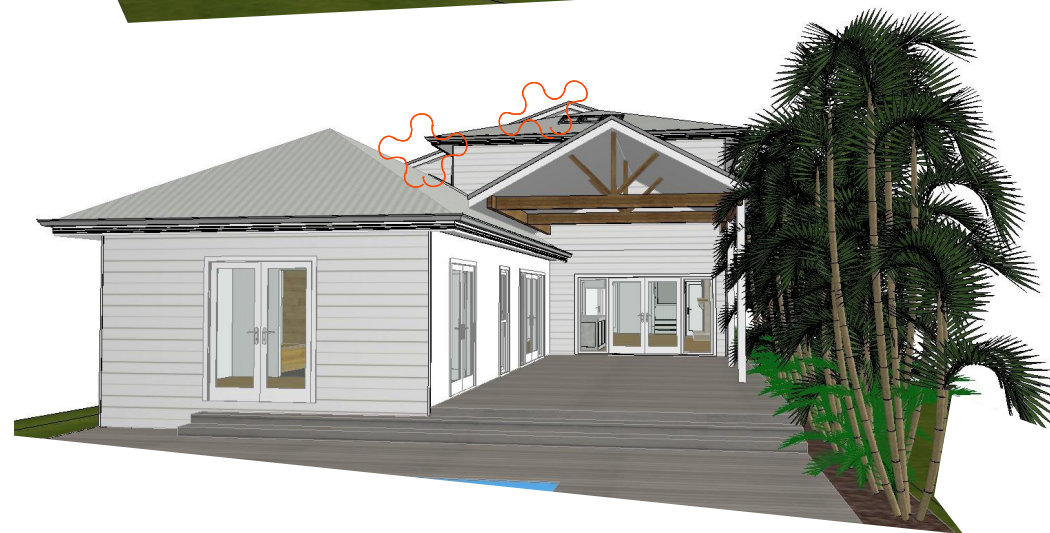


DEVELOPMENT APPLICATION

ALTERATIONS + ADDITIONS No. 5C ILUKA ROAD, PALM BEACH



ARTISTS IMPRESSIONS



DRAWING INDEX		
DRAWING #	DRAWING NAME	REVISION
1	COVER PAGE	a
2	SITE PLAN + SITE ANALYSIS PLAN	a
3	LOWER FLOOR PLAN	a
4	PROPOSED LOWER FLOOR PLAN	a
5	UPPER FLOOR PLAN	a
6	ELEVATIONS	a
7	SE ELEVATION + SECTION A-A	a
8	WINDOW SCHEDULE	a
9	SHADOW DIAGRAMS AT 9AM	a
10	SHADOW DIAGRAMS AT 12PM	a
11	SHADOW DIAGRAMS AT 3PM	a
12	LANDSCAPE PLAN	a

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A482377

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 15, December 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	5C Iluka Road, Palm Beach
Street address	5C Iluka Road Palm Beach 2108
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 14682
Lot number	85
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	AENEC - Office: 02 9994 8906
ABN (if applicable):	32612556377

Thursday, 2 March, 2023

SITE CALCULATIONS

SITE AREA	716.06 m ²
LANDSCAPED AREA	25% 180.71 m ²
FSR RESIDENCE	0.38: 1
EXISTING LIVING	173.75 m ²
PROPOSED LIVING	119.41 m ²
EXISTING STUDIO	52.05 m ²
TOTAL LIVING	345.21 m ²
EXISTING DECK AREAS	93.46 m ²
PROPOSED DECK AREAS	27.79 m ²
TOTAL DECK AREAS	119.02 m ²
EXISTING GARAGE	54.14 m ²

SITE NOTES:

- REMOVE EXISTING STRUCTURES ON SITE AS NOTED
- NO KNOWN WATERCOARSES OR WATERWAYS ON SITE
- NO CUT AND FILL REQUIRED
- PROVIDE SILTATION BARRIER AS REQUIRED BY COUNCIL
- STORMWATER TO HYDRAULIC ENGINEERS DESIGN AND DETAILS. REFER TO DRAWINGS PREPARED BY TAYLOR CONSULTING
- NO EXISTING TREES TO BE REMOVED
- THE BUILDING SITE IS TO BE SECURED BY A SAFETY FENCE TO PROHIBIT UNAUTHORISED PUBLIC ACCESS DURING THE COURSE OF CONSTRUCTION
- ALL LEVELS ARE TO AHD

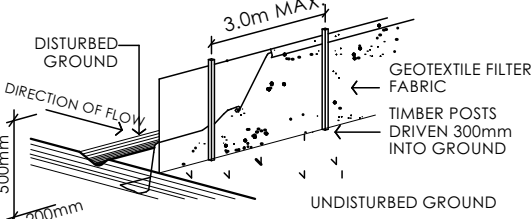
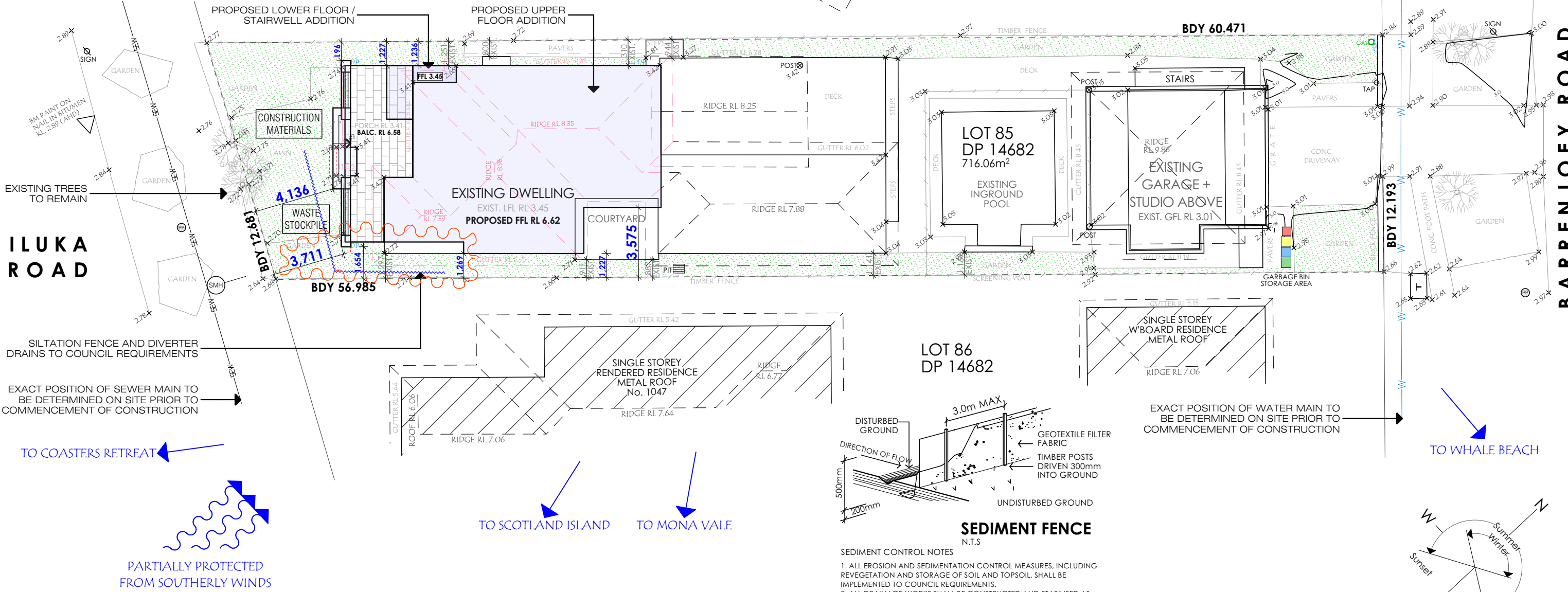
BUSHFIRE NOTES:

ALTHOUGH THE CONSTRUCTION REQUIREMENTS OF AS 3959 ARE NOT CONSIDERED TO APPLY TO THIS PROPOSAL THE PROPOSAL IS STILL REQUIRED TO COMPLY WITH THE "MEASURES IN COMBINATION" OF THE RFS DOCUMENT PLANNING FOR BUSHFIRE PROTECTION.

NOTE: ALTHOUGH AS3959 CONSIDERS THAT NO SPECIFIC CONSTRUCTION REQUIREMENTS NEED TO BE APPLIED TO THIS PROPOSAL SOME RISK FROM BUSHFIRE STILL EXISTS. THE SUBJECT LOT IS IN AN AREA THAT MAY BE AFFECTED BY A FIRE IN THE LARGER SURROUNDING AREA WHICH COULD BE EXPECTED TO CAUSE SMOKE AND BURNING EMBERS TO AFFECT THIS NEW BUILDING.

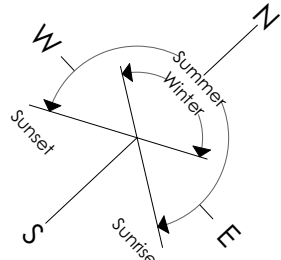
IT WOULD BE PRUDENT TO CONSIDER CONSTRUCTING THE BUILDING TO AT LEAST AN AS3959 2018 BAL-12.5 CONSTRUCTION STANDARD WHICH WILL GIVE AN ENHANCED LEVEL OF PROTECTION FROM EMBER ATTACK. THE ADDITIONAL COST OF BAL-12.5 CONSTRUCTION IS NOT SIGNIFICANTLY ONEROUS AND IS RECOMMENDED HOWEVER NOT STRICTLY REQUIRED.

THE APPLICATION OF THIS ADDITIONAL CONSTRUCTION LEVEL SHOULD BE AT THE DISCRETION OF THE OWNER.



SEDIMENT FENCE
N.T.S

- SEDIMENT CONTROL NOTES
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO COUNCIL REQUIREMENTS.
 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
 7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



SITE PLAN

Scale 1:200

0 2 4 10

Thursday, 2 March, 2023

AREA TABLE	AREA m2	SURFACE m2
EXISTING ROOF SHEETING TO REMAIN	113.93	131.53
SELECTED ROOF SHEETING (TO MATCH EXISTING)	183.04	196.93
TOTAL	296.97 m²	328.46 m²
LOWER LEVEL (EXISTING)	173.75	
LOWER LEVEL (ADDITION)	5.38	
UPPER LEVEL (ADDITION)	114.03	
PORCH (EXISTING)	20.09	
PORCH (ADDITION)	0.48	
ALFRESCO (EXISTING)	58.01	
BALCONY (ADDITION)	26.11	
STUDIO EXISTING	52.85	
DECK EXISTING	14.33	
GARAGE EXISTING	54.14	
TOTAL	518.37 m²	

BUSHFIRE NOTES:

ALTHOUGH THE CONSTRUCTION REQUIREMENTS OF AS 3959 ARE NOT CONSIDERED TO APPLY TO THIS PROPOSAL THE PROPOSAL IS STILL REQUIRED TO COMPLY WITH THE "MEASURES IN COMBINATION" OF THE RFS DOCUMENT PLANNING FOR BUSHFIRE PROTECTION.

NOTE: ALTHOUGH AS3959 CONSIDERS THAT NO SPECIFIC CONSTRUCTION REQUIREMENTS NEED TO BE APPLIED TO THIS PROPOSAL SOME RISK FROM BUSHFIRE STILL EXISTS. THE SUBJECT LOT IS IN AN AREA THAT MAY BE AFFECTED BY A FIRE IN THE LARGER SURROUNDING AREA WHICH COULD BE EXPECTED TO CAUSE SMOKE AND BURNING EMBERS TO AFFECT THIS NEW BUILDING.

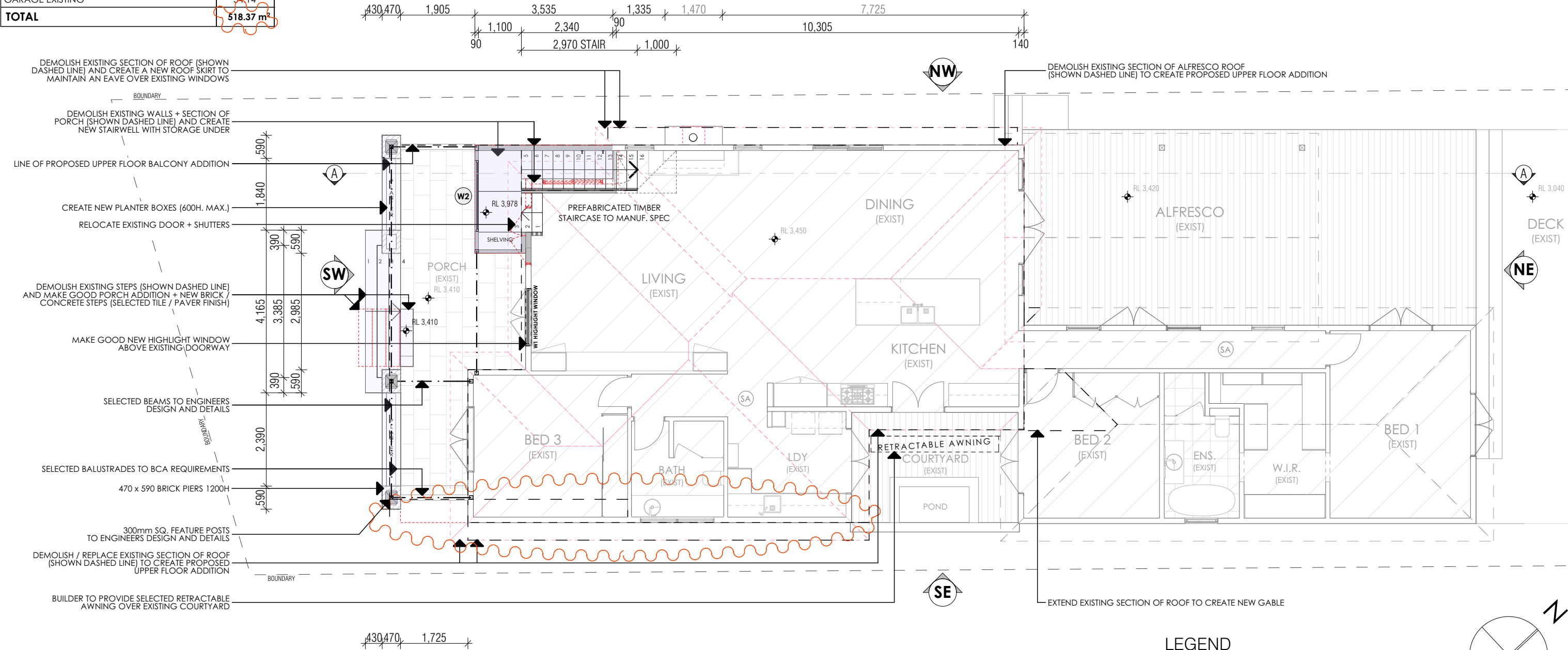
IT WOULD BE PRUDENT TO CONSIDER CONSTRUCTING THE BUILDING TO AT LEAST AN AS3959 2018 BAL-12.5 CONSTRUCTION STANDARD WHICH WILL GIVE AN ENHANCED LEVEL OF PROTECTION FROM EMBER ATTACK. THE ADDITIONAL COST OF BAL-12.5 CONSTRUCTION IS NOT SIGNIFICANTLY ONEROUS AND IS RECOMMENDED HOWEVER NOT STRICTLY REQUIRED.

THE APPLICATION OF THIS ADDITIONAL CONSTRUCTION LEVEL SHOULD BE AT THE DISCRETION OF THE OWNER.

SMOKE ALARM NOTE

SMOKE ALARMS TO BE LOCATED "BETWEEN EACH AREA CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING" RELEVANT TO PART 3.7.5 OF THE BCA AND INSTALLED BY AN ELECTRICIAN IN ACCORDANCE WITH AS3786

MECHANICAL VENTILATION DISCHARGE TO BCA PART 3.8.7.4 REQUIREMENTS



LOWER FLOOR PLAN

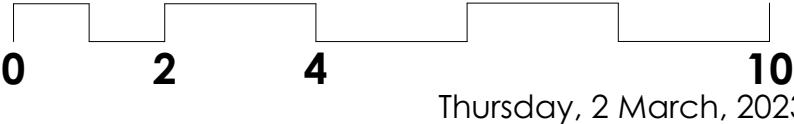
Scale 1:100

LEGEND

— = EXISTING WALLS

— = PROPOSED WALLS

- - - = EXISTING WALLS TO BE REMOVED



AREA TABLE	AREA m2	SURFACE m2
EXISTING ROOF SHEETING TO REMAIN	113.93	131.53
SELECTED ROOF SHEETING (TO MATCH EXISTING)	183.04	196.93
TOTAL	296.97 m²	328.46 m²
LOWER LEVEL (EXISTING)	173.75	
LOWER LEVEL (ADDITION)	5.38	
UPPER LEVEL (ADDITION)	114.03	
PORCH (EXISTING)	20.09	
PORCH (ADDITION)	0.48	
ALFRESCO (EXISTING)	58.01	
BALCONY (ADDITION)	26.11	
STUDIO EXISTING	52.88	
DECK EXISTING	14.33	
GARAGE EXISTING	54.14	
TOTAL	518.37 m²	

BUSHFIRE NOTES:

ALTHOUGH THE CONSTRUCTION REQUIREMENTS OF AS 3959 ARE NOT CONSIDERED TO APPLY TO THIS PROPOSAL THE PROPOSAL IS STILL REQUIRED TO COMPLY WITH THE "MEASURES IN COMBINATION" OF THE RFS DOCUMENT PLANNING FOR BUSHFIRE PROTECTION.

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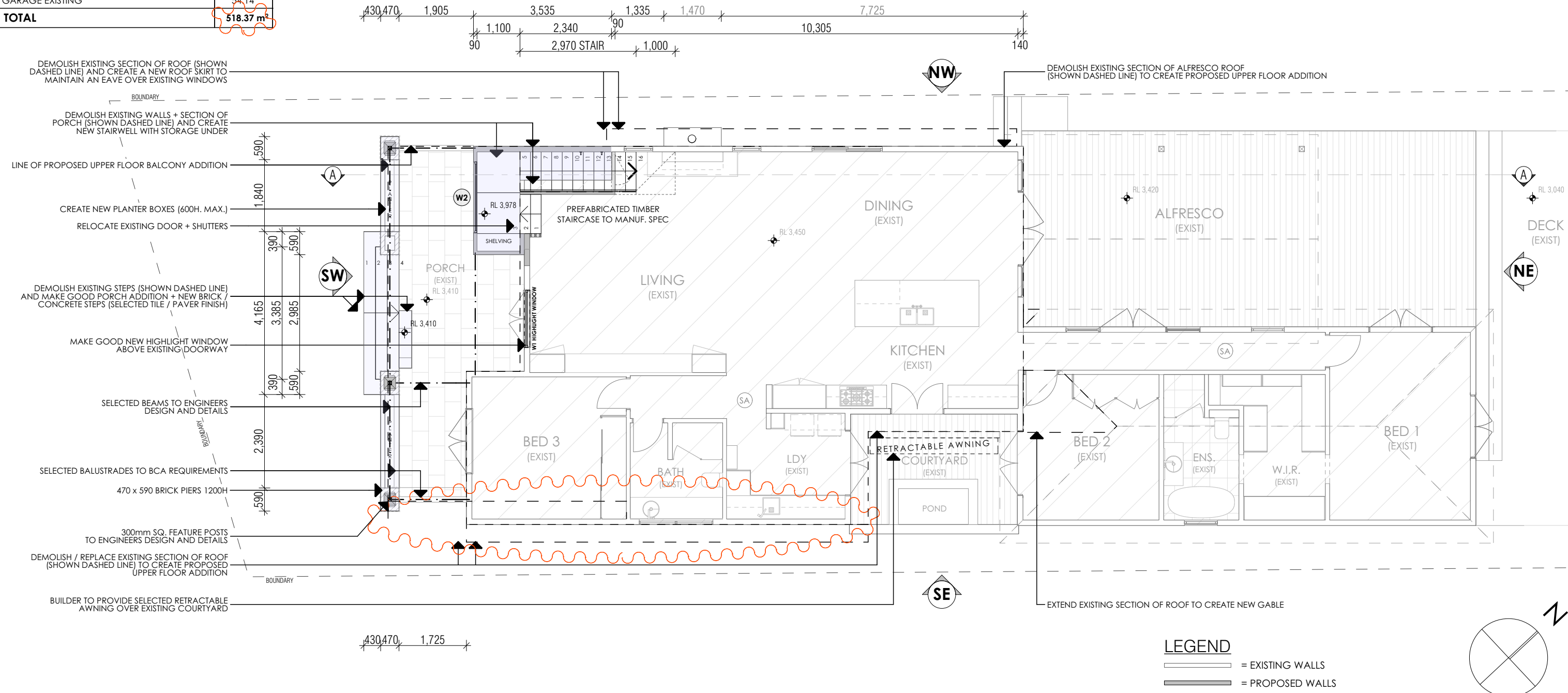
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THE APPLICATION OF THIS ADDITIONAL CONSTRUCTION LEVEL SHOULD BE AT THE DISCRETION OF THE OWNER.

SMOKE ALARM NOTE

SMOKE ALARMS TO BE LOCATED "BETWEEN EACH AREA CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING" RELEVANT TO PART 3.7.5 OF THE BCA AND INSTALLED BY AN ELECTRICIAN IN ACCORDANCE WITH AS3786

MECHANICAL VENTILATION DISCHARGE TO BCA PART 3.8.7.4 REQUIREMENTS



PROPOSED LOWER FLOOR PLAN

Scale 1:100

LEGEND

— = EXISTING WALLS

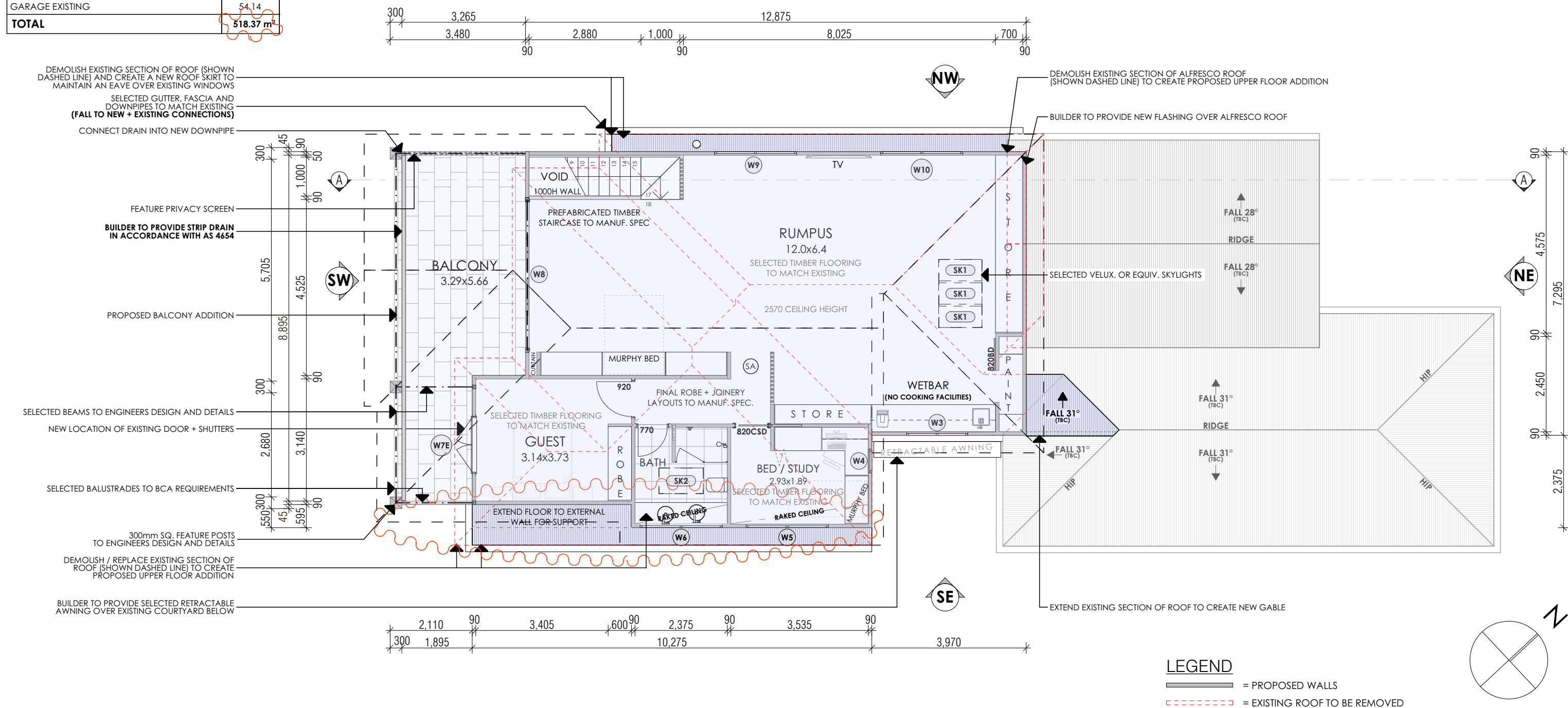
— = PROPOSED WALLS



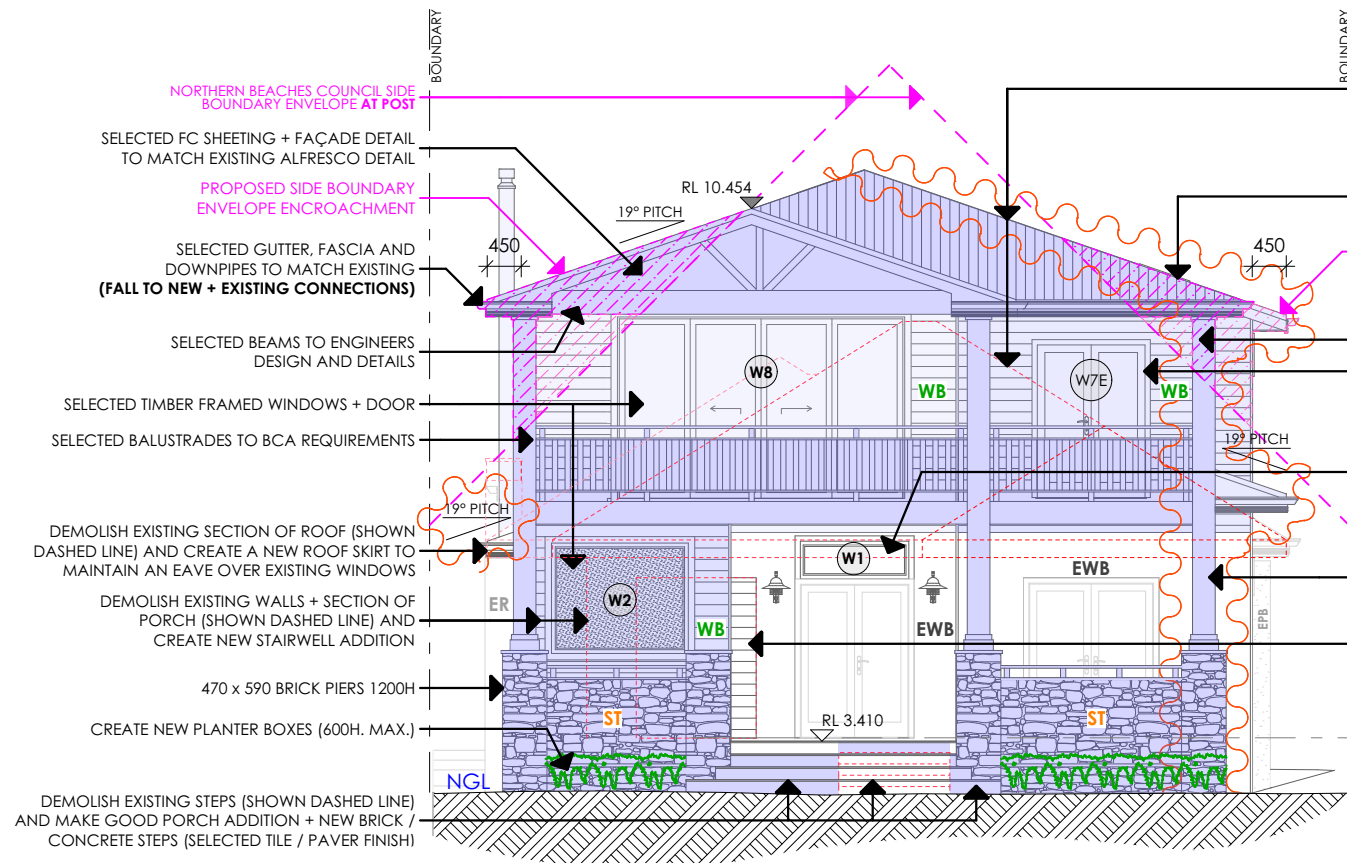
	AREA m2	SURFACE m2
	113.93	131.53
(G)	183.04	196.93
	296.97 m²	328.46 m²
	173.75	
	5.38	
	114.03	
	20.09	
	0.48	
	58.01	
	26.11	
	52.05	
	14.33	
	54.14	
	518.37 m²	

SMOKE ALARM NOTE
SMOKE ALARMS TO BE LOCATED "BETWEEN EACH AREA CONTAINING BEDROOMS
AND THE REMAINDER OF THE DWELLING" RELEVANT TO PART 3.7.5 OF THE BCA
AND INSTALLED BY AN ELECTRICIAN IN ACCORDANCE WITH AS3786

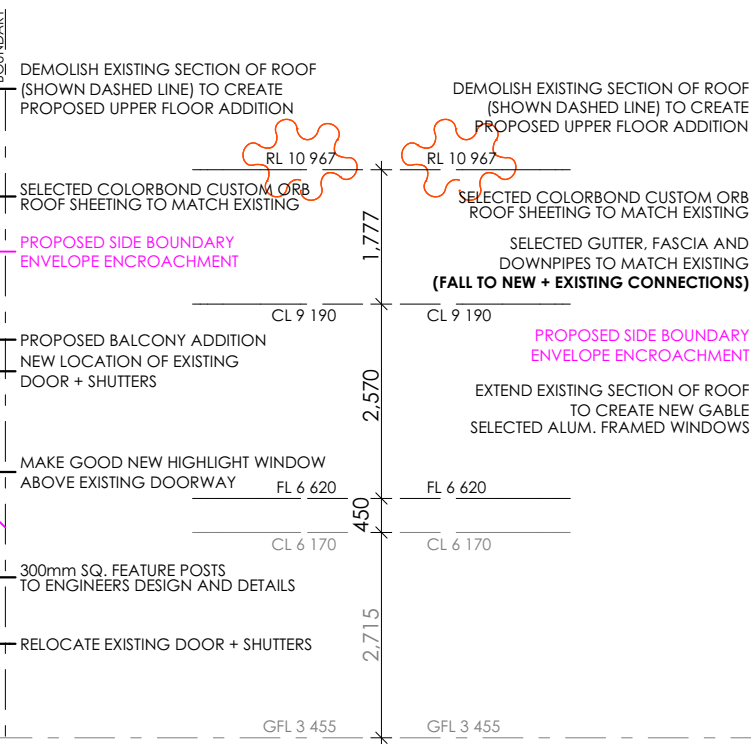
MECHANICAL VENTILATION DISCHARGE TO BCA PART 3.8.7.4 REQUIREMENTS



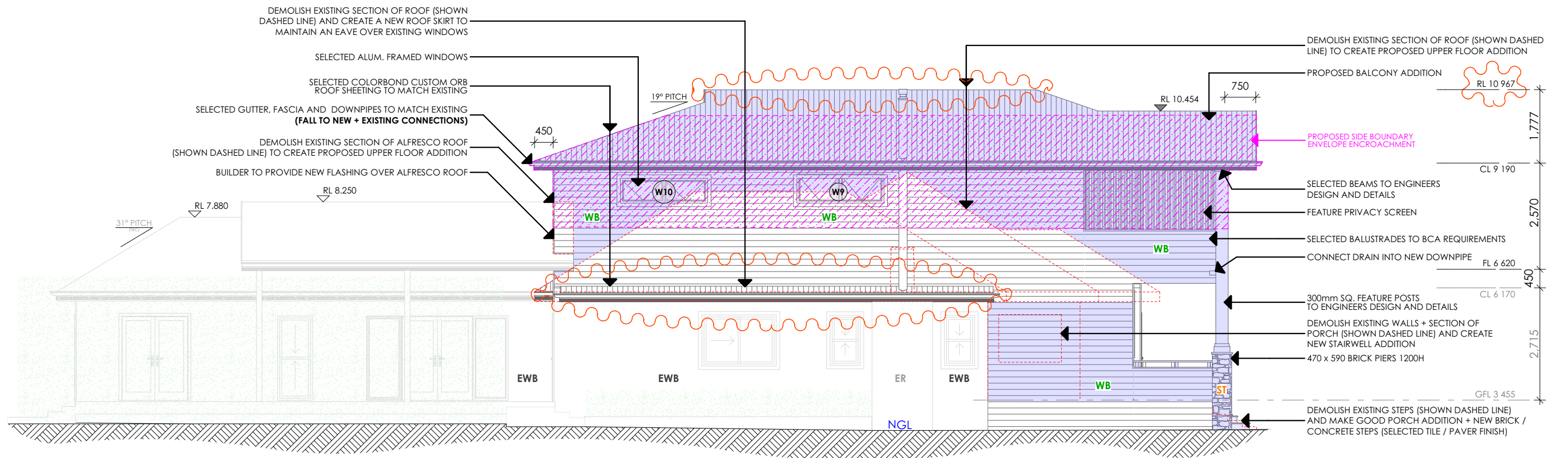
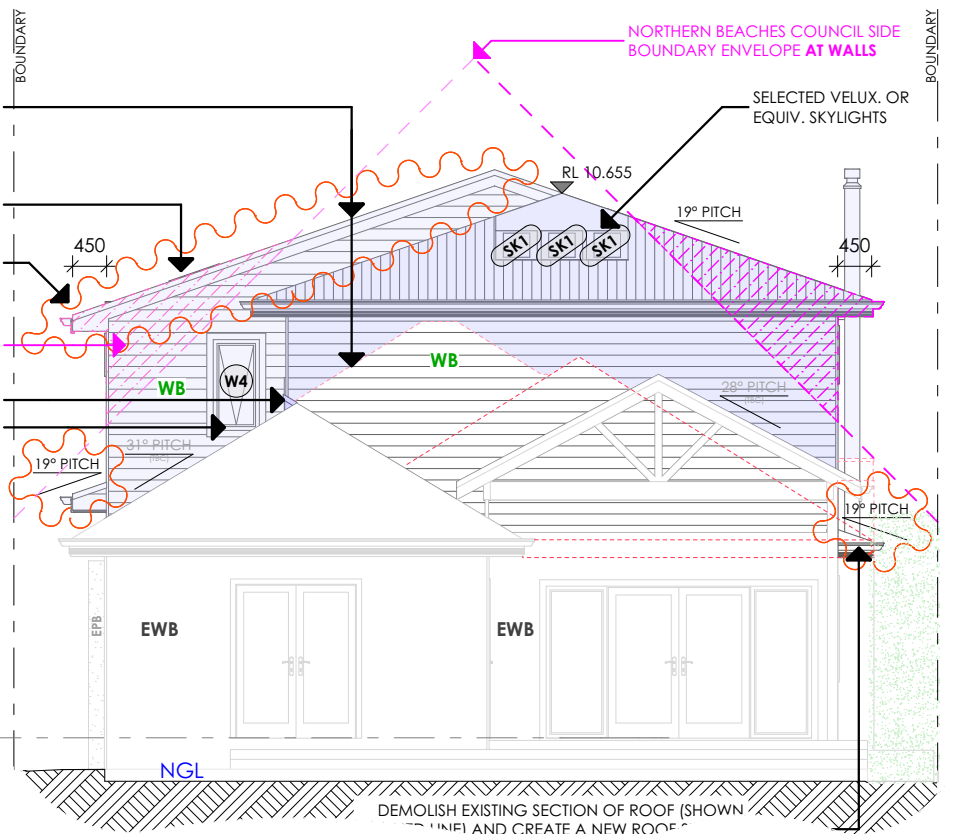
Scale 1:100



SOUTH WEST ELEVATION
Scale 1:100



NORTH EAST ELEVATION
Scale 1:100

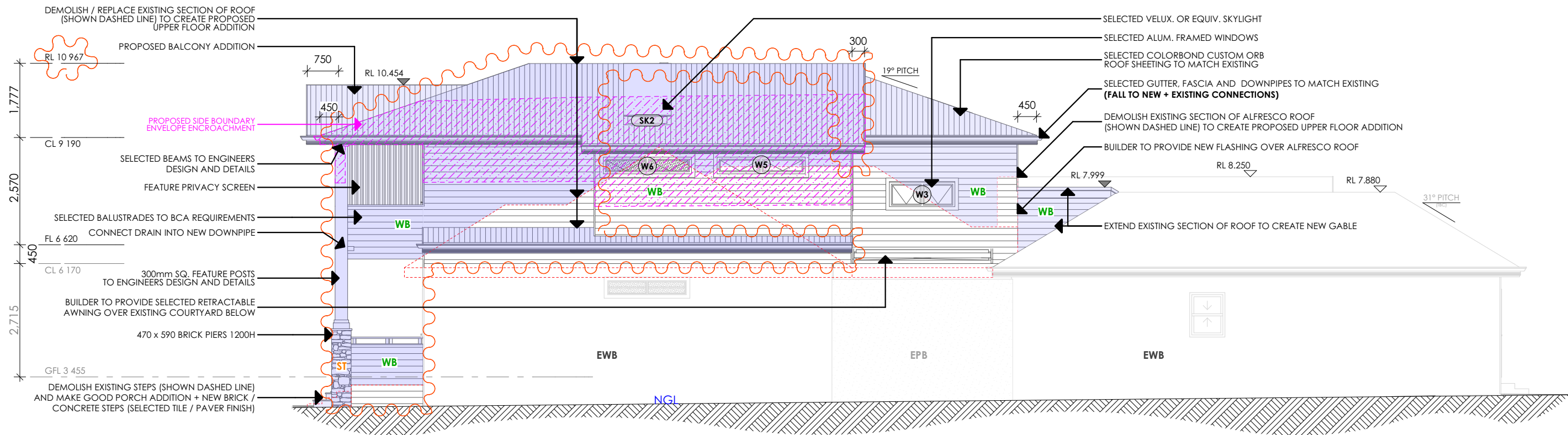


NORTH WEST ELEVATION
Scale 1:100

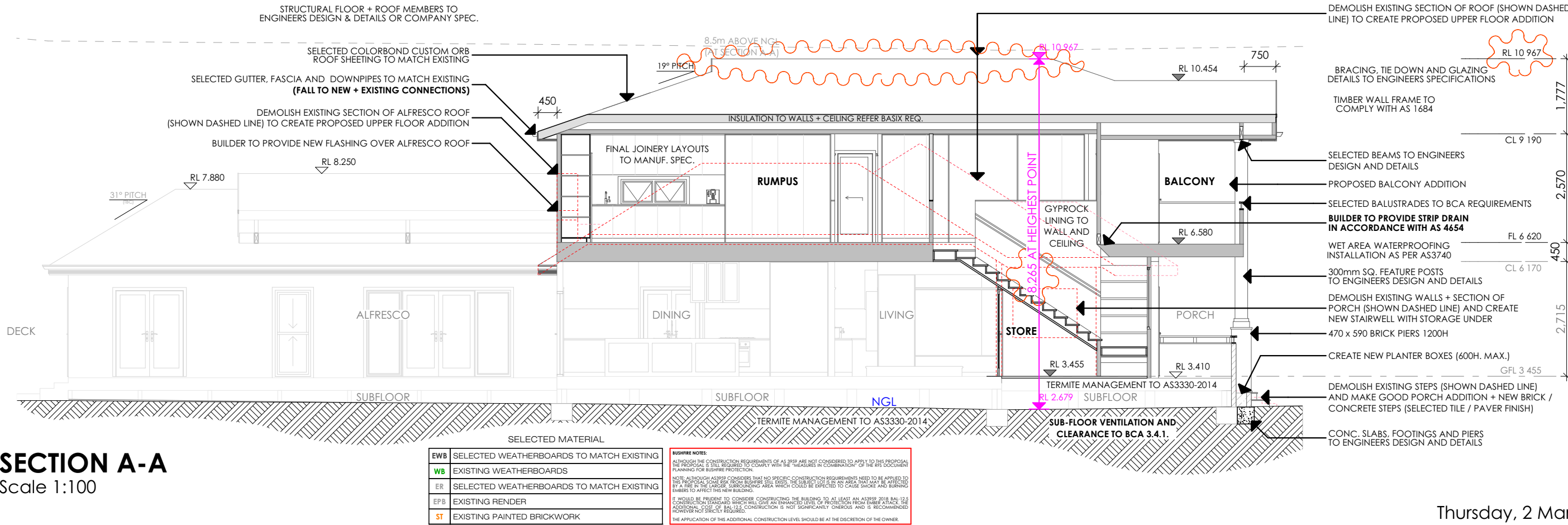
SELECTED MATERIAL	
EWB	SELECTED WEATHERBOARDS TO MATCH EXISTING
WB	EXISTING WEATHERBOARDS
ER	SELECTED WEATHERBOARDS TO MATCH EXISTING
EPB	EXISTING RENDER
ST	EXISTING PAINTED BRICKWORK

BUSHTREE NOTES:
ALTHOUGH THE CONSTRUCTION REQUIREMENTS OF AS 3959 ARE NOT CONSIDERED TO APPLY TO THIS PROPOSAL, THE PROPOSAL IS STILL REQUIRED TO COMPLY WITH THE "MEASURES IN COMBINATION" OF THE RPS DOCUMENT PLANNING FOR BUSHFIRE PROTECTION.
NOTE: ALTHOUGH AS3959 CONSIDERS THAT NO SPECIFIC CONSTRUCTION REQUIREMENTS NEED TO BE APPLIED TO THIS PROPOSAL, AS IT IS NOT IN A HIGH RISK AREA, THE SUBJECT LOT IS IN AN AREA THAT MAY BE AFFECTED BY A FIRE IN THE LARGER SURROUNDING AREA WHICH COULD BE EXPECTED TO CAUSE SMOKE AND BURNING EMBERS TO AFFECT THIS NEW BUILDING.
IT WOULD BE PRUDENT TO CONSIDER CONSTRUCTING THE BUILDING TO AT LEAST AN AS3959 2018 BAL-125 CONSTRUCTION STANDARD WHICH WILL GIVE AN ENHANCED LEVEL OF PROTECTION FROM EMBER ATTACK. THE ADDITIONAL COST OF BUSHFIRE CONSTRUCTION IS NOT SIGNIFICANTLY ONEROUS AND IS RECOMMENDED.
THE APPLICATION OF THIS ADDITIONAL CONSTRUCTION LEVEL SHOULD BE AT THE DISCRETION OF THE OWNER.

Thursday, 2 March, 2023



SOUTH EAST ELEVATION
Scale 1:100



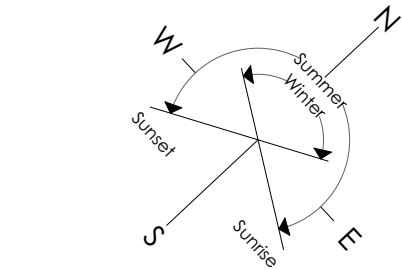
SECTION A-A
Scale 1:100

AREA TABLE	AREA m2	SURFACE m2
EXISTING ROOF SHEETING TO REMAIN	113.93	131.53
SELECTED ROOF SHEETING (TO MATCH EXISTING)	183.04	196.93
TOTAL	296.97 m²	328.46 m²

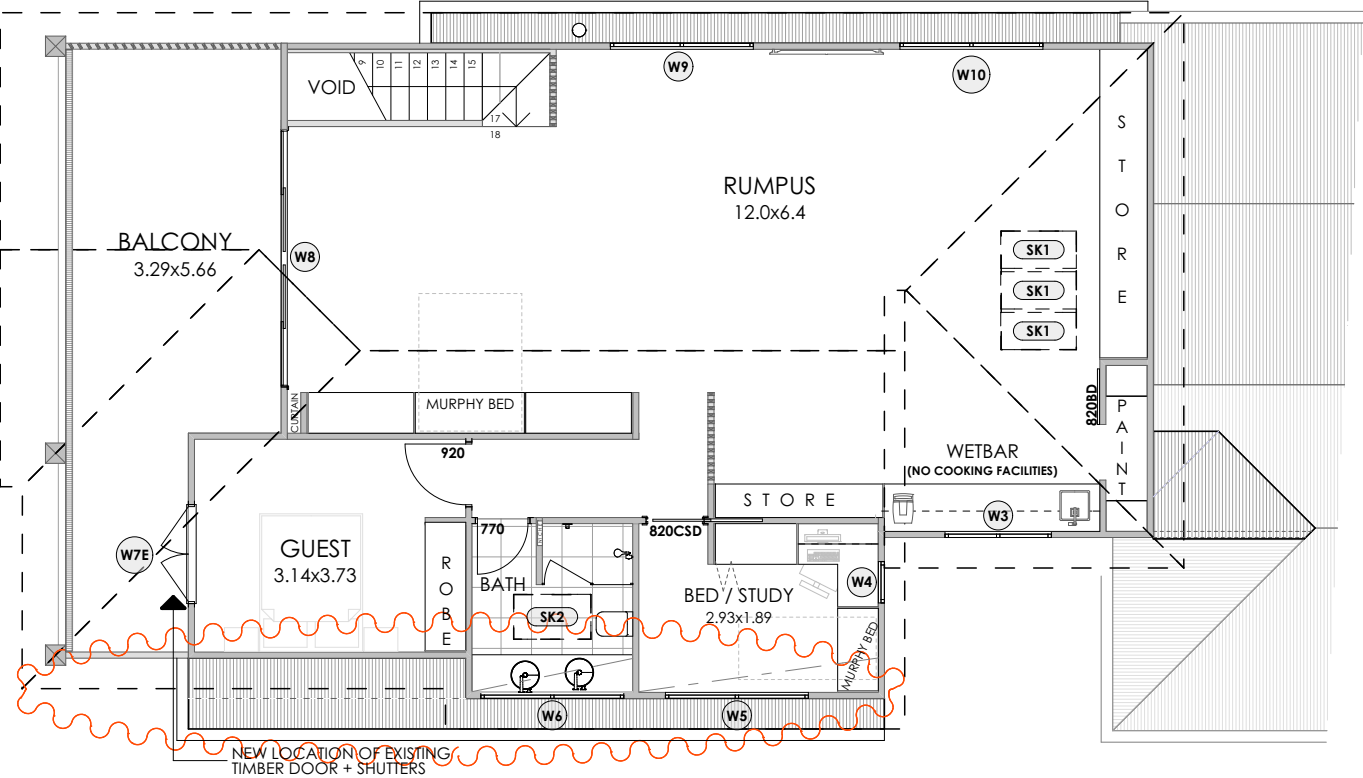
LOWER LEVEL (EXISTING)	173.75
LOWER LEVEL (ADDITION)	5.38
UPPER LEVEL (ADDITION)	114.03
PORCH (EXISTING)	20.09
PORCH (ADDITION)	0.48
ALFRESCO (EXISTING)	58.01
BALCONY (ADDITION)	26.11
STUDIO EXISTING	52.05
DECK EXISTING	14.33
GARAGE EXISTING	54.14
TOTAL	518.37 m²

WINDOW SCHEDULE				
WINDOW #	HEIGHT	WIDTH	FRONT VIEW	FRAME TYPE
W1	500	1,460		TIMBER
W2	1,460	1,810		TIMBER
W3	600	1,570		ALUMINIUM
W4	1,200	610		ALUMINIUM
W5	400	2,110		ALUMINIUM
W6	400	2,110		ALUMINIUM
W7E	2,030	1,425		TIMBER (EXISTING)
W8	2,400	3,800		TIMBER
W9	700	2,110		ALUMINIUM
W10	600	2,110		ALUMINIUM

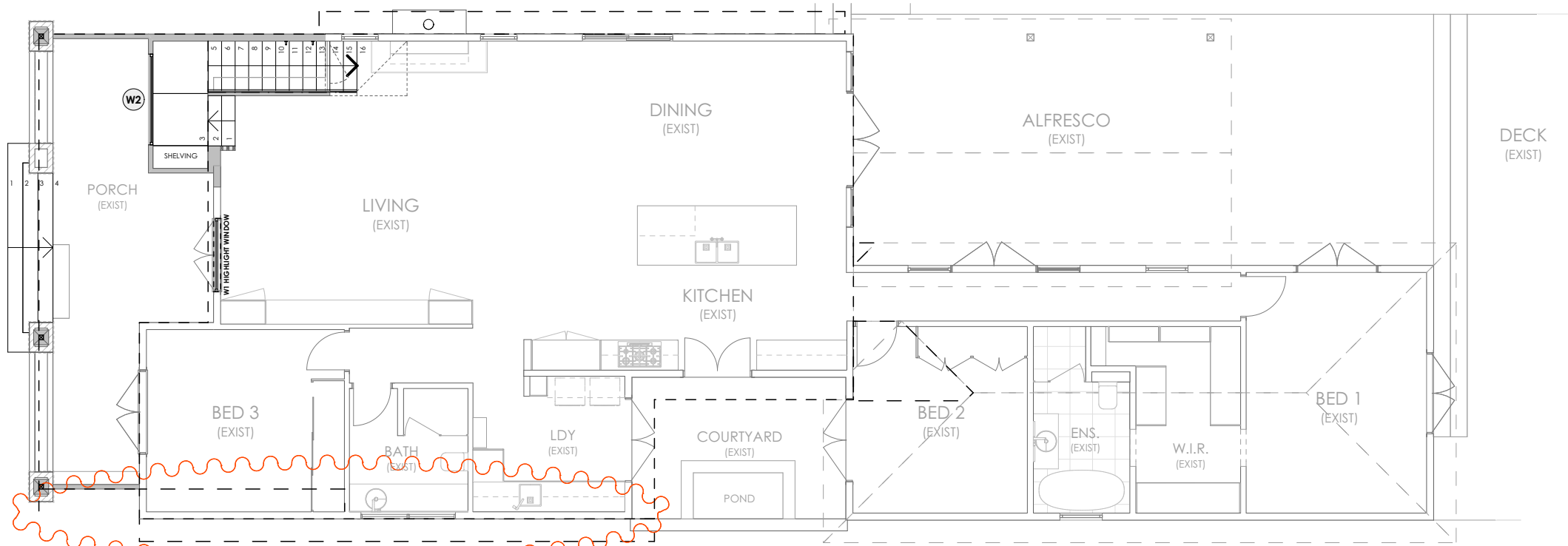
NOTES:
- WINDOW SCHEDULE REFERS TO FRAME OPENING SIZES.
- ALL SIZES TO BE CONFIRMED PRIOR TO ORDERING.
- REFER TO SELECTED MANUFACTURER FOR SPECIFICATIONS.



BUSHFIRE NOTES:
ALTHOUGH THE CONSTRUCTION REQUIREMENTS OF AS 3959 ARE NOT CONSIDERED TO APPLY TO THIS PROPOSAL, THE PROPOSAL IS STILL REQUIRED TO COMPLY WITH THE 'MEASURES IN COMBINATION' OF THE RFS DOCUMENT PLANNING FOR BUSHFIRE PROTECTION.
NOTE: ALTHOUGH AS3959 CONSIDERS THAT NO SPECIFIC CONSTRUCTION REQUIREMENTS NEED TO BE APPLIED TO THIS PROPOSAL, SOME RFS FROM BUSHFIRE (B.E. EXIST) THE SUBJECT LOT IS IN AN AREA THAT MAY BE AFFECTED BY A FIRE IN THE LARGER SURROUNDING AREA WHICH COULD BE EXPECTED TO CAUSE SMOKE AND BURNING EMBERS TO AFFECT THIS NEW BUILDING.
IT WOULD BE PRUDENT TO CONSIDER CONSTRUCTING THE BUILDING TO AT LEAST AN AS3959 2018 BAL-12.5 CONSTRUCTION STANDARD WHICH WILL GIVE AN ENHANCED LEVEL OF PROTECTION FROM EMBER ATTACK. THE ADDITIONAL COST OF BUSHFIRE CONSTRUCTION IS NOT SIGNIFICANTLY ONEROUS AND IS RECOMMENDED FOR THE APPLICATION OF THIS ADDITIONAL CONSTRUCTION LEVEL SHOULD BE AT THE DISCRETION OF THE OWNER.




UPPER FLOOR PLAN



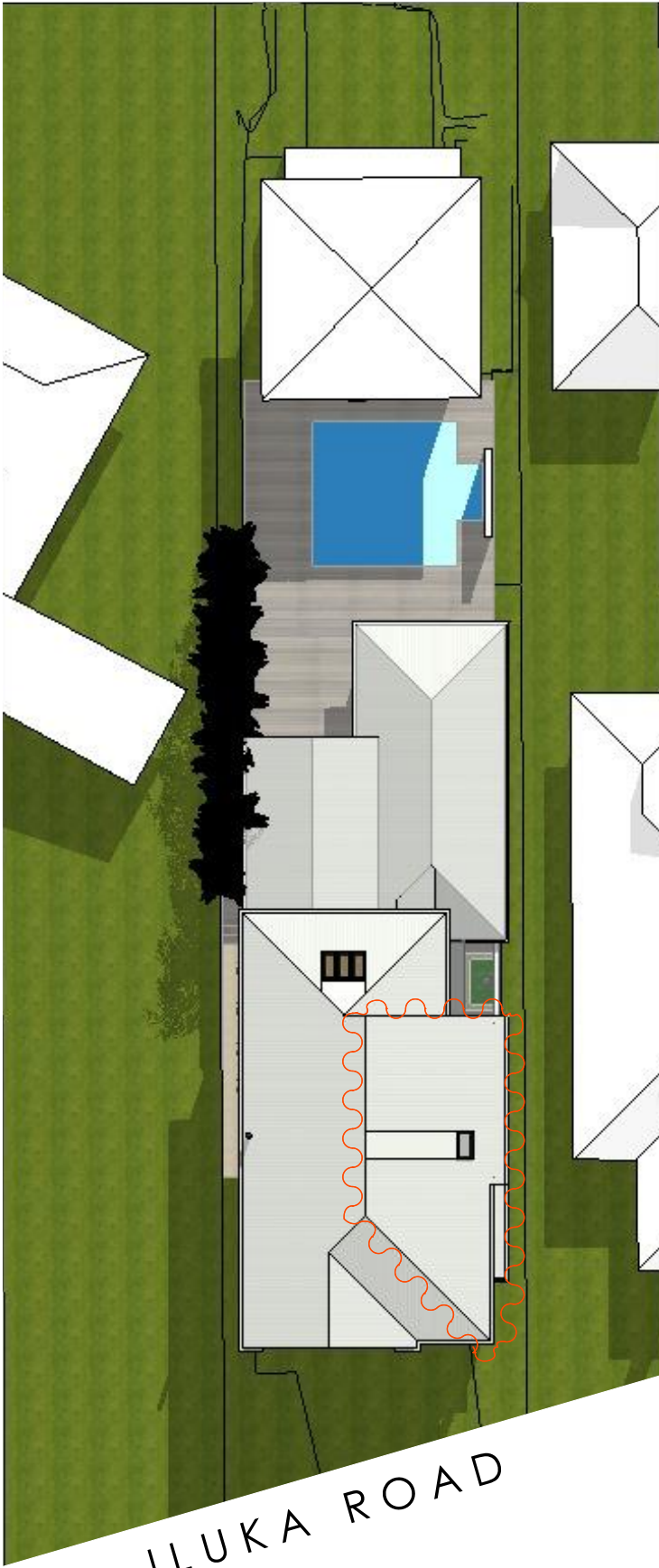
LOWER FLOOR PLAN

BASIX COMMITMENTS

Project Specification		Form # AE0.3		Australian Energy Efficiency Consulting E:info@aenec.com.au P:0416 316 204		
Project Address: 5C Iluka Road, Palm Beach						
BASIX CERTIFICATION NUMBER: A482377						
This Project Specification outlines ONLY some of the BASIX commitments. For the full list, you must refer to BASIX document.						
External Walls Specification:						
Type	Material	Added Insulation	Colour	Detail		
Framed	Framed	R1.30	-	As per drawings		
Internal Walls specification:						
Type	Material	Added Insulation	Colour	Detail		
Framed	Plasterboard	Nil	-	-		
Roof Specification:						
Type	Material	Added Insulation	Colour	Detail		
Framed	As per Drawings	R3.00	Light	As per drawings		
Floors Specification:						
Type	Material	Added Insulation	Covering	Detail		
Framed	As per Drawings	Nil	-	Above dwelling - internal		
Framed	As per Drawings	R0.70	-	Above enclosed subfloor		
Window Specification:						
Frame material	Glazing	U Value	SHGC	Detail		
Aluminum	Single	7.63 or Lower	0.75 or Lower	See BASIX		
Timber	Single	5.71 or Lower	0.66 or Lower	See BASIX		
Skylight Specification:						
Frame material: As suitable		Glazing: As suitable			NOTES: 1. ALL DOWNLIGHTS TO BE : APPROVED NON VENTILATED WITH FIRERATED COVER/SHIELD TO ALLOW CONTINUOUS INSTALLATION OF INSULATION 2.ALL vents and/or wall openings to be the 'SEALED' type. 3. All insulation is to be installed in accordance with AS/NZS 4859.1 4. All windows to comply with AS2047	
U Value: 4.30 or lower		SHGC: 0.50 or lower		Detail		
Various Notes if Applicable:						
Showerheads		3 star no grater than 9lt/min flow rate				
Toilet Flush		3 star or no grater than 4 litres/flush				
Kitchen taps		3 star no grater than 9lt/min flow rate				
Bathroom taps		3 star no grater than 9lt/min flow rate				
Hot Water		Gas Instantaneous	Pool	N/A		

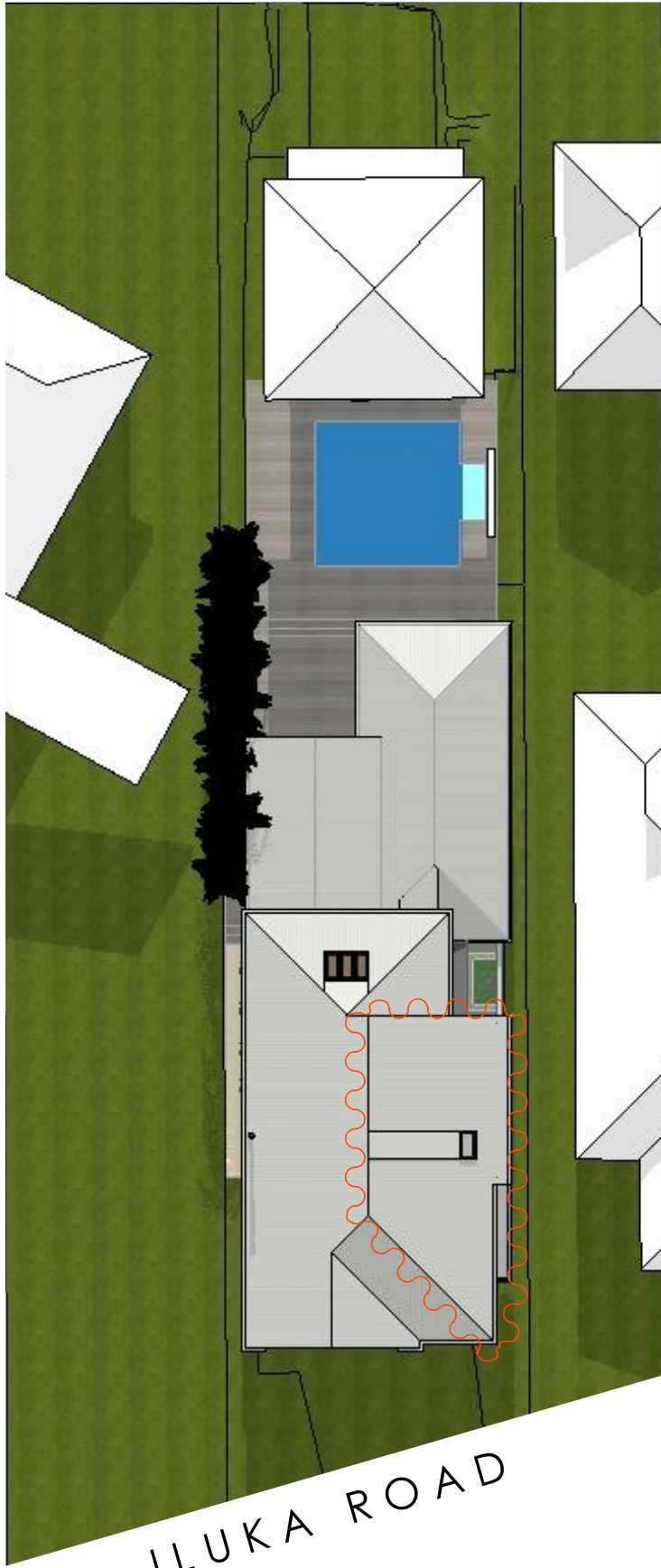
Thursday, 2 March, 2023

BARRENJOEY ROAD



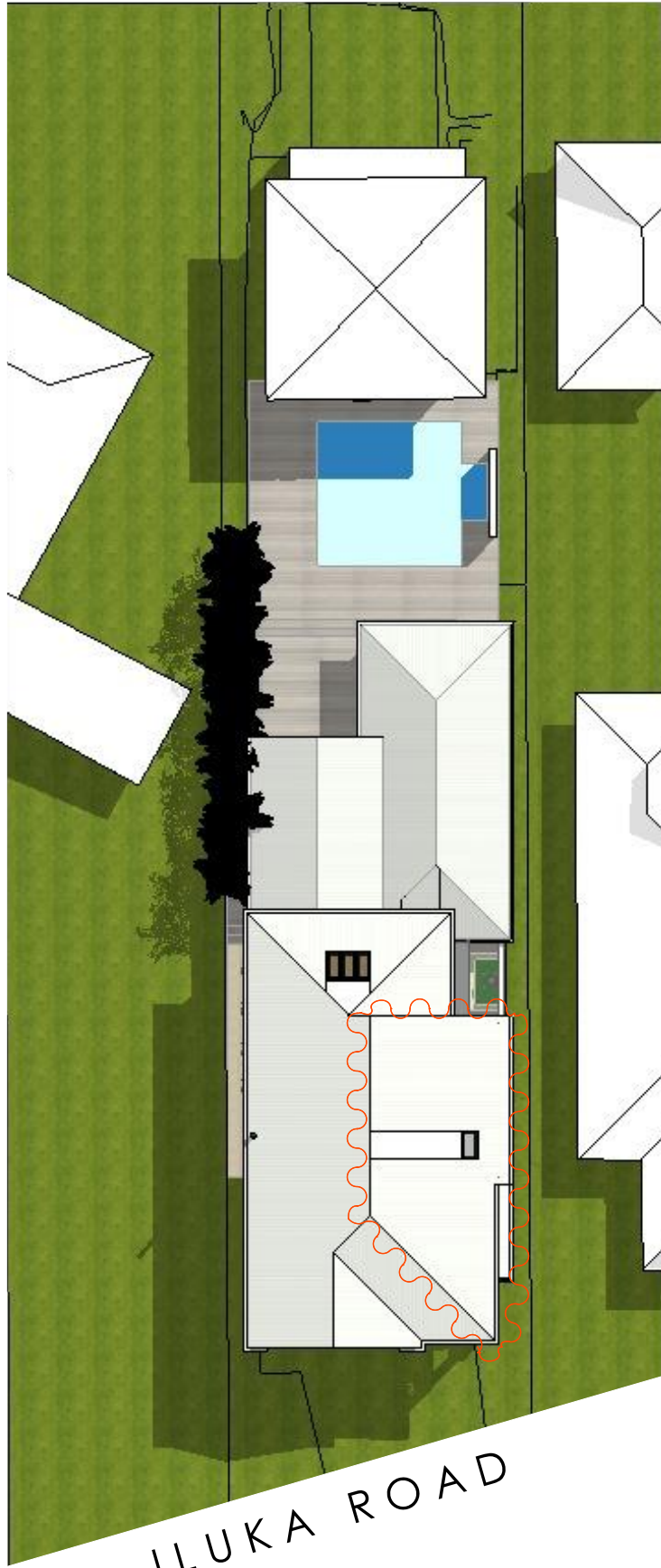
ILUKA ROAD
21 MAR 9AM

BARRENJOEY ROAD

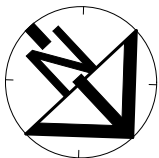


ILUKA ROAD
21 JUNE 9AM

BARRENJOEY ROAD

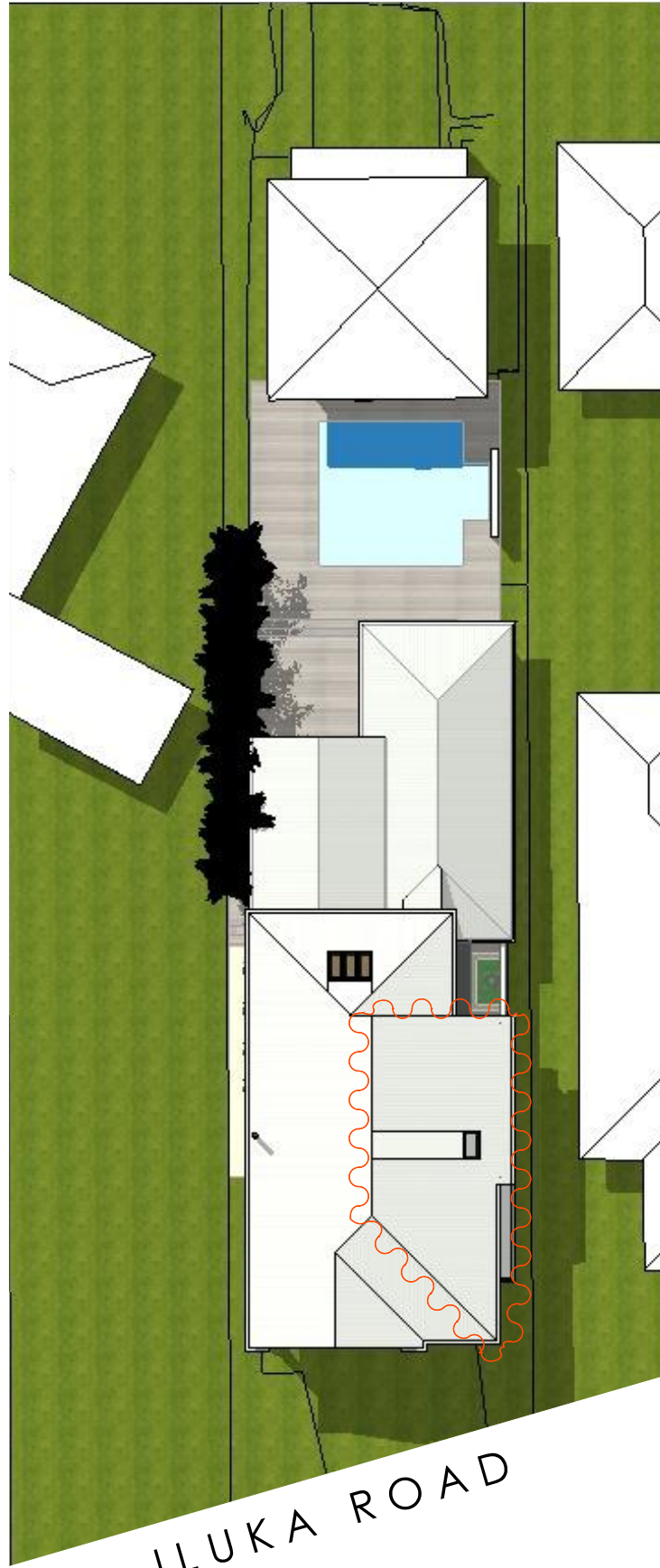


ILUKA ROAD
21 DEC 9AM



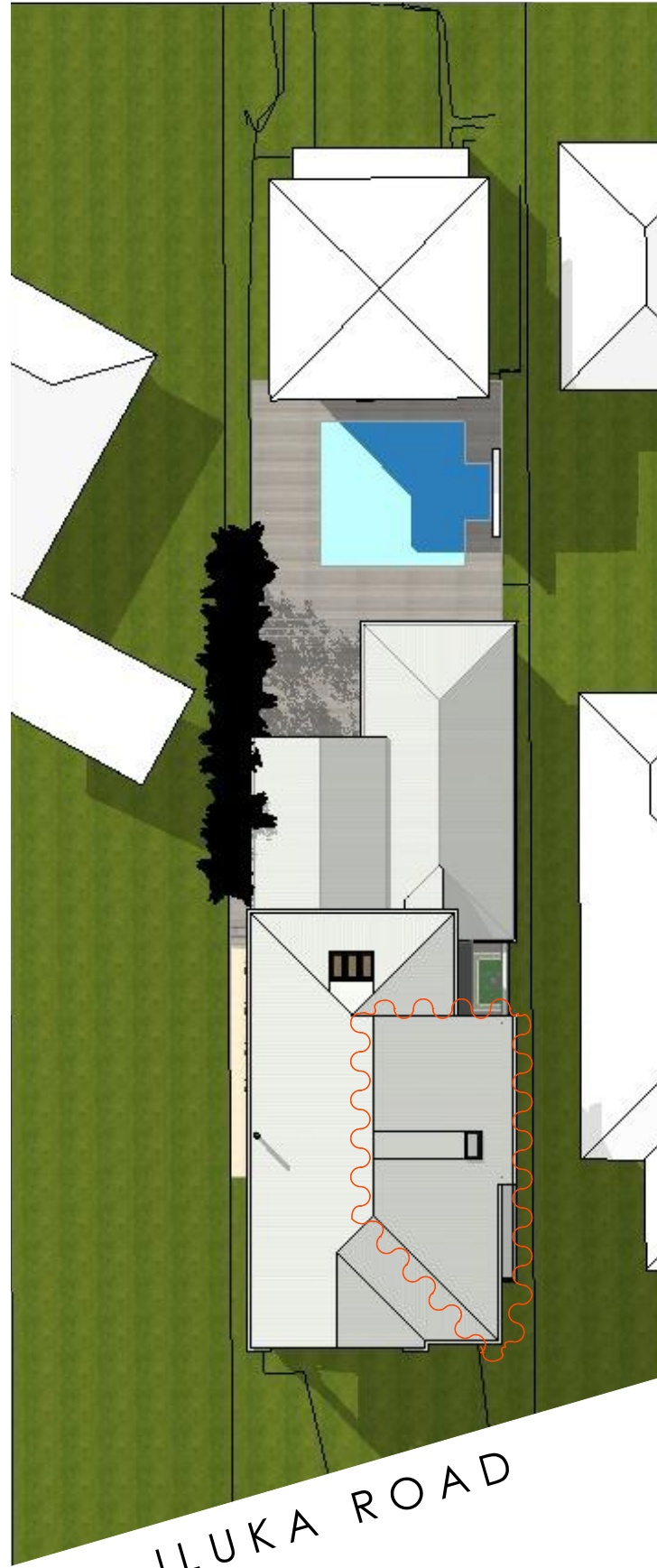
Thursday, 2 March, 2023

BARRENJOEY ROAD



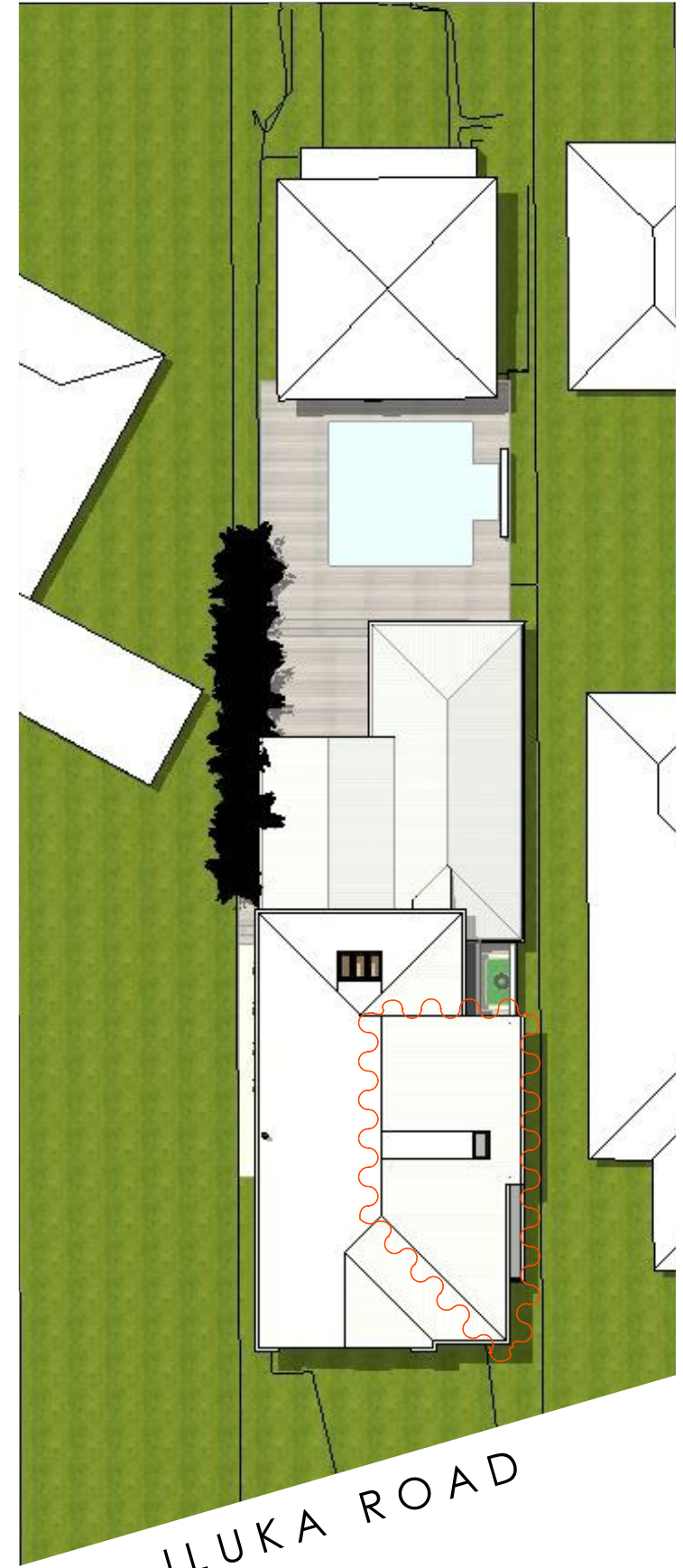
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BARRENJOEY ROAD

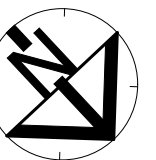


21 JUN 12PM

BARRENJOEY ROAD



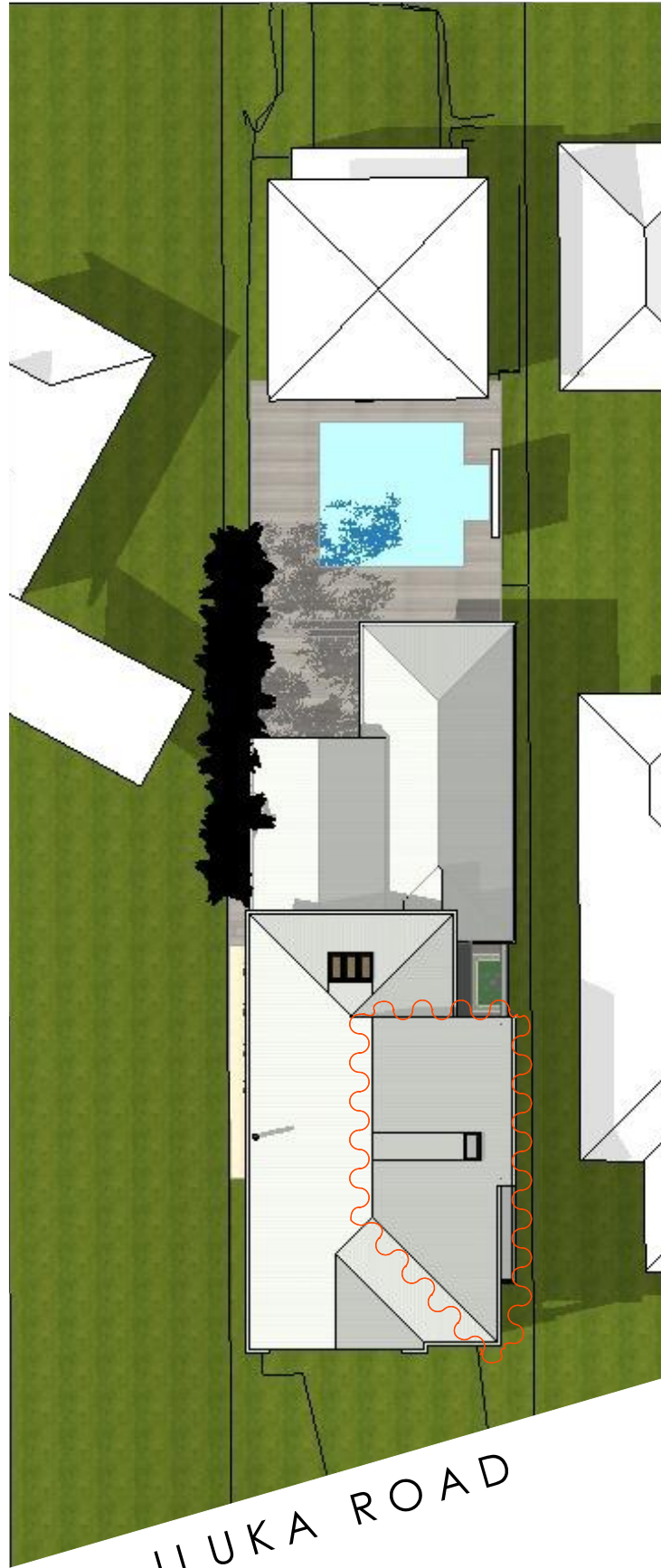
21 DEC 12PM



Thursday, 2 March, 2023

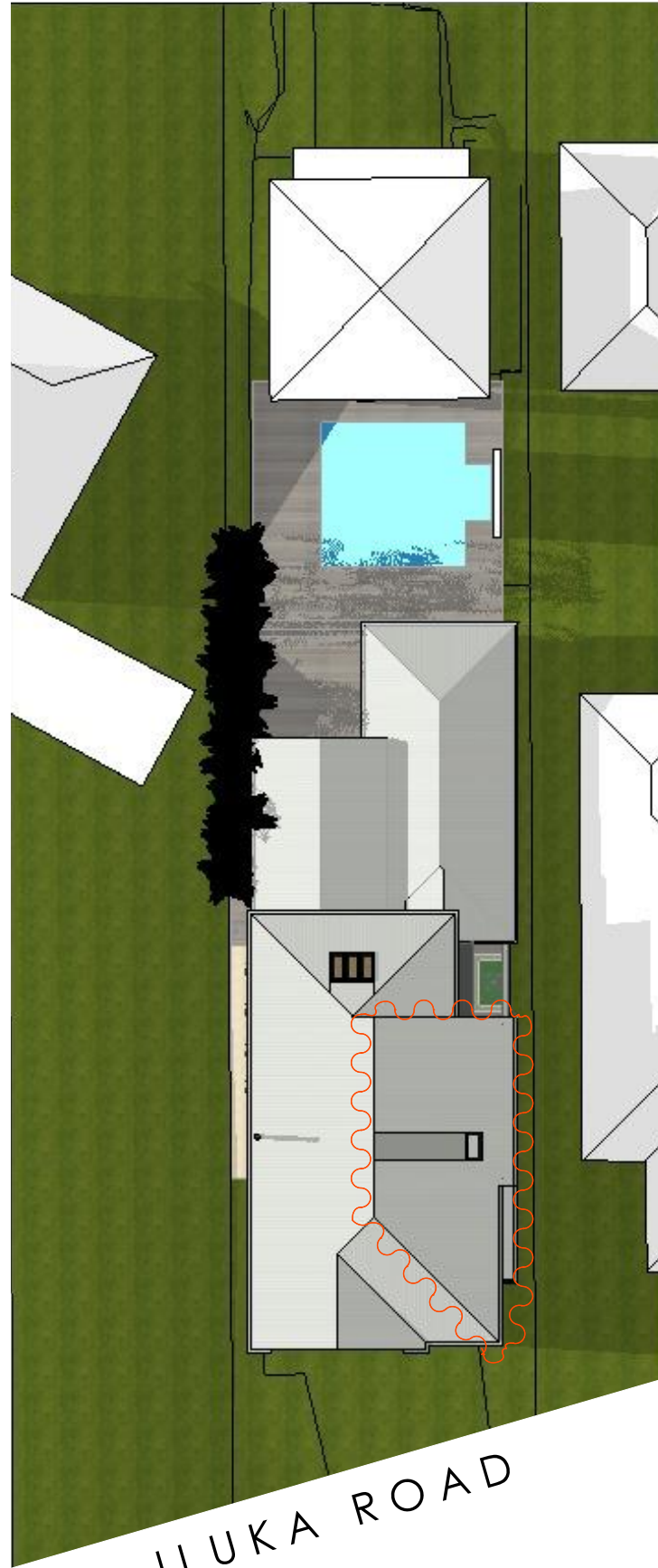


BARRENJOEY ROAD



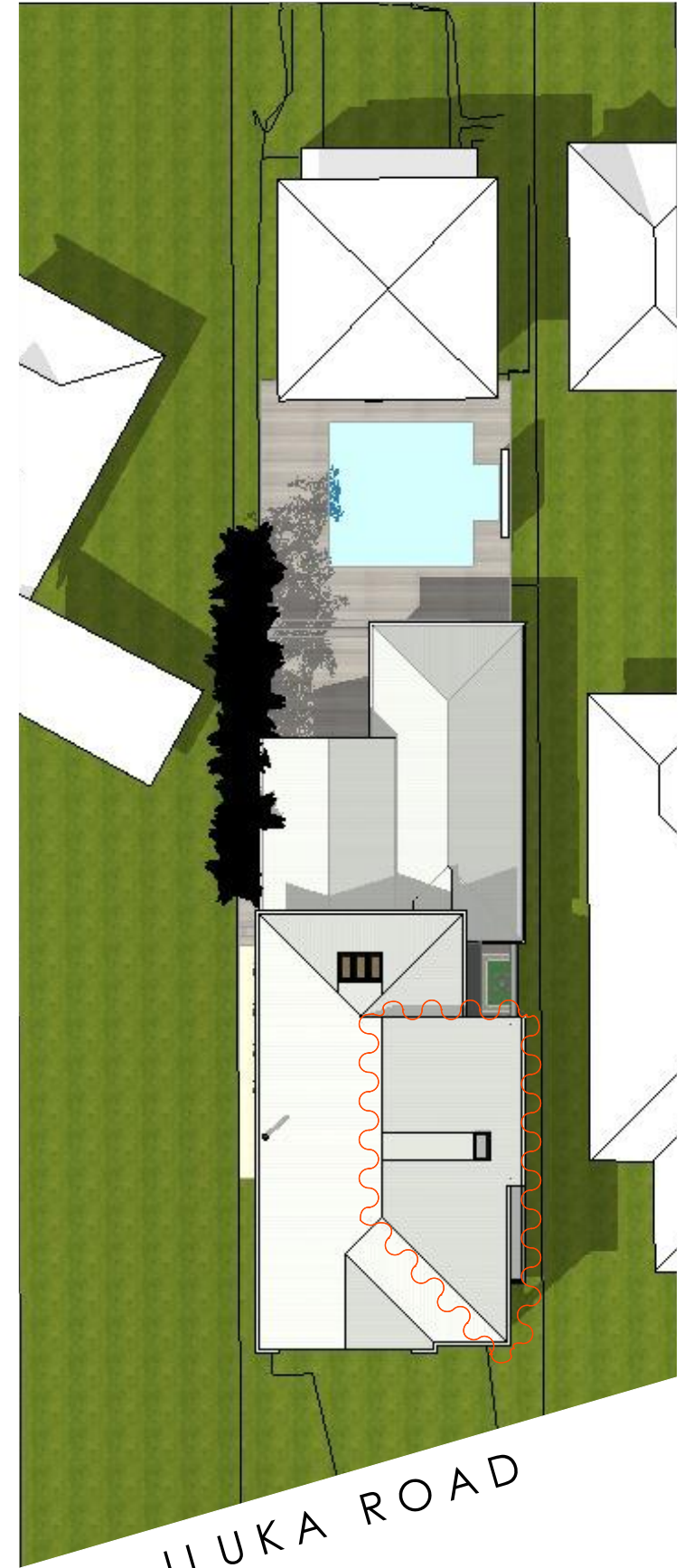
21 MAR 3PM

BARRENJOEY ROAD

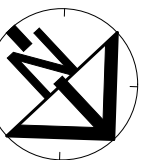


21 JUN 3PM

BARRENJOEY ROAD







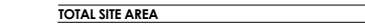

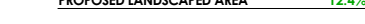
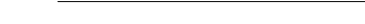


21 DEC 3PM

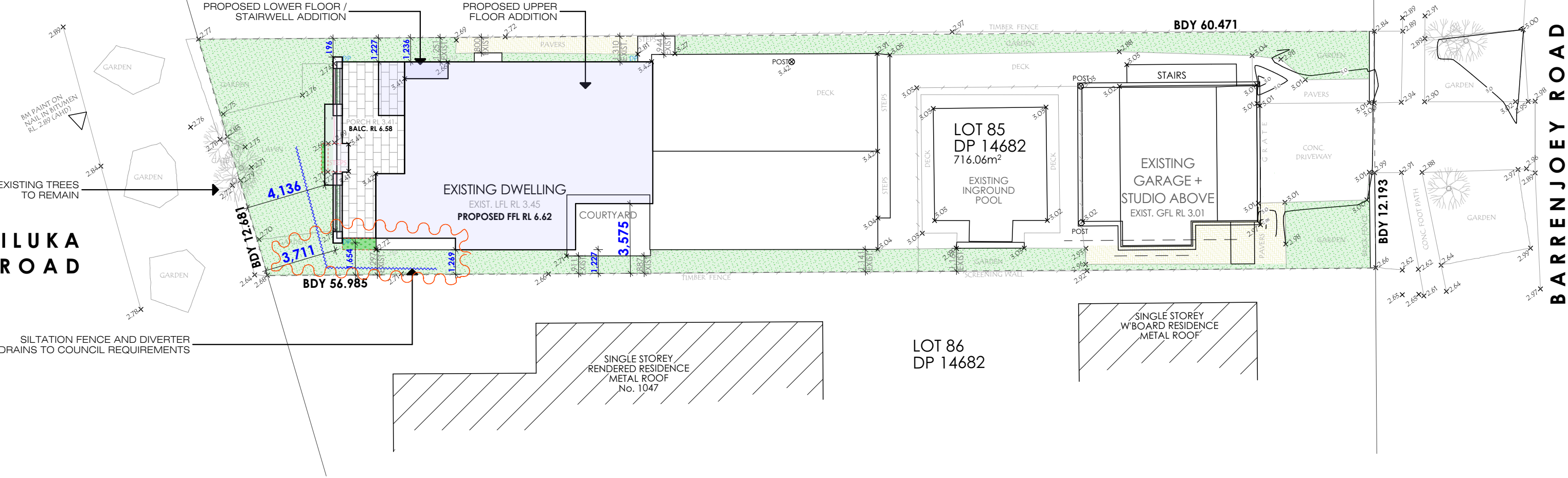


Thursday, 2 March, 2023

LEGEND

	DENOTES EXISTING TREES TO REMAIN
	EXISTING TOTAL LANDSCAPED AREA (INCLUDING AREAS LESS THAN 2M WIDE)
	DENOTES EXISTING TOTAL LANDSCAPED AREA TO REMAIN (INCLUDING AREAS LESS THAN 2M WIDE)
	DENOTES PROPOSED LANDSCAPED AREA (INCLUDING AREAS LESS THAN 2M WIDE)
	PROPOSED TOTAL LANDSCAPED AREA (INCLUDING AREAS LESS THAN 2M WIDE)
	DENOTES EXISTING PAVED AREAS TO REMAIN (PROVIDING A PERMEABLE SURFACE)
	TOTAL SITE AREA
	EXISTING LANDSCAPED AREA
	PROPOSED LANDSCAPED AREA
	PROPOSED LANDSCAPED/PAVED AREA

PROVIDE PINE BARK or LEAF MULCH TO ALL GARDEN BEDS



LANDSCAPE PLAN
Scale 1:200

