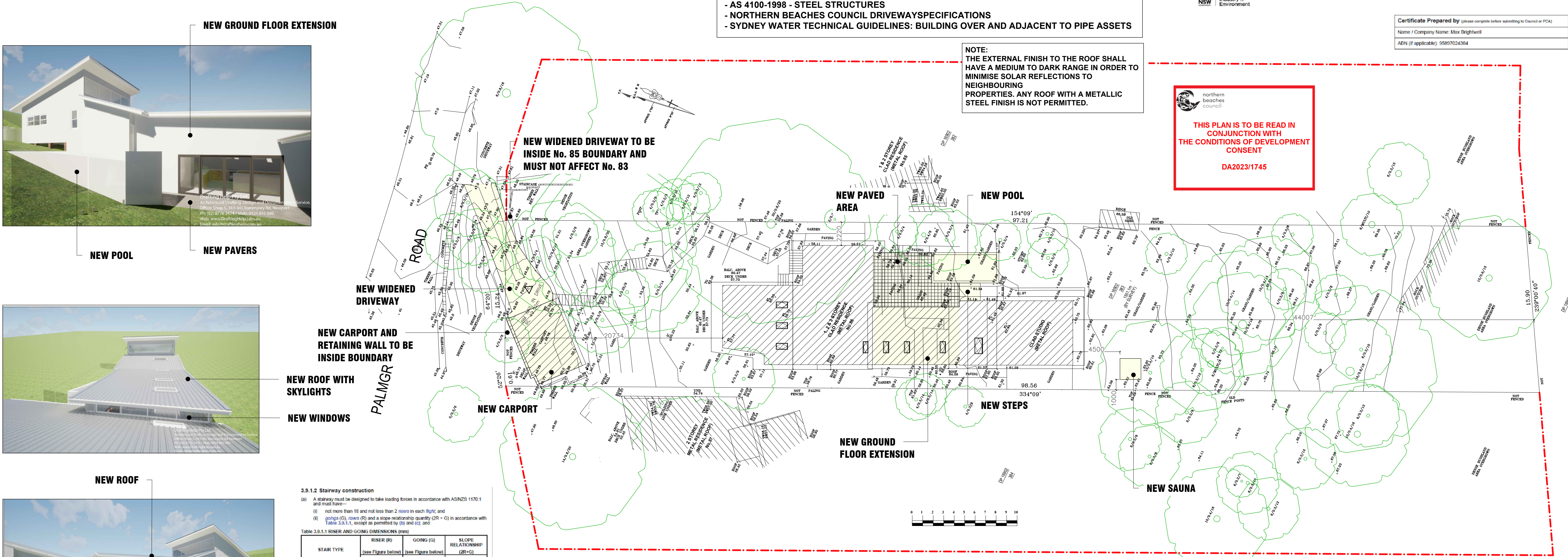
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 05/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 13, September 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.

Description of project

Project address	3823, 37 Willow Tree Cres
Project name	37 Willow Tree Crescent Breeze 2005
Street address	37 Willow Tree Crescent Breeze 2005
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 265953
Lot number	2
Section number	2
Project type	Separate dwelling house
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Max Brightwell
AEN (if applicable): 55957024384



GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
- CONNECT OPS TO EXISTING STORMWATER SYSTEM.
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

NOTE: THE EXTERNAL FINISH TO THE ROOF SHALL HAVE A MEDIUM TO DARK RANGE IN ORDER TO MINIMISE SOLAR REFLECTIONS TO NEIGHBOURING PROPERTIES. ANY ROOF WITH A METALLIC STEEL FINISH IS NOT PERMITTED.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2023/1745

SITE PLAN
SCALE 1:200

THIS DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL AUSTRALIAN STANDARDS

ALL WORKS TO SWIMMING POOL BARRIER ARE TO COMPLY WITH NSW SWIMMING POOLS ACT, REGULATIONS, (NCC) BCA AND AUSTRALIAN STANDARDS AS-1926.1 - 2012, AS-1926.2 2007 & AS - 1288-2006, ELECTRICAL AS - 3000-2018. BUILDER AND INSTALLERS TO CONFIRM ALL MEASUREMENTS AND LOCATIONS AT TIMES OF FINAL SITE MEASURE, AND THEY ARE FULLY RESPONSIBLE FOR INSTALLING A COMPLIANT SWIMMING POOL BARRIER.

AUSTRALIAN STANDARDS (INCLUDING BUT NOT LIMITED TO):
SWIMMING POOLS ACT 1992;
DA2021/0959 PAGE 12 OF 35
SWIMMING POOLS AMENDMENT ACT 2009;
SWIMMING POOLS REGULATION 2018
AUSTRALIAN STANDARD AS1926 SWIMMING POOL SAFETY
AUSTRALIAN STANDARD AS1926.1 PART 1: SAFETY BARRIERS FOR SWIMMING POOLS
(V1) AUSTRALIAN STANDARD AS1926.2 PART 2: LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS

SWIMMING POOL FENCING AND WARNING NOTICES (RESUSCITATION CHART) SHALL BE MANUFACTURED, DESIGNED, CONSTRUCTED, LOCATED AND MAINTAINED IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992 AND REGULATIONS, THE FENCING AND WARNING NOTICES (RESUSCITATION CHART) SHALL BE PERMANENT STRUCTURES.

NOTE: POOL GATES ARE TO OPEN AWAY FROM THE POOL AREA IN ACCORDANCE WITH AS1926.1-2012 AND SWIMMING POOL REGS 2018

B.05 BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT.

To clarify the findings below, Forest vegetation is located to the south east of the proposed works. The immediate adjoining allotments to the east and west are managed residential blocks. Forest is also located to west, beyond the managed residential land.

Based on the parameters identified in Table 1 below, the proposed dwelling alterations and pool are assessed as BAL-29. The proposed carport is assessed as BAL-19.

TABLE 1 (Dwelling Alterations and Pool)					
LGA – Northern Beaches Council			Forest Fire Danger Index = FDI 100		
ASPECT ¹	Vegetation Class ²	Max Effective Slope ³	Site slope ⁴	Required APZ ⁴	Proposed APZ / EML ⁵
SE	Forest	U-S	N/A	24-33m	24m
W	Forest	0-5° D-S	N/A	29-40m	33m
BAL Rating					
BAL-29					
BAL-29					

Abbreviations		
AOD All other directions	EML Extent of managed land	NVC Narrow vegetation corridor

- Cardinal direction from each proposed building facade based on grid north.
- Vegetation Classifications are as described in PBP (2019) A1.2.
- Site slope is calculated from 1m UDA contours.
- Minimum APZ required stated as Acceptable Solutions within Table 1.12.2 and A1.12.5, PBP (2019).
- Actual dimensional setback from the face of the building to the assessed vegetation. Achieved Asset Protection Zone (APZ) or extent of managed land (EML).
- Where the direct line of sight between the proposed building and assessed vegetation is obstructed (by a wall or building) the assessed rating can be lowered by one BAL-rating (PBP 2019, s. A1.8).
- Remnant bushland and narrow vegetation corridors (NVC) as stated in PBP (2019) s.A1.11 can be assessed as rainforest as a simplified approach or be assessed as Short Fire Run using method 2 (AS3959).
- Deeming provisions for grassland s.7.9 PBP (2019).

	BAL – FZ no shielding whole property is Flame Zone
Subfloor Supports	If enclosed by external walls refer below to 'External Walls' section in this table Unenclosed subfloor supports be non-combustible with an FRL of 30/-/- OR a system conforming with AS 1530.8.2
Floors	Concrete slab on ground OR enclosure by external wall. Unenclosed subfloor space must have a Floor System that has an FRL of 30/30/30 OR protection of underside protected with 30-minute incipient spread of fire system OR a system conforming with bushfire resistance to AS 1530.8.2 when tested from underside
External Walls	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) with minimum thickness of 90mm OR a system conforming with AS 1530.8.2 when tested from outside OR a system with an FRL of 30/30/30 or -/30/30 when tested from outside
External Windows	Protected by a Bushfire Shutter OR an FRL of -/30/- and operable portion screened with steel or bronze mesh OR be tested for bushfire-resistance to AS 1530.8.2
External Doors (hinged or sliders)	Protected by a Bushfire Shutter OR tight-fitting with weather strips at base and an FRL of -/30/- OR conforming with AS 1530.8.2 when tested from outside
Roofs	Full Ply and or tyrocock Sheeting prior to roof battens Roof with FRL of 30/30/30 OR be tested for bushfire-resistance to AS 1530.8.2 Roof/wall junction sealed, eaves linings, fascia and gables system same as roof Openings fitted with non-combustible ember guards. No roof mounted evaporative coolers Sub-floor space to be enclosed OR non-combustible supports (not timber). Can be Unenclosed also subject to the above requirements
Verandas, Decks Etc.	Decking to be non-combustible and shall not be spaced unless a system conforming with AS 1530.8.2 Handrails, Balustrades or other barriers that are 125mm or more from the building have no requirements. Boundary fence to be Non-Combustible (not timber)

- Brickwork shall comply with AS 3700.
All brickwork shall be solidly bonded and laid on a full bed of 10mm mortar with all joints filled. Wall ties spaced at 460mm cts horizontally and 610mm cts vertically or vice-versa and within 300mm of articulation joints, to comply with AS 2699.
- Subfloor ventilation:
- 150mm, min. baffle to ground clearance for strip flooring.
- 200mm, min. baffle to ground clearance for sheet flooring.
- Minimum 7500mm²/Metre of external masonry veneer wall.
- Minimum 22000mm²/Metre of internal dwarf walls.
- Weep holes at max. 1200mm, centres to comply with AS 3700.
- Damp-proof courses to be an approved waterproof cement mortar or bituminous paper placed 75mm, below floor level.
A second course to be laid 1 or 2 brick courses higher.
- Firebox inserts shall be installed in accordance with manufacturers specifications and in accordance with AS 2918.
- Top soil and all organic matter to be removed from under where a concrete slab-on-ground is to be poured.
- Structural steel and concrete to comply with the Structural Engineer's design and computations and shall take precedence over instructions on this plan.
- Reinforced concrete to be min. 25MPa, complying with AS 2870 - 1996, (unless directed otherwise by Structural Engineer) and
- Trench mesh for concrete footings to be lapped a min. 500mm, and have a top and/or bottom cover of min. 50mm, unless directed otherwise by Engineer.
- Fabric mesh to be lapped a minimum of 225mm, and have a minimum top and/or bottom cover of 25mm, unless directed otherwise by Engineer.
- Excavation of trenches for footings, drainage, sewerage, etc., to be in accordance with the requirements of the local Controlling Authorities.
- Smoke detectors to comply with AS 3786 and must also comply with the BCA 3.7.2.
- Safety switches to be installed to the requirements of the local Controlling Authority.
- All glazing to comply with AS 1288-2006.
- From information provided, the design wind speed is N3 (41m/s).
- No part of any building to encroach Site or Title boundaries.
- Provide Bush fire preventative measures where required by local Council.
- Stair design:
- Risers 190mm, Maximum 115mm, Minimum 355mm, Maximum 240mm, Minimum 240mm.
- Ensure gap between treads does not exceed 125mm, or provide infills to block access if larger.
- Min. 2000mm, vertical head clearance when measured from the nosing of the tread.
- Stair to be min. 750mm, wide when measured clear of all obstructions.
- Handrail to be a constant minimum 865mm high above the nosing of treads and minimum 1000mm, high above all landings, balconies and the like that exceed 1000mm, above the finished adjacent ground or floor level.
- Balusters and rails, etc., to have max. spacing of 125mm.
- Wire balustrading to comply with Table 3.3.2.1 of the BCA.
- Figured dimensions shall always take precedence over scale.
- For buildings in close proximity to the sea, ensure that all steelwork, brick cavity ties, steel lintels, etc. that are embedded or fixed into masonry, be protected in accordance with AS 1650 or AS 3700-1988 Table 2.2, hot dipped galvanised iron, stainless steel or cadmium coated.
- The Builder to take all measures necessary to ensure the stability of new and/or existing structures during construction and generally ensure the water/tightness of all works during construction.
- These plans have been prepared for the exclusive use of the customer and only for the purpose expressly notified to the author. Any other person who uses or relies on these plans without the written consent of Avalon Granny Flats does so at their own risk and no responsibility is accepted by Avalon Granny Flats for such use and/or reliance.
- DO NOT SCALE OFF DRAWINGS.
This plan is the exclusive property of Avalon Granny Flats and must not be used, reproduced or copied, wholly or in part. Any infringement of the Copyright will result in legal action being taken against both the Owner and/or Builder.
- These notes are neither exhaustive nor a substitute for regulations, statutory requirements, building practice or contractual obligations and unless expressly stated otherwise, are provided only as a guide.
No responsibility is accepted for their use.

85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes



Project Address and Alterations	Sheet 1
Date 27-Sep-22	
Scale AS SHOWN	

DP No. 16902	
LOT No. 383	

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date


Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

DP: **16902**
 LOT No. **383**
 SITE AREA: **1551.10MSQ.**
 EXIST. GFA: **XXXMSQ.**
 PROPOSED GFA: **XXXMSQ**
 MAX. BUILDING HEIGHT: **8.5M**

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786





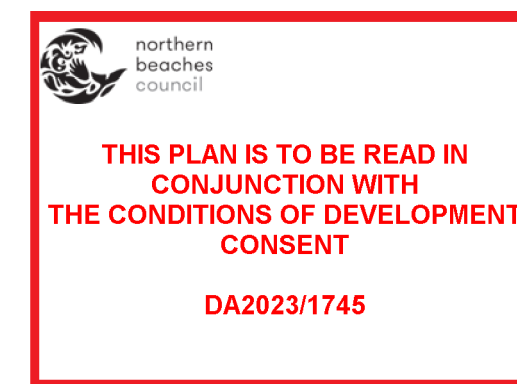
**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:

 EXISTING BUILDING OUTLINE

 PROPOSED WORK

General Notes



© 2000 Blackwell Science Ltd *Journal of Internal Medicine* 247: 399–406

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF [DRAFTING HELP]. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITONS AND ALTERATIONS	Sheet 2
Date 27-Sep-22	
Scale AS SHOWN	

DP No. 16902

LOT No. **383**

A	ISSUED FOR DA	Sep. 27, 2011
No.	Revision/Issue	Date

5470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

**MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107**

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT D/P'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

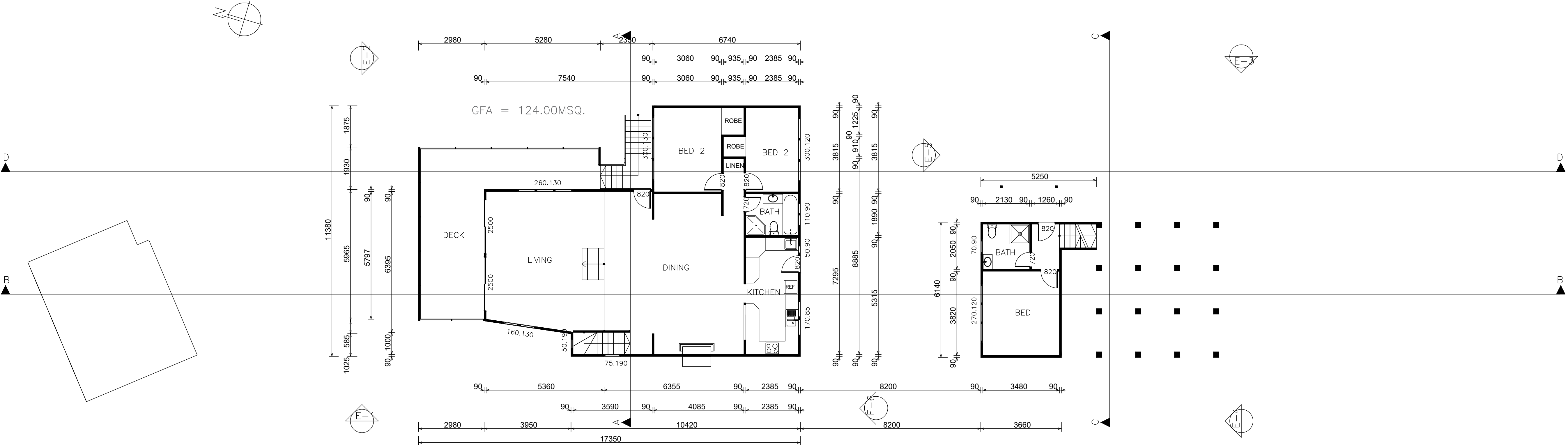
DEVELOPMENT PROPOSAL

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: XXXMSQ.
PROPOSED GFA: XXXMSQ
MAX. BUILDING HEIGHT: 8.5M

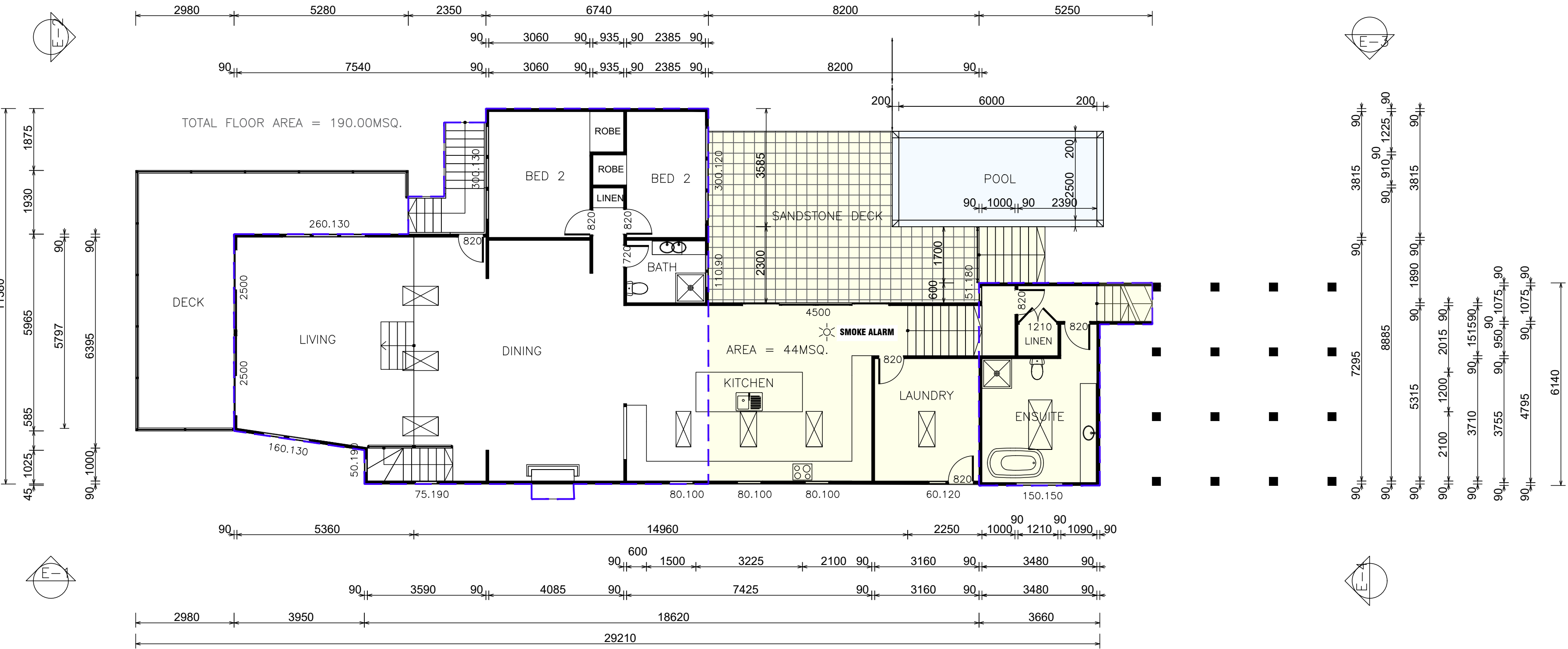
NEW WORKS:
NEW POOL
NEW REAR EXTENSION TO CONNECT REAR OF PROPERTY TO STUDIO
NEW DECK AND NEW WIDENED DRIVEWAY
NEW CARPORT
CHANGES TO INTERNAL FLOORPLAN
NEW WINDOWS AND DOORS

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⌘



GROUND FLOOR PLAN - EXISTING
SCALE 1:100



GROUND FLOOR PLAN - PROPOSED
SCALE 1:100

GENERAL NOTES
•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
•CONNECT DPS TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

These drawings are subject to copyright and may not be copied, used or reproduced in any form without the written permission of the copyright owner. All dimensions and areas are approximate and are not to be used for construction purposes.

Project Address and Alterations
Date 27-Sep-22
Scale AS SHOWN
Sheet 3

DP No. 16902
LOT No. 383

A ISSUED FOR DA Sep. 27, 22
No. Revision/Issue Date

5/470 Sydney Rd
Balgownie 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
DA2023/1745

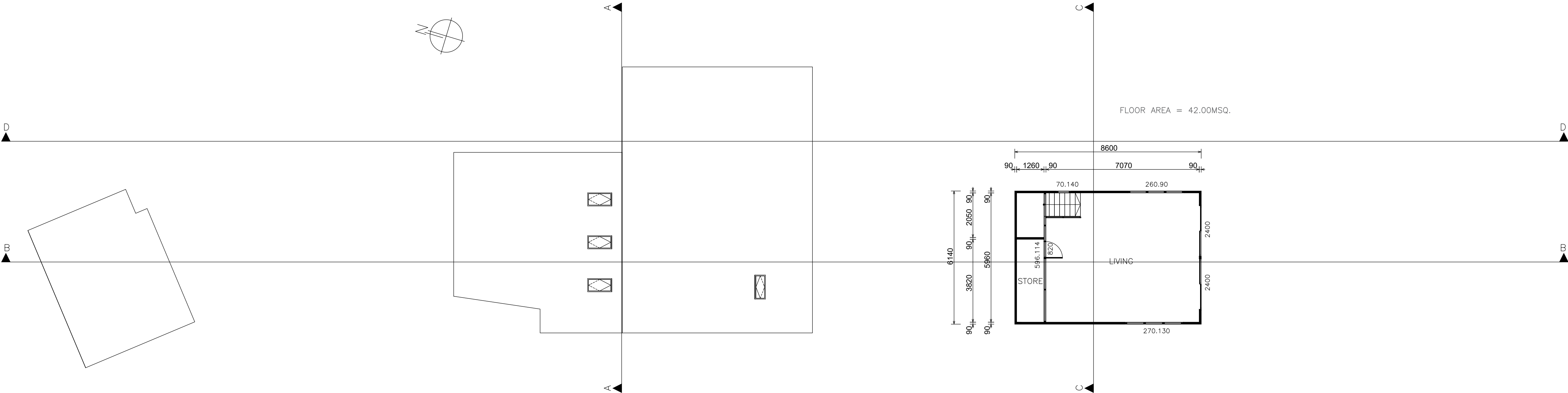
DEVELOPMENT PROPOSAL

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: XXXMSQ.
PROPOSED GFA: XXXMSQ
MAX. BUILDING HEIGHT: 8.5M

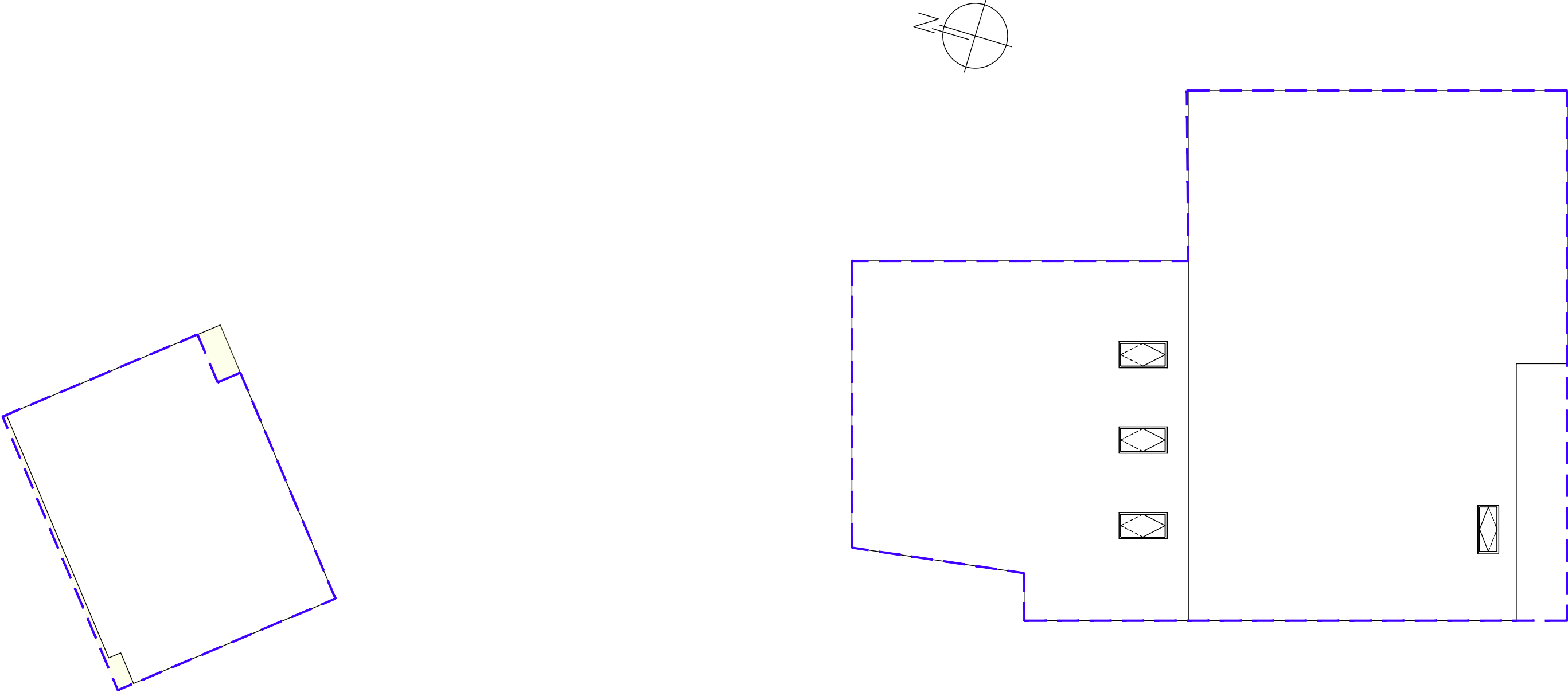
NEW WORKS:
NEW POOL
NEW REAR EXTENSION TO CONNECT REAR OF PROPERTY TO STUDIO
NEW DECK AND NEW WIDENED DRIVEWAY
NEW CARPORT
CHANGES TO INTERNAL FLOORPLAN
NEW WINDOWS AND DOORS

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⚡

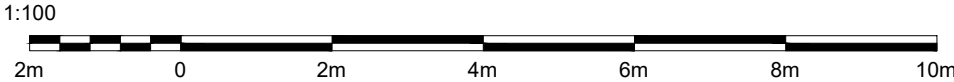


1ST FLOOR PLAN - EXISTING
SCALE 1:100



1ST FLOOR PLAN - PROPOSED
SCALE 1:100

GENERAL NOTES
•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
•CONNECT DPS TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

Project Address and Alterations
Date 27-Sep-22
Scale AS SHOWN
Sheet 4

DP No. 16902
LOT No. 383

A ISSUED FOR DA Sep. 27, 22
No. Revision/Issue Date

5/470 Sydney Rd
Balgownie 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

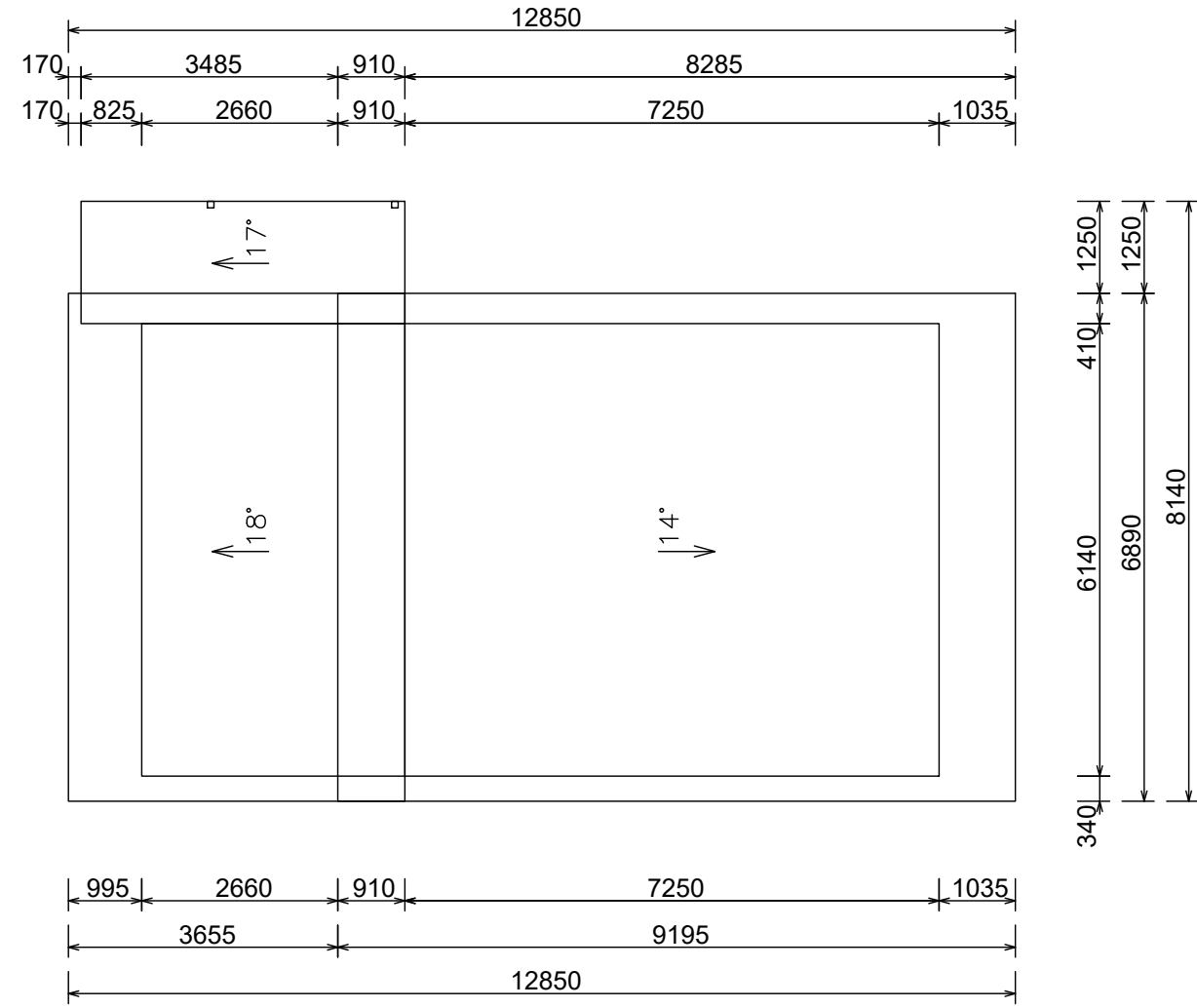
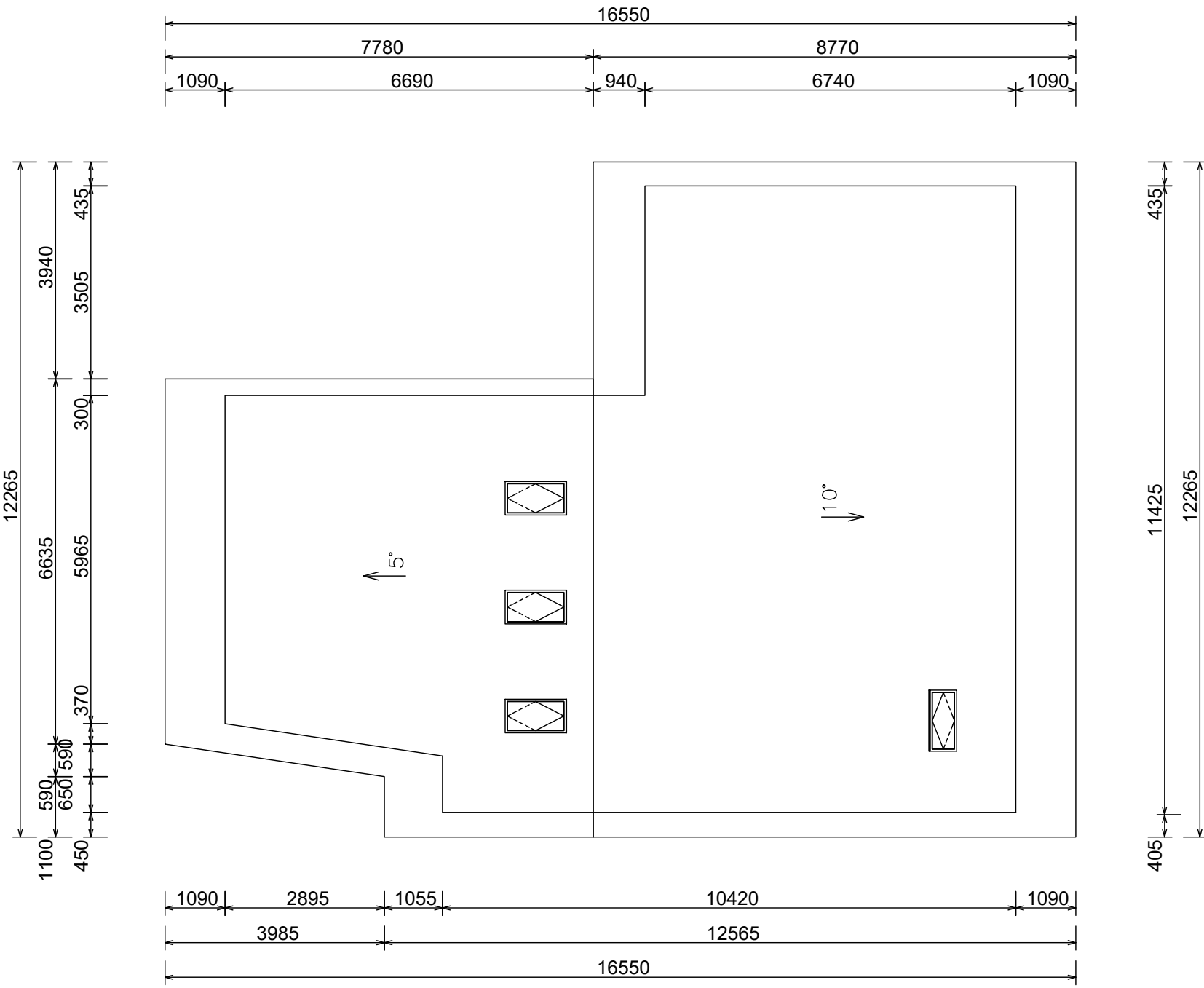
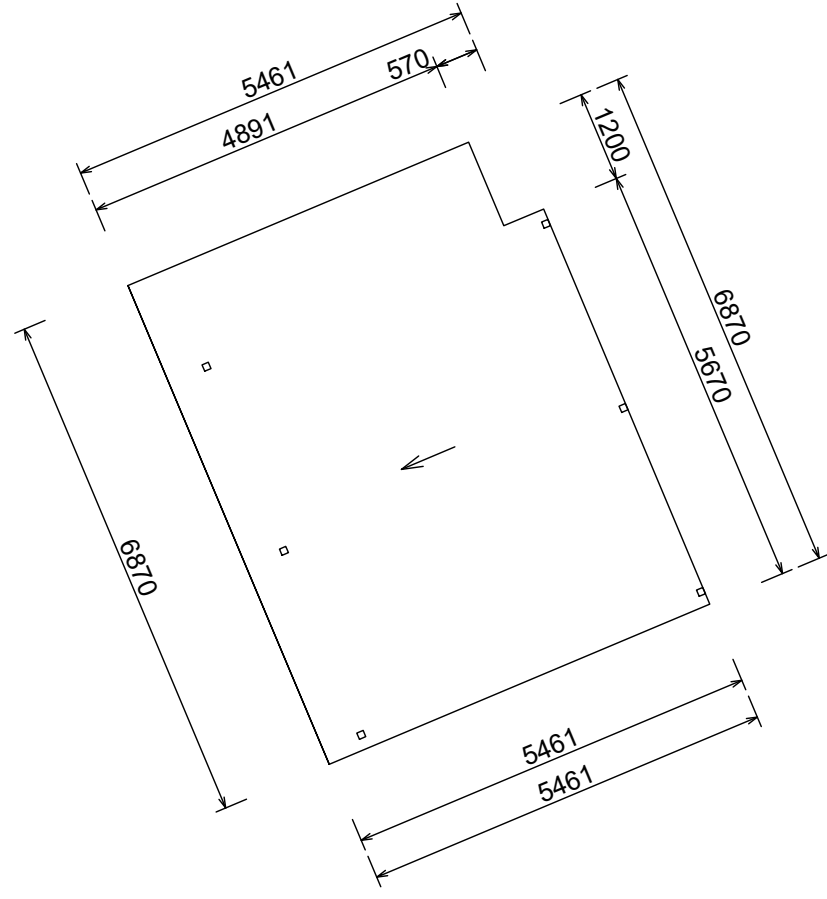
DEVELOPMENT PROPOSAL

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: XXXMSQ.
PROPOSED GFA: XXXMSQ
MAX. BUILDING HEIGHT: 8.5M

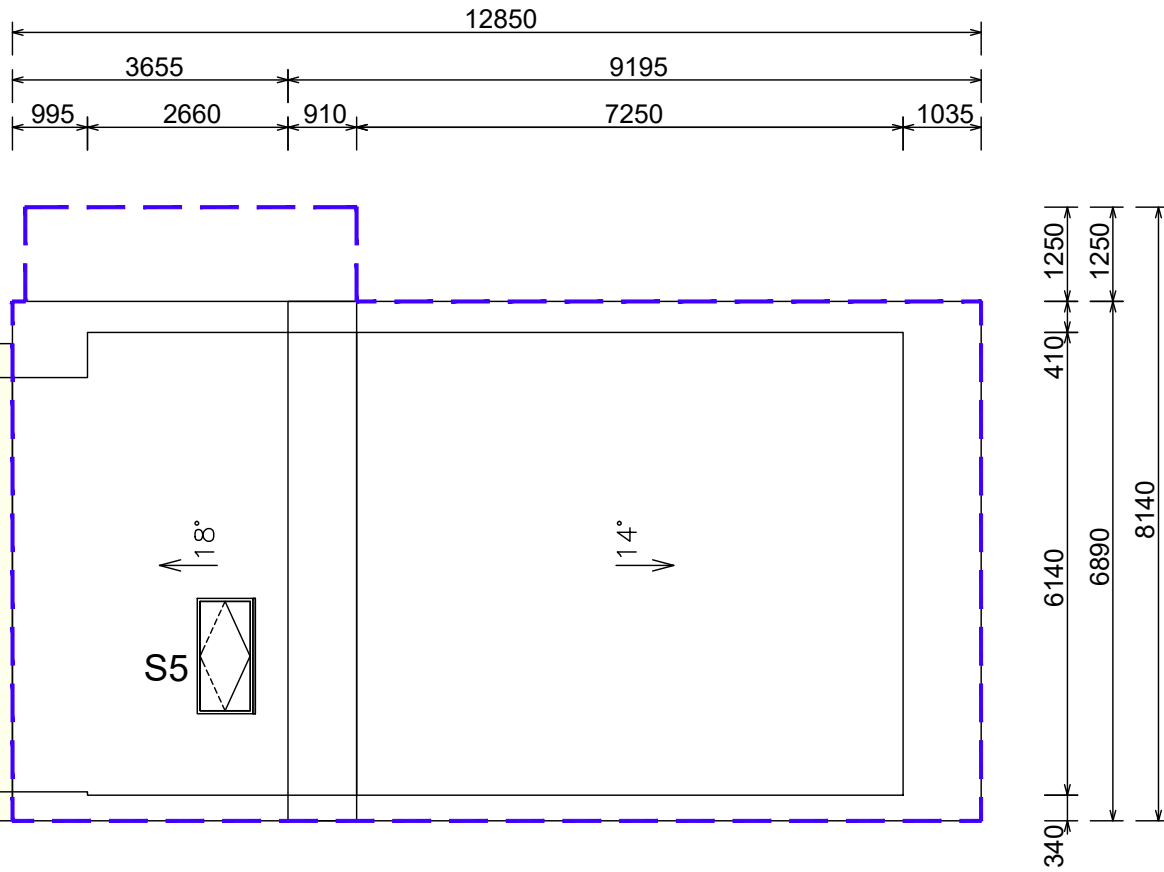
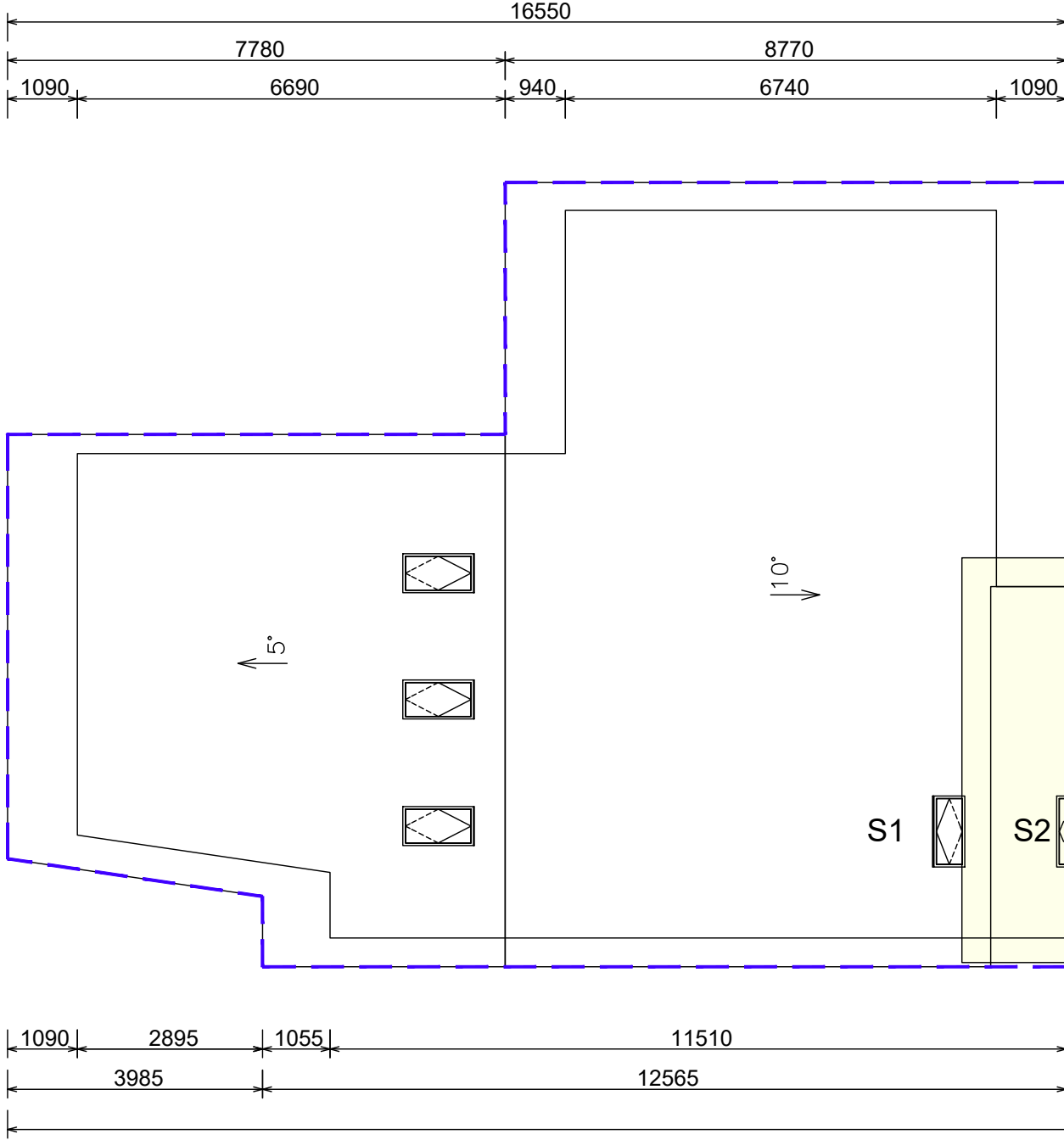
NEW WORKS:
NEW POOL
NEW REAR EXTENSION TO CONNECT REAR OF PROPERTY TO STUDIO
NEW DECK AND NEW WIDENED DRIVEWAY
NEW CARPORT
CHANGES TO INTERNAL FLOORPLAN
NEW WINDOWS AND DOORS

LEGEND:
EXISTING BUILDING OUTLINE

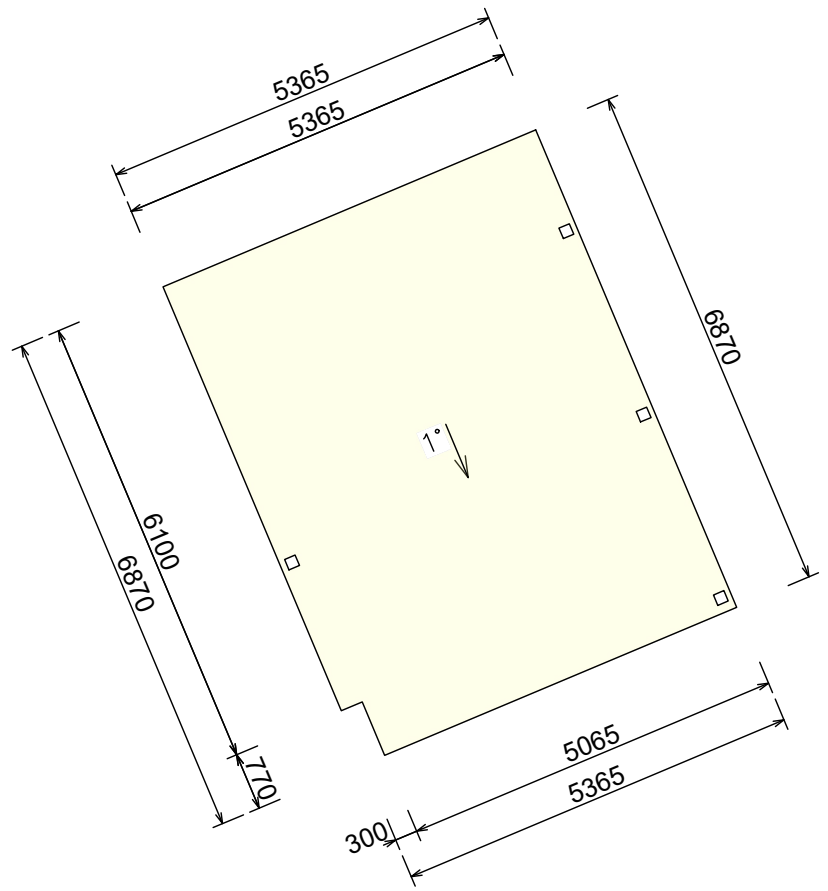
SMOKE ALARMS TO COMPLY WITH AS 3786
☆☆



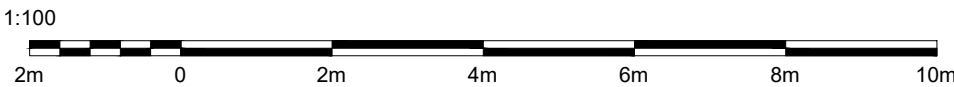
ROOF PLAN - EXISTING
SCALE 1:100



ROOF PLAN - PROPOSED
SCALE 1:100



GENERAL NOTES
•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
•CONNECT DPS TO EXISTING STORMWATER SYSTEM.
•ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1745

85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND ARE NOT BE COPIED, USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND ANGLES INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CORRECTION. THE DESIGN IS SUBJECT TO SURVEY APPROVAL AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project Address and Alterations
Date 27-Sep-22
Scale AS SHOWN

Sheet 5

DP No. 16902
LOT No. 383

Revision/Issue Date

5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107


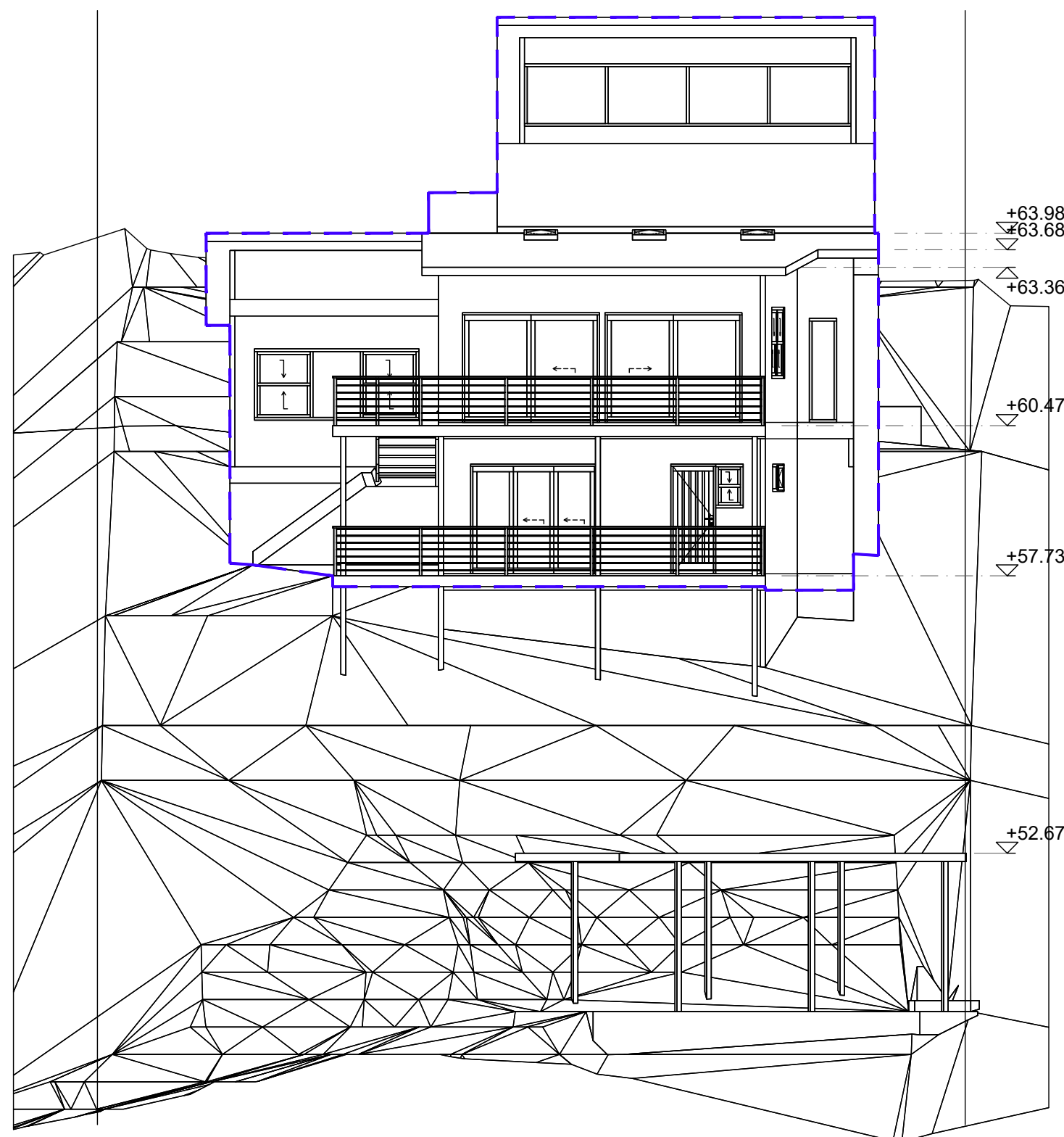
DP: **16902**
 LOT No. **383**
 SITE AREA: **1551.10MSQ.**
 EXIST. GFA: **XXXMSQ.**
 PROPOSED GFA: **XXXMSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
NEW POOL
NEW REAR EXTENSION TO CONNECT REAR OF PROPERTY TO STUDIO
NEW DECK AND NEW WIDENED DRIVEWAY
NEW CARPORT
CHANGES TO INTERNAL FLOORPLAN
NEW WINDOWS AND DOORS

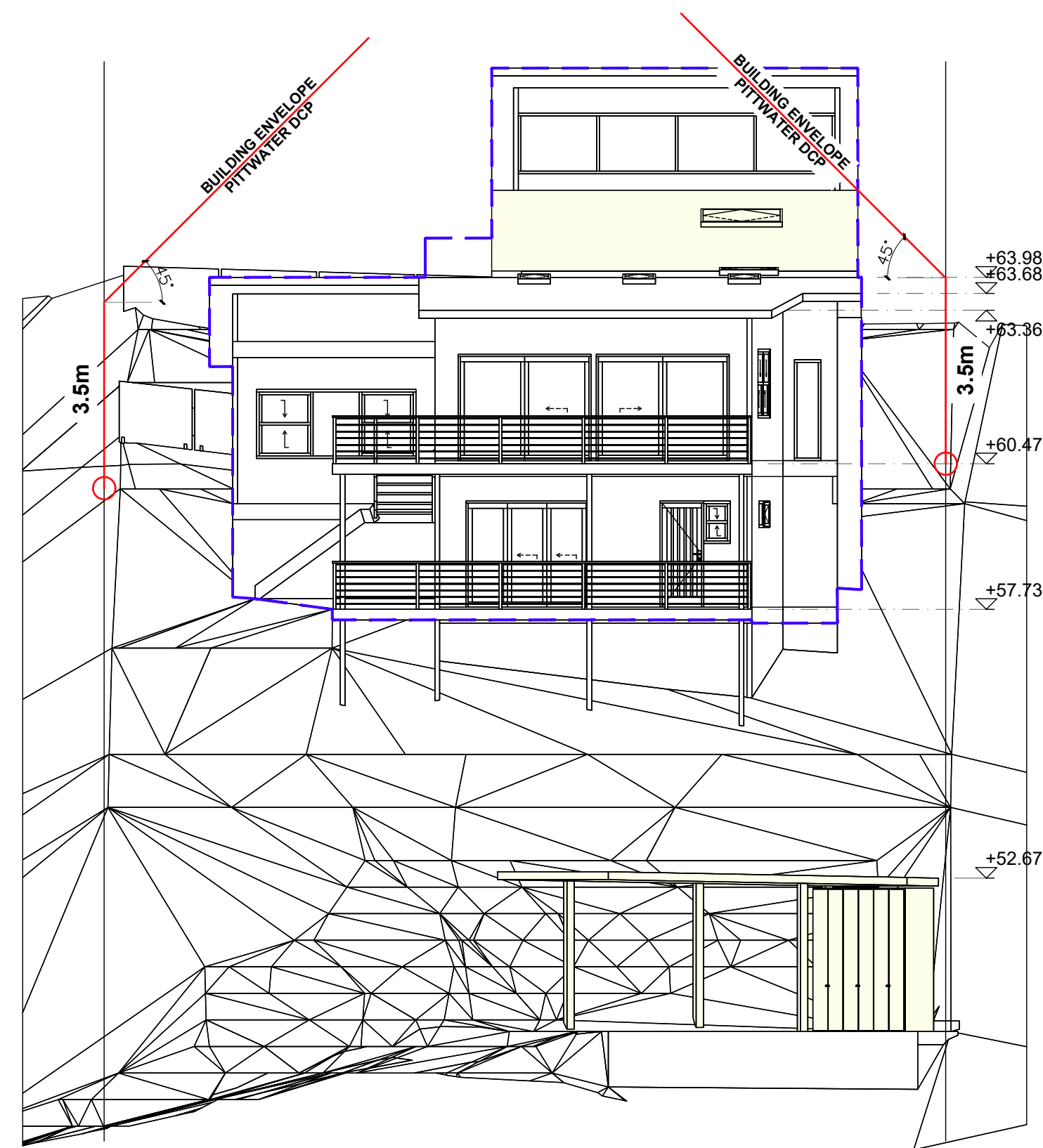
LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

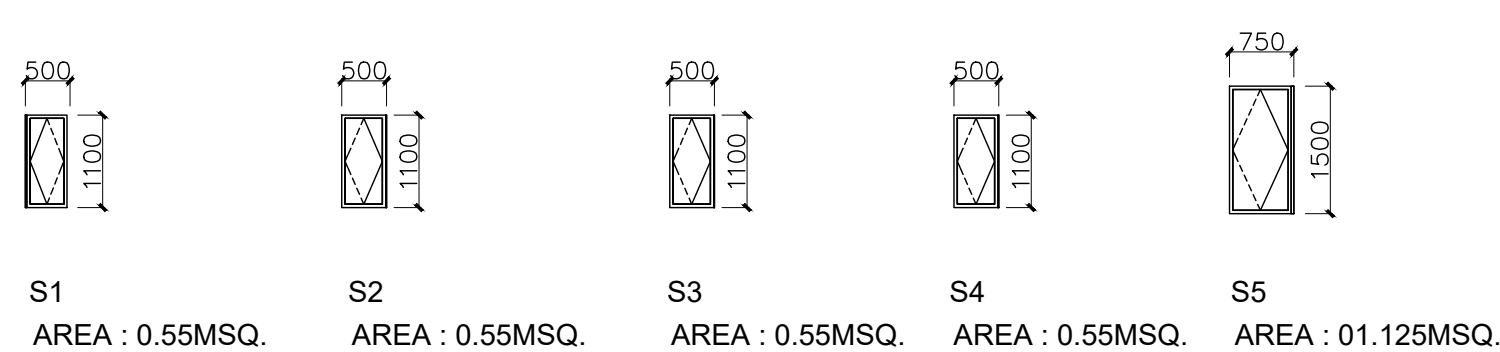
A small icon of a smoke alarm, consisting of a circle with a cross inside and a small triangle at the bottom.

NORTH ELEVATION - ELEVATION
SCALE 1:100



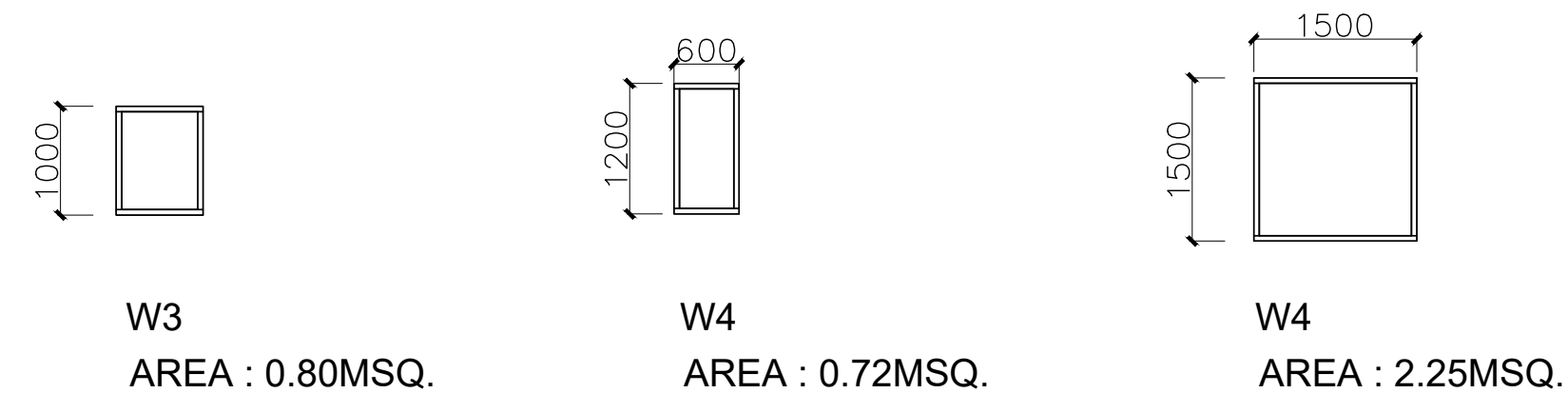
NORTH ELEVATION - PROPOSED
SCALE 1:100

SKYLIGHTS



W1
AREA : 0.80MSQ.

W2
AREA : 0.80MSQ.



D1

AREA : 9.40MSQ.

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT D/S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING

**85 PALMGROVE RD
AVALON BEACH
2107**

**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:

 EXISTING BUILDING OUTLINE

 PROPOSED WORK

General Notes

THESE DRAWINGS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITONS AND ALTERATIONS	Sheet
Date 27-Sep-22	7
Scale AS SHOWN	

DP No.	16902
LOT No.	383

A	ISSUED FOR DA	Sep. 27, 2011
No.	Revision/Issue	Date

5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address

**MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107**

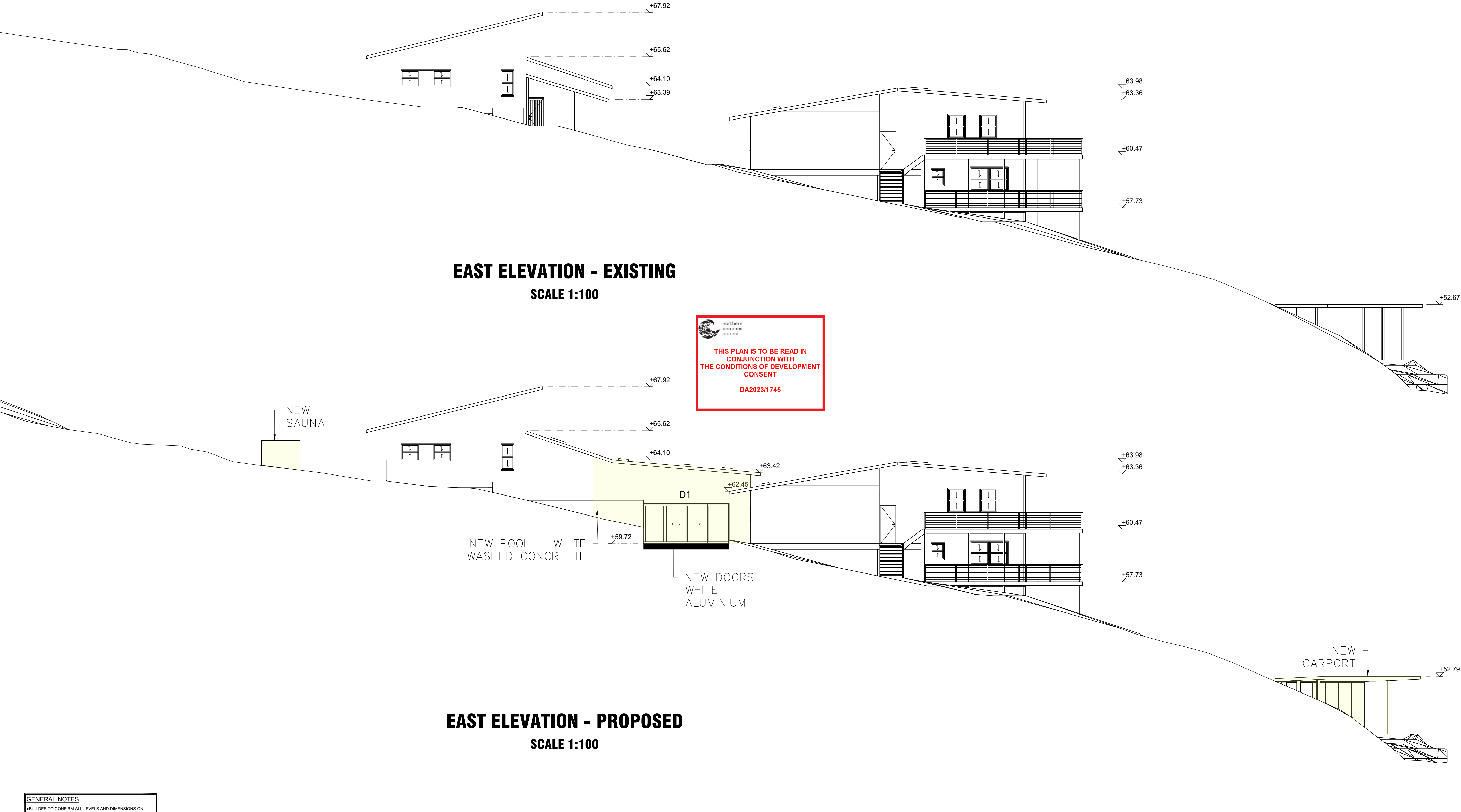
DEVELOPMENT PROPOSAL

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: XXXMSQ.
PROPOSED GFA: XXXMSQ
MAX. BUILDING HEIGHT: 8.5M

- NEW WORKS:
- NEW POOL
 - NEW REAR EXTENSION TO CONNECT REAR OF PROPERTY TO STUDIO
 - NEW DECK AND NEW WIDENED DRIVEWAY
 - NEW CARPORT
 - CHANGES TO INTERNAL FLOORPLAN
 - NEW WINDOWS AND DOORS

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⚡⚡



GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
- CONNECT DPS TO EXISTING STORMWATER SYSTEM.
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

Project Address and Alterations
Date: 27-Sep-22
Scale: AS SHOWN

Sheet
8

DP No. 16902
LOT No. 383

A ISSUED FOR DA Sep. 27, 22
No. Revision/Issue Date

5/470 Sydney Rd
Balgownie 2093 NSW
www.draftinghelp.com.au
02 87763474


Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

DP: **16902**
LOT No. **383**
SITE AREA: **1551.10MSQ.**
EXIST. GFA: **XXXMSQ.**
PROPOSED GFA: **XXXMSQ**
MAX. BUILDING HEIGHT: **8.5M**

LEGEND:

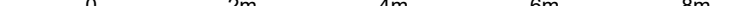
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786





1:100



2m 0 2m 4m 6m 8m 10m

NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF [DRAFTING HELP]. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project Name and Address

**MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107**

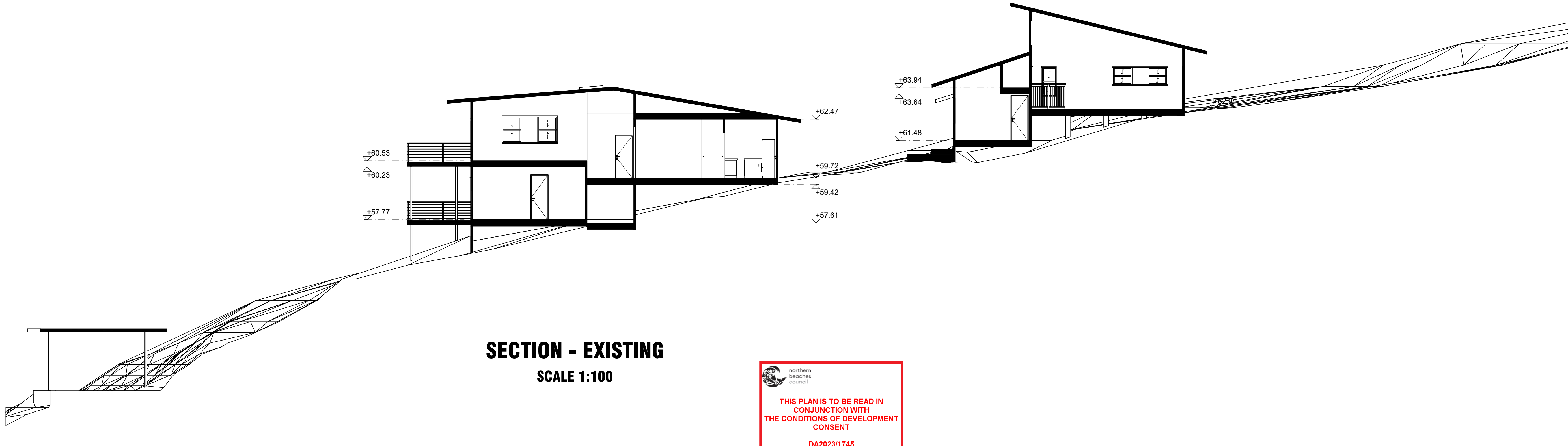
DEVELOPMENT PROPOSAL

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: XXXMSQ.
PROPOSED GFA: XXXMSQ
MAX. BUILDING HEIGHT: 8.5M

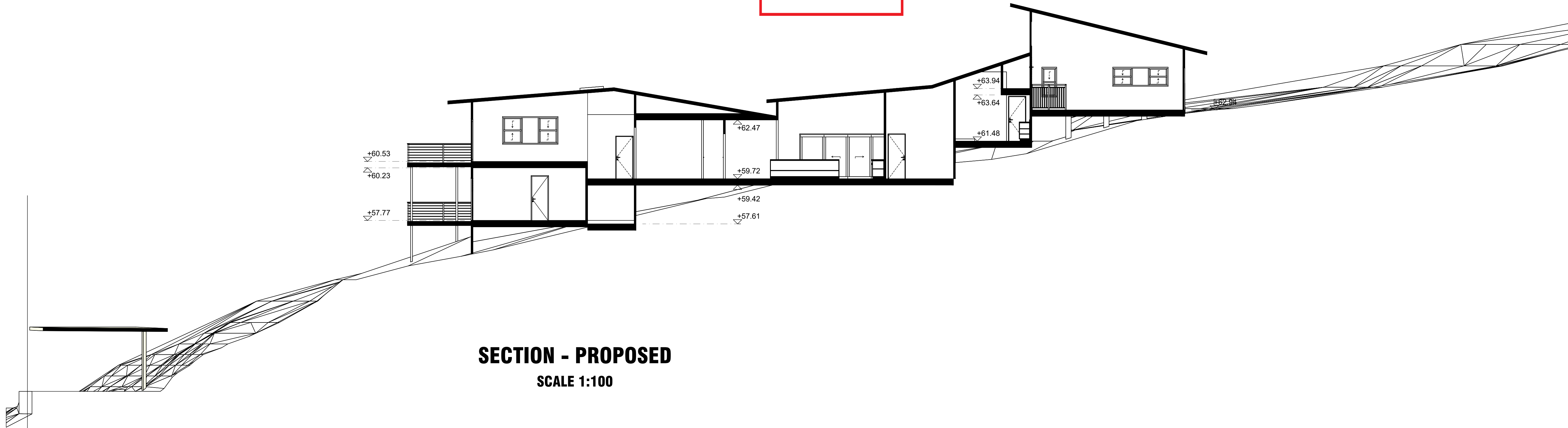
- NEW WORKS:
- NEW POOL
 - NEW REAR EXTENSION TO CONNECT REAR OF PROPERTY TO STUDIO
 - NEW DECK AND NEW WIDENED DRIVEWAY
 - NEW CARPORT
 - CHANGES TO INTERNAL FLOORPLAN
 - NEW WINDOWS AND DOORS

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⚡



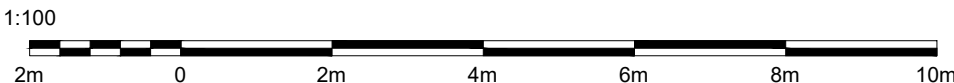
SECTION - EXISTING
SCALE 1:100



SECTION - PROPOSED
SCALE 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
- CONNECT DPS TO EXISTING STORMWATER SYSTEM.
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

Project Address and Alterations
Date: 27-Sep-22
Scale: AS SHOWN

Sheet
10

DP No. 16902
LOT No. 383

Revision Table

5/470 Sydney Rd
Balgownie 2093 NSW
www.draftinghelp.com.au
02 87763474

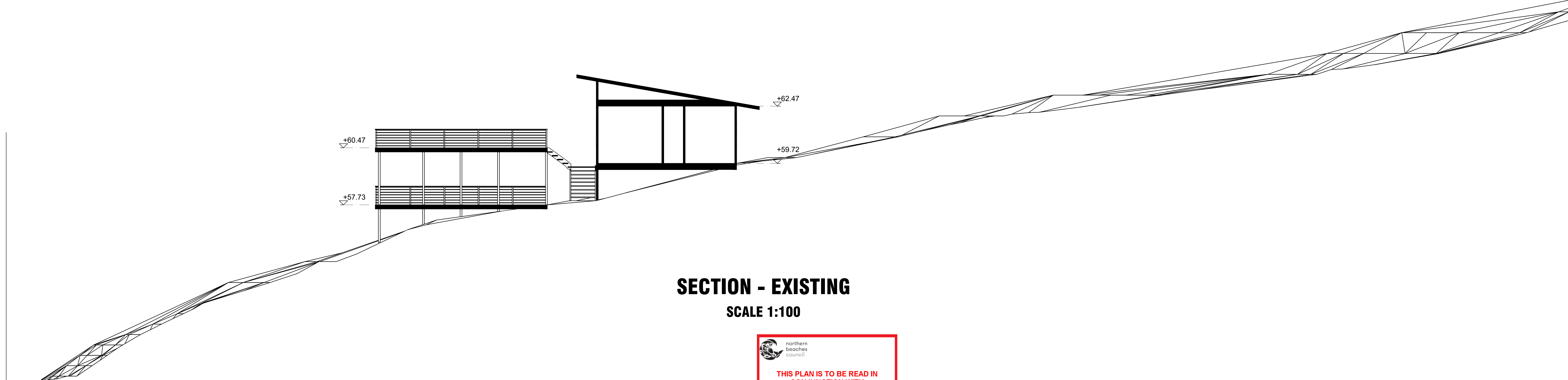
DEVELOPMENT PROPOSAL

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: XXXMSQ.
PROPOSED GFA: XXXMSQ
MAX. BUILDING HEIGHT: 8.5M

- NEW WORKS:
- NEW POOL
 - NEW REAR EXTENSION TO CONNECT REAR OF PROPERTY TO STUDIO
 - NEW DECK AND NEW WIDENED DRIVEWAY
 - NEW CARPORT
 - CHANGES TO INTERNAL FLOORPLAN
 - NEW WINDOWS AND DOORS

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⚡⚡

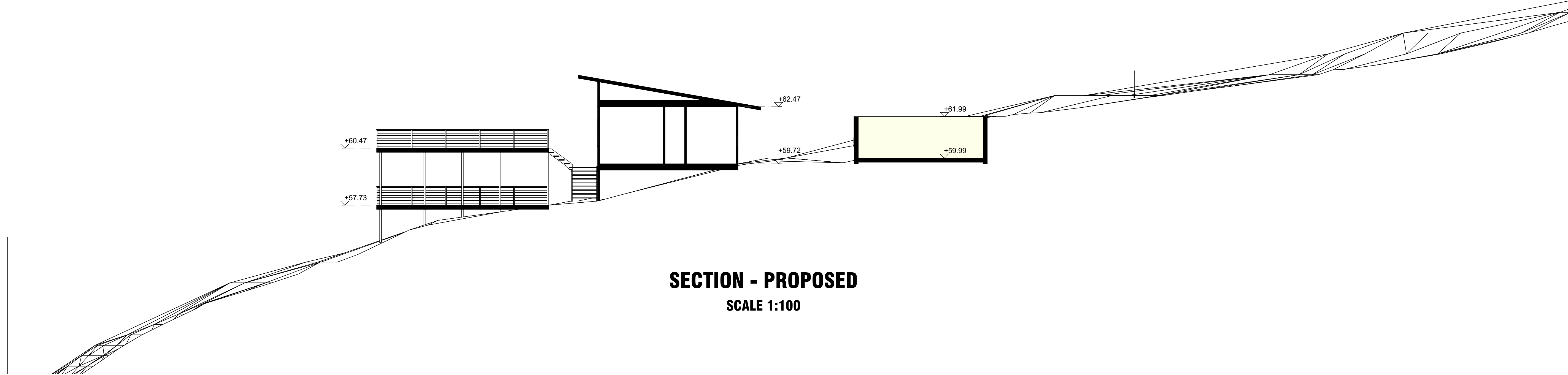


SECTION - EXISTING
SCALE 1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

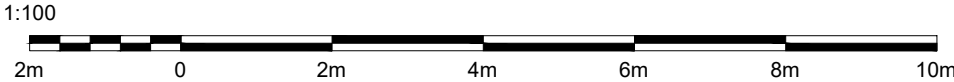
DA2023/1745



SECTION - PROPOSED
SCALE 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
- CONNECT DPS TO EXISTING STORMWATER SYSTEM.
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND ARE NOT BE COPIED, USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND ANGLES INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CORRECTION. THE DESIGN IS SUBJECT TO APPROVAL BY COUNCIL AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDRESS AND ALTERNATIONS
Date 27-Sep-22
Scale AS SHOWN

Sheet 11

DP No. 16902
LOT No. 383

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474


Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

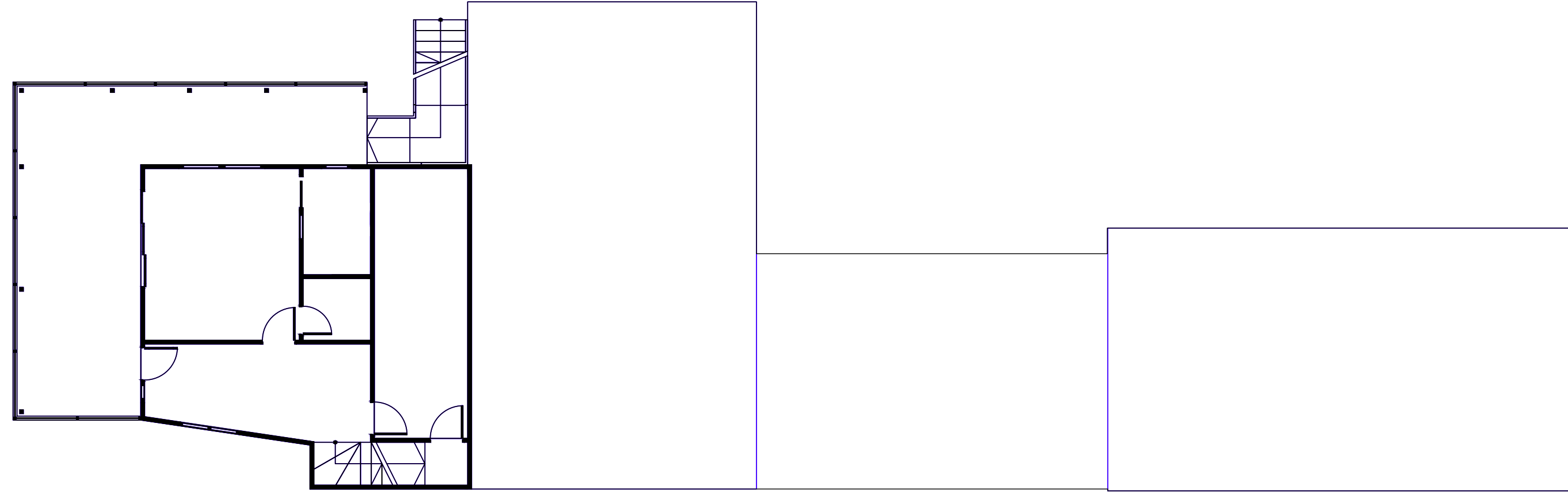
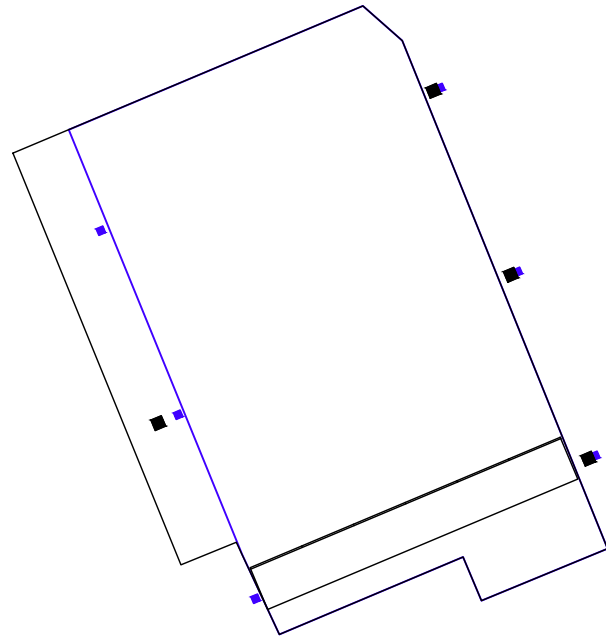
DP: **16902**
LOT No. **383**
SITE AREA: **1551.10MSQ.**
EXIST. GFA: **XXXMSQ.**
PROPOSED GFA: **XXXMSQ**
MAX. BUILDING HEIGHT: **8.5M**

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

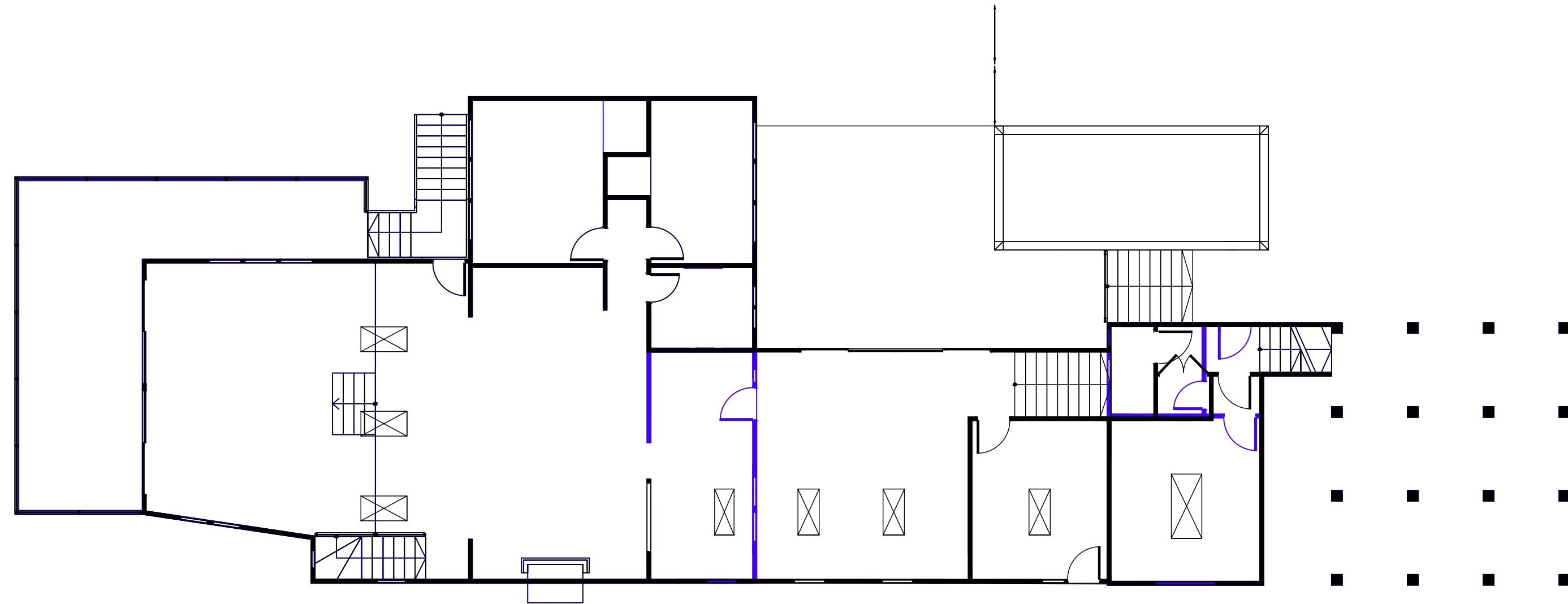
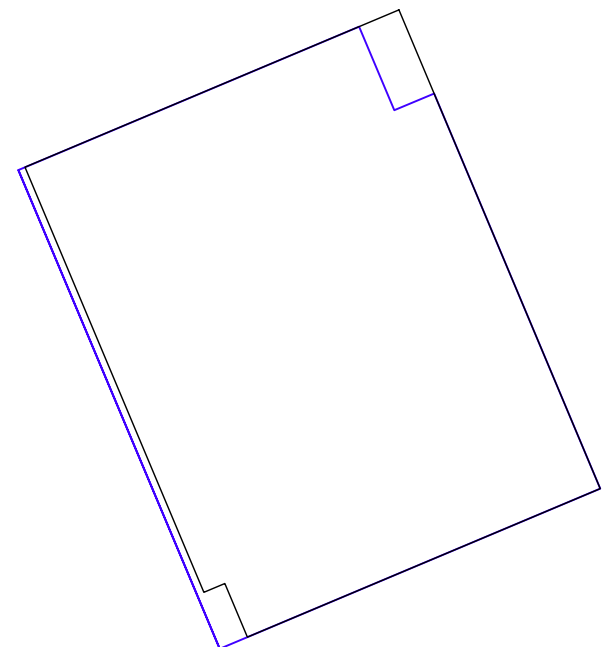




northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2023/1745



GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTES:

THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELD ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELD WILL BE HELD HARMLESS. DRAFTINGHELPS ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:

 EXISTING BUILDING OUTLINE

 **PROPOSED WORK**

General Notes

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2023/1745

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF DRAFTING HELP!, ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project MODIFICATIONS AND ALTERATIONS	Sheet
Date 27-Sep-22	12
Scale AS SHOWN	

DP No. **16902**

LOT No. 383

DA	ISSUED FOR DA	Sep. 27,
No.	Revision/Issue	Date

5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107


DP: **16902**
LOT No. **383**
SITE AREA: **1551.10MSQ.**
EXIST. GFA: **XXXMSQ.**
PROPOSED GFA: **XXXMSQ**
MAX. BUILDING HEIGHT: **8.5M**

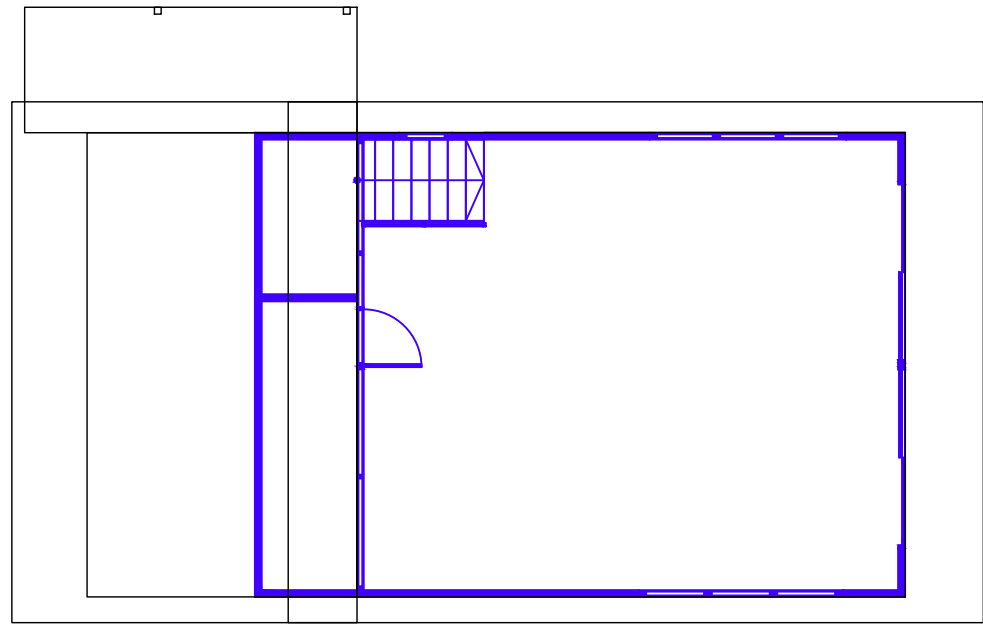
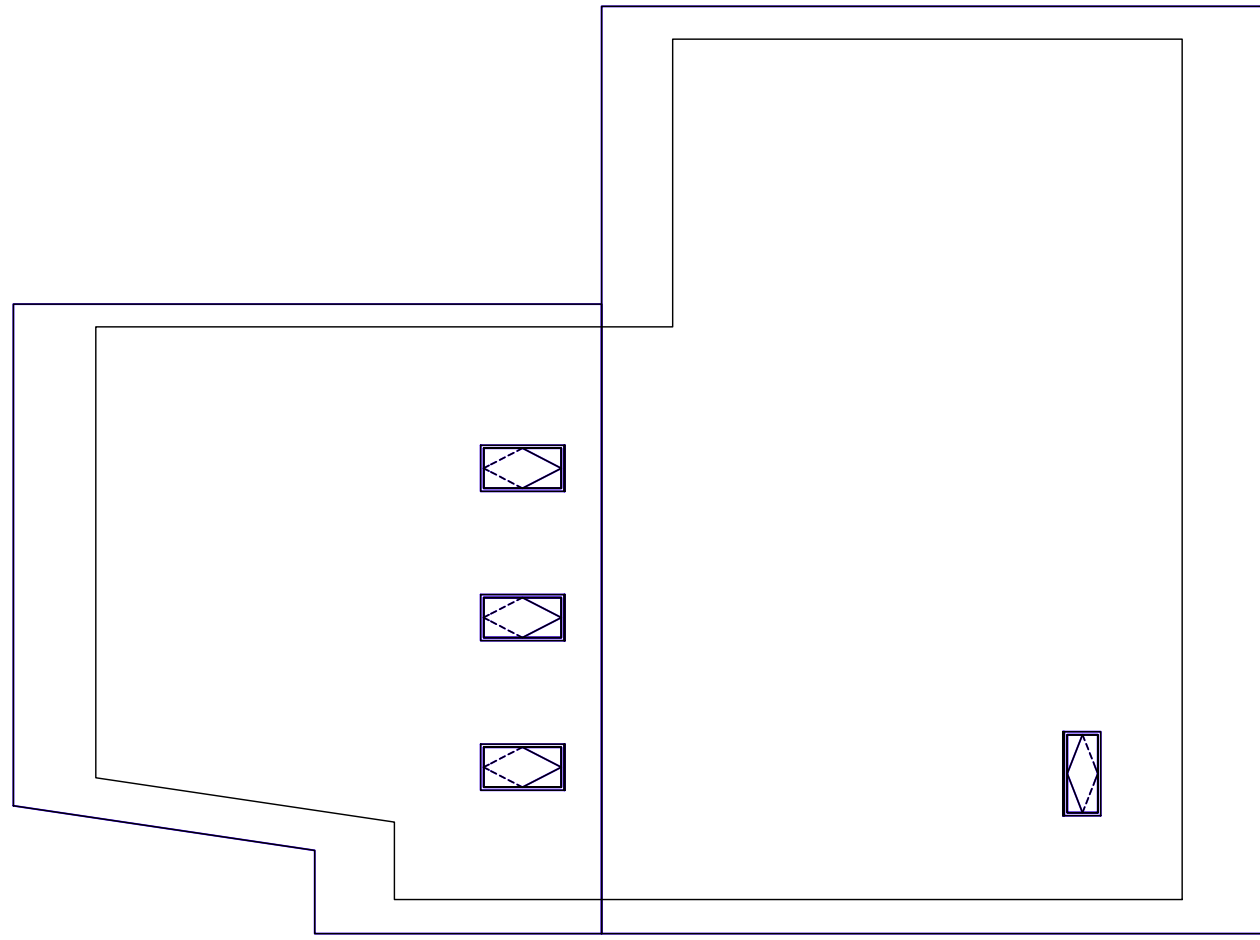
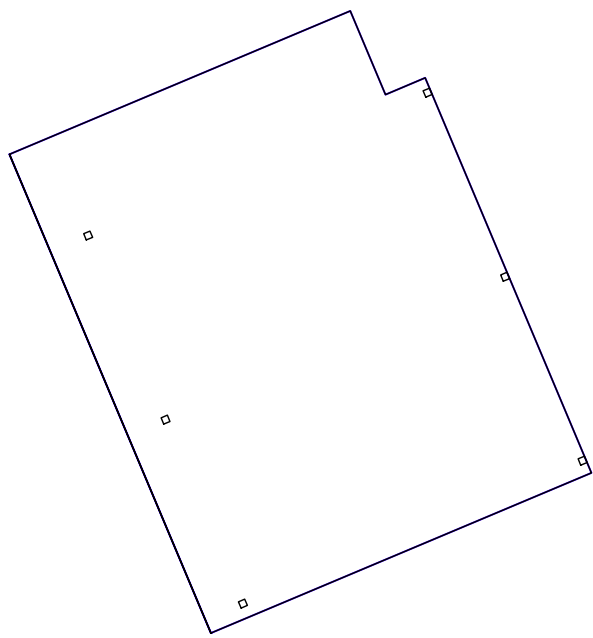
NEW WORKS:
NEW POOL
NEW REAR EXTENSION TO CONNECT REAR OF PROPERTY TO STUDIO
NEW DECK AND NEW WIDENED DRIVEWAY
NEW CARPORT
CHANGES TO INTERNAL FLOORPLAN
NEW WINDOWS AND DOORS

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786





ROOF PLAN DEMO

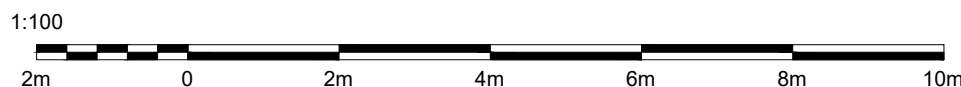
SCALE 1:100



GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC., ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:

	EXISTING BUILDING OUTLINE
	PROPOSED WORK

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF [DRAFTING FIRM]. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THIS DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITONS AND ALTERATIONS	Sheet
Date 27-Sep-22	13
Scale AS SHOWN	

DP No. 16902

LOT No. 383

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107